

# County of Santa Cruz

803

## PLANNING DEPARTMENT

701 OCEAN STREET, 4<sup>TH</sup> FLOOR, SANTA CRUZ, CA 95060  
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123

ALVIN D. JAMES, DIRECTOR

Agenda Date: August 3, 1999

June 30, 1999

Board of Supervisors  
County of Santa Cruz  
701 Ocean Street  
Santa Cruz, California 95060

Subject: Proposal to rezone Assessor's Parcel Number 086-01 1-04 from the Special Use ("SU") zone district to the Timber Production ("TP") zone district. Requires a rezoning.

APPLICATION NUMBER: 98-0569

APN: 086-01 1-04

APPLICANT: Hamilton-Swift

OWNER: Redtree Properties

LOCATION: The northeast side of China Grade Road approximately six miles up China Grade Road northwest from the intersection of China Grade and Highway 236 north of Big Basin State Park.

Members of the Board:

### BACKGROUND

The County's General Plan Policy on Timber Resources is to "encourage timberland owners to apply for Timber Production Zoning where appropriate." Your Board adopted a resolution on April 14, 19998 establishing a flat fee of \$750 to process a rezoning to the Timber Production zone district, in order to facilitate appropriate rezoning of timberlands.

On August 20, 1999, the County Planning Department accepted this application for a rezoning to Timber Production (TP). This is a proposal to rezone a 101 acre parcel from the Special Use (SU) zone district to the Timber Production (TP) designation. This project qualifies for a statutory exemption (Attachment 3) in accordance with the California Environmental Quality Act and the County Environmental Review Guidelines (Article 17, Section 1703). County Code Section 13.10.375 (c) zoning to the TP district specifies the six criteria which must be met in order to rezone to TP. The project meets the following six criteria for rezoning to

### Timber Production:

1. A map has been submitted with the legal description or assessor's parcel number of the property to be rezoned (Exhibit B, Attachment 6).
2. A Timber Management Plan prepared by a registered professional forester has been submitted for the property (Exhibit H, Attachment 6). The Timber Management Plan has been reviewed and accepted by the Planning Department as meeting minimum standards (Exhibit I, Attachment 6).
3. The parcel currently meets the timber stocking standards as set forth in Section 456 1 of the Public Resources Code and the Forest Practice Rules for the district in which the parcel is located.
4. The parcel is timberland, as the entire parcel is capable of producing a minimum of 15 cubic feet of timber per acre annually.
5. The uses on the parcel are in compliance with the Timber Production Zone uses set forth in Section 13.10.372.
6. The land area to be rezoned is in the ownership of one person, as defined in Section 38106 of the Revenue and Taxation Code, and is comprised of at least five acres in area.

In addition, the three required findings for rezoning can be made subject to the Conditions of Approval (Attachment 2). The findings are included with this staff report as Attachment 1.

On March 24, 1999, the Planning Commission heard this application at a noticed public hearing. The Planning Commission adopted Resolution 4-99 (Attachment 4) recommending approval of the conditional rezoning of the subject parcel to your Board. Minutes of the Planning Commission meeting can be seen as Attachment 7.

### DISCUSSION

#### Project Setting:

The project site is located in the North Coast planning area with access off of China Grade Road six miles west of the intersection of China Grade and Highway 236 north of Big Basin Park (Exhibit A, Attachment 6). The subject parcel is roughly 101 gross acres and is currently undeveloped, except for an existing access road from China Grade and a dilapidated shack which was built in the 1930's or 1940's. While the existing road is stable, minor regrading to out slope portions of the road and improve drainage is proposed to minimize the potential for erosion. The northern parcel boundary is also the Santa Cruz/San Mateo County line. The property generally slopes to the north-northeast away from China Grade. The topography is predominantly steep with slopes of 30 to 75 % . There are numerous ephemeral drainage channels on the property. These drainage channels are heavily shaded by redwoods

and lack characteristic riparian vegetation. These watercourses are tributaries to Little Boulder Creek and Dresti Creek which in turn are tributaries to Pescadero Creek.

The property is forested with second growth redwood and intermixed Douglas fir with areas predominated by tan oak and madrone woodland. This parcel was clear cut in the 1930's and there is no remnant old growth trees on the property. There has been no subsequent timber harvesting activity, since this parcel was until recently part of Big Basin State Park. The subject parcel was exchanged for another property which was owned by Redtree Properties. The purpose of the exchange was to consolidate and clarify the park's boundaries. As a result of this exchange, the State Park boundary in this location is now along China Grade Road which runs along the ridge top. The subject parcel is contiguous to and will be managed as a part of the over 7,000 acre tree farm located in both San Mateo and Santa Cruz Counties owned by Redtree Properties. The majority of this landholding was formerly owned by the Santa Cruz Lumber Company which was founded in 1923. The inclusion of this parcel into Timberland Production is anticipated to provide tower sites which will allow future cable and skyline harvesting of the subject parcel and adjacent Redtree timberland that was previously inaccessible. Since the property is located on the opposite side of the ridge from Big Basin State Park, timber harvesting on the subject parcel will not be visible from the Park. Other than minor improvements to the existing access road, there are no plans for any future development of this parcel. Although some portions of the subject property are predominated by hardwoods, this parcel overall is capable of producing 15 cubic feet of timber per acre annually

The parcel is bordered on the north by timberlands located in San Mateo County, on the east by TP zoned properties. Big Basin State Park is located south and southwest of the subject parcel. The Zoning Map for APN 086-01 1-04 and the surrounding parcels is included as Exhibit C, Attachment 6.

#### General Plan & Zoning Consistency

The project site has a 1994 General Plan land use designation of Parks, Recreation and Open Space. The property is not located within a mapped Timber Resource designated area (Exhibit D, Attachment 6). This is likely due to the subject parcel being part of Big Basin State Park at the time the County's General Plan Resources and Constraints maps were developed. When the Resources and Constraints maps were created, none of the lands within Big Basin, Fall Creek, Henry Cowell and Nisene Marks State Parks were mapped as containing Timber Resources. Apparently, the reasoning was that these lands were protected from development as part of the State Parks system, and this mapping simply was not necessary. This omission was obviously not due to an absence of resources as these parks contain some of the most significant timber stands in the County. This parcel is currently zoned Special Use. The Special Use and Timber Production zoning districts implement the Parks, Recreation and Open Space (O-R) General Plan designation, as specified in Section 13.10.170 of the County Code.

n accordance with County Code Section 13.10.375, Special Standards and Conditions for the

Timber Production (TP) District, the applicant has met all of the criteria to have the property rezoned. As the property is undeveloped, conditions (Attachment 2) are proposed for this approval to ensure that any future development of the subject parcel will be compatible with a long-term timber use for which this rezoning is being proposed. Moreover, the conditions specify the uses for any new logging roads, which are allowed under and consistent with the County's ordinances and General Plan policies. The Planning Commission deleted proposed Condition II.C. 1. (See Exhibit 6) regarding location of dwelling(s) on timber landings. Due to the large size of the parcel (101 acres) and based on testimony by the consulting forester, this condition was deemed unwarranted. In addition, the language for Condition II.A. was modified for better clarity. Attachment 2 contains the conditions of approval, which have been revised per the direction of the Planning Commission at the March 24 hearing. The findings in Attachment 1 have also been revised to be consistent with the revised conditions. In addition, Condition II.F. has been appended subsequent to the Planning Commission hearing to ensure compliance with the County's riparian protection policies set forth in Chapter 13.10.695 "Locational Criteria for Timber Harvesting", which specifies no cut zones within riparian corridors.

All required findings can be made to approve this application and the rezoning is consistent with the General Plan policies and land use designations, subject to the attached conditions of approval.

#### RECOMMENDATION

It is, therefore, RECOMMENDED that your Board, based on the attached Findings (Attachment 1) and Conditions (Attachment 2):

1. Approve the determination that the project is statutorily exempt from the California Environmental Quality Act (Attachment 3); and
2. Adopt the attached Ordinance amending Chapter 13.10 of the Santa Cruz County Code that Conditionally Rezones Assessor's Parcel Number 086-01 1-04 from the SU zone district to the TP zone district (Attachment 5); and
3. Direct the Planning Department to update the General Plan Timber Resources Map to include the area within the boundaries of Assessor's Parcel Number 086-011-04 as Timber Resources.

Sincerely,

  
Alvin D. James  
Planning Director

RECOMMENDED:

  
\_\_\_\_\_  
SUSAN A. MAURIELLO  
County Administrative Officer

cc: Hamilton-Swift Land Use 1509 Seabright Ave. Suite A1 Santa Cruz, CA 95062  
Redtree Properties, LP P.O. Box 1041, Santa Cruz, CA 95061  
J.E. Greig Consulting Foresters 100 Ponderosa Ct. Santa Cruz, CA 95060

Attachments:

1. Findings
2. Conditions of Approval
3. CEQA Exemption
4. Planning Commission Resolution No. 4-99
5. Ordinance Amending Chapter 13.10 of the County Code changing properties from one zone district to another
6. Planning Commission Staff Report of March 24, 1999
7. Planning Commission Minutes of March 24, 1999
8. Correspondence received after Planning Commission Hearing

SAM/ADJ/CLC Ham-swiftBdreport-TPZ.wpd

Hamilton-Swift for Redtree Properties  
Application No.: 98-0569

808

**REZONING FINDINGS:**

THE PROPOSED ZONE DISTRICT WILL ALLOW A DENSITY OF DEVELOPMENT AND TYPES OF USES WHICH ARE CONSISTENT WITH THE OBJECTIVES AND LAND-USE DESIGNATIONS OF THE ADOPTED GENERAL PLAN; AND,

Subject to the concurrent approval of the attached conditions, limiting the location of building sites to areas that will not interfere with future timber harvest operations the rezone will allow a density of development and types of uses which are consistent with the objectives and the land use designations of Parks, Recreation and Open Space. Condition II.A limits the use of these roads to those compatible with the County's General Plan policies for timber harvest roads, and requires that all County permits must be obtained prior to using these roads for any other purpose. The uses will more closely conform with the General Plan as a result of the rezoning of a parcel which is no longer part of the State Parks system, contains timber resources meeting the timber stocking requirements and is contiguous with a significant, productive timberland holding.

THE PROPOSED ZONE DISTRICT IS APPROPRIATE OF THE LEVEL OF UTILITIES AND COMMUNITY SERVICE AVAILABLE TO THE LAND; AND,

The proposed TP zone district is appropriate to the level of utilities and community services available to the parcel. The subject parcel is accessed via a privately maintained road. The parcel is located outside of the Urban Services Line and is, therefore, rural in nature.

THE PROPOSED REZONING IS NECESSARY TO PROVIDE FOR A COMMUNITY RELATED USE WHICH WAS NOT ANTICIPATED WHEN THE ZONING PLAN WAS ADOPTED,

The proposed rezoning is necessary to provide for a community related use - timber harvesting and timberland management. Timber harvesting was permitted in the SU zone district in the past in certain circumstances under the jurisdiction of the County and later under the sole authority of the California Department of Forestry. Interim Zoning Ordinances 4476 and 4469 adopted in August 1997 no longer allow timber related uses within the Special Use zone district except where the area within a designated Timber Resource area. The subject parcel is not located within a Timber Resources area, because the property was formerly part of Big Basin State Park. All of the property within Big Basin's park boundaries at the time the County's Resources and Constraints

Hamilton-Swift for Redtree Properties  
Application No.: 98-0569

809

maps were created are not mapped with respect to Timber Resources. The subject parcel contains timber stands meeting the timber stocking standards. This property does not have a recent timber harvesting use as the parcel was until recently part of Big Basin State Park. The property is surrounded on two sides by properties with zone districts compatible with timber harvesting (TP and San Mateo County timberlands) and State Parks property on the remaining sides. The timberlands adjacent to the subject parcels have been harvest several times. The proposed rezoning will allow for a timber use on this parcel and will allow for improved management and production of the adjacent timberlands.

810

Permit No. 98-0569

Applicant: Hamilton-Swift for Redtree Properties

Assessor's Parcel No. 086-01 1-04

**CONDITIONS OF APPROVAL**

Approval No. 98-0569

Applicant and Property Owner: Hamilton-Swift for Redtree Properties

Assessor's Parcel No. 086-01 1-04

Property location and address: The northeast side of China Grade Road approximately six miles up China Grade Road northwest from the intersection of China Grade and Highway 236 north of Big Basin State Park. No situs.

North Coast Planning Area

**Exhibits:**

- H. Timber Management Plan dated 1998 and 1998 addendum prepared by Dave Herman, of J.E. Greig, Inc. Registered Professional Foresters

- I. This approval authorizes the rezoning of parcel 086-01 1-04 to the Timber Production zone district. Prior to revision of the Zoning Map and to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the Zoning Approval Holder shall:
- A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Record the conditions of rezoning on the subject parcel. The Zoning Approval Holder shall submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder)' within 90 days of final approval of the rezoning by the Board of Supervisors.
  - C. Record a Declaration of Acknowledgment Regarding a Timber Management Plan for APN 086-01 1-04 with the County Recorder. Submit proof of recordation to the Planning Department.
- II. Site Conditions.
- A. The any future logging roads constructed under a timber harvest permit are "new roads" as defined in Chapter 16.22.030 of the County Code. Use of any



811

Permit No. 98-0569

Applicant: Hamilton-Swift for Redtree Properties

Assessor's Parcel No. 086-01 1-04

new logging road for any purpose other than timber harvesting, timber management as defined in Public Resources Code 4527, non-vehicular recreation and fire suppression is strictly prohibited unless all required County permits are obtained.

- B. The access road shown in Exhibit H is a pre-existing road. This road will meet the definition of a "new road" if any improvements resulting in over 100 cubic yards of grading along any 500 foot length are made to the road, and the usage of the road shall then be restricted to those allowed under Condition II.A.
- C. Any single family dwelling and/or other structures shall be designed and sited to be physically compatible with the growing and harvesting of a sustained yield tree crop, as well as be consistent with the purposes of the Forest Taxation Reform Act of 1976 and sections 13.10.371 to 13.10.375 of the County Code.

Any proposed single family dwelling or other non-timber growing and harvesting use shall be consistent with any future timber harvesting or timber production use on the subject parcel.

- D. Timber stands meeting minimum stocking standards shall be maintained as required by Section 13.10.375(c)3.
- E. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the Zoning Approval Holder shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- F. Future timber harvesting shall conform with the cutting restrictions set forth in Chapter 13.10.695 "Locational Criteria for Timber Harvesting" of the County Code.

III. As a condition of this rezoning approval, the holder of this rezoning approval ("Zoning Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this zoning approval of the COUNTY or any subsequent amendment of this approval which is requested by the Zoning Approval Holder.

- A. COUNTY shall promptly notify the Zoning Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended,

87

Permit No. 98-0569

Applicant: Hamilton-Swift for Redtree Properties

Assessor's Parcel No.086-01 1-04

812

indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Zoning Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Zoning Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Zoning Approval Holder.

- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
1. COUNTY bears its own attorney's fees and costs; and
  2. COUNTY defends the action in good faith.
- C. Settlement. The Zoning Approval Holder shall not be required to pay or perform any settlement unless such Zoning Approval Holder has approved the settlement. When representing the County, the Zoning Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the zoning approval without the prior written consent of the County.
- D. Successors Bound. "Zoning Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.
- E. Within 90 days of the adoption of this Zoning approval, the Zoning Approval Holder shall record in the office of the Santa Cruz County Recorder an agreement which incorporates the provisions of these conditions, or this Zoning approval shall become null and void.

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Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

NOTICE OF EXEMPTION FROM THE  
CALIFORNIA ENVIRONMENTAL QUALITY ACT

ATTACHMENT 3

The County of Santa Cruz has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15329 of CEQA for the reason(s) which have been checked on this document.

813

Application No. 98-0569

Assessor Parcel No. 086-01 1-04

Project Location: The northeast side of China Grade Road approximately 6 miles up China Grade Road northwest from the intersection of China Grade Road and Highway 236 north of Big Basin State Park.

Project Description: Proposal to rezone a 10.1 acre parcel from the "SU" Special Use zone district to the "TP" Timber Production zone district. Requires a Rezoning.

Person or Agency Proposing Project: Hamilton-Swift for Redtree Properties

Phone Number: (83 1) 459-9992

- A. ☐ The proposed activity is not a project under CEQA Guidelines, Sections 1928 and 501.
- B. ☐ Ministerial Project involving only the use of fixed standards or objective measurements without personal judgement.
- C. ☒ Statutory Exemption other than a Ministerial Project.  
Specify type: Article 17, Section 1703. Timberland Preserves

D. Categorical Exemption

- |  |   |
|--|---|
| <input type="checkbox"/> 1. Existing Facility  | <input type="checkbox"/> 17. Open Space Contracts or Easements                                  |
| <input type="checkbox"/> 2. Replacement or Reconstruction                                    | <input type="checkbox"/> 18. Designation of Wilderness Areas                                    |
| <input type="checkbox"/> 3. New Construction of Small Structure                              | <input type="checkbox"/> 19. Annexation of Existing Facilities/ Lots for Exempt Facilities      |
| <input type="checkbox"/> 4. Minor Alterations to Land  | <input type="checkbox"/> 20. Changes in Organization of Local Agencies                          |
| <input type="checkbox"/> 5. Alterations in Land Use Limitations                              | <input type="checkbox"/> 21. Enforcement Actions by Regulatory Agencies                         |
| <input type="checkbox"/> 6. Information Collection   | <input type="checkbox"/> 22. Educational Programs   |
| <input type="checkbox"/> 7. Actions by Regulatory Agencies for Protection of the Environment | <input type="checkbox"/> 23. Normal Operations of Facilities for Public Gatherings              |
| <input type="checkbox"/> 8. Actions by Regulatory Agencies for Protection of Nat. Resources  | <input type="checkbox"/> 24. Regulation of Working Conditions                                   |
| <input type="checkbox"/> 9. Inspection   | <input type="checkbox"/> 25. Transfers of Ownership of Interests in Land to Preserve Open Space |
| <input type="checkbox"/> 10. Loans   |   |
| <input type="checkbox"/> 11. Accessory Structures  | <input type="checkbox"/> 26. Acquisition of Housing for Housing Assistance Programs             |
| <input type="checkbox"/> 12. Surplus Govt. Property Sales                                    | <input type="checkbox"/> 27. Leasing New Facilities   |
| <input type="checkbox"/> 13. Acquisition of Land for Wildlife Conservation Purposes          | <input type="checkbox"/> 28. Small Hydroelectric Projects at Existing Facilities                |
| <input type="checkbox"/> 14. Minor Additions to Schools                                      | <input type="checkbox"/> 29. Cogeneration Projects at Existing Facilities                       |
| <input type="checkbox"/> 15. Minor Land Divisions  |   |
| <input type="checkbox"/> 16. Transfer of Ownership of Land to Create Parks                   |   |

E. ☐ Lead Agency Other Than County:

Cathleen Carr  
Cathleen Carr, Project Planner

Date: 6/30/99

87

BEFORE THE PLANNING COMMISSION  
OF THE COUNTY OF SANTA CRUZ, STATE OF CALIFORNIA

RESOLUTION NO. 4-99

814

On the motion of Commissioner : HUMMEL  
duly seconded by Commissioner : **BREMER**  
the following Resolution is adopted:

PLANNING COMMISSION RESOLUTION  
SENDING RECOMMENDATION TO THE BOARD OF SUPERVISORS  
ON PROPOSED AMENDMENT TO THE ZONING ORDINANCE

WHEREAS, the Planning Commission has held a public hearing on Application No. 98-0569, involving property located on the northeast side of China Grade Road approximately six miles up China Grade Road northwest from the intersection of China Grade and Highway 236 north of Big Basin State Park, and the Planning Commission has considered the proposed rezoning, all testimony and evidence received at the public hearing, and the attached staff report.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission recommends that the Board of Supervisors adopt the attached ordinance amending the Zoning Ordinance by changing property from the "SU" Special Use zone district to the "TP" Timber Production zone district.

BE IT FURTHER RESOLVED, that the Planning Commission makes findings on the proposed rezoning as contained in the Report to the Planning Commission.

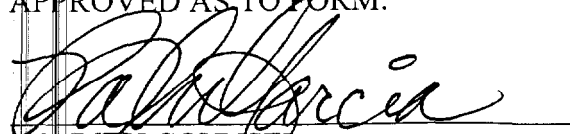
PASSED AND ADOPTED by the Planning Commission of the County of Santa Cruz, State of California, this 24th day of March, 1999, by the following vote:

AYES: COMMISSIONERS : **RUTH, HUMMEL, SHEPHERD**  
NOES: COMMISSIONERS : **BREMER, SKILLICORN**  
ABSENT: COMMISSIONERS  
ABSTAIN: COMMISSIONERS

  
RENEE SHEPHERD, Chairperson

ATTEST:   
MARTIN J. JACOBSON, Secretary

APPROVED AS TO FORM:

  
COUNTY COUNSEL

**ORDINANCE NO. \_\_\_\_\_**

**ORDINANCE AMENDING CHAPTER 13  
OF THE SANTA CRUZ COUNTY CODE  
CHANGING FROM ONE ZONE DISTRICT TO ANOTHER**

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**815**

The Board of Supervisors of the County of Santa Cruz ordains as follows:

**SECTION I**

The Board of Supervisors finds that the public convenience, necessity and general welfare require the amendment of the County Zoning Regulations to implement the policies of the County General Plan and Local Coastal Program Land Use Plan regarding the property located on the northeast side of China Grade Road approximately six miles up China Grade Road northwest from the intersection of China Grade and Highway 236 north of Big Basin State Park; finds that the zoning established herein is consistent with all elements of the Santa Cruz County General Plan; and finds and certifies that all environmental regulations specified in the California Environmental Quality Act, the State and County Environmental Guidelines, and Chapter 16.01 of the County Code have been complied with by the preparation and approval of a Statutory Environmental Exemption for the project.

**SECTION II**

The Board of Supervisors hereby adopts the recommendations of the Planning Commission for the Zoning Plan amendment as described in Section III, and adopts their findings in support thereof without modification as set forth below:

1. The proposed zone district will allow a density of development and types of uses which are consistent with the objectives and land use designations of the adopted General Plan; and
2. The proposed zone district is appropriate of the level of utilities and community services available to the land; and
3. ☐ a) The character of development in the area where the land is located has changed or is changing to such a degree that the public interest will be better served by a different zone district; or  
☒ b) The proposed rezoning is necessary to provide for a community related use which was not anticipated when the zoning plan was adopted; or  
☐ c) The present zoning is the result of an error; or  
☐ d) The present zoning is consistent with the designation shown on the General Plan,

**87**

SECTION III

816

Chapter 13.10, Zoning Regulations, of the Santa Cruz County Code is hereby amended by amending the County Zoning Plan to change the following property from the existing zone district to the new zone district as follows:

<u>Assessor's Parcel Number</u>	<u>Existing Zone District</u>	<u>New Zone District</u>
086-01 1-04	"SU"	"TP"

SECTION IV

The rezoning which results from this ordinance shall not become operative until and unless: (1) a Declaration of Restrictions for the property, reviewed and approved by the County Planning Director, has been duly executed and recorded; and (2) the recording of said Declaration of Restrictions takes place within 90 days following the date that the Board of Supervisors adopts this ordinance. This ordinance shall be null and void if said Declaration of Restrictions is not recorded in the manner, and by the time required by this section.

SECTION V

This ordinance shall take effect on the 31<sup>st</sup> day after the date of final passage.

PASSED AND ADOPTED this 3rd day of August, 1999, by the Board of Supervisors of the County of Santa Cruz by the following vote:

AYEs: SUPERVISORS  
NOes: SUPERVISORS  
ABSENT: SUPERVISORS  
ABSTAIN: SUPERVISORS

\_\_\_\_\_  
JEFF ALMQUIST  
Chairperson of the Board of Supervisors

ATTEST: \_\_\_\_\_  
Clerk of the Board

APPROVED AS TO FORM:

\_\_\_\_\_  
Assistant County Counsel

DISTRIBUTION: County Counsel  
Planning- Cathleen Carr  
Planning -Bernice Romero  
Assessor

ALE (FT/INCH) = 610  
 DTH IN FEET = 4,840.72  
 PTH IN FEET = 4,995.12

REQUEST ID: 98-0569

817

08601104

**Subject Parcel**

SU

SU

TP

TP

83 ASSESSOR PARCELS  
 83 PLANNING ZONES

N ↑

**EXISTING ZONING**

SCALE (FT/INCH) = 610  
WIDTH IN FEET = 4,840.72  
DEPTH IN FEET = 4,995.12

REQUEST ID: 98-0569

## ATTACHMENT 5

818

08601104

**Subject Parcel**

SU

TP

TP

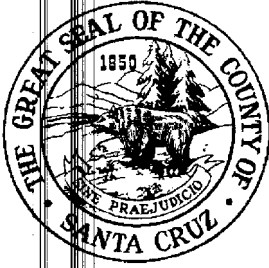
TP

1983 ASSESSOR PARCELS  
1983 PLANNING ZONES

N ↑

**PROPOSED ZONING**





## County of Santa Cruz

819

## PLANNING DEPARTMENT

701 OCEAN STREET - 4<sup>TH</sup> FLOOR, SANTA CRUZ, CA 95060  
(631) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123

ALVIN D. JAMES, DIRECTOR

March 23, 1999

Planning Commission  
County of Santa Cruz  
701 Ocean Street  
Santa Cruz, CA 95060

Subject: Item H-1 on the March 24 Planning Commission Agenda, Application 98-0<sup>S</sup>~~8~~69  
Rezoning to Timber Production - Corrections to Staff Report

Dear Members of the Planning Commission:

The Planning Department has discovered the following errors in the staff report: page 3, first paragraph under Project Setting last sentence - Driest Creek should be Dresti Creek; page 4 paragraph 2, second sentence and page 5 Exhibit H. should both read: A Timber Management Plan (TMP) dated 1998 and 1998 addendum prepared by Dave Herman of J.E. Greig, Inc. Registered Professional Foresters.

Conditions were not submitted with this staff report. However, as this is an undeveloped parcel, your Commission may choose to recommend a conditional approval of this rezoning, ensuring that future development will not adversely affect the long-term timber use of the subject parcel. Staff has attached to this letter proposed conditions specific to this property, revised pages 4 and 5 of the staff report addressing the conditional rezoning and appropriate findings for your Commission's consideration.

Sincerely,

Cathleen Carr  
Project Planner  
Development Review

Attachment: Revised Pages 4 and 5 Planning Commission Staff Report  
Proposed Conditions for Approval  
Findings for Conditional Rezoning Approval

Hamilton-Swift for Redtree Properties  
Application No.: 98-0569  
APN: 086-011-04

820

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### General Plan & Zoning Consistency

The project site has a 1994 General Plan land use designation of Parks, Recreation and Open Space. The property is not located within a mapped Timber Resource designated area (Exhibit D). This is likely due to the subject parcel being part of Big Basin State Park at the time the County's General Plan Resources and Constraints maps were developed. When the Resources and Constraints maps were created, none of the lands within Big Basin, Fall Creek, Henry Cowell and Nisene Marks State Parks were mapped as containing Timber Resources. Apparently, the reasoning was that these lands were protected from development as part of the State Parks system, and this mapping simply was not necessary. This omission was obviously not due to an absence of resources as these parks contain some of the most significant timber stands in the County. This parcel is currently zoned Special Use. The Special Use and Timber Production zoning districts implement the Parks, Recreation and Open Space (O-R) General Plan designation, as specified in Section 13.10.170 of the County Code.

In accordance with County Code Section 13.10.375, Special Standards and Conditions for the Timber Production (TP) District, the applicant has met all of the criteria to have the property rezoned. A Timber Management Plan (TMP) dated 1998 and 1998 addendum prepared by Dave Herman of J.E. Greig, Inc. *Registered Professional Foresters*, (Exhibit H) has been reviewed and accepted by the County Resources Planner as meeting minimum standards (Exhibit I). The parcel meets the timber stocking standards as set forth in Section 4561 of the Public Resources Code and Forest Practice Rules adopted by the State Board of Forestry. In addition, the parcel meets the definition of timberland (Chapter 13.10.700-T) in that the land is capable of growing an average annual volume of wood fiber of at least 15 cubic feet per acre.

*The conditions (Exhibit J) proposed for this approval will ensure that any future development of the subject parcel will be compatible with a long-term timber use for which this rezoning is being proposed. Moreover, the conditions specify the uses for the access road and any other logging roads, which are allowed under and consistent with the County's ordinances and General Plan policies.*

### Conclusion

All of the criteria have been met for rezoning this parcel to the Timber Production zoning designation. All required findings can be made to approve this application and the rezoning is consistent with the General Plan policies and land use designations, *subject to the attached conditions of approval (Exhibit J).*

Please see Exhibit E ("Findings") for a complete listing of findings and evidence related to the above discussion.

87

Hamilton-Swift for Redtree Properties  
Application No.: 98-0569  
APN: 086-011-04

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RECOMMENDATION:

Staff recommends that your Commission adopt the attached Resolution (Exhibit G), sending a recommendation to the Board of Supervisors for approval of Application No. 98-0569 based on the attached findings (Exhibit E) *and subject to the attached conditions (Exhibit J)*, and the approval of the determination that the project is statutorily exempt from CEQA (Exhibit F).

EXHIBITS

- A Location Map
- B Assessor's Parcel Map
- C Zoning Map
- D Timber Resource Map
- E Findings
- F Notice of Exemption from CEQA
- G Planning Commission Resolution
- H Timber Management Plan dated 1998 and 1998 addendum prepared by Dave Herman, of J.E. Greig, Inc. *Registered Professional Foresters*
- I TMP Review Memo dated November 6, 1998
- J *Conditions of Approval*

SUPPLEMENTARY REPORTS AND INFORMATION REFERRED TO IN THIS REPORT ARE ON FILE AND AVAILABLE FOR VIEWING AT THE SANTA CRUZ COUNTY PLANNING DEPARTMENT, AND ARE HEREBY MADE A PART OF THE ADMINISTRATIVE RECORD FOR THE PROPOSED PROJECT.

Report Prepared By: \_\_\_\_\_

*Cathleen Carr*  
Cathleen Carr  
Santa Cruz County Planning Department  
701 Ocean Street, 4th Floor  
Santa Cruz CA 95060  
Phone Number: (831) 454-3225

Report reviewed by: \_\_\_\_\_

Martin J. Jacobson, AICP  
Principal Planner  
Development Review

Permit No. 98-0569

Applicant: Hamilton-Swift for Redtree Properties

Assessor's Parcel No. 086-011-04

## CONDITIONS OF APPROVAL

Approval No. 98-569

Applicant and Property Owner: Hamilton-Swift for Redtree Properties

Assessor's Parcel No. 086-011-04

Property location and address: The northeast side of China Grade Road approximately six miles up China Grade Road northwest from the intersection of China Grade and Highway 236 north of Big Basin State Park. No situs.

North Coast Planning Area

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### Exhibits:

- H. Timber Management Plan dated 1998 and 1998 addendum prepared by Dave Herman, of J.E. Greig, Inc. Registered Professional Foresters
- 

I. This approval authorizes the rezoning of parcel 086-011-04 to the Timber Production zone district. Prior to revision of the Zoning Map and to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the Zoning Approval Holder shall:

- A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
- B. Record the conditions of rezoning on the subject parcel. The Zoning Approval Holder shall submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder) within 90 days of final approval of the rezoning by the Board of Supervisors.
- C. Record a Declaration of Acknowledgment Regarding a Timber Management Plan for APN 086-011-04 with the County Recorder. Submit proof of recordation to the Planning Department.

### II Site Conditions.

- A. The any future logging roads constructed under a timber harvest permit are "new roads" as defined in Chapter 16.22.030 of the County Code. Use of the

**ATTACHMENT 6**

Permit No. 98-0569

Applicant: Hamilton-Swift for Redtree Properties

Assessor's Parcel No.086-01 1-04

access road and any other logging road for any purpose other than timber harvesting, non-vehicular recreation and fire suppression is strictly prohibited unless all required County permits are obtained.

- B. The access road shown in Exhibit H is a pre-existing road. This road will meet the definition of a "new road" if any improvements resulting in over 100 cubic yards of grading along any 500 foot length are made to the road, and the usage of the road shall then be restricted to those allowed under Condition II.A.
- C. Any single family dwelling and/or other structures shall be designed and sited to be physically compatible with the growing and harvesting of a sustained yield tree crop, as well as be consistent with the purposes of the Forest Taxation Reform Act of 1976 and sections 13.10.371 to 13.10.375 of the County Code.
  - 1. Single family dwelling(s) shall not be located on or within 300 feet of any timber landing.
  - 2. Any proposed single family dwelling or other non-timber growing and harvesting use shall be consistent with any future timber harvesting or timber production use on the subject parcel.
- D. Timber stands meeting minimum stocking standards shall be maintained as required by Section 13.10.375(c)3.
- E. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the Zoning Approval Holder shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including 'permit revocation.

**III.** As a condition of this rezoning approval, the holder of this rezoning approval ("Zoning Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this zoning approval of the COUNTY or any subsequent amendment of this approval which is requested by the Zoning Approval Holder.

- A. COUNTY shall promptly notify the Zoning Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Zoning Approval Holder within sixty (60) days

Permit No. 98-0569

Applicant: Hamilton-Swift for Redtree Properties

Assessor's Parcel No.086-01 1-04

of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Zoning Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Zoning Approval Holder.

- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
1. COUNTY bears its own attorney's fees and costs; and
  2. COUNTY defends the action in good faith.
- C. Settlement. The Zoning Approval Holder shall not be required to pay or perform any settlement unless such Zoning Approval Holder has approved the settlement. When representing the County, the Zoning Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the zoning approval without the prior written consent of the County.
- D. Successors Bound. "Zoning Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.
- E. Within 90 days of the adoption of this Zoning approval, the Zoning Approval Holder shall record in the office of the Santa Cruz County Recorder an agreement which incorporates the provisions of these conditions, or this Zoning approval shall become null and void.

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Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Hamilton-Swift for Redtree Properties  
Application No.: 98-0569  
APN: 086-011-04

8 25

## **REZONING FINDINGS:**

1. THE PROPOSED ZONE DISTRICT WILL ALLOW A DENSITY OF DEVELOPMENT AND TYPES OF USES WHICH ARE CONSISTENT WITH THE OBJECTIVES AND LAND-USE DESIGNATIONS OF THE ADOPTED GENERAL PLAN; AND,

*Subject to the concurrent approval of the attached conditions, limiting the location of building sites to areas that will not interfere with future timber harvest operations the rezone will allow a density of development and types of uses which are consistent with the objectives and the land use designations of Parks, Recreation and Open Space. Condition IIA limits the use of these roads to those compatible with the County's General Plan policies for timber harvest roads, and requires that all County permits must be obtained prior to using these roads for any other purpose. Requiring that any dwelling be located a minimum of 300 feet from any timber landing ensures that development of a future dwelling will not preclude or interfere with any future timber harvesting use. The 300 foot distance, analogous to the Agricultural buffer requirement, allows an adequate distance for falling trees, as well as the access, staging and use of heavy equipment associated with logging and the stockpiling of logs for transportation. The uses will more closely conform with the General Plan as a result of the rezoning of a parcel which is no longer part of the State Parks system, contains timber resources meeting the timber stocking requirements and is contiguous with a significant, productive timberland holding.*

THE PROPOSED ZONE DISTRICT IS APPROPRIATE OF THE LEVEL OF UTILITIES AND COMMUNITY SERVICE AVAILABLE TO THE LAND; AND,

The proposed TP zone district is appropriate to the level of utilities and community services available to the parcel. The subject parcel is accessed via a privately maintained road. The parcel is located outside of the Urban Services Line and is, therefore, rural in nature.

THE PROPOSED REZONING IS NECESSARY TO PROVIDE FOR A COMMUNITY RELATED USE WHICH WAS NOT ANTICIPATED WHEN THE ZONING PLAN WAS ADOPTED,

The proposed rezoning is necessary to provide for a community related use - timber harvesting and timberland management. Timber harvesting was permitted in the SU zone district in the past in certain circumstances under the jurisdiction of the County and later under the sole authority of the California Department of Forestry. Interim Zoning

Ordinances 4476 and 4469 adopted in August 1997 no longer allow timber related uses within the Special Use zone district except where the area within a designated Timber Resource area. The subject parcel is not located within a Timber Resources area, because the property was formerly part of Big Basin State Park.- All of the property within Big Basin's park boundaries at the time the County's Resources and Constraints maps were created are not mapped with respect to Timber Resources. The subject parcel contains timber stands meeting the timber stocking standards. This property does not have a recent timber harvesting use as the parcel was until recently part of Big Basin State Park. The property is surrounded on two sides by properties with zone districts compatible with timber harvesting (TP and San Mateo County timberlands) and State Parks property on the remaining sides. The timberlands adjacent to the subject parcels have been harvest several times. The proposed rezoning will allow for a timber use on this parcel and will allow for improved management and production of the adjacent timberlands.



COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT

Date: March 24, 1999  
Agenda Item: No. 1  
Time: After 9:00 a.m.

827

### STAFF REPORT TO THE PLANNING COMMISSION

APPLICATION NO. : 98-0569

APN: 086-01 1-04

APPLICANT: Hamilton-Swift

OWNER: Redtree Properties

PROJECT DESCRIPTION: Proposal to rezone Assessor's Parcel Number 086-011-04 from the Special Use ("SU") zone district to the Timber Production ("TP") zone district. Requires a rezoning.

LOCATION: The northeast side of China Grade Road approximately six miles up China Grade Road northwest from the intersection of China Grade and Highway 236 north of Big Basin State Park.

FINAL ACTION DATE: Exempt from the Permit Streamlining Act (Legislative Action)

PERMITS REQUIRED: Zoning Ordinance Amendment

ENVIRONMENTAL DETERMINATION: Statutory exemption from CEQA per section 1703

COASTAL ZONE: yes XX no APPEALABLE TO CCC: yes XX no

#### PARCEL INFORMATION

PARCEL SIZE: 101 acres

EXISTING LAND USE: PARCEL: Vacant rural and timber

SURROUNDING: Timber Production and State Parks

PROJECT ACCESS: China Grade Road

PLANNING AREA: North Coast Planning Area

LAND USE DESIGNATION: "O-R" Parks, Recreation and Open Space

ZONING DISTRICT: "SU" Special Use

SUPERVISORIAL DISTRICT: Third

#### ENVIRONMENTAL INFORMATION

<u>Item</u>	<u>Comments</u>
a. Geologic Hazards	a. None mapped
b. Soils	b. Ben Lomond-Catelli-Sur complex, Maymen-Rock Outcrop complex and Sur-Catelli complex
c. Fire Hazard	c. Mapped in Critical Fire Hazard area
d. Slopes	d. 30 to 75+ %
e. Env. Sen. Habitat	e. Ephemeral to intermittent watercourses
f. Grading	f. None proposed - existing access roads **
g. Tree Removal	g. Future Timber Harvest Proposed **

Hamilton-Swift for Redtree Properties  
 Application No.: 98-0569  
 APN: 086-011-04

828

h. Scenic	h. Not visible from any designated scenic road
i. Drainage	i. N/A
j. Traffic	j. N/A
k. Roads	k. N/A
l. Parks	l. N/A
m. Sewer Availability	m. Septic, none proposed
n. Water Availability	n. Well, none proposed
o. Archeology	o. Mapped Archeological Resource Area

\*\* Report was required - Timber Management Plan (Exhibit H)

#### SERVICES INFORMATION

W/in Urban Services Line: n yes XX o

Water Supply:	Private Well - none existing or proposed
Sewage Disposal:	Septic - none existing or proposed
Fire District:	California Department of Forestry Fire Service District
Drainage District:	None

#### ANALYSIS & DISCUSSION

##### Background

In August 1997, the Board of Supervisors was informed that the County had the authority to regulate the location of timber harvesting through its zoning ordinance. As a result, the Board adopted Interim Ordinances 4476 and 4469 allowing timber harvesting only in the following zone districts: Timber Production (TP), Park and Recreation (PR), Mineral Extraction (M-3), and Special Use (SU) provided the SU zoned property is also located within a designated Timber Resource area. As a result of these actions, a number of properties with commercially viable timber resources could not be managed and harvested as timber producing properties. The County's General Plan Policy on Timber Resources is to "encourage timberland owners to apply for Timber Production Zoning where appropriate." In order to facilitate rezoning timberlands in non-timber harvesting zone districts to Timber Production, the Board of Supervisors adopted a resolution on April 14, 1998 establishing a flat fee of \$750 to process a rezoning to the Timber Production zone district.

On August 20, 1998, the County Planning Department accepted this application for a rezoning to Timber Production (TP). This is a proposal to rezone a 101 acre parcel from the Special Use (SU) zone district to the Timber Production (TP) designation. County Code Section 13.10.375 (c) zoning to the TP district specifies the six criteria which must be met in order to rezone to TP. This project qualifies for a statutory exemption (Exhibit F) in accordance with the California Environmental Quality Act and the County Environmental Review Guidelines

Hamilton-Swift for Redtree Properties  
Application No.: 98-0569  
APN: 086-011-04

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(Article 17, Section 1703).

### Project Setting

The project site is located in the North Coast planning area with access off of China Grade Road six miles west of the intersection of China Grade and Highway 236 north of Big Basin Park (Exhibit A). The subject parcel is roughly 101 gross acres and is currently undeveloped, except for an existing access road from China Grade and a dilapidated shack which was built in the 1930's or 1940's. While the existing road is stable, minor regrading to out slope portions of the road, as well as drainage improvements are proposed to minimize the potential for erosion. The northern parcel boundary is also the Santa Cruz/San Mateo County line. The property generally slopes to the north-northeast away from China Grade. The topography is predominantly steep with slopes of 30 to 75 %. There are numerous ephemeral drainage channels on the property. These drainage channels are heavily shaded by redwoods and lack characteristic riparian vegetation. These watercourses are tributaries to Little Boulder Creek and Driest Creek which in turn are tributaries to Pescadero Creek.

The property is forested with second growth redwood and intermixed Douglas fir with areas predominated by tan oak and madrone woodland. This parcel was clear cut in the 1930's and there is no remnant old growth trees on the property. There has been no subsequent timber harvesting activity, since this parcel was until recently part of Big Basin State Park. The subject parcel was exchanged for another property which was owned by Redtree Properties. The purpose of the exchange was to consolidate and clarify the park's boundaries. As a result of this exchange, the State Park boundary in this location is now along China Grade Road which runs along the ridge top. The subject parcel is contiguous to and will be managed as a part of the over 7,000 acre tree farm located in both San Mateo and Santa Cruz Counties owned by Redtree Properties. The majority of this landholding was formerly owned by the Santa Cruz Lumber Company which was founded in 1923. The inclusion of this parcel into Timberland Production is anticipated to provide tower sites which will allow future cable and skyline harvesting of the subject parcel and adjacent Redtree timberland that was previously inaccessible. Other than improvements to the existing access road, there are no plans for any future development of this parcel. Although some portions of the subject property are predominated by hardwoods, this parcel overall is capable of producing 15 cubic feet of timber per acre annually.

The parcel is bordered on the north by timberlands located in San Mateo County, on the east by TP zoned properties. Big Basin State Park is located south and southwest of the subject parcel. The Zoning Map for APN 086-011-04 and the surrounding parcels is included as Exhibit C.

Hamilton-Swift for Redtree Properties  
Application No.: 98-0569  
APN: 086-011-04

**830**

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General Plan & Zoning Consistency

The project site has a 1994 General Plan land use designation of Parks, Recreation and Open Space. The property is not located within a mapped Timber Resource designated area (Exhibit D). This is likely due to the subject parcel being part of Big Basin State Park at the time the County's General Plan Resources and Constraints maps were developed. When the Resources and Constraints maps were created, none of the lands within Big Basin, Fall Creek, Henry Cowell and Nisene Marks State Parks were mapped as containing Timber Resources. Apparently, the reasoning was that these lands were protected from development as part of the State Parks system, and this mapping simply was not necessary. This omission was obviously not due to an absence of resources as these parks contain some of the most significant timber stands in the County. This parcel is currently zoned Special Use. The Special Use and Timber Production zoning districts implement the Parks, Recreation and Open Space (O-R) General Plan designation, as specified- in Section 13.10.170 of the County Code.

In accordance with County Code Section 13.10.375, Special Standards and Conditions for the Timber Production (TP) District, the applicant has met all of the criteria to have the property rezoned. A Timber Management Plan (TMP) dated 1998 and 1998 addendum prepared by Dave Herman, Registered Professional Forester, of J.E. Greig, Inc. (Exhibit H) has been reviewed and accepted by the County Resources Planner as meeting minimum standards (Exhibit I). The parcel meets the timber stocking standards as set forth in Section 4561 of the Public Resources Code and Forest Practice Rules adopted by the State Board of Forestry. In addition, the parcel meets the definition of timberland (Chapter 13.10.700-T) in that the land is capable of growing an average annual volume of wood fiber of at least 15 cubic feet per acre.

Conclusion

All of the criteria have been met for rezoning this parcel to the Timber Production zoning designation. All required findings can be made to approve this application and the rezoning is consistent with the General Plan policies and land use designations.

Please see Exhibit E ("Findings") for a complete listing of findings and evidence related to the above discussion.

RECOMMENDATION:

Staff recommends that your Commission adopt the attached Resolution (Exhibit G), sending a recommendation to the Board of Supervisors for approval of Application No. 98-0569 based on the attached findings (Exhibit E) and approval of the determination that the project is statutorily exempt from CEQA (Exhibit F).

Hamilton-Swift for Redtree Properties  
Application No.: 98-0569  
APN: 086-011-04

831

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EXHIBITS


- A. Location Map
- B. Assessor's Parcel Map
- C. Zoning Map
- D. Timber Resource Map
- E. Findings
- F. Notice of Exemption from CEQA
- G. Planning Commission Resolution
- H. Timber Management Plan dated 1998 and 1998 addendum prepared by Dave Herman, Registered Professional Forester, of J.E. Greig, Inc.
- I. TMP Review Memo dated November 6, 1998

SUPPLEMENTARY REPORTS AND INFORMATION REFERRED TO IN THIS REPORT ARE ON FILE AND AVAILABLE FOR VIEWING AT THE SANTA CRUZ COUNTY PLANNING DEPARTMENT, AND ARE HEREBY MADE A PART OF THE ADMINISTRATIVE RECORD FOR THE PROPOSED PROJECT.

Report Prepared By: \_\_\_\_\_

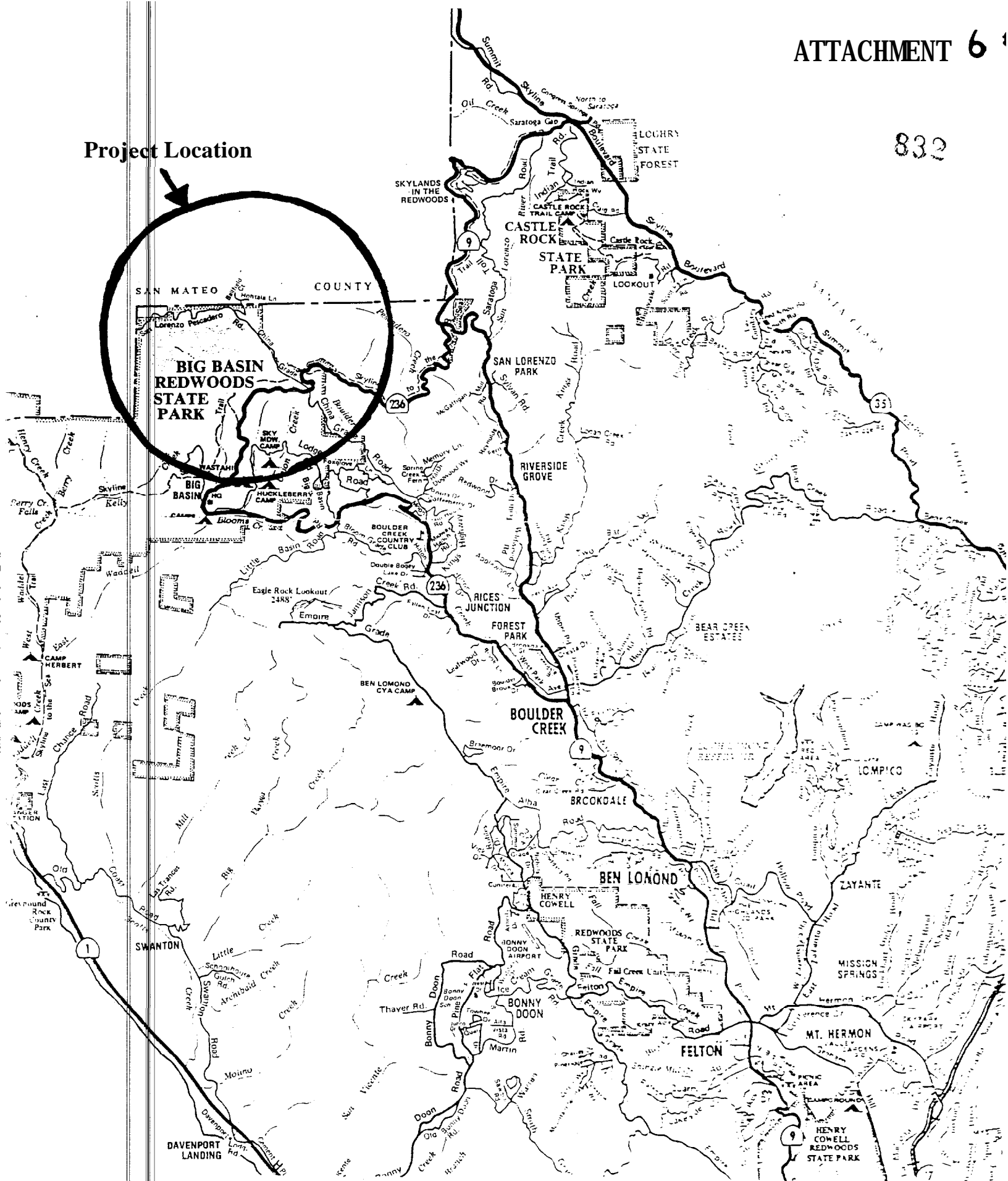
Cathleen Carr  
Santa Cruz County Planning Department  
701 Ocean Street, 4th Floor  
Santa Cruz CA 95060  
Phone Number: (831) 454-3225

Report reviewed by: \_\_\_\_\_

  
Martin J. Jacobson, AICP  
Principal Planner  
Development Review

832

Project Location



LOCATION MAP

EXHIBIT A

FOR TAX PURPOSES ONLY

SECS. 29, 30, 31, 32 & POR SECS. 28 & 33, T.B.S., R.3W.  
 & SECS. 5, 6, 7, 8, & POR SECS. 4 & 9, T.B.S., R.3W. M.D.R.

Tax Area Code  
90-008 90-018

10-98

168, S.H.  
168 JN.  
210 K.A.T.  
210 JN.  
-KEY 11/2/21, S.H.  
204 8/2/21, 81 JAN  
REV 7-21 80, K.A. (RUC.)

IMBER  
PRESERVE  
ZONE

Note - Assessors Parcel Block B  
1: Numbers Shown in Circles

(Bk. 57  
02)

Assessor's Map No. 86-01  
County of Santa Cruz, Calif

# ASSESSOR'S PARCEL MAP

**EXHIBIT 87**

SCALE (FT/INCH) = 610  
 WIDTH IN FEET = 4,840.72  
 DEPTH IN FEET = 4,995.12

REQUEST ID: 98-0569

834

08601104

**Subject Parcel**

SU

TP

TP

**Big Basin State Park**

83 ASSESSOR PARCELS  
 83 PLANNING ZONES

N ↑



SCALE (FT/INCH) = 610  
 WIDTH IN FEET = 4,840.72  
 DEPTH IN FEET = 4,995.12

REQUEST ID: 98-0569

0835

08601104

**Subject Parcel**

TIMBER

**Big Basin State Park**

B3 ASSESSOR PARCELS  
 B3 R&C TIMBER RESOU

N ↑

TIMBER RESOURCES MAP

87  
EXHIBIT D

Hamilton-Swift for Redtree Properties  
Application No.: 98-0569  
APN: 086-011-04

836

**REZONING FINDINGS:**

1. THE PROPOSED ZONE DISTRICT WILL ALLOW A DENSITY OF DEVELOPMENT AND TYPES OF USES WHICH ARE CONSISTENT WITH THE OBJECTIVES AND LAND-USE DESIGNATIONS OF THE ADOPTED GENERAL PLAN; AND,

The rezone will allow a density of development and types of uses which are consistent with the objectives and the land use designations of Parks, Recreation and Open Space. The uses will more closely conform with the General Plan as a result of the rezoning of a parcel which is no longer part of the State Parks system, contains timber resources meeting the timber stocking requirements and is contiguous with a significant, productive timberland holding.

2. THE PROPOSED ZONE DISTRICT IS APPROPRIATE OF THE LEVEL OF UTILITIES AND COMMUNITY SERVICE AVAILABLE TO THE LAND; AND,

The proposed TP zone district is appropriate to the level of utilities and community services available to the parcel. The subject parcel is accessed via a privately maintained road. The parcel is located outside of the Urban Services Line and is, therefore, rural in nature.

THE PROPOSED REZONING IS NECESSARY TO PROVIDE FOR A COMMUNITY RELATED USE WHICH WAS NOT ANTICIPATED WHEN THE ZONING PLAN WAS ADOPTED,

The proposed rezoning is necessary to provide for a community related use - timber harvesting and timberland management. Timber harvesting was permitted in the SU zone district in the past in certain circumstances under the jurisdiction of the County and later under the sole authority of the California Department of Forestry. Interim Zoning Ordinances 4476 and 4469 adopted in August 1997 no longer allow timber related uses within the Special Use zone district except where the area within a designated Timber Resource area. The subject parcel is not located within a Timber Resources area, because the property was formerly part of Big Basin State Park. All of the property within Big Basin's park boundaries at the time the County's Resources and Constraints maps were created are not mapped with respect to Timber Resources. The subject parcel contains timber stands meeting the timber stocking standards. This property does not have a recent timber harvesting use as the parcel was until recently part of Big Basin State Park. The property is surrounded on two sides by properties with zone districts compatible with timber harvesting (TP and San Mateo County timberlands) and State

Hamilton-Swift for Redtree Properties

Application No.: 98-0569

APN: 086-011-04

837

Parks property on the remaining sites. The timberlands adjacent to the subject parcels have been harvest several times. The proposed rezoning will allow for a timber use on this parcel and will allow for improved management and production of the adjacent timberlands.

**REDTREE PROPERTIES, L. P.**

838

**PESCADERO CREEK  
TREE FARM**

**MANAGEMENT INFORMATION**

**UNIT 13**

# Redtree Properties, L. P. Forest Management Program Overview 1998

839

## General History and Objectives:

This property is owned by Redtree Properties, L. P. which was formerly Santa Cruz Lumber Company. The Pescadero Creek Tree Farm is approximately 7,079 acres in the upper reaches of the Pescadero Creek and Butano Creek watersheds. Of the total, about 6,229 acres are drained by the following tributaries to the Pescadero: Oil Creek, Waterman Creek, Little Boulder Creek, Dresti Creek, Trestle Creek, Water Tank Creek, Slate Creek, and two others which are not named. Approximately 150 acres are in the drainage of two tributaries to the San Lorenzo River, and the remaining 700 acres form the headwaters of the North Fork of Butano Creek.

The property is approximately 5 miles long from its eastern boundary at Waterman Gap to its western boundary. It varies from 1 1/2 to 4 miles in width from north to south. It shares boundaries with Big Basin State Park on the south, San Mateo County Park on the northwest, and Portola State Park on the north.

In 1923 Santa Cruz Lumber Company was formed by George Ley and several financial backers who purchased some of the property and moved the mill from San Vicente Creek to the Pescadero. The mill had been owned by George Ley and was located on his 500 acre parcel in Bonny Doon. Through the years additional acreage was purchased. In 1971 the tree farm was about 12,000 acres. In that year, San Mateo County bought about 5000 acres containing the remaining old growth, as well as second growth, for park land. In 1972 the mill was closed down, the old growth operation came to an end, and the first sale of young growth to other mills was made. In 1986, after selling the retail stores, Santa Cruz Lumber Company reorganized and became Red-tree Properties, L. P. In the 1980's, additional land north of the property was purchased from Harwood Lumber Company, the Bonny Doon acreage which was still owned by the Ley family was added to the Redtree holdings, and in the 1990's, land exchanges with the State added acreage to the southern part of the property.

In 1973 the services of J. E. Greig, Inc. were acquired to develop and implement the management of the second growth timber. Data was collected and the management plan written. Since then the property has been managed as a sustained yield, all aged, selectively thinned tree farm, using the following as the basis for the program:

\* \* \* \* \*

## Santa Cruz Lumber Company Tree Farm

### Forest Management Program May 1, 1976

#### MANAGEMENT OBJECTIVES

1. Produce maximum value of forest products.
  - a. Bring all acres up to maximum stocking of most valuable tree crops they are capable of supporting. At present emphasis is on increasing redwood stands whenever possible. When another species will grow appreciably better, Douglas-fir, Pine, or hardwoods, values should be analyzed and that species favored which has the greatest potential return.
  - b. Quality of forest product is an important function of value. A balance must be struck between maximum volume and maximum quality. Assumption is that clean stems and small limb size will produce superior lumber. Larger tree sizes will produce higher percentages of redwood heart or construction grade lumber. Douglas-fir

and pine may require management to smaller average diameters in order to control limb diameter. Management will strive for ideal of maximum volume per acre of most valuable species, with all trees of highest quality possible.

2. Maintain options for future recreational use, including development of residential-recreation living areas. Unusual or exceptional scenic areas will be preserved or enhanced. Virgin groves will be logged by selection to maintain and improve appearance. Streamside areas, meadows, flats and benches should all be managed on a real multiple use basis, attempting to improve aesthetic environment. In some cases less than maximum growth and quality can be accepted if alternate values are improved.

3. Make all areas accessible by permanent road. Roads should be of minimum width, moderate gradient, on ridges and along streams whenever possible. Culverts and bridges should be used on all roads, even though they may not be used for logging every year. Turn-outs and parking or use sites should be established in scenic areas. Goal will be to enable reaching all areas of 40 acres or more by truck, easily and quickly, during the summer season. This will improve fire protection, salvage of damaged materials, and control of trespass. Whenever possible circular transport systems should be set up. Hold dead-end roads to a minimum.

### OPERATING PROCEDURES

#### 1. Selective Harvest System

- a. Develop a 10 to 15 year harvest cycle. Steep and broken areas will not be harvested as frequently as gentle terrain.
- b. Initial harvests will be conservative, removing less than optimum for maximum growth. First harvest will remove 25 - 35% of stand volume. Stress will be on improving average stand quality by removing damaged, defective, limby or poor quality trees. Goal will be to improve growth rates on leave trees by improving tree spacing, but first consideration must be to improve quality, even if less thinning or release is accomplished.
- c. Redwood is the favored tree on all suitable sites. We do not want to eliminate Douglas-fir, but on site I and II redwood land it should not make up more than 10 - 15% of the stand. Even on Douglas-fir sites goal will be to increase percent of redwood in stand, even though it has a lower growth rate. Assumption is redwood will increase in value faster than Douglas-fir as it (redwood) becomes depleted on a state-wide basis.
- d. Initial goal is to maintain existing 65-75 year old stands in that age range. Maintain diameters of dominant trees in the 30" to 36" diameter range. Careful tree selection is necessary to avoid reduction in diameter. Provision must be made in each marking cycle for leave of trees in the 28"-32" diameter class as a basis for volume in the next cycle harvest. Maintenance of this age and diameter stand will result in some reduction in volume growth below potential maximum rates and necessitate carrying a heavier volume inventory per acre. The added value of the higher quality product will more than compensate for this reduction in growth.
- e. Goal will be to bring the existing 30 to 45 year old stands up to an age and condition approximating the existing conditions of tree size and quality in the 65 to 75 year old stands. Selective thinning of these young stands will stress improving tree quality. The best quality, larger trees in each group should be left and harvesting concentrated in the co-dominant and intermediate tree classes. Selective thinning should bring these younger stands to a parity with the ideal (70 year old) stand at age 60. Ideal stand will attain its harvest volume in trees 30" to 36" DBH at as early an age as is possible.

#### 2. Access Road System

A preliminary road system will be plotted for the total property, ideally making every 40 acre unit accessible by light truck. The actual roads will be constructed as each unit is harvested. When practical, roads will be pioneered, built to low standard, into units in advance of actual logging. These initial roads will then be improved to permanent status when the unit is harvested. Permanent bridges and culverts will be installed then.

, oads will be located so as to take full advantage of the terrain and land contour. Single lane width is adequate

and a meander grade and route is favored over extensive soil movement. Road route should be varied to minimize disturbance of productive clumps of redwood trees. Attempt should be made to make all high site lands, gentle terrain (benches), ridge tops, streamside areas, Virgin Redwood groves, scenic view points, and any other areas of high value or special use readily accessible.

Areas of minimum commercial value should be included in the road system within and adjacent to each unit, even though the actual current timber values may not seem to warrant the construction costs. It may become increasingly difficult to construct such roads due to government regulation. Road routes should be established at the earliest opportunity. Roads should be inter-connecting whenever possible, even if substantial extra expense is involved. This will facilitate future use of the land and improve fire control access and movement now.

### 3. Commercial Thinning

Selective commercial thinning for small, low value, sawlogs should be started at the earliest age possible. This should be practical on a small scale in stands as young as 30 years. Each year the harvest should include such a commercial thinning, balanced with the major harvest in the older stands. The extent of the thinning operation will vary with market conditions. Advantage should be taken of good market years to force as much small, low quality material on the market as possible.

Thinning these young stands, primarily in the western portion of the tract, will be of major importance over the next ten years. After the first thinning has been made the trees will accelerate growth rates and by the next cycle should be of good merchantable size.

## FOREST IMPROVEMENT

### 1. Tree Planting

All areas of good forest soils, site I through III, occupied by brush or low value hardwoods should be site prepared and planted as rapidly as possible. This is only practical after each unit is harvested for the first time. After this initial harvest all good sites should be prepared by tractor crushing the brush, preferable during the summer or early fall, so as to avoid compacting wet soils. Each prepared site, and any natural openings which might occur within the forest stand, should then be planted that following winter. If the initial planting is not successful, the area should be replanted the next winter, to such a degree that enough trees are established to fully stock the area. Redwood should be the favored tree, but Douglas-fir and Ponderosa Pine can be used on lower sites where redwoods are not naturally present.

The best results from tree planting should be from trees of local parentage. Seed should be collected during good seed years and supplied to private nurseries for production of planting stock. When possible the seed should be collected from superior trees, on good sites, to insure desirable characteristics in future crops.

### 2 Thinning and release

Growth of sapling sized trees can be maximized by thinning to optimum spacing. Thinning should start when redwood sprouts and Douglas-fir seedlings are about 10 years old. They have no commercial value at that age, now, so some investment may be necessary to accomplish the work. Federal aid programs are usually available, for both tree planting and tree thinning, and full advantage should be taken of them for funding assistance.

The current young stands are generally over age for such thinning. The new reproduction developing in the areas logged since 1972 will be the first stands practical for such work. A reasonable program would be to plan for thinning and release work in the 10-15 year old sapling stands in each unit, immediately following the second timber harvest. This is now estimated to be in the period 1982-1985, when the second harvest cycle will begin.

### 3 Hardwood Utilization and Conversion

Many areas of productive soils now support hardwoods rather than the more valuable conifers. Advantage should be taken of openings created by logging disturbance, storms, fire, etc., to replant and convert these areas to conifer growth.

\* \* \* \* \*

This Management Program was implemented even before it was written, and it has been followed, with very few changes, to the present time. During the first cycle of cutting, major emphasis when selecting trees for harvest was on improving the quality of the residual stands. The goal was to have uneven aged stands of very high quality timber with the dominate trees being approximately 75 years old. In 1984 the second cycle of cutting began. During that cycle there was still an emphasis on stand improvement, but the yield proved to include a greater percentage of larger and higher quality logs. The third cycle of cutting began with the 1997 harvest, and the percentage of larger trees continued to increase, both for those trees harvested and the residual stand.

Another phase of the plan is the development of a complete road system. During the first cycle a major emphasis was put on building roads which would serve both for access and for fire protection. In the second cycle road building was only a minor activity. This should continue to be the case unless new property is added to the farm.

The roads are built to a minimum width necessary for their purpose. Most are not wider than 10 feet. They are engineered to include out sloping, rolling dips, and waterbars. The main "haul road" that goes from the old mill site down stream along Pescadero Creek has been rocked to be an all season road. The rest of the roads are well maintained seasonal dirt roads. Most of these have existed for more than 10 years with very few problems.

The logging operations have been done in such a manner as to enhance the aesthetics of the forest. Where possible, hardwoods are removed and the areas replanted with redwood and Douglas-fir seedlings. When trees are selected for harvest, it is with regeneration in mind. Also, whereas the law allows up to a 60% cut, the management policy limits the cut to 25-35%. Environmental planning is an important part of the overall management program.

The result of the logging policies and practices on this property for the past two decades show that the impact on the environment has been positive. The quality of the conifer timber stands has improved by using a light selective thinning method of harvesting and by TSI and planting projects. Water quality and wildlife habitat have been maintained and improved upon whenever possible. Upgrading the road system has resulted in better access for both management and fire control.

#### Timber Inventory:

In 1994, Redtree Properties contracted with Hammon, Jensen & Wallen to do an independent cruise of the timber on the property. In their Timber Inventory Report, December 31, 1994, they reported an estimated gross volume of 183,322,000 board feet of redwood and Douglas-fir in trees 12 inches DBH and larger. The estimated net volume was given as 168,686,000 board feet.

The volume tables used to compute the volumes in their report are identified on page 25 of the Timber Volume Summary. The individual volumes per tree by diameter are very similar to the volumes obtained by using the Palley Tables for redwood and Munger and McArdle tables from the U. S. Forest Service Handbook for Douglas-fir. These are the tables used by J. E. Greig, Inc. foresters for more than 25 years when working on this property. However, in order to make marking estimates more closely match the actual scale received from timber sales, it has been necessary to adjust the table volumes. Using the adjusted figures, it is estimated that the total net volume is more nearly 135,000,000 board feet. These adjusted, more conservative volumes are the ones used in the Management Plan.

#### Harvesting and Timber Marking Prescription:

In order to achieve sustained yield tree farming with the characteristics outlined above, the property has been mapped, cruised, timber typed, analyzed for growth potential, and divided into 18 units. Units 1 thru 17 comprise the Pescadero Tract, and unit 18 is the Bonny Doon (Meyley) Tract. Each unit is defined by terrain features that make it a logical operating unit, but it is not designed to be a complete sale unit. This allows some flexibility in managing the units to optimize the yield in relation to different growing sites and growth rates existing on the property.



## ATTACHMENT 6

843

Information obtained from permanent growth plots indicate that the average growth rate for the property is 2.9% or approximately 4 million board feet per year (based on 1994 updated cruise information). If all of the volume on the property could be utilized, that would represent the maximum annual cut for sustained yield. However, due to factors such as steepness of ground, stream side protection zones, maturity and density of stand, not all of this volume can be utilized. In addition, there is the goal to improve the quality and increase the average tree size of the forest. But as the management of the young growth timber continues to be implemented, the annual harvest volume increases as does the length of the entry cycle as seen here:

Cycle #1--1972 thru 1983  
Harvested 24,040,000 B.F. in 12 years  
Average Volume/Year = 2,003,333 B.F.

Cycle #2--1984 thru 1996  
Harvested 36,153,940 B.F. in 13 years  
Average Volume/Year = 2,781,072 B.F.

Cycle #3--1997 thru 2011  
Projected Harvest, tractor, 45,000,000 B.F. in 15 years  
Projected Harvest, Cable and Helicopter, 1 0,000,000 B.F. in 15 years  
Average Volume/Year = 3,666,666 B.F.

Cycle #4--2012 thru 2025  
Projected Total Harvest, 60,000,000 B.F. in 15 years  
Average Volume/Year = 4,000,000 B.F.

### Updated Plan (1998)

In 1998 the Forest Management Program was updated to reflect current conditions in the forest and to record the information included in the 1994 Timber Inventory done by Hammon, Jensen, and Wallen. This updated version is organized by units. Each unit has information about the general conditions of the timber, estimates of timber volumes projected to the year 2013, location of the unit, the cutting history for the unit, special notes about events in the unit, maps and lists of existing roads and culverts, copies of historical timber harvest plans, and information on the volumes and values of timber sales.

The objectives and procedures put forth in the original 1976 management plan have not substantially changed. Most of the stands on the property are now approaching the desired age. As they do, the number of harvest trees selected that are in the larger diameter classes increases. Typically, the percent of existing trees in the stand harvested will be approximately 10% of those in the 18-24" dbh, 33% of those in the 26-34" dbh, 70% of those in the 36-58" dbh, and 0% of those in excess of 58" dbh. The primary consideration when selecting trees in the 18-24" class is for thinning and stand improvement by removing poor quality trees as soon as they have a merchantable log. 26-34" trees are selected primarily to improve spacing in a way that promotes a well distributed future stand of large trees. The 36-58" are the desired "crop trees", and of these the largest are usually selected with some consideration given to the spacing of the residuals.

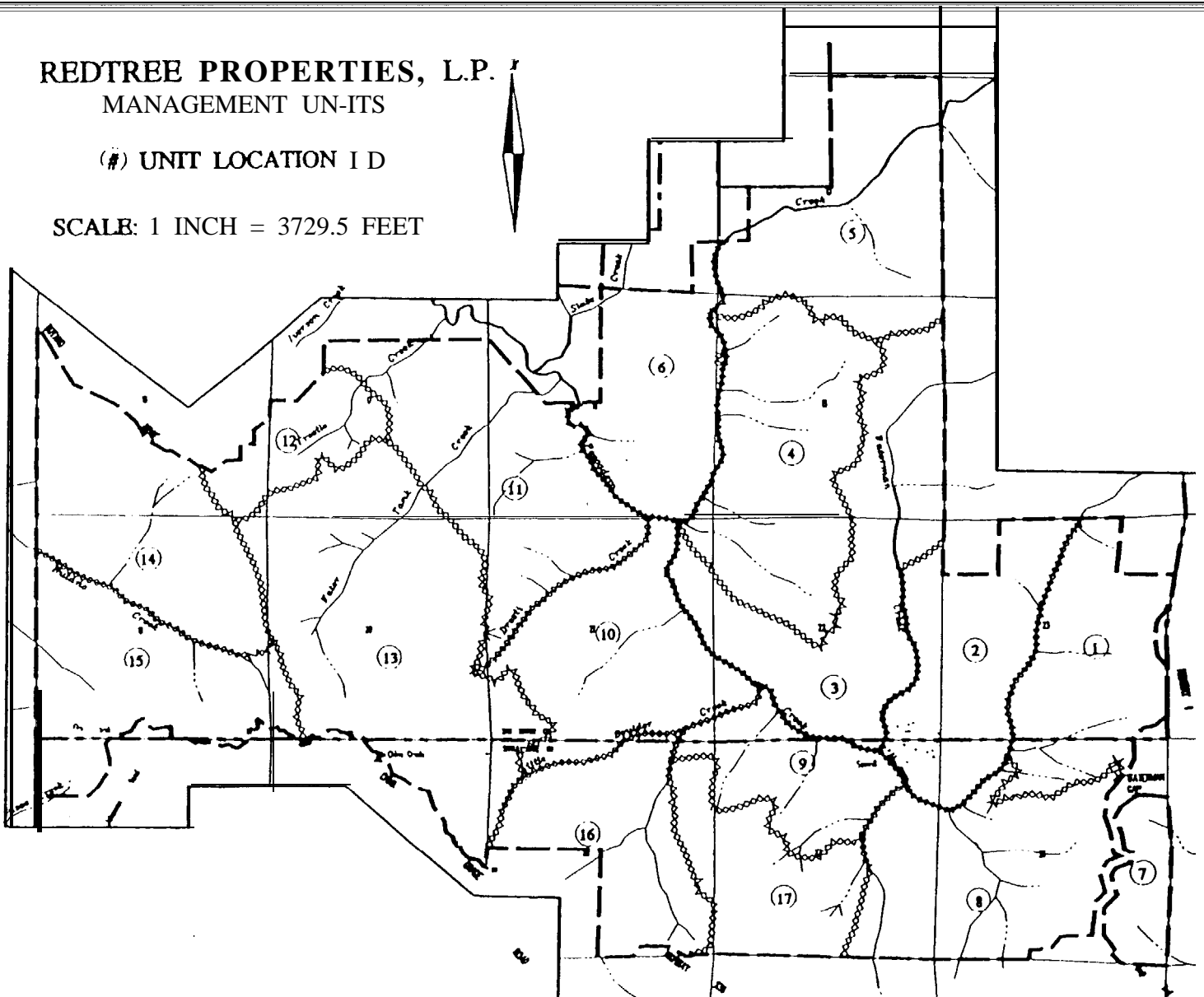
The availability of cable yarding equipment locally is making it possible to utilize additional area that was not suitable for tractor logging. This should make it possible to realize the goal of a 15 year cutting cycle and an increase in the production volume.

EXHIBIT 847

# REDTREE PROPERTIES, L.P. MANAGEMENT UN-ITS

(#) UNIT LOCATION I D

SCALE: 1 INCH = 3729.5 FEET



845

87

EXHIBIT H

## UNIT 13 -- GENERAL INFORMATION

846

**Location:** This unit takes in the upper 2/3 of the drainage of Water Tank Creek as the upper drainages of tributaries to Dresti Creek and the west branch of Little Boulder Creek. It contains almost all of section 20, as well as small portions of sections 17, 18, 19, 21, 28, and 29. The portion of the unit in the E1/2 of the E1/2 of section 20 and the portion in section 29 were obtaining in the 1994 land exchange between Redtree Properties, Sempervirens Fund, and the State of California. The portions of the unit in sections 28 and 29 are in Santa Cruz County and the rest is in San Mateo County. That portion in section 29 is zoned SU and under existing zoning ordinances can not be logged.

**General Description of the Timber:** Fast growing, larger diameter second growth redwoods are found growing within a narrow band along Water Tank Creek. This is classified as high site III. The ridges tend to be heavy to hardwoods and conifers are sparse. Most of these areas are site IV and V. The mid slope areas also tend to be heavy to hardwoods, but are better growing sites and should be classified as low site III. There are a few scattered residual old growth redwoods located between Water Tank Creek and the Butano Ridge Haul Road. These are generally of very poor quality and located in steep, inaccessible areas.

**Cutting History:** The old growth timber was logged off the unit in the early part of the twentieth century. The first logging of the second growth took place in 1980 using THP # 5-78-53 SMO, which covered most of unit 11 and what is now the northern half of unit 13. The second entry of the second growth took place in 1993 under THP #I-93-001.

**Special Notes:**

1. The E1/2 of the E1/2 of section 20 was obtained from Sempervirens Fund in 1994. This piece was very heavily logged in the late 1960's or early 1970's. Also the southern part of it is in very steep terrain. This area is not expected to be a productive part of the unit for some years to come.
2. The portion of the unit in section 29 (approximately 100 acres in the NE corner of the section) was a part of Big Basin State Park until the land exchange in 1994. It is zoned by Santa Cruz County as Special Use--SU. Under current zoning regulations for the County, timber harvesting is not allowed on SU zoned parcels unless there is a timber overlay. Redtree Properties is applying for a change in the zoning designation to TPZ.

**Unit 13**

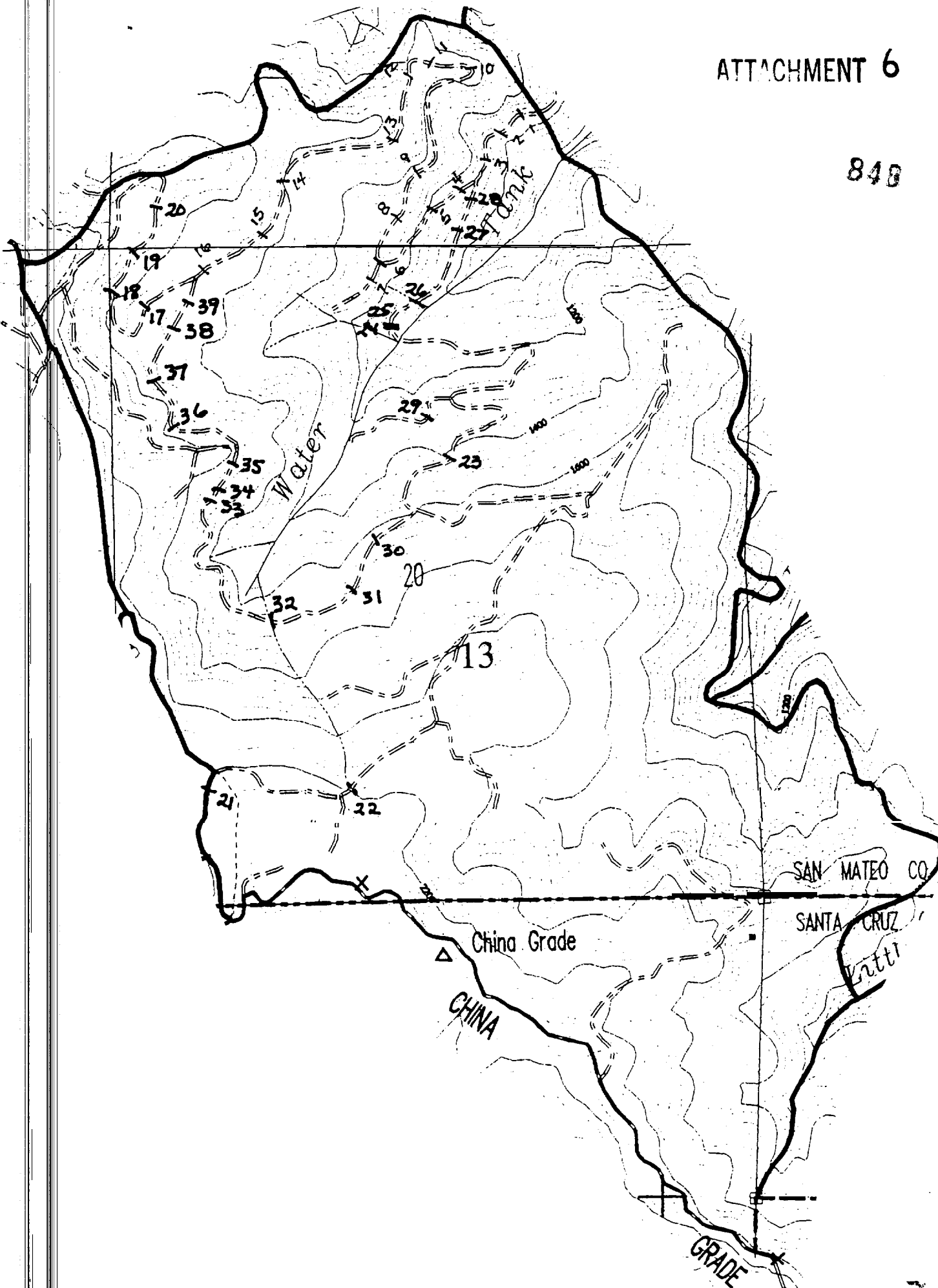
**Culvert Inventory--This** list includes all the culverts installed on the roads of this unit. To read the identification numbering, the first number identifies the unit, the second is the culvert number in that unit, the third is the diameter of the culvert in inches, and the fourth is the length in feet. Locate the culvert by finding the culvert number on the unit road map.

847

**Unit 13**

13-1-16-40	13-31-16-40
13-2-18-40	13-32-24-40
13-3-18-30	13-33-16-40
13-4-18-40	13-34-18-40
13-5-30-30	13-35-18-40
13-6-16-20	13-36-18-30
13-7-16-30	13-37-16-30
13-8-18-40	13-38-18-20
13-9-18-30+down spout	13-39-24-30
13-10-18-50	
13-11-18-30	
13-12-18-60	
13-13-18-30	
13-14-18-30	
3-15-18-40	
3-16-18-40	
3-17-18-60	
3-18-18-40	
3-19-18-40	
3-20-18-40	

848



ATTACHMENT 6

REDTREE PROPERTIES, L.P.

PESCADERO TRACT - Unit 13

849

UNIT SUMMARY OF TIMBER VOLUMES BY SPECIES

Thousands of Board Feet (MBF)<sup>1</sup>

Estimated Total Net Softwood Timber Volume  
in Trees 12 Inches DBH and Larger

17,262

Redwood old growth	2,387
Redwood young growth	11,925
Douglas-fir old growth	1,491
Douglas-fir young growth	1,459

Estimated Total Gross Softwood Timber Volume  
in Trees 12 Inches DBH and Larger

19,202

Redwood old growth	3,122
Redwood young growth	12,736
Douglas-fir old growth	1,819
Douglas-fir young growth	1,525

Thousands of Cubic Feet (MCF)

Estimated Total Gross Hardwood Volume  
in Trees 12 Inches DBH and Larger

1,298

Tanoak	903
Pacific madrone	234
Coast live oak	161

<sup>1</sup> Volume in Scribner Log Rule, 16-foot logs (except 20-foot logs for old growth redwood). Excludes "yarding culls."

**REDTREE PROPERTIES, L.P.**  
**PESCADERO TRACT - Unit 13**

**ATTACHMENT 6**

850

**TOTAL UNIT ACREAGE**

<u>Stand Class</u>	<u>Acres</u>
Total	<u>854</u>
R4/RD	15
R5/RD	7
RY2/R	20
RY3/R	73
RY4/R	17
RY3/RD	35
RY4/RD	23
RY5/RD	38
RY6/RD	77
YR2/R	6
YR4/R	9
YR5/R	37
YR4/RD	60
YR5/RD	29
YR6/RD	21
Y1/R	4
Y2/R	1
Y4/R	65
Y5/R	27
Y2/RD	10
Y3/RD	22
Y4/RD	31
Y5/RD	10
Y6/RD	168
H	49



ATTACHMENT 6

REDTREE PROPERTIES, L.P.  
PESCADERO TRACT

STAND CLASS DESCRIPTION

851

Commercial Conifer Tree Classes

Stand Condition

T	-	Mainly old growth trees on lightly cut or bypassed areas
R	-	Cutover containing considerable old growth residual trees
RY	-	Cutover containing old growth residuals with considerable young growth trees
YR	-	Recent cutover containing young growth trees
Y	-	Young growth trees

Stand Density

1	-	90 to 100% crown cover	4	-	25% to 50% crown cover
2	-	75 to 90% crown cover	5	-	10% to 25% crown cover
3	-	50 to 75% crown cover	6	-	under 10% crown cover

Species

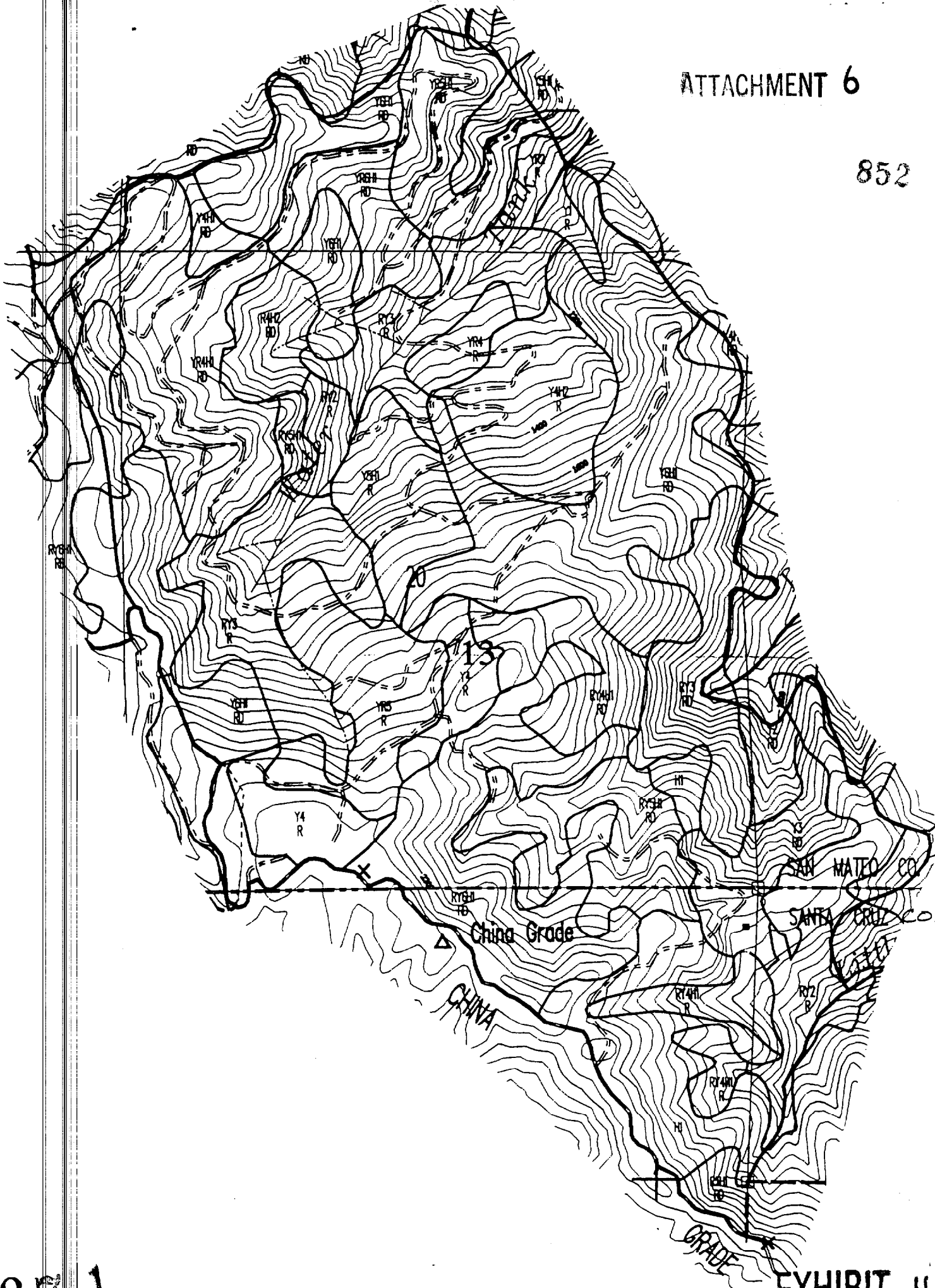
R	-	Redwood	D	-	Douglas-fir
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Non-Commercial Conifer, Hardwood, Brush and Non-Timber Classes

B	-	Brush
H	-	Hardwoods
I	-	Residential, industrial
K	-	Rock, bare ground, slides
N	-	Non-commercial conifers

Stand Density

1	-	60 to 100% crown cover	3	-	25 to 40% crown cover
2	-	40 to 60% crown cover	4	-	10 to 25% crown cover



0853

**REDTREE PROPERTIES, L. P.  
PESCADERO CREEK TREE FARM  
UNIT 13**

**TREE COUNT & VOLUME PROJECTIONS**

**PROJECTIONS BASED ON DATA COLLECTED AND REPORTED BY  
HAMMON, JENSEN, WALLEN & ASSOCIATES, DECEMBER 31, 1994,  
AND GROWTH DATA COLLECTED AND PROCESSED BY J. E. GREIG,  
INC. DURING PERIOD OF MANAGEMENT FROM 1974 TO PRESENT  
DATE.**

**REDTREE PROPERTIES, L. P.**  
**UNIT 13 -- REDWOOD (ALL AGES)**  
**TREE COUNT & VOLUME PROJECTIONS**  
**J. E. GREIG PROJECTIONS**

ATTACHMENT 6

854

Volumes in thousands of board feet

Adjusted Palley Tables -- 16-30" = 80%, 32-38" = 75% & 40+" = 67%

Diam	#trees	1994		1995		1996		1997		1998	
		#tree 94	Vol 94	#tree 95	Vol. 95	#tree 96	Vol. 96	#tree 97	Vol. 97	#tree 98	Vol. 98
16		2706	244	2706	244	2706	244	2706	244	2706	244
18		3809	548	3737	538	3670	529	3608	519	3549	511
20		3393	570	3301	555	3214	540	3131	526	3053	513
22		2589	725	2669	747	2733	765	2781	779	2816	788
24		2405	1058	2344	1031	2299	1012	2267	997	2243	981
26		1928	1111	1991	1147	2038	1174	2073	1194	2099	1209
28		1513	1101	1467	1068	1438	1047	1422	1035	1413	1029
30		1241	1023	1295	1067	1330	1096	1351	1114	1365	1125
32		1025	899	1068	937	1114	977	1157	1015	1196	1049
34		665	653	737	724	803	789	865	850	924	907
36		446	542	490	595	539	655	592	719	647	782
38		396	535	406	548	423	571	446	602	475	642
40		224	323	258	372	288	415	315	453	341	491
42		252	401	246	392	249	396	257	408	268	421
44		220	383	226	394	230	401	234	408	239	412
46		75	143	104	198	128	244	149	283	166	312
48		115	237	107	221	106	220	111	229	118	244
50		6	13	28	62	44	98	56	126	67	150
52		58	143	48	117	44	107	44	1071	46	111
54		17	45	25	66	30	78	32	85	35	91
56		4	11	7	18	10	29	14	40	18	50
58		6	18	6	17	6	17	7	20	8	24
60+		91	287	92	290	93	294	94	298	96	301
Totals		23,184	11,012	23,360	11,350	23,536	11,696	23,712	12,051	23,888	12,414
% +					3.1%		3.1%		3.0%		3.0%

**REDTREE PROPERTIES, L. P.**  
**UNIT 13 -- REDWOOD (ALL AGES)**  
**TREE COUNT & VOLUME PROJECTIONS**  
**J. E. GREIG PROJECTIONS**

ATTACHMENT 6

853

Volumes in thousands of board feet

Adjusted Palley Tables -- 16-30" = 80%, 32-38" = 75% & 40+" = 67%

Diam	1999		2000		2001		2002		2003	
	#tree 99	Vol. 99	#tree 00	Vol. 00	#tree 01	Vol. 01	#tree 02	Vol. 02	#tree 03	Vol. 03
16	2706	244	2706	244	2706	244	2706	244	2706	244
18	3494	503	3443	496	3395	489	3350	482	3308	476
20	2978	500	2907	488	2840	477	2777	467	2717	456
22	2839	795	2853	799	2859	800	2857	800	2849	798
24	2227	980	2214	974	2205	970	2198	967	2191	964
26	2118	1220	2132	1228	2143	1235	2152	1239	2158	1243
28	1410	1026	1409	1026	1411	1027	1414	1029	1417	1032
30	1375	1133	1382	1139	1387	1143	1392	1147	1397	1151
32	1230	1079	1259	1105	1283	1128	1304	1144	1322	1160
34	978	961	1028	1010	1074	1056	1116	1097	1154	1134
36	702	853	757	920	811	986	864	1050	915	1111
38	510	688	548	740	590	798	634	856	680	918
40	368	530	396	571	427	614	459	661	494	712
42	283	450	300	477	319	507	341	542	364	579
44	245	426	252	438	262	456	273	476	287	499
46	180	343	193	368	205	390	216	412	228	433
48	128	264	138	286	149	308	161	331	172	354
50	77	173	87	196	98	219	108	242	119	265
52	50	124	56	137	62	153	69	170	77	189
54	37	97	40	104	43	113	47	123	51	135
56	21	59	24	68	27	77	31	85	34	95
58	10	30	12	36	15	43	17	51	20	59
60	97	307	99	313	102	321	105	330	108	341
Total	24,063	12,785	24,239	13,164	24,415	13,551	24,591	13,946	24,767	14,348
% +		3.0%		3.0%		2.9%		2.9%		2.9%

87

EXHIBIT H

# REDTREE PROPERTIES, L. P. UNIT 13 -- REDWOOD (ALL AGES) TREE COUNT & VOLUME PROJECTIONS J. E. GREIG PROJECTIONS

ATTACHMENT 6

856

Volumes in thousands of board feet

Adjusted Palley Tables -- 16-30" = 50%, 32-38" = 75 % & 40+" = 67 %

Diarm	2004		2005		2006		2007		2008	
	#tree 04	Vol. 04	#tree 05	Vol. 05	#tree 06	Vol. 06	#tree 07	Vol. 07	#tree 08	Vol. 08
16	2706	244	2706	244	2706	244	2706	244	2706	244
18	3269	471	3233	465	3198	461	3166	456	3136	452
20	2660	447	2607	435	2556	429	2509	421	2464	414
22	2836	794	2818	789	2797	783	2773	776	2747	769
24	2185	961	2178	958	2170	955	2161	951	2151	946
26	2162	1245	2165	1247	2167	1248	2167	1248	2166	1248
28	1421	1034	1424	1037	1427	1039	1430	1041	1432	1043
30	1401	1154	1405	1157	1409	1161	1412	1164	1416	1167
32	1337	1173	1350	1184	1361	1194	1370	1202	1379	1210
34	1187	1167	1217	1196	1244	1222	1267	1245	1288	1265
36	962	1169	1007	1224	1049	1275	1088	1322	1124	1366
38	727	982	774	1045	821	1108	866	1170	911	1230
40	531	765	571	822	611	880	653	941	696	1002
42	390	621	419	666	449	714	481	765	516	820
44	302	526	320	557	340	592	361	630	385	671
46	240	456	252	480	266	505	280	534	297	564
48	183	377	194	401	206	425	218	449	230	475
50	129	289	140	313	151	337	162	362	173	387
52	85	210	94	231	103	254	113	277	123	301
54	56	148	62	163	69	180	75	198	83	218
56	37	104	41	115	45	127	50	140	55	154
58	23	67	26	76	29	85	32	94	36	105
60	112	354	117	368	122	384	128	402	134	422
Total	24,943	14,758	25,119	15,176	25,295	15,601	25,471	16,033	25,646	16,473
% +		2.9%		2.8%		2.8%		2.8%		2.7%

# **REDTREE PROPERTIES, L. P.** **UNIT 13 -- REDWOOD (ALL AGES)** **TREE COUNT & VOLUME PROJECTIONS** **J. E. GREIG PROJECTIONS**

ATTACHMENT 6

0857

Volumes in thousands of board feet

Adjusted Palley Tables -- 16-30" = 80 %, 32-38" = 75 % Sz 40+" = 67%

Diam	2009		2010		2011		2012		2013	
	#tree	Vol.	#tree	Vol.	#tree	Vol.	#tree	Vol.	#tree	Vol.
16	706	244	2706	244	2706	244	2706	244	2706	244
18	108	448	3082	444	3058	440	3035	437	3014	434
20	421	407	2381	400	2343	394	2308	388	2274	382
22	718	761	2689	753	2658	744	2626	735	2594	726
24	139	941	2127	936	2113	930	2098	923	2081	916
26	2164	1247	2161	1245	2156	1242	2151	1239	2144	1235
28	1434	1044	1435	1045	1435	1045	1435	1045	1434	1044
30	1419	1169	1422	1172	1425	1174	1427	1176	1429	1177
32	1386	1216	1393	1222	1399	1227	1404	1232	1408	1236
34	1306	1283	1322	1299	1336	1313	1349	1325	1360	1336
36	1157	1405	1187	1442	1214	1475	1238	1504	1260	1531
38	953	1287	994	1342	1033	1394	1069	1443	1103	1489
40	739	1064	782	1126	824	1187	866	1247	907	1305
42	552	877	589	937	628	998	667	1061	707	1124
44	412	717	440	766	470	818	501	873	534	931
46	314	598	334	635	355	675	378	719	403	766
48	244	503	258	532	273	563	289	597	307	634
50	184	413	196	439	209	467	221	496	235	526
52	133	326	143	352	154	378	165	405	176	433
54	91	239	99	261	108	284	117	308	127	333
56	61	170	67	187	73	205	80	224	88	245
58	39	116	44	129	48	142	53	157	59	173
60	141	445	149	470	158	497	168	528	178	561
Total	25,822	16,920	25,998	17,374	26,174	17,835	26,350	18,304	26,526	18,779
%+		2.7%		2.7%		2.7%		2.6%		2.6%

87

EXHIBIT H

**REDTREE PROPERTIES, L. P.**  
**UNIT 13 -- DOUGLAS-FIR -- ALL AGES**  
**TREE COUNT & VOLUME PROJECTIONS**  
**J. E. GREIG PROJECTIONS**

ATTACHMENT 6

0858

Volumes in thousands of board feet

Adjusted U.S. Forest Service Tables -- 16-40" = 50%, 42+" = 75%.

Diam	#trees	1994		1995		1996		1997		1998	
		94	Vol 94	#tree 95	Vol. 95	#tree 96	Vol. 96	#tree 97	Vol. 97	#tree 98	Vol. 98
16		574	111	574	111	574	111	574	111	574	111
18		333	75	349	78	363	81	377	84	390	87
20		406	141	387	135	371	129	358	124	346	121
22		282	115	294	120	304	124	310	126	315	128
24		265	138	258	134	253	132	250	130	248	129
26		180	120	191	127	200	133	207	138	213	142
28		192	171	178	158	167	149	161	143	156	139
30		144	149	154	159	158	164	160	165	160	166
32		113	131	119	138	126	146	133	154	138	160
34		81	105	87	113	94	121	100	129	107	138
36		90	128	88	126	88	125	89	127	91	130
38		88	162	88	163	88	163	88	163	88	163
40		42	85	51	103	59	111	65	130	69	140
42		79	162	72	147	68	131	66	135	66	134
44		40	88	48	106	53	116	56	123	58	127
46		63	150	58	139	56	134	56	132	56	132
48		22	56	30	77	36	92	40	102	43	110
50		62	170	54	148	49	135	47	128	45	124
52		31	91	37	109	41	119	42	124	43	126
54		0	0	6	19	12	32	18	56	23	71
56		0	0	0	0	1	4	3	11	6	21
58		22	82	18	66	14	53	12	43	10	37
60+		57	256	61	276	65	292	68	305	70	315
Totals		3,166	2,687	3,203	2,753	3,241	2,819	3,278	2,885	3,315	2,953
% +					2.5%		2.4%		2.4%		2.3%



**REDTREE PROPERTIES, L. P.**  
**UNIT 13 -- DOUGLAS-FIR -- ALL AGES**  
**TREE COUNT & VOLUME PROJECTIONS**  
**J. E. GREIG PROJECTIONS**

**ATTACHMENT 6**

859

Volumes in thousands of board feet

Adjusted U.S. Forest Service Tables -- 16-40" = 50%, 42+" = 75%.

Diam	1999		2000		2001		2002		2003	
	#tree 99	Vol. 99	#tree 00	Vol. 00	#tree 01	Vol. 01	#tree 02	Vol. 02	#tree 03	Vol. 03
16	574	111	574	111	574	111	574	111	574	111
18	402	90	413	93	423	95	433	97	442	93
20	337	117	329	115	323	113	318	111	315	110
22	318	130	320	130	321	131	321	131	321	131
24	246	128	245	128	245	127	244	127	244	127
26	217	145	221	147	224	150	227	151	229	153
28	153	136	151	135	151	134	150	134	150	134
30	159	165	158	163	157	162	156	161	155	160
32	143	165	146	169	148	172	150	174	151	175
34	113	146	119	153	124	160	129	167	133	172
36	94	135	98	140	102	146	107	152	111	1513
38	89	164	90	166	92	169	94	173	96	178
40	73	148	76	154	79	160	82	165	84	170
42	66	136	68	139	69	142	71	146	73	151
44	59	131	61	134	62	137	63	140	65	144
46	56	133	57	135	57	137	58	139	59	142
48	46	117	48	122	49	127	51	131	52	134
50	45	123	45	123	45	125	46	127	47	130
52	44	128	44	128	44	129	44	130	45	131
54	27	84	30	94	33	103	35	110	37	115
56	10	32	13	43	17	55	20	65	23	75
58	9	34	9	35	10	38	11	43	13	49
60	72	3241	74	332	76	341	78	350	80	360
Total	3,353	3,021	3,390	3,090	3,427	3,161	3,464	3,233	3,502	3,307
% +		2.3%		2.3%		2.3%		2.3%		2.3%

**REDTREE PROPERTIES, L. P.**  
**UNIT 13 -- DOUGLAS-FIR -- ALL AGES**  
**TREE COUNT & VOLUME PROJECTIONS**  
**J. E. GREIG PROJECTIONS**

ATTACHMENT 6

860

Volumes in thousands of board feet

Adjusted U.S. Forest Service Tables -- 16-40" = 50%, 42+" = 75%.

Diam	2004		2005		2006		2007		2008	
	#tree 04	Vol. 04	#tree 05	Vol. 05	#tree 06	Vol. 06	#tree 07	Vol. 07	#tree 08	Vol. 08
16	574	111	574	111	574	111	574	111	574	111
18	451	101	459	103	466	104	473	106	480	108
20	312	109	310	108	309	108	308	107	308	107
22	320	130	320	130	319	130	318	129	317	129
24	244	127	243	126	243	126	242	126	242	126
26	231	154	233	155	234	156	235	157	236	157
28	151	134	151	135	152	136	153	136	154	137
30	154	159	153	158	153	158	153	158	153	158
32	152	176	152	176	152	177	152	177	153	177
34	137	177	140	181	142	184	144	186	146	188
36	116	165	120	171	124	176	128	182	131	187
38	99	183	103	189	106	196	110	202	113	209
40	87	175	89	180	92	185	95	191	98	197
42	76	155	78	159	80	164	82	169	85	174
44	67	148	68	151	70	156	72	160	74	164
46	60	144	62	145	63	150	65	154	66	158
48	54	138	55	141	56	145	58	148	59	151
50	48	133	49	136	51	139	52	142	53	145
52	45	133	46	134	47	136	47	139	48	141
54	39	120	40	124	41	128	42	131	43	135
56	26	85	28	93	31	101	33	108	35	114
58	15	56	17	64	19	73	22	81	24	89
60	83	372	86	385	89	401	93	418	97	433
Total	3,539	3,383	3,576	3,460	3,614	3,538	3,651	3,618	3,688	3,700
% +		2.3%		2.3%		2.3%		2.3%		2.3%

**REDTREE PROPERTIES, L. P.**  
**UNIT 13 -- DOUGLAS-FIR -- ALL AGES**  
**TREE COUNT & VOLUME PROJECTIONS**  
**J. E. GREIG PROJECTIONS**

**ATTACHMENT 6**

0861

Volumes in thousands of board feet

Adjusted U.S. Forest Service Tables -- 16-40" = 50%, 42+" = 75%.

Diam	2009		2010		2011		2012		2013	
	#tree 09	Vol. 09	#tree 10	Vol. 10	#tree 11	Vol. 11	#tree 12	Vol. 12	#tree 13	Vol. 13
16	574	111	574	111	574	111	574	111	574	111
18	486	109	492	110	497	111	502	112	507	114
20	309	107	309	108	310	1013	312	108	313	109
22	316	129	315	128	315	128	314	128	314	128
24	241	126	241	125	240	125	240	125	239	124
26	237	158	238	158	238	159	238	159	239	159
28	154	138	155	138	156	139	156	139	157	140
30	153	158	153	158	154	159	154	159	154	160
32	153	177	153	177	153	177	153	177	153	177
34	147	190	148	192	149	193	150	194	151	194
36	134	191	137	195	139	1913	141	201	143	203
38	117	215	120	222	123	2213	127	233	129	235
40	101	203	104	210	107	216	110	223	114	229
42	87	176	90	185	93	190	96	196	99	202
44	76	169	79	174	81	179	83	184	86	190
46	68	162	69	166	71	170	73	175	75	178
48	61	155	62	159	63	163	65	166	67	171
50	54	149	55	152	57	156	58	159	59	168
52	49	144	50	147	51	150	52	153	53	157
54	44	138	45	141	46	144	47	147	48	150
56	36	120	38	125	39	130	41	134	42	138
58	26	98	28	105	30	113	32	120	34	126
60	102	459	107	483	113	508	119	535	125	564
Total	3,726	3,783	3,763	3,867	3,800	3,952	3,838	4,039	3,875	4,127
%+		2.2%		2.2%		2.2%		2.2%		2.2%

**Redtree Properties, L. P.**  
**Management Plan Addendum**  
**Unit 13**  
**Santa Cruz County Requirements**  
**APN 086-01 1-04**

0862

This information is supplied to the County of Santa Cruz for the purpose of rezoning the recently obtained parcel of land (APN 086-01 1-04) to TPZ. This parcel was acquired by Redtree Properties, L. P. in an exchange with the State of California, and is presently zoned SU. It will now be a part of an existing tree farm that totals more than 7000 acres. As such, it becomes part of Management Unit #13.

Additional information about parcel to meet Santa Cruz County requirements:

Vegetation

Parcel 086-01 1-04 is approximately 100 acres. Vegetation has been typed and mapped as follows:

Stand Class	Acres
Y3/RD	6
RY4H1/R	16
RY5H1/RD	14
RY6H1/RD	25
H1	39

See chart "Stand Class Description" for explanation of classifications. It should be noted that this area was clear cut of old growth timber during the early part of the 20th century. The residual old growth trees are widely scattered, individual trees. These are not true old growth, but rather are trees that were small when the original logging took place, and therefore, were left uncut.

Generally, the conifer stands are made up of 80 to 90 percent redwood and 10 to 20 percent Douglas-fir. There are a few knob cone pine found on the ridge adjacent to China Grade Road, but their numbers are not significant. The hardwood are tan oak and madrone. There are no grasslands associated with this parcel.

All of the parcel is site IV

Springs and seeps:

There are no known springs or seeps on the parcel.

Wells, stream diversions, and supply pipes:

There are no known wells, stream diversions and supply pipes on the parcel.

Areas covered by recommended logging systems:

There are no recommended logging systems associated with this parcel. This parcel will be a part of unit 13 of the management plan for the tree farm. As such future logging on this parcel will be under the planned management directed by a licensed forester.

0863

Historical structures and archeological sites:

There are no historical structures or archeological sites known to exist on the parcel. There is one old cabin located in the northeast corner of the parcel. The cabin was inspected by a CDF archeologist this year, and it was deemed not to be a significant site.

Geology and soil mapping:

The "Soil Survey of Santa Cruz County, California" identifies three soil types for the parcel. Type 113 is Ben Lomond-Catelli-Sur complex, 30 to 75 percent slopes; type 153 is Maymen-Rock outcrop complex, 50 to 75 percent slopes; and type 173 is Sur-Catelli complex, 50 to 75 percent slopes. See enclosed soils map.

Previous timber harvest operations:

This parcel was acquired in a land exchange with the State of California in approximately 1994. No timber operations have taken place on the parcel in recent time, and no known records exist of previous logging. It is obvious from the condition of the forest that the old growth was clear cut in the early part of the 1900's. The logs were yarded using steam donkeys. Also, it is known that the tan oak was utilized for bark, which was used in the tanning of leather.

There are no current approved timber harvest plans for the parcel

Management objectives and goals:

Snags and downed wood inventory: Within the 100 acres of the parcel it is estimated that there are 30 redwood standing culls, 14 Douglas-fir standing culls, 232 redwood snags, 26 Douglas-fir snags, 420 old growth stumps, and 300 downed large logs (typically buckskin redwood logs at least 24" in diameter and 8' long).

Ancient tree mapping (200 years +): There are no known trees of this age group. As explained, the old growth on this parcel was clear cut in the early part of the century.

Fish and wildlife management: Only class III streams exist within the boundaries of this parcel. These are tributaries to Little Boulder Creek and Dresti Creek, which are tributaries to Pescadero Creek. Pescadero Creek is identified as a class A stream with regard to Coho salmon. It also has an established run of steelhead each year. Redtree Properties is actively involved with the Pescadero Creek CRMP and the San Mateo County RCD in habitat restoration projects. Also, all THPs developed for the property include additional protective measures required by CDF/CDF&G 2090 agreement for Coho. A variety of birds and mammals are found on the property. These include, but are not limited to, deer, mountain lions, bob cats, squirrels, wild pigs, hawks, quail, jays, wood peckers and wild pigeons. Standing snags and culls as well as downed logs and old stumps are maintained for wildlife habitat. All species, except for wild pig, are protected by a no hunting policy enforced by the owners. The light selective harvesting of conifers have proved to enhance the wildlife habitat.

Fire protection plan: All roads on the property are maintained for the purpose of management activities and fire protection. The roads serve as access in case of fire and as fire brakes. The policy is to maintain them as sheltered fuel brakes by removing brush and undergrowth along each side of the roads. Logging equipment, including two dozer tractors, and two rubber tired skidders are maintained on the property and available in case of fire. CDF has a contract with Redtree Properties to maintain fire access routes over the major roads of the property. CDF has also contracted with Redtree to maintain a large water supply tank on the property just off China Grade Road. Redtree maintains another water supply on Butano Ridge and is planning a third water storage facility off highway 9.

Recreation: **No** recreation activities are expected to be allowed on this parcel. The only public recreation facility on the property, but not on this parcel, is a hiking trail connecting Big Basin State Park and San Mateo County Pescadero Creek Park.

Erosion hazard inventory and plan: Most of this parcel is steep terrain with a high erosion hazard rating. Future logging activities will need to address this when being planned. At present the only man made structure with the potential of contributing to erosion is the existing road. This road has not been maintained for many years, but other than being overgrown with vegetation, it is in relatively good shape. The plan is to bring this road up to the standard of maintenance of the other roads on the tree farm. This would include establishing a contour of outsloping and rolling dips with water bars located where necessary. The road is near the ridge top for its entire length within this parcel and has no need for culverts. During the rainy period, the road would be regularly inspected to insure that no avoidable problems develop.

REDTREE PROPERTIES, L.P.  
PESCADERO TRACT

ATTACHMENT 6

STAND CLASS DESCRIPTION

Commercial Conifer Tree Classes

Stand Condition

- |     |   |  |
|-----|---|--|
| T   | - | Mainly old growth trees on lightly cut or <b>bypassed areas</b>              |
| R   | - | Cutover containing considerable old growth residual trees                    |
| R.Y | - | Cutover containing old growth residuals with considerable young growth trees |
| YR  | - | Recent cutover containing young growth trees                                 |
| Y   | - | Young growth trees   |

Stand Density

- |   |   |                        |   |   |                        |
|---|---|------------------------|---|---|------------------------|
| 1 | - | 90 to 100% crown cover | 4 | - | 25% to 50% crown cover |
| 2 | - | 75 to 90% crown cover  | 5 | - | 10% to 25% crown cover |
| 3 | - | 50 to 75% crown cover  | 6 | - | under 10% crown cover  |

Species

- |   |   |         |   |   |             |
|---|---|---------|---|---|-------------|
| R | - | Redwood | D | - | Douglas-fir |
|---|---|---------|---|---|-------------|

Non-Commercial Conifer, Hardwood, Brush and Non-Timber Classes

- |   |                           |
|---|---------------------------|
| B | Brush                     |
| H | Hardwoods                 |
| I | Residential, industrial   |
| K | Rock, bare ground, slides |
| N | Non-commercial conifers   |

Stand Density

- |   |                        |   |   |                       |
|---|------------------------|---|---|-----------------------|
| 1 | 60 to 100% crown cover | 3 | - | 25 to 40% crown cover |
| 2 | 40 to 60% crown cover  | 4 | - | 10 to 25% crown cover |

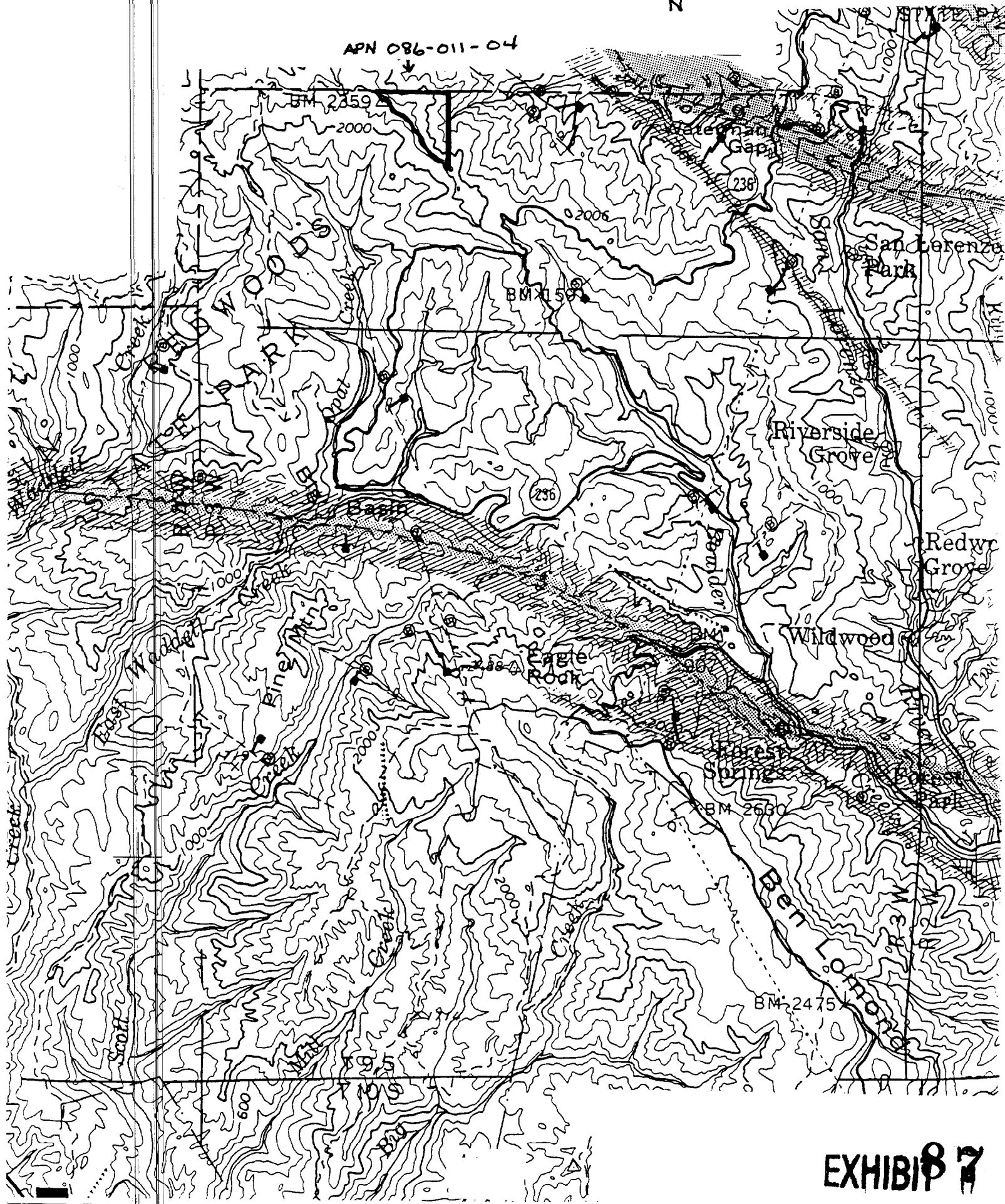




1  
N

ATTACHMENT 6

APN 086-011-04

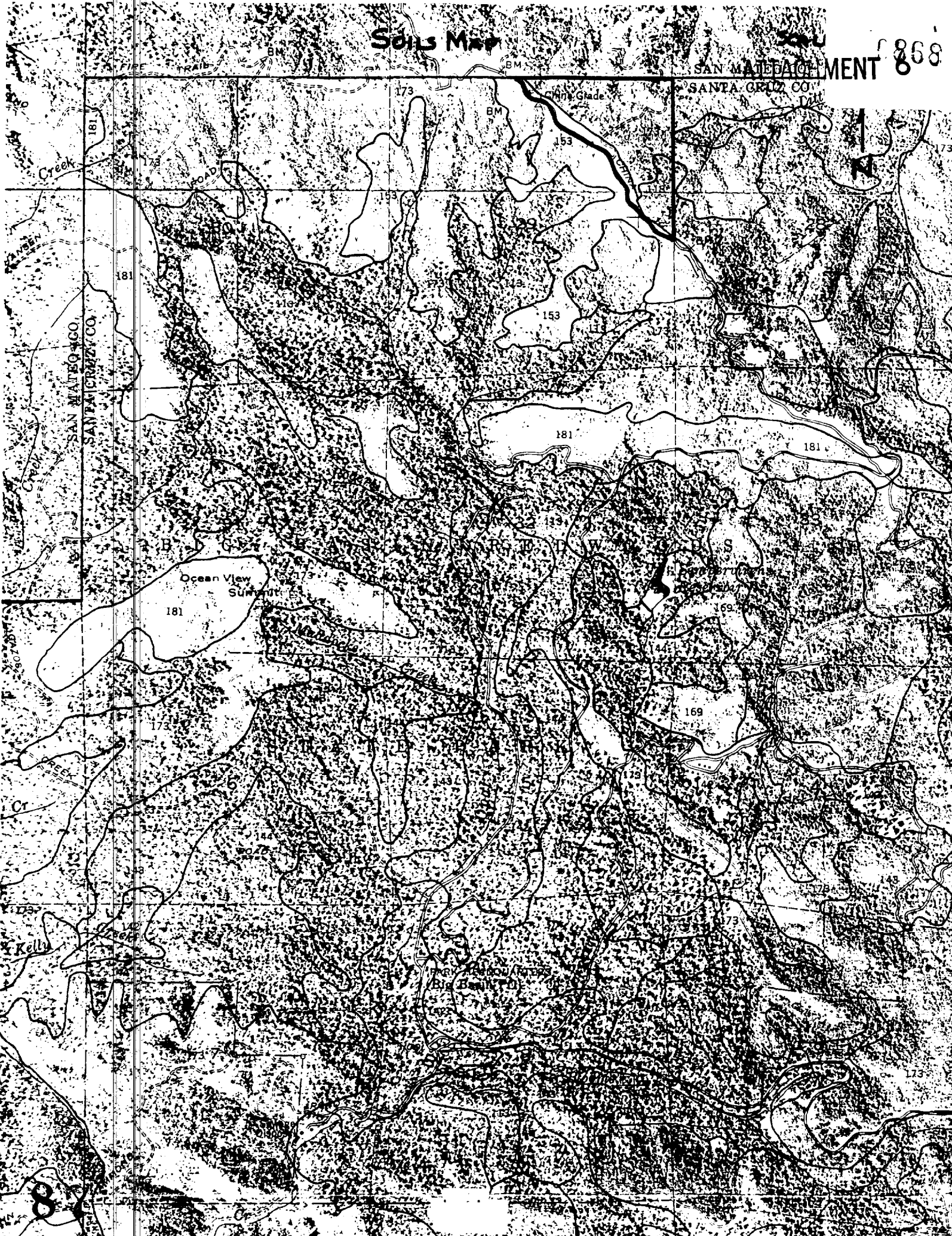


**EXHIBIT 8**

# Soils Map

SAN MATEO CO. SANTA CRUZ CO.


868



# COUNTY OF SANTA CRUZ

INTER-OFFICE CORRESPONDENCE

869  
ATTACHMENT 6

DATE: November 6, 1998  
TO: Cathleen Carr, Project Planner  
FROM: Dave Hope RPF 2614, Senior Resource Planner   
SUBJECT: Timber Management Plan for Red Tree Properties

---

The submitted Timber Management Plan meets the standards set forth by the County. This property meets the growing standards for timber and has been managed for timber production continuously since the turn of the century.

The land is bordered by Timber Production Zone lands and is appropriate for rezoning from Special Use Zone to Timber Production.

The management of this property has been exemplary, sustained yield of timber products, protection of "Old Growth Trees", good stream care, and erosion control have been practiced on these lands. All this effort has made Red Tree Property lands a good example of forest management that should emulated and encouraged

87  
EXHIBIT I

VOICE VOTE

MOTION CARRIED AND SO ORDERED. PASSED 4-1/WITH COMMISSIONER SKILLICORN VOTING NO.

**BREAK 10:15 - 10:30**

**H. SCHEDULED ITEMS:**

**ITEM H-1**

PROPOSAL TO REZONE 10 1 ACRES FROM THE "SU" SPECIAL USE TO THE "TP" TIMBER PRODUCTION ZONE DISTRICT. REQUIRES A REZONING. PROPERTY LOCATED ON THE NORTHEAST SIDE OF CHINA GRADE ABOUT 6 MILES NORTHWEST FROM THE INTERSECTION OF CHINA GRADE AND HIGHWAY 236 NORTH OF BIG BASIN STATE PARK.

OWNER: REDTREE PROPERTIES LP  
APPLICANT: HAMILTON SWIFT LAND USE CONSULTANTS  
SUPERVISORIAL DIST: 3  
PROJECT PLANNER: CATHLEEN CARR, 454-3225

**CATHLEEN CARR:** Showed slides of the General Plan map and project site. Noted the timber management plan, timber stocking standards, and the property is consistent with the Forest Practices Rules. Gave Recommendation for action.

**PUBLIC HEARING OPENED**

**JOHN SWIFT:** Support staffs recommendation but have concerns about some of the conditions. Circumstances don't warrant condition for 300' foot setback. Also concerned about restriction on use of logging road.

**DAVE HERMAN:** Worked on property for 22 years. These conditions aren't necessary for operating a tree farm. Property is part of the San Mateo County forest unit. Very concerned about restriction on the use of the road.

**COMMISSIONER RUTH:** What is property in San Mateo County zoned and what are the conditions?

**DAVE HERMAN:** All zoned for timber harvest without conditions.

**DAVE HOPE:** Reviewed timber rules on the use of roads; broad definition in the Forest Practices Act. This will help to manage property.

**COMMISSIONER BREMNER:** Can roads be used to access other lots?

**DAVE HOPE:** That's acceptable.

**CATHLEEN CARR:** Suggested change in permit condition.

**COMMISSIONER SHEPHERD:** That makes sense to the lay person.

**COMMISSIONER SKILLICORN:** Has a problem with the broad meaning of the road. Major conflict between the County and the State over timber rules.

**DAVE HOPE:** Reason is that reference to definitions is common- but there is change over time.

**PUBLIC HEARING CLOSED**

**COMMISSIONER HUMMEL:** Do road restrictions conflict?

**CATHLEEN CARR:** Made clarification between logging roads and access road.

Motion / Under discussion :

**COMMISSIONER SHEPHERD:** Wants to amend Condition II.C. 1. to relax.

**COMMISSIONER RUTH:** Would be in favor of eliminating the condition.

**CATHLEEN CARR:** Adding the condition to all vacant parcels so that a dwelling does not preclude future timber harvest.

**COMMISSIONER SHEPHERD:** Supports deleting condition.

**MR. HERMAN:** Part of a much larger piece of timber land. Parts of property will be logged from other locations.

**COMMISSIONER HUMMEL:** Agree to eliminate condition II.C. 1.

**MOTION**

**COMMISSIONER HUMMEL** MOVED TO APPROVE STAFF RECOMMENDATION WITH REVISED CONDITIONS. SECONDED BY COMMISSIONER BREMNER.

VOICE VOTE

0872

Planning Commission  
County Government Center  
701 Ocean Street, Room 400  
Santa Cruz, CA 95060

Attn: Project Planner Cathleen Carr  
Attn: Planning Commissioners  
Re: H1 980569 Apr(S): 086-I 1-04

We the community residents of Section 35 object to this proposal based on the use of highway 236 as the transportation means for transporting equipment for the purpose of Timber Harvesting or transporting timber.

We are writing to object to the proposal to rezone 101 acres from Special Use to Timber Production. We do not object to Redtree Properties LP timber harvesting, they have done diligence to preserve the forests in previous logging operations. We do object to the use of the north end of Highway 236 between China Grade and Highway 9 for logging operations, we are concerned with the safety of the residents and tourists use of state highway 236.

The residents in the area object to Logging Trucks using highway 236 for transportation of harvested trees or transportation of heavy equipment for the purpose of harvesting trees. The north end of Highway 236 is an undivided narrow road, single lane in some sections. It is unsafe to have logging trucks share the same one lane road with residential traffic (parents driving their children to school), or tourists driving through to view the majestic redwoods.

Our community has negotiated with previous logging operations regarding the use of Hwy 236. One logging operation in the area was restricted from using highway 236 at school commute hours. Another operation was required to use guide trucks in front of the loggers. These were tried, but unsuccessful in making the road safe for both logging trucks and residents. Many times I have met a logging truck on a blind corner and had to ditch into the side of the hill or hug the edge of the road and pray that I don't get hit or fall off the edge. The trucks are too long to stay on their side of the road in the corners, they can't begin to negotiate the corner unless they use the whole road, and the majority of the turns in the road are blind corners.

Highway 236 is not wide enough for logging trucks and two way resident or tourist traffic. We are not willing to stand by and sacrifice someone's life, or their child's life just so the Timber harvesters can use a road was not designed or planned for large equipment vehicles. The state highway system does not recommend dual axle travel trailers or recreational vehicles on the north end of Highway 236 as posted by a sign near the intersection of 236 and Hwy 9. Why should logging trucks be an exception? If any one of those trucks were to collide with a vehicle, loaded or unloaded the outcome would be devastating.

Connie DeJong  
Scott Cherf  
Jackie Gabbert  
Ron Gabbert  
Becky Glaser  
Doug Spilman  
Brenda Tisser  
Joe Tisser  
Debbie Gilbert  
Dennis Gilbert

*Connie DeJong* 3-20-99