

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT

Date: December 13, 2000 0368  
Agenda Item: 2  
Time: After 9:00 a.m.

## STAFF REPORT TO THE PLANNING COMMISSION

APPLICATION NO.: 98-0857

APN: 041-233-50

APPLICANT: Kathy Casey, Casey Consulting

OWNERS: Frank and Grace Ann Verduzco

PROJECT DESCRIPTION: Proposal rezone property from the R-1-l acre zone district to the R-1-10 zone district, to create four, single family residential lots, and to construct four single family dwellings. Requires a Rezoning, a Minor Land Division, and a Roadway/Roadside Exception to reduce Jaunell Road from the required 56-foot right of way and 36-foot roadway to a 40-foot right-of-way and a roadway ranging in width from 20-feet to 30-feet, to eliminate the required four-foot planting strip, and to eliminate sidewalks on the southeastern portion of the property from the driveway to Lot 3 to the southeastern parcel boundary.

LOCATION: Property located on the south side of Jaunell Road about 600 feet north from Soquel Drive. Aptos Planning Area.

FINAL ACTION DATE: 90 days after Certification of the Negative Declaration (per the Permit Streamlining Act)

PERMITS REQUIRED: Rezoning, Minor Land Division, and Roadway/Roadside Exception

ENVIRONMENTAL DETERMINATION: Negative Declaration with Mitigations (Exhibit "E").

COASTAL ZONE: \_\_\_\_ yes X no

### PARCEL INFORMATION

PARCEL SIZE: 2.06 acres

EXISTING LAND USE:

PARCEL: One single-family dwelling

SURROUNDING: Single-family and Multi-family Residential

PROJECT ACCESS: Jaunell Road

PLANNING AREA: Aptos

LAND USE DESIGNATION: Urban Very Low Density Residential (R-UVL)

ZONING DISTRICT: R-1 - 1 acre, existing; R- 1 - 10, proposed

SUPERVISORIAL DISTRICT: Second District

### ENVIRONMENTAL INFORMATION

<u>Item</u>	<u>Comments</u>
a. Geologic Hazards	a. No mapped hazards.
b. Soils	b. USDA Soil Type 135, Elkhorn sandy loam, 15 - 30% slopes. A soils report has been submitted and accepted.
c. Fire Hazard	c. Low
d. Slopes	d. Slopes within building envelopes are less than 5%.
e. Env. Sen. Habitat	e. Riparian habitat

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- |                       |  |
|-----------------------|--|
| f. Grading            | f. Approximately 390 cubic yards of cut and 7 12 cubic yards of fill, to level building sites and facilitate drainage  |
| g. Tree Removal       | g. Four mature oaks and one mature maple are proposed to be removed to construct the road and homes. Replacement trees are proposed  |
| h. Scenic             | h. Not visible from a designated scenic corridor.  |
| i. Drainage           | i. Within Zone 6 Drainage District.  |
| j. Traffic            | j. Traffic on Jaunell Road and Soquel Drive operates at an acceptable level of service; any increase from the proposed project will not result in a reduction of the level of service. |
| k. Roads              | k. Improvements to Jaunell Road are proposed   |
| l. Parks              | l. Park fees are required.   |
| m. Sewer Availability | m. Sewer service is available for the proposed development. Sewer will be extended to serve all lots.  |
| n. Water Availability | n. Municipal water is available from the Soquel Creek Water District, for both domestic use and fire protection. Water will be extended to serve all lots.                             |
| o. Archeology         | o. Within mapped resource area   |

## SERVICES INFORMATION

W/in Urban Services Line: X y e s - n o

Water Supply: Soquel Creek Water District

Sewage Disposal: Santa Cruz County Sanitation District

Fire District: Aptos/La Selva Fire Protection District

Drainage District: Zone 6 Drainage District

## ANALYSIS & DISCUSSION

### Background

On December 18, 1998, the County Planning Department accepted this application for a Rezoning, Minor Land Division and Roadway/Roadside Exception. In accordance with the California Environmental Quality Act (CEQA) and the County Environmental Review Guidelines, the project was considered by the County Environmental Coordinator on August 21, 2000. Comments from the project applicant and the State of California Department of Transportation were received on the initial study during the comment period (Exhibit "E"). Modifications to the proposed mitigation measures were made in response to comments received. A Negative Declaration with Mitigations was issued on September 28, 2000 (Exhibit "E").

The applicant requests approval to create four single-family lots and construct three homes on the new parcels created. The existing home would be moved to meet applicable setbacks on one of the new lots created. The request requires a Rezoning, a Minor Land Division, and a Roadway/Roadside Exception to reduce Jaunell Road from the required 56-foot right of way and 36-foot roadway to a 40-foot right-of-way and a roadway ranging in width from 20-feet to 30-feet, to eliminate the required four-foot planting strip, and to eliminate sidewalks on the southeastern portion of the

property from the driveway to Lot 3 to the southeastern parcel boundary.

### **Project Setting & Surroundings**

The subject parcel is 2.1 gross acres in area ( 89,615 square feet) and is located on Jaunell Road, about 600 feet north from Soquel Drive. There is an existing single family dwelling and several out buildings on the parcel, which has been used as a nursery in conjunction with the dwelling. All of the proposed new parcels would be accessed directly from Jaunell Road, which curves around the parcel creating the northern and eastern boundary of the property. Large lot single-family dwellings with an average parcel size of 1.6 acres, are located to the south of the subject parcel, and are zoned R-1 -1 acre (Attachment 3 to Exhibit "E"). Smaller parcels, with an average parcel size of 25,156 square feet, are located to the north of the subject parcel and are zoned R-1-20. Single family residential parcels with an average size of 8,382 square feet are located to the northwest of the subject parcel and are zoned R-1-6. An apartment complex and a triplex are located to the southwest and south, and are zoned RM-5.

The site topography consists of nearly level to gentle slopes near Jaunell Road with steep slopes along the southeast side of the site away from Jaunell Road. There are two areas of slopes in excess of 30%, totaling 22,932 square feet, on the southeastern and southern portion of the parcel, adjacent to the large lot residential development. The site is located in a broad drainage ravine that encompasses several properties to the east. Through soils testing and evaluation of a potential wetland on the property, it was determined that the less sloping areas of the parcel are covered with approximately four feet of Aromas Formation till. It appears that this fill may have resulted from the construction of Jaunell Road and from grading activities to clear building envelopes on surrounding properties. The total volume of existing fill on the parcel is estimated to be 4,000 to 5,000 cubic yards. Soils on the filled portion of the site indicate that the parcel may have supported wetland or riparian habitat prior to the grading and filling.

Vegetation on the site includes both hydrophytic (water-loving) and drought tolerant plants. Some subsurface soils on the parcel are saturated, possibly the result of perched surface water, an existing grey water sump from the existing home, and/or up-slope subsurface movement from the well-defined riparian corridor to the northeast. Vegetation on the less sloped areas of the parcel includes oak trees, arroyo willow, chaparral species and small horsetail. The more steeply sloped hillsides are vegetated with oak and madrone, with a minor understory of poison oak, rose and oak seedlings.

### **Project Description**

The applicant proposes to create four single-family residential parcels ranging in size from 10,015 square feet, net developable area, to 14,810 square feet, net developable area. The existing dwelling would be located on proposed Lot 2, and would be relocated to meet applicable setbacks. The applicant is also proposing to build three new single-family homes.

As part of the land division the applicant proposes construction of improvements to Jaunell Road. Also proposed are site improvements that would include sidewalks, underground utilities, and drainage facilities for the proposed development.

## General Plan & Zoning Consistency

The project site has a General Plan land use designation of “R-UVL” or Urban Very Low Density Residential (see Attachment 4 to Exhibit “E”). This designation allows a density range of 1 .0 to 4.3 units per net developable acre, which corresponds to lot size requirements of 10,000 square feet to one acre of net developable parcel area. The objective of this land use designation is to provide for areas of residential development on large lots at very low densities, inside the Urban Services Line, which have a full range of urban services. This designation is appropriate for sites such as the subject parcel, with environmental constraints, and as a transition to adjacent rural density development. All of the new lots proposed are larger than 10,000 square feet, net developable area,

The project is currently located in the R-1-1 acre zone district. A map of area zoning designations is included as Attachment 3 to Exhibit “E.” This property, and other surrounding parcels were zoned R- 1 - 1 acre following the adoption of the County’s 1994 General Plan and enactment of the General Plan designation of “R-UVL.” The zoning designation reflected the fact that parcels in this area are served by septic systems, and County Code Section 7.38.045 requires a minimum parcel size of one acre for individual septic systems. The R-1-1 acre zone district applicable to this parcel was not intended to reflect individual site constraints other than sewer availability. The applicant has requested a rezoning to R-1-1 0, which would allow a minimum lot size of 10,000 square feet of net developable area. Because portions of the parcel include slopes in excess of 30%, which are not developable land, only four parcels would be allowed by R- 1 - 10 zoning. The gross area of the four parcels proposed would range from 15,385 square feet to 31,640 square feet, for an average gross density of 22,104 square feet.

The R-1-1 0 zoning requested appears appropriate for the subject parcel, based on site constraints and the character of surrounding development. Directly south and southwest of the subject parcel are parcels developed with apartments and zoned RM-5 (see Attachment 3 to Exhibit “E”). To the southwest are parcels developed with single-family homes and zoned R-1-6. The average size of these parcels is 10,244 square feet, gross area. Parcels to the north are zoned R-1-20 and are also developed with single-family homes. The average gross area for those parcels is 25,863 square feet. Parcels to the east are zoned R- 1- 1 acre, and the average gross area is 1.6 acres. The proposed R- 1- 10 zoning would provide a transition between higher density housing to the south and southwest and large lot development to the north. The density would be lower than single-family residential development to the south and west, and would be almost identical to development to the north.

All of the proposed new dwellings meet development standards for the R-1-10 zone district. For this district, the applicable setbacks are: twenty feet in the front, ten feet on the side, and fifteen feet in the rear. Homes have been located on the lots to provide additional separation between the proposed development and existing development, and to provide adequate setbacks from slopes in excess of 30%. Each proposed dwelling covers 30% or less of the total lot and the proposed floor area ratio on all lots is less than 50%. The proposed building footprints are included as part of the Site and Landscape Plan found in Exhibit “A,” which also includes the gross building area, lot coverage and floor area ratio for each parcel. Architectural designs are also included in Exhibit “A.”

## Design Review Issues

Because the project is a land division located inside the Urban Services Line, it is subject to the provisions of County Code Chapter 13.11; Site, Architectural and Landscape Design Review. A primary purpose of the Design Review ordinance, as defined by General Plan Objective 8.1, is to achieve functional high quality development through design review policies that recognize the diverse characteristics of the area, maintain design creativity, and preserve and enhance the visual fabric of the community. Because the proposed project is an urban infill development, the applicant has submitted a site plan, an axonometric drawing, and architectural floor plans and elevations, all of which are included in Exhibit "A."

The applicant proposes to construct homes on three of the new lots created. Architectural floor plans and elevations for the proposed homes are included in Exhibit "A." Three different home plans are proposed for the project. Homes are proposed to be two story with a variety of accent treatments. Proposed materials include stucco or horizontal wood siding exterior finishes various accents and trim. Roofing materials are proposed to be composition shingle. The size of the proposed homes ranges from 3,342 square feet to 3,588 square feet. All plans include design features such as single-story elements, variation in wall planes and details, porches and articulated roof lines for additional visual interest. Because of the topography of the site and surrounding properties, no second story windows would face directly into the side or rear yards of existing development.

To assure that the final construction is in conformance with the information submitted, a condition of approval has been included that requires all construction to be as presented in Exhibit "A." An additional condition of approval has been incorporated that prohibits changes in the placement of, windows that face directly towards existing residential development without review and approval by the Planning Commission. Conditions of approval have been also been included to require the use of siding materials as presented, and to require that color combinations be interspersed throughout the development.

The proposed project has been designed to complement and harmonize with the existing and proposed land uses in the vicinity. It will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood. Home designs are consistent with existing development. Although the homes proposed are larger than surrounding homes, the larger lot sizes proposed result in a scale and mass that is similar to surrounding development.

Because the proposed project is subject to the County's Design Review Ordinance, Chapter 13. I 1, the project design is required, to the extent feasible, to incorporate mature trees into the design of the project. After redesign, only four mature oak trees and possibly one mature maple tree will be removed, which is consistent with the design review ordinance. Replacement trees, 24-inch box oak trees, are proposed to mitigate the potential loss of existing mature trees.

## Roadway and Roadside Improvement Issues

The applicant has requested a Roadway/Roadside exception to County Design Criteria standards for urban roads. The requested exception would reduce Jaunell Road from the required 56-foot right of way and 36-foot roadway to a 40-foot right-of-way and a roadway ranging in width from 20-feet

to 30-feet, eliminate the required four-foot planting strip, and eliminate sidewalks on the southeastern portion of the property from the driveway to Lot 3 to the southeastern parcel boundary. County Code Section 15.10.050 allows for an exception to County Design Criteria when the improvements are not appropriate due to the character of development in the area and the lack of improvements on surrounding developed property and when local topographic conditions render the improvements physically infeasible. Both of these conditions are applicable to the proposed project. Although the subject parcel is located within the Urban Services Line, the existing configuration of Jaunell Road is more rural in nature, and surrounding developed property is not improved, with the exception of an asphalt concrete sidewalk on Jaunell Road adjacent to the apartment complex. The applicant is proposing improvements that would provide adequate vehicular access and fire access, would provide additional on-street parking, and would include sidewalks to serve the new development. The proposed improvements are consistent with the rural feel and large lots in the area, and would improve existing conditions on Jaunell Road considerably.

### **Biotic Issues**

The parcel has undergone extensive review to determine if the presence of saturated soils and hydrophytic vegetation (in this case willows and horsetail on the surface and buried remnant water loving plants) would constitute a wetland [Reference "Soils, Drainage and Wetland Evaluation Report, dated February 27, 1999 (Attachment 9 to Exhibit "E"), letter dated July 15, 1999 from Bill Davilla, Ecosystems West (Attachment IO), and letter dated August 5, 1999, from Paia Levine, Resource Planner (Attachment 11 to Exhibit "E")]. It was determined, based on site inspections and information provided, that the area on the parcel supporting willows is a riparian woodland, as opposed to a wetland. The project has been substantially redesigned from the original submittal to maintain the existing riparian woodland on Lot 2 and to maintain a minimum 10-foot setback from this resource. In addition, drainage on Lot 2 has been designed to allow some overland flow through the riparian woodland, with the excess diverted to grated inlets on the southwestern parcel boundary.

A restoration plan dated February 3, 2000, has been prepared to address unpermitted clearing of riparian vegetation on the subject parcel (Attachment 12 to Exhibit "E"). The plan calls for planting six red willow saplings and allowing other riparian vegetation, such as poison oak and blackberries to reestablish in the designated area without additional clearing or disturbance.

The preliminary improvement plans were reviewed by Alan C. Beverly, Consulting Arborist, to determine if proposed improvements would have undesirable impacts on existing mature oak trees that are to be retained (Attachment 13 to Exhibit "E"). The consulting arborist determined that proposed improvements will not compromise the future of nearby trees, and that the minimum roadway clearance required by the fire department can be achieved by pruning individual branches which will also not compromise the future of the trees adjacent to Jaunell Road. The project, therefore, involves removal of only four or five mature trees.

### **Environmental Review Issues**

The project was considered by the County Environmental Coordinator on August 21, 2000. A Negative Declaration with Mitigations was issued on September 29, 2000 (see Exhibit "E"). Mitigation measures have been incorporated into the Conditions of Approval for all environmental impacts identified as potentially significant.

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## **Conclusion**

All required findings can be made to approve this application. The project is consistent with the General Plan in that the project constitutes a residential use. The proposed density is compatible with the existing density and intensity of land use in the surrounding area, and is consistent with the zoning designation of the subject parcel. The project, as conditioned, will not have a significant effect on the environment.

Please see Exhibit "B" (Findings) for a complete listing of findings and evidence related to the above discussion.

## **RECOMMENDATION**

Staff recommends that your Commission adopt the attached Resolution (Exhibit "D"), sending a recommendation to the Board of Supervisors for approval of Application No. 98-0869 based on the attached Findings (Exhibit "B") and subject to the attached Conditions (Exhibit "C"), and Certification of the Mitigated Negative Declaration as complying with the requirements of the California Environmental Quality Act (Exhibit "E").

## **EXHIBITS**

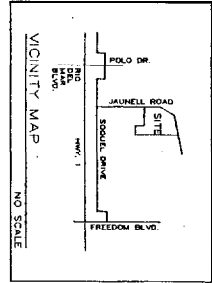
- A. Site and Landscape Plan by Casey Consulting, dated 3/14/00; Tentative Parcel Map by Dunbar and Craig, dated 8/98; Preliminary Improvements Plans by Freitas and Freitas, dated 3/00; Axonometric Plan by Casey Consulting, dated 12/16/99; Architectural Plans by Alan Mascord Design Associates, dated 1/7/98.
- B. Findings
- C. Conditions of Approval
- D. Planning Commission Resolution
- E. Mitigated Negative Declaration and Environmental Review Initial Study

**SUPPLEMENTARY REPORTS AND INFORMATION REFERRED TO IN THIS REPORT ARE ON FILE AND AVAILABLE FOR VIEWING AT THE SANTA CRUZ COUNTY PLANNING DEPARTMENT, AND ARE HEREBY MADE A PART OF THE ADMINISTRATIVE RECORD FOR THE PROPOSED PROJECT.**

Report Prepared By: Cathy Graves  
 Santa Cruz County Planning Department  
 701 Ocean Street, 4th Floor  
 Santa Cruz CA 95060  
 Phone Number: (831) 454-3141

Report prepared by: \_\_\_\_\_  
 Cathy Graves  
 Principal Planner

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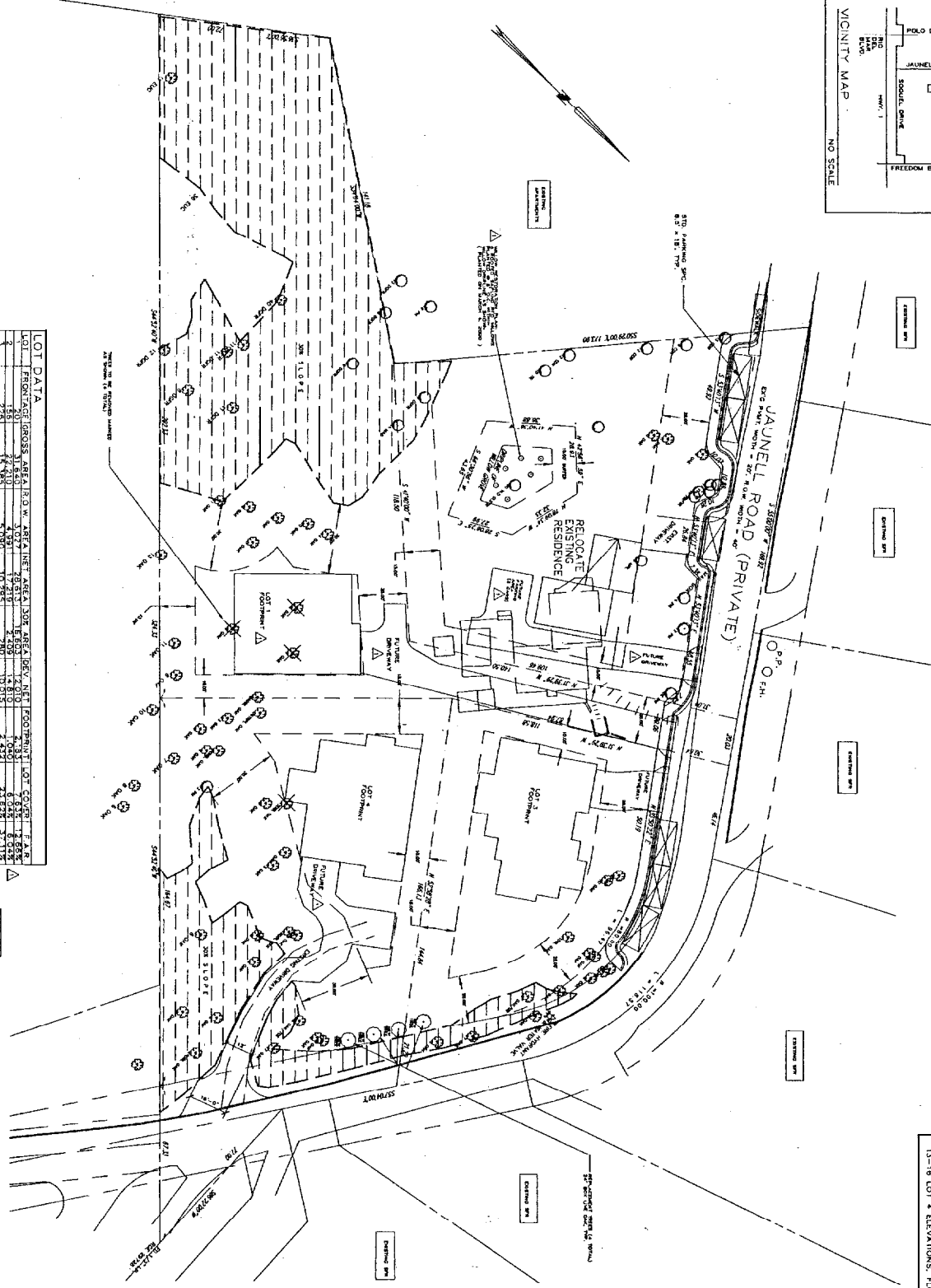


## SITE PLAN & LANDSCAPE PLAN

1" = 20'

LOT	FRONTAGE	GROSS AREA	NET AREA	LOT AREA	DEVELOPABLE AREA	FOOTPRINT	LOT COVER	1" = 20'
1	150'	10,000	7,500	7,500	7,500	1,000	13.3%	
2	150'	10,000	7,500	7,500	7,500	1,000	13.3%	
3	150'	10,000	7,500	7,500	7,500	1,000	13.3%	
4	150'	10,000	7,500	7,500	7,500	1,000	13.3%	
5	150'	10,000	7,500	7,500	7,500	1,000	13.3%	
6	150'	10,000	7,500	7,500	7,500	1,000	13.3%	
7	150'	10,000	7,500	7,500	7,500	1,000	13.3%	
8	150'	10,000	7,500	7,500	7,500	1,000	13.3%	
9	150'	10,000	7,500	7,500	7,500	1,000	13.3%	
10	150'	10,000	7,500	7,500	7,500	1,000	13.3%	
TOTAL	1,500'	100,000	75,000	75,000	75,000	10,000	13.3%	

NOTES: 1. R.O.W. AREA INCLUDES ROAD.  
2. LOT 1 R.O.W. AREA INCLUDES AREA EAST OF JAUNELL ROAD R.O.W.  
3. LOT 2 30% AREA INCLUDES WILLOW PRESERVE AREA.



- 1. SITE PLAN & LANDSCAPE PLAN
- 2. TENTATIVE PARCEL MAP
- 3. 2-D WEST PERSPECTIVE
- 4. LOT 1 ELEVATIONS, FLOOR PLANS
- 5. LOT 2 ELEVATIONS, FLOOR PLANS
- 6. LOT 3 ELEVATIONS, FLOOR PLANS
- 7. LOT 4 ELEVATIONS, FLOOR PLANS
- 8. LOT 5 ELEVATIONS, FLOOR PLANS
- 9. LOT 6 ELEVATIONS, FLOOR PLANS
- 10. LOT 7 ELEVATIONS, FLOOR PLANS
- 11. LOT 8 ELEVATIONS, FLOOR PLANS
- 12. LOT 9 ELEVATIONS, FLOOR PLANS
- 13. LOT 10 ELEVATIONS, FLOOR PLANS

<p>1</p>	<p>DATE: 12/16/99</p>	<p>PROJECT: VERDUZCO MLD</p> <p>OWNER: FRANK &amp; GRACE ANN VERDUZCO</p> <p>220 JAUNELL ROAD</p> <p>SANTA CRUZ COUNTY</p> <p>A.P.N. 041-233-60</p>	<p>CASEY CONSULTING</p> <p>LAND USE PLANNING • BUILDING DESIGN</p> <p>1677 WILSHIRE DRIVE, APTOS, CA 95003</p> <p>(631) 686-7100</p>	<p>REVISIONS</p> <p>001-400</p>
	<p>1</p>	<p>1</p>	<p>1</p>	<p>1</p>

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EXHIBIT A



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EXHIBIT A

APN 041-431-11  
KRIS TAMAKI  
FORMERLY 2828-OR-188

APN 041-431-10  
MARK NELSON, ET UX  
#47275 - 8/14/98

APN 041-431-09  
RANDALL EVANS  
#95443 - 12/17/92

APN 041-233-57  
FRANK HEIDENFELDER, ET UX  
PARCEL A  
22-PM-72

APN 041-233-58  
GEORGE BAGGOTT, ET UX  
PARCEL B  
22-PM-72

APN 041-233-53  
GARY LOW, ET UX  
PARCEL C  
22-PM-72

APN 041-233-54  
VERLE MERRITT, ET UX  
PARCEL D  
22-PM-72

APN 041-233-70  
STEVEN STILES, ET UX  
PARCEL A  
51-PM-5

APN 041-233-30  
PENO SARALIEV, ET UX  
#28936 - 6/27/97

APN 041-233-63  
HARPAL GILL, ET UX  
PARCEL A  
34-PM-14

APN 041-233-64  
ROBERT SCHMIDT, ET UX  
PARCEL B  
34-PM-14

TREE LEGEND

- 10 OAK = 10 INCH DIAMETER OAK
- 10 DOG = 10 INCH DIAMETER DOUGLAS FIR
- 10 PN = 10 INCH DIAMETER PINE
- 10 MP = 10 INCH DIAMETER MAPLE
- 10 WL = 10 INCH DIAMETER WILLOW
- 10 EUC = 10 INCH DIAMETER EUCALYPTUS

APN 041-233-71  
FRANK WARTHEMANN, ET UX  
PARCEL B  
51-PM-5

GRAPHIC SCALE



<b>DUNBAR and CRAIG</b> LICENSED LAND SURVEYORS 1011 CEDAR STREET, SANTA CRUZ, CA 95060 P.O. BOX 1016, SANTA CRUZ, CA 95061 (408) 425-7533		<b>TENTATIVE PARCEL MAP</b> of the lands of <b>VEROLIZO</b> Located in <b>APTOS RANCHO</b> County of Santa Cruz, State of California	
DATE: 11-11-98	BY: [Signature]	DATE: 11-11-98	BY: [Signature]
CHECKED: [Signature]	DATE: 11-11-98	CHECKED: [Signature]	DATE: 11-11-98
FILE NO. 8712	ACAD NO.	FILE NO.	OF ONE

ATTACHMENT 5

EXHIBIT A

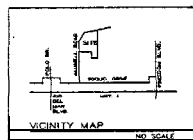
# Legend

- SS Sanitary sewer
- SD Storm drain
- SSMH Sanitary sewer manhole
- SDMH Storm drain manhole
- PR Proposed property line
- SE Sanitary sewer and storm drain easement line
- EP Edge of new pavement
- NHT No parking sign & red curb

GRAPHIC SCALE

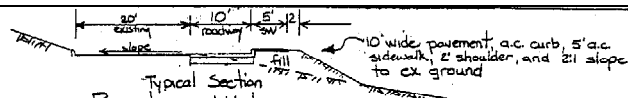
(1 IN. FEET)

1 inch = 30' ft



## Typical Section Roadway Widening

see sheet 3



FIRE LANE  
NO PARKING

UNOBTAINED  
VEHICLE SUBJECT TO  
FINE AND FIVE (5)  
DOWNS FUTURE

Fire Lane Sign

Widen street as shown. Construct new pavement, a/c curb, a/c sidewalk and conforming slope. See typical section

End new sanitary sewer  
SSMH Rm 203.2' Invert 193.2'

## PRELIMINARY IMPROVEMENT PLAN LANDS OF VERDUZCO (APN 041-233-50)

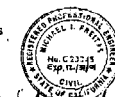
Scale 1"=30'

### Notes

1. Traverse Parcel Map prepared by Dunbar and Craig, Licensed Land Surveyors, shows all proposed lot dimensions.
2. All lot grading will be in conformance with the 9/4/78 and subsequent updates of the Geotechnical Investigation prepared by Ham, Kanunich and Associates, Inc., Project No. SC6331.
3. Potable water service will be provided from an existing 8" waterline located in Juarez Road owned by Sequel Creek County Water District (SCCWD). Service connections will be in accordance with SCCWD requirements.
4. Sanitary sewerage will be provided by Santa Cruz County Sanitation District (SCCSD). A new collection pipeline will need to be constructed to each lot as shown. Each home may require a residential sewage pump station in accordance with Figure SS-1.3 of the Standards, Construction and service requirements will be in accordance with SCCSD requirements. Sanitary wastewater service to Lot #4 will be provided via a private sanitary wastewater easement in the driveway for Lot #1.
5. Storm drainage will be provided by Santa Cruz County Flood Control District, Zone 5 (SCCFCD). A new collection pipeline will need to be constructed to each lot as shown. Construction will be in accordance with SCCFCD requirements.
6. Electrical service to each lot will be provided by PG&E.
7. Gas service to each lot will be provided by PG&E.
8. Telephone service to each lot will be provided by Pacific Bell.
9. Fire protection shall be provided by Apple-Lee Valley Fire Protection District.
10. Available fire flow from potable water system is 1167 gpm @ 66 psi in accordance with information provided by Sequel Creek Water District. Required fire flow for each residence is 1,000 gpm.
11. Existing fire hydrant adjacent to project shall be repositioned to insure that 4.5 inch outlet is parallel to the roadway.
12. Storm Drainage Tributary Area = 1.5 acre, Time of Concentration = 10 min, C = 0.5, P<sub>u</sub> = 1.4, L<sub>u</sub> = 2.0 in, I<sub>u</sub> = 3.0 in, Q<sub>u</sub> = 1.5 cfs, Q<sub>u</sub> = 2.3 cfs.
13. Roadway will be widened as shown. Pavement section will be a minimum of 3" asphalt concrete on 6" of Class II aggregate base compacted to 95% relative compaction. Subgrade, section will be 2" asphalt concrete on 4" Class II aggregate base. Roadway fill will be furnished and compacted as recommended by the soil engineer.
14. Red painted curb and "No Parking Fire Lane" signs shall be placed in accordance with the requirements set at the locations designated by Apple-Lee Valley Fire Protection District.
15. Existing trees along roadway widening area will be protected with retaining walls where feasible.
16. Vegetation along Juarez Road shall be cut back to maintain a minimum of 24 feet clearance.

### List of Civil Engineering Drawings

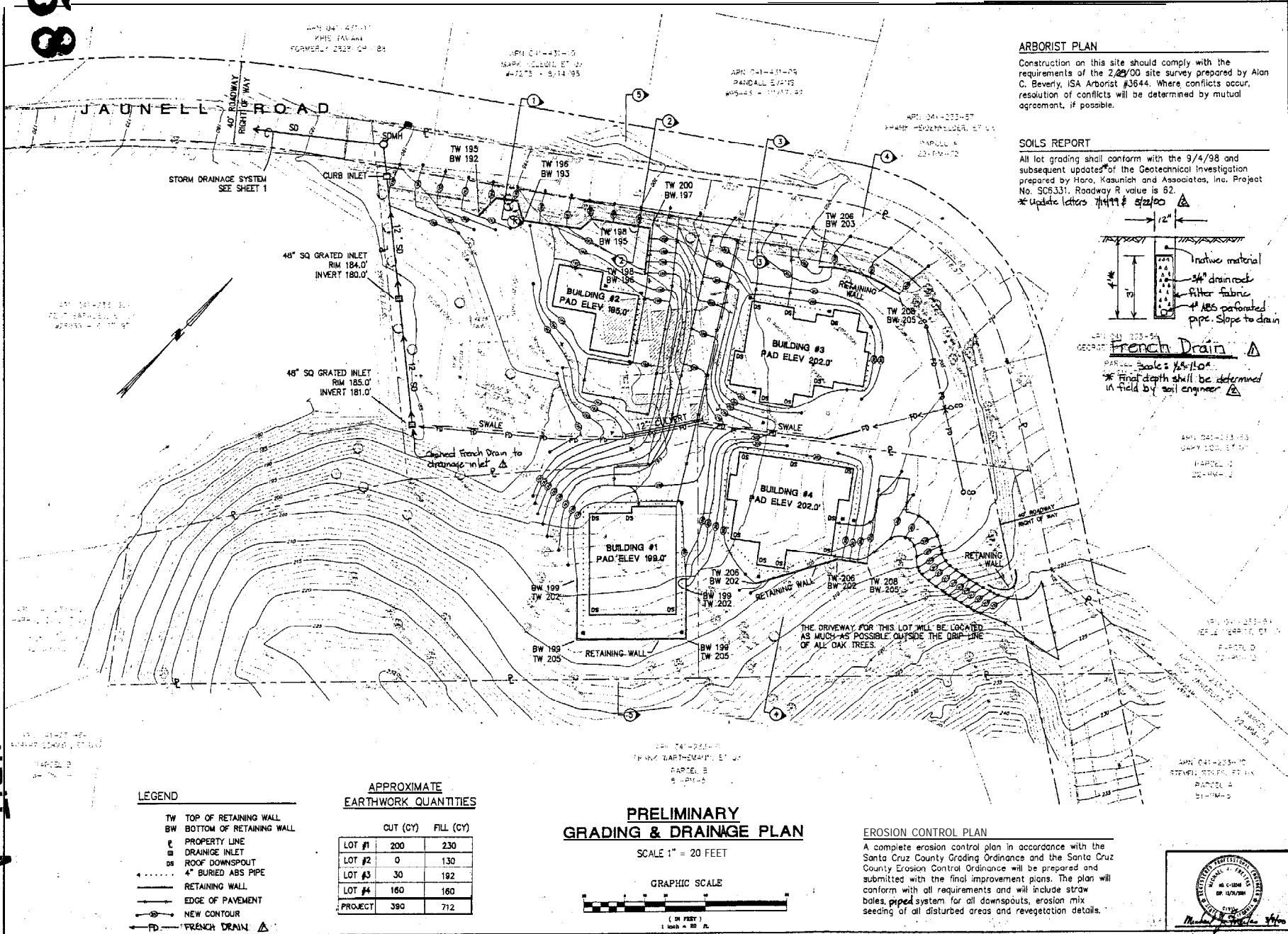
- Sheet 1. - General Plan
- Sheet 2. - Grading & Drainage Plan
- Sheet 3. - Subdivision Cross Sections
- Sheet 4. - Drainage Plan & Report



**FREITAS + FREITAS**  
Engineering and Planning Consultants  
311 Laurent Street  
San Jose, CA 95060  
(408) 429-5018

DUNBAR and CRAIG LICENSED LAND SURVEYORS 1000 E. STREET, SUITE 100, SAN JOSE, CA 95128 (408) 425-1585		Preliminary Improvement Plan Lands of Verduzco (041-233-50) APRIL 1990 Project of Santa Cruz, State of California	
DATE: 3/90	BY: [Signature]	DATE: 9/20/97	BY: [Signature]
FIELD NO.		SHEET NO. 3A	

ATTACHMENT 5



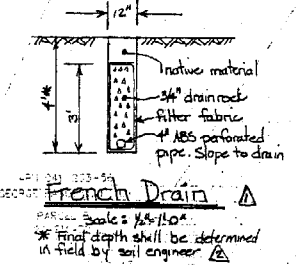
### ARBORIST PLAN

Construction on this site should comply with the requirements of the 2/20/00 site survey prepared by Alan C. Beverly, ISA Arborist #3644. Where conflicts occur, resolution of conflicts will be determined by mutual agreement, if possible.

### SOILS REPORT

All lot grading shall conform with the 9/4/98 and subsequent updates of the Geotechnical Investigation prepared by Haro, Kasunich and Associates, Inc. Project No. SC6331. Roadway R value is 62.

\* Update letters 7/4/99 & 5/22/00

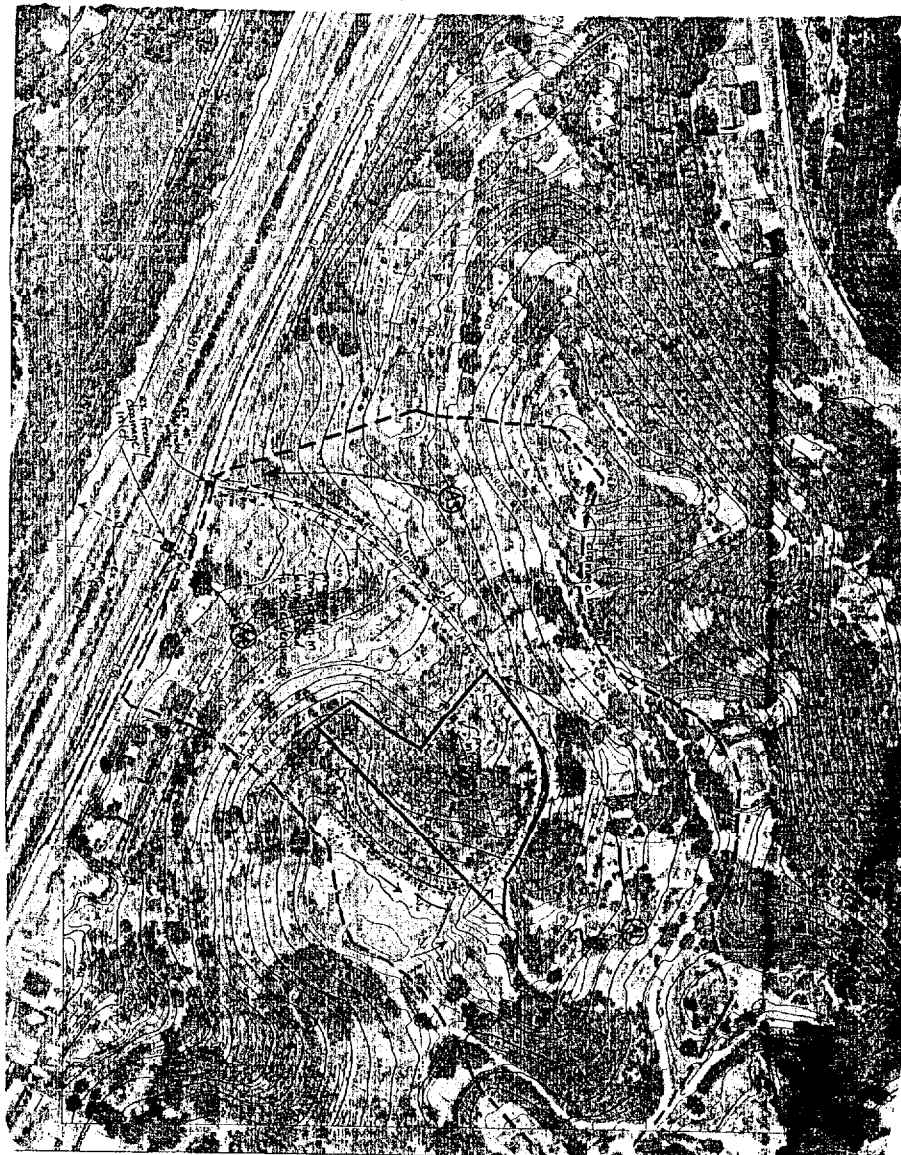


REVISIONS		BY
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2	APR 04/01	AL
3	APR 04/01	AL
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99	APR 04/01	AL
100	APR 04/01	AL

PRELIMINARY GRADING & DRAINAGE PLAN  
LANDS OF VERDUZCO APN 041-233-50  
APTOS, CALIFORNIA

**FREITAS + FREITAS**  
Engineering and Planning Consultants  
380 Laurel Street  
Santa Cruz, CA 95060  
Tel: (831) 426-1334  
Fax: (831) 426-1334

Date	3/00
Scale	As Shown
Drawn	Digital Graphics
Job	98019
Client	Verduzco



1. Science

- Drainage boundary  
Sub drainage boundary  
Sub drainage boundary  
Drainage gauge  
Burned storm drain  
Drainage inlet  
Property line  
Tributary Area

**DRAINAGE PLAN & REPORT**  
**FOR**

**220 JANELL ROAD, APTOS**  
**LANDS OF VIKING CO. CAPN 011 339 59**

Only use these tags: ['p>, 'b>*i>*

This map shows the existing drainage boundaries and facilities which serve the area around the proposed Tentative Map Application No. 98-0857

Most of the drainage in this area has been directed to flow on the surface of Laurel Road by sloping the road toward the uphill side and forcing drainage against an AC curb placed there. AC curbs have been placed along the downhill roadside to keep flow from crossing the Virtualize property.

Along Soguel Drive at 48-inch square flat gravel drainage inlet collects the flow from Jewell Road and transports it to the drainage system that drains the immediately adjacent highway (as shown on the map). The existing drainage inlet is partially sited up. Highway 1 is about 5 feet lower than Soguel Drive in this area.

This project proposes to construct a buried storm drainage system to collect storm water from its own site and deliver it via buried storm drain to Sequest Active. The hydrology for the proposed site is as follows: Tributary Area = 1.5 acre, Time of Concentration = 10 min,  $C = 0.5$ ,  $P_{50} = 1$ ,  $I_{50} = 2$  in,  $I_{100} = 30$  in,  $Q_{10} = 1.5$  cfs,  $Q_{100} = 2.3$  cfs

## Hydrology

In accordance with County Design Criteria for drainage,  $C = 0.45$ ,  $P_{50} = 1.6$ .

Name	Description	Acct	Total Acct	EC	I	Q
		(k)	(w)	(mb)	(h)	(h)
	Above Development	7.9	7.9	14	1.8	6.4
	Development	9.4	14	1.8	1.8	7.6
	At Student Drive	3.8	15	1.5	1.8	10
	Total to Pharmacy	4.1	17.3	16	1.8	14.6

SANTA CRUZ COUNTY  
PUBLIC WORKS DEPARTMENT  
ORTHO / TOPO MAPPING

ZONE 6 DRAINAGE DISTRICT

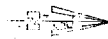
JOB NO.  
SCALE:  
1"=100'  
DWG. NO.

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**AERIAL PHOTOMAPPING SERVICES**  
210 E. 1st St.

From 1980 to 1982, the following data were obtained:

ELEVATIONS MEASUREMENTS  
 CONTINUOUS SYSTEM: NAD 1983  
 CONTROL INTERVAL: 7



### Discussion

58

**FREITAS + FREITAS**  
Engineering and Planning Consultants  
311 Laurent Street Santa Cruz, CA 95060  
(831) 429-5018 FAX (831) 429-1264

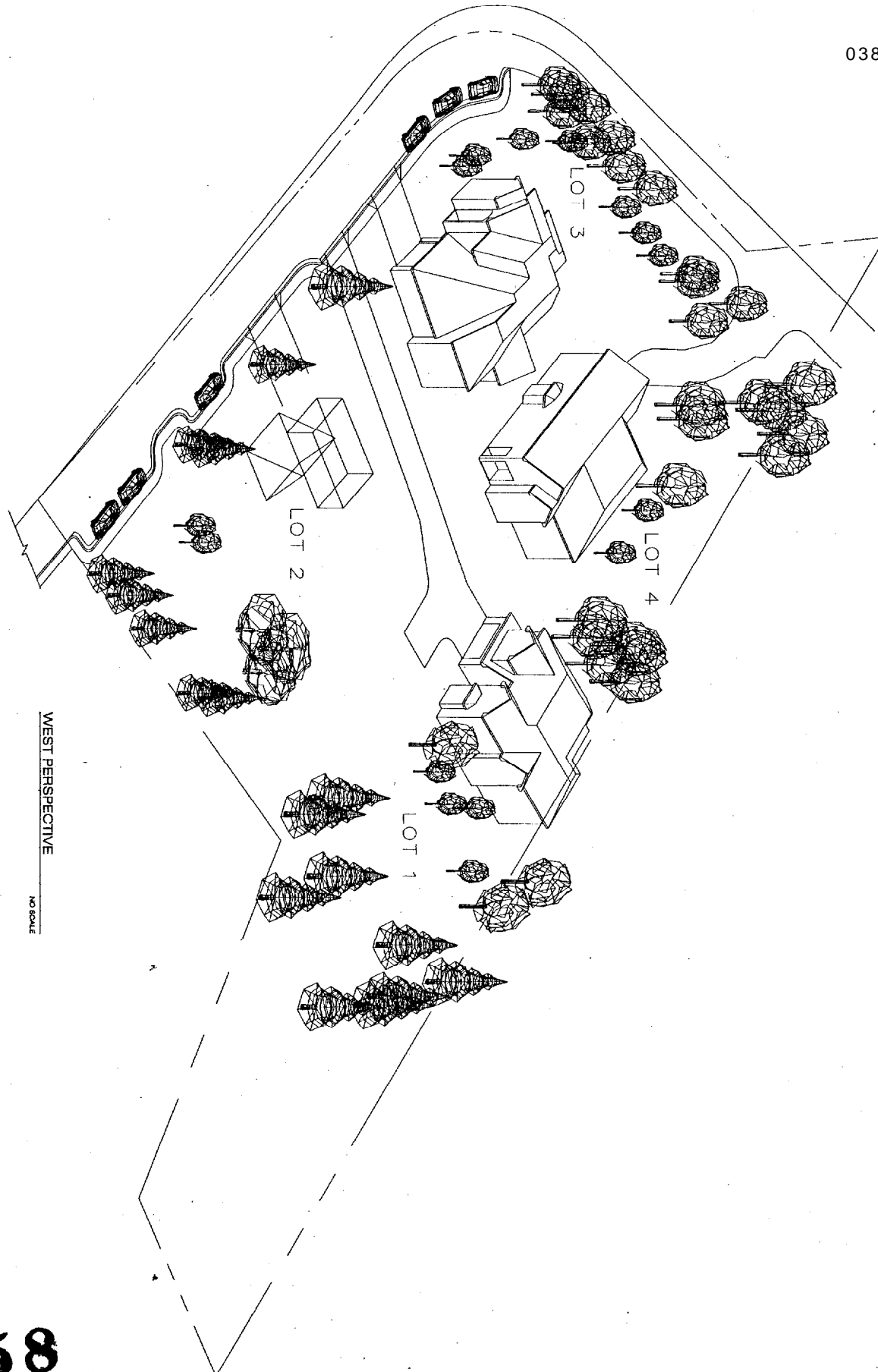
**DRAINAGE PLAN & REPORT**  
**220 JAUNELL ROAD, APTOS**  
**LANDS OF VERDUZCO (APN 041-233-50)**

**EXHIBIT**

REVISIONS	BY

Sheet:

0380



WEST PERSPECTIVE

NO SCALE

58

4

DATE  
12/16/99

PROJECT:  
VERDUZCO MLD  
OWNER: FRANK & GRACE ANN VERDUZCO  
220 JAUNELL ROAD  
SANTA CRUZ COUNTY  
A.P.N. 041-233-50

CASEY CONSULTING  
LAND USE PLANNING • BUILDING DESIGN  
1677 WILSHIRE DRIVE, APTOS, CA 95020  
(831) 688-7104

EXHIBIT

REVISIONS

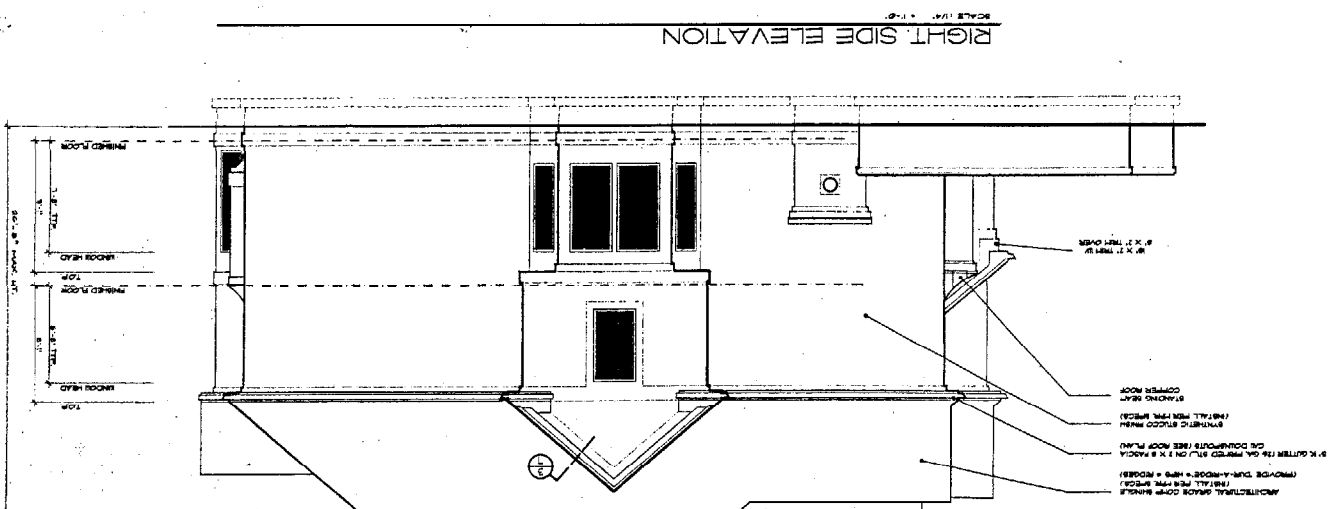
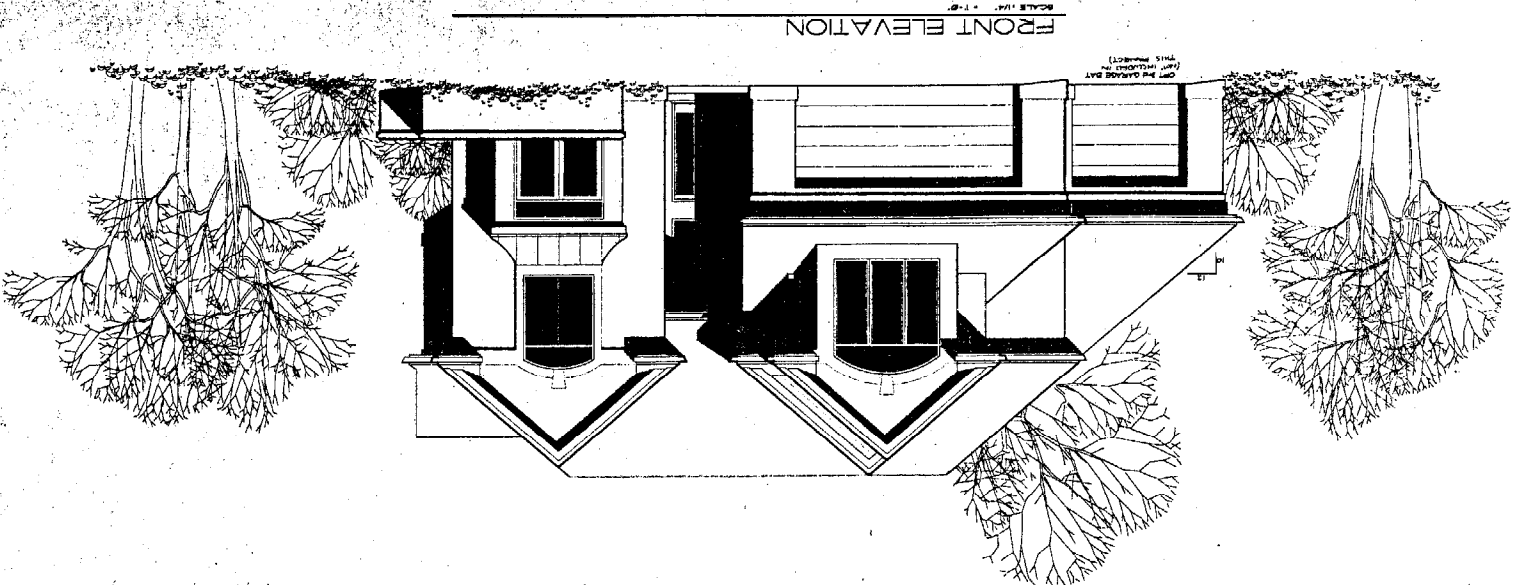


EXHIBIT 58

2320

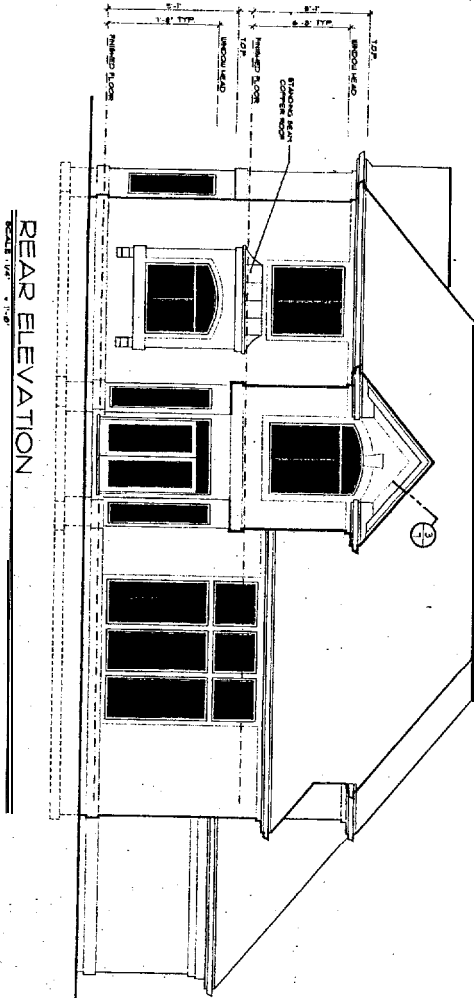
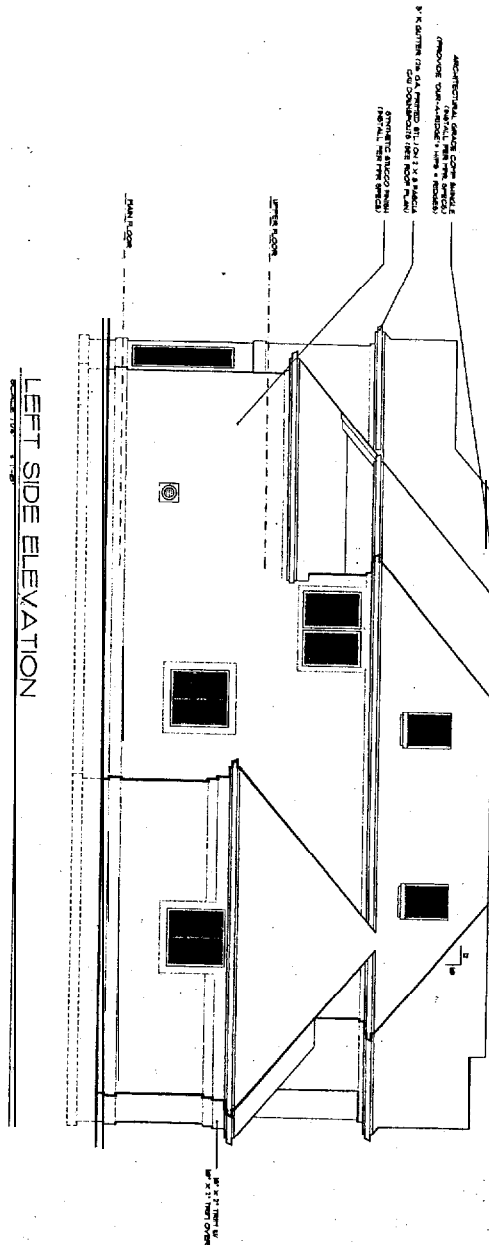
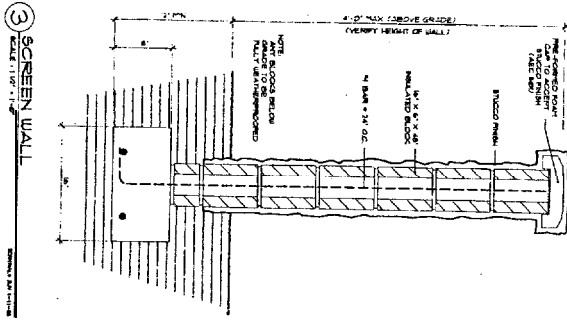
VERDUZCO MLD - LOT 1

**Harold**

COLLECTION

1954-1955 THE NEW YORK PUBLIC LIBRARY ASTOR LENOX TILDEN FOUNDATION 125 WEST 47TH STREET NEW YORK 36, N.Y.

0382



LEFT SIDE ELEVATION

### REAR ELEVATION

**EXHIBIT A**

**Mascord** 

UPPER FLOOR	7644	SQ. FT.
MAIN FLOOR	1868	SQ. FT.
TOTAL AREA	3342	SQ. FT.

**VERDUZCO MLD - LOT 1**

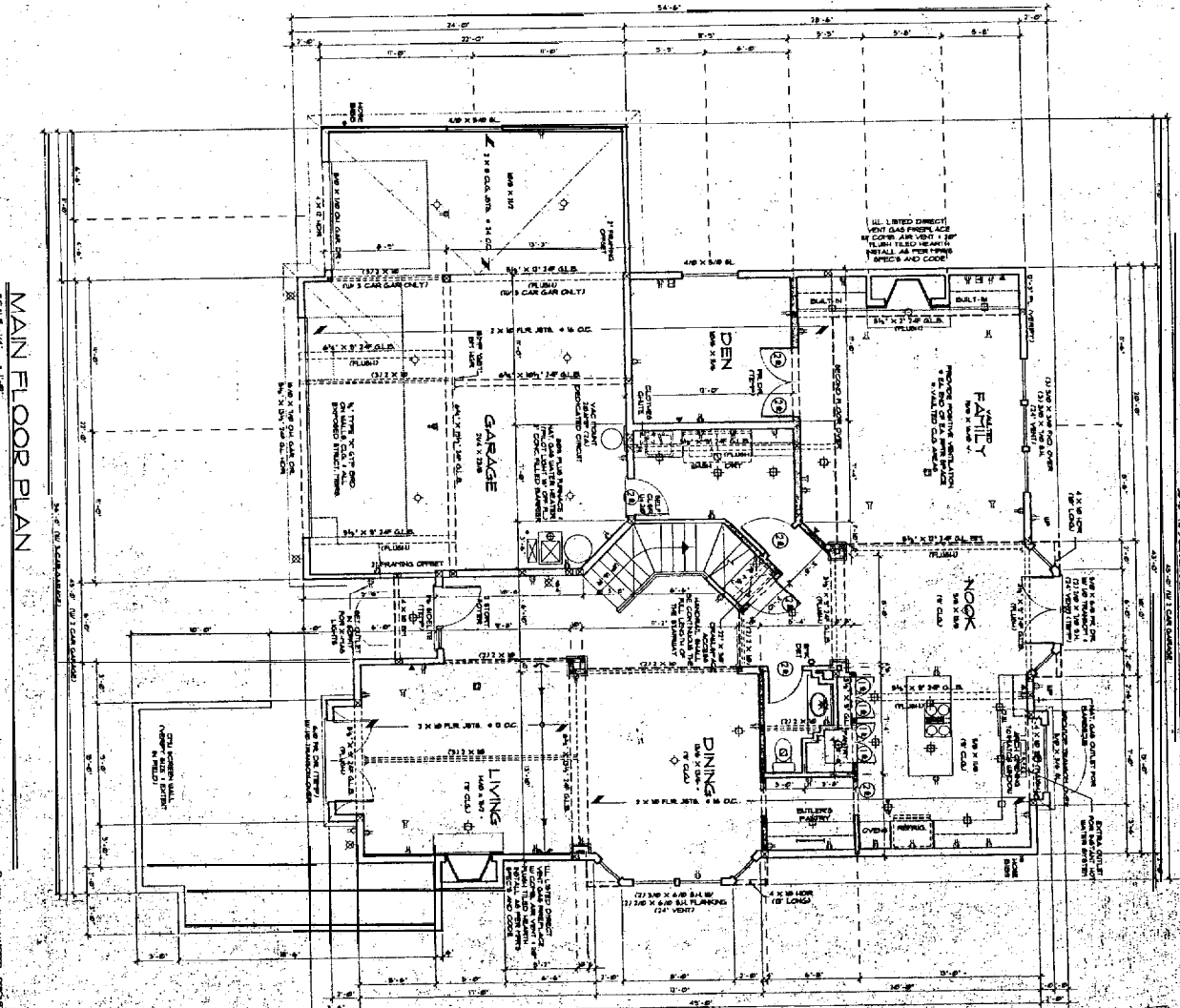
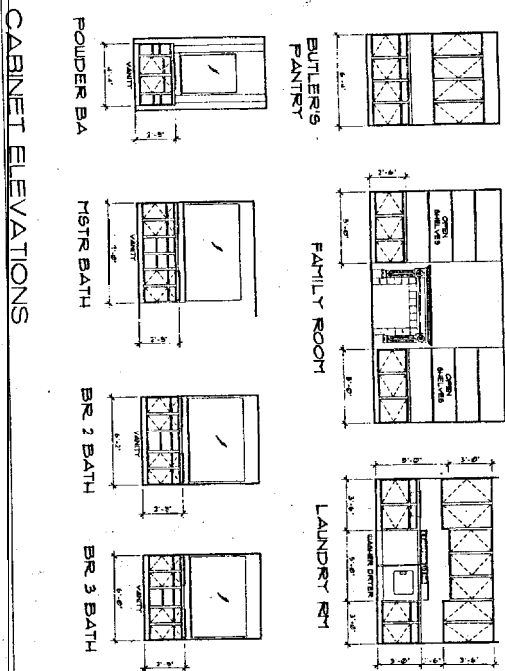
**2320**

5 8

0383

**LEGEND**

1. RECESSED CABINETRY	2. DOWN OUTLET	3. 4" X 4" VENT	4. 4" X 4" VENT
5. RECESSED CABINETRY	6. DOWN OUTLET	7. 4" X 4" VENT	8. 4" X 4" VENT
9. RECESSED CABINETRY	10. DOWN OUTLET	11. 4" X 4" VENT	12. 4" X 4" VENT
13. RECESSED CABINETRY	14. DOWN OUTLET	15. 4" X 4" VENT	16. 4" X 4" VENT
17. RECESSED CABINETRY	18. DOWN OUTLET	19. 4" X 4" VENT	20. 4" X 4" VENT
21. RECESSED CABINETRY	22. DOWN OUTLET	23. 4" X 4" VENT	24. 4" X 4" VENT
25. RECESSED CABINETRY	26. DOWN OUTLET	27. 4" X 4" VENT	28. 4" X 4" VENT
29. RECESSED CABINETRY	30. DOWN OUTLET	31. 4" X 4" VENT	32. 4" X 4" VENT
33. RECESSED CABINETRY	34. DOWN OUTLET	35. 4" X 4" VENT	36. 4" X 4" VENT
37. RECESSED CABINETRY	38. DOWN OUTLET	39. 4" X 4" VENT	40. 4" X 4" VENT
41. RECESSED CABINETRY	42. DOWN OUTLET	43. 4" X 4" VENT	44. 4" X 4" VENT
45. RECESSED CABINETRY	46. DOWN OUTLET	47. 4" X 4" VENT	48. 4" X 4" VENT
49. RECESSED CABINETRY	50. DOWN OUTLET	51. 4" X 4" VENT	52. 4" X 4" VENT
53. RECESSED CABINETRY	54. DOWN OUTLET	55. 4" X 4" VENT	56. 4" X 4" VENT
57. RECESSED CABINETRY	58. DOWN OUTLET	59. 4" X 4" VENT	60. 4" X 4" VENT
61. RECESSED CABINETRY	62. DOWN OUTLET	63. 4" X 4" VENT	64. 4" X 4" VENT
65. RECESSED CABINETRY	66. DOWN OUTLET	67. 4" X 4" VENT	68. 4" X 4" VENT
69. RECESSED CABINETRY	70. DOWN OUTLET	71. 4" X 4" VENT	72. 4" X 4" VENT
73. RECESSED CABINETRY	74. DOWN OUTLET	75. 4" X 4" VENT	76. 4" X 4" VENT
77. RECESSED CABINETRY	78. DOWN OUTLET	79. 4" X 4" VENT	80. 4" X 4" VENT
81. RECESSED CABINETRY	82. DOWN OUTLET	83. 4" X 4" VENT	84. 4" X 4" VENT
85. RECESSED CABINETRY	86. DOWN OUTLET	87. 4" X 4" VENT	88. 4" X 4" VENT
89. RECESSED CABINETRY	90. DOWN OUTLET	91. 4" X 4" VENT	92. 4" X 4" VENT
93. RECESSED CABINETRY	94. DOWN OUTLET	95. 4" X 4" VENT	96. 4" X 4" VENT
97. RECESSED CABINETRY	98. DOWN OUTLET	99. 4" X 4" VENT	100. 4" X 4" VENT



58



This is a detailed architectural floor plan for a three-story residence. The layout is centered around a main hallway that provides access to various rooms and a central staircase. Key features include:

- Master Bedroom (13' x 14'):** Located in the upper left, featuring a large bed, a closet, and a private bathroom.
- Bedroom 2 (BR 2, 11' x 12'):** Situated in the lower left, with a bed, a closet, and an adjacent bathroom.
- Bedroom 3 (BR 3, 11' x 12'):** Located in the lower right, featuring a bed, a closet, and a private bathroom.
- Loft (11' x 12'):** Accessible via a central staircase, this space is currently marked as a storage area.
- Kitchen and Dining Area:** The kitchen is located in the upper right, equipped with a sink, stove, and refrigerator. It opens into a dining area and a living area.
- Bathrooms:** In addition to the private bathrooms in the bedrooms, there is a central bathroom near the staircase.
- Staircase:** A central staircase provides vertical circulation between the first, second, and third floors.
- Dimensions and Annotations:** The plan is heavily annotated with room dimensions, wall thicknesses, door swings, and construction notes. For example, the Master Bedroom is labeled "MASTER 13' x 14' (13' x 14')".

### UPPER FLOOR PLAN

DECA 11/4' • 100

CONCEPT © 1995 ALAN MASCOLO, DESIGN

58

EXHIBIT A



Masco

2320

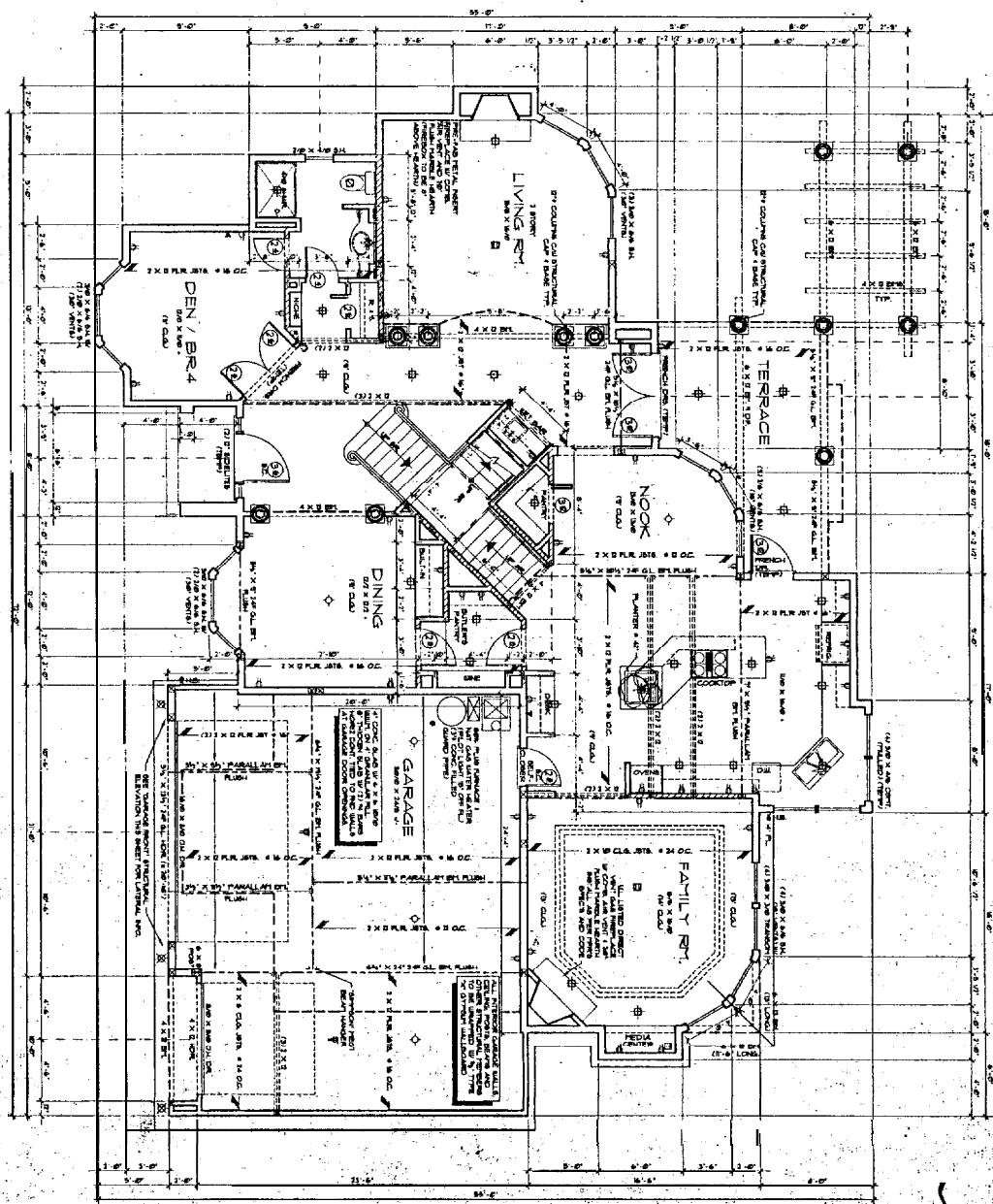
UPPER FLOOR	1844	SQ. FT.
LOWER FLOOR	709	SQ. FT.
TOTAL AREA	2553	SQ. FT.

**VERDUZCO MLD - LOT 1**





MAIN FLOOR PLAN



58

EXHIBIT A

2338

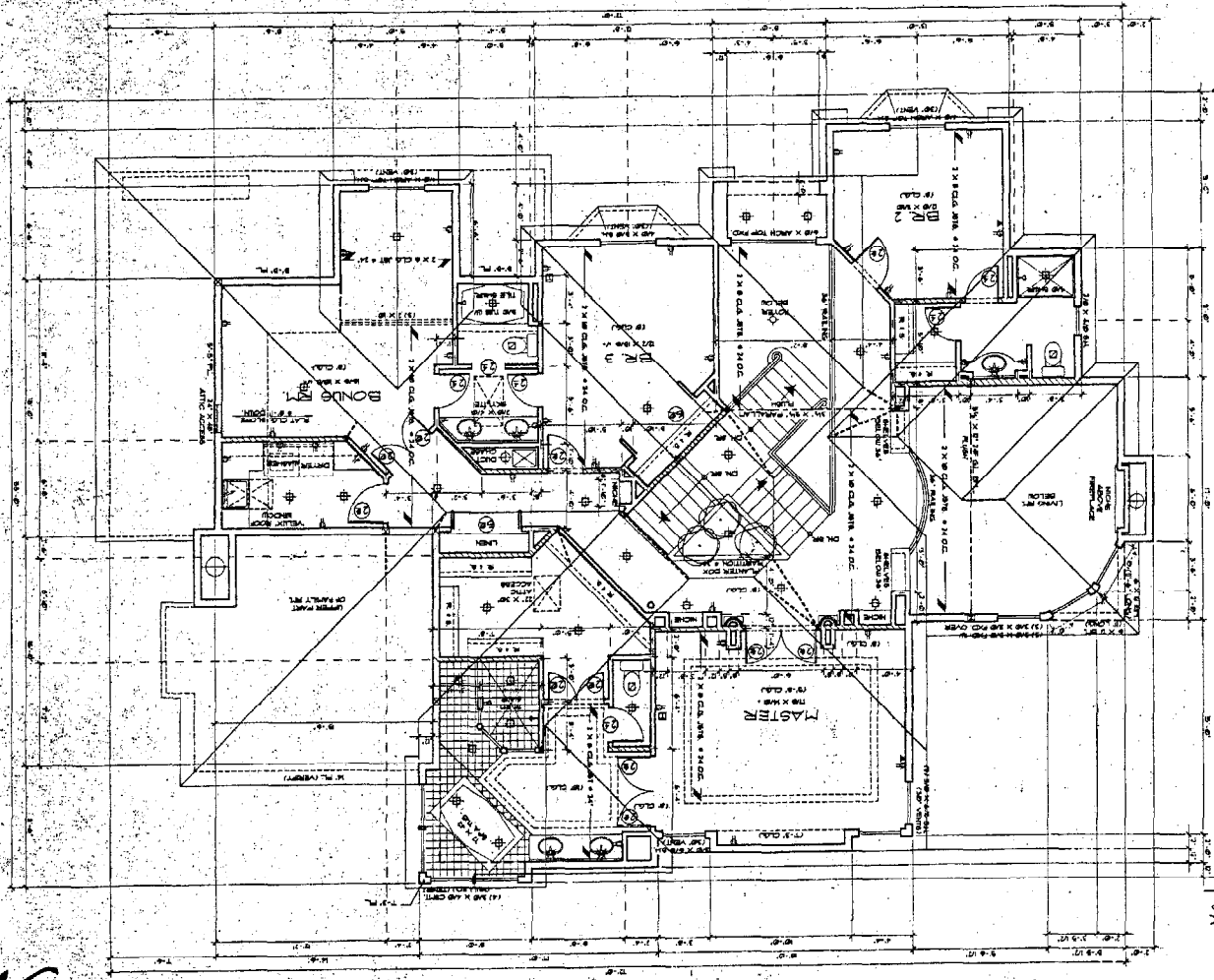
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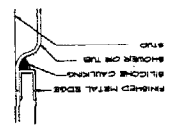
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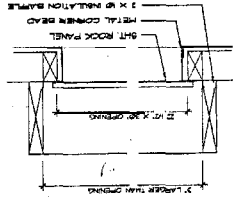
UPPER FLOOR PLAN



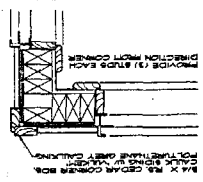
SHEET ROCK  
TUB & SHOWER



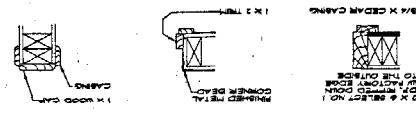
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ATTIC ACCESS HATCH



SCALE: 1/8" = 1'-0"  
CORNER WINDOW  
FRAMING DETAIL



SCALE: 1/8" = 1'-0"  
GARAGE DR. HALF WRAP  
CLOSET JAMB  
SHT. ROCK  
WALL CAP



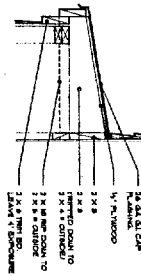
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LEGEND

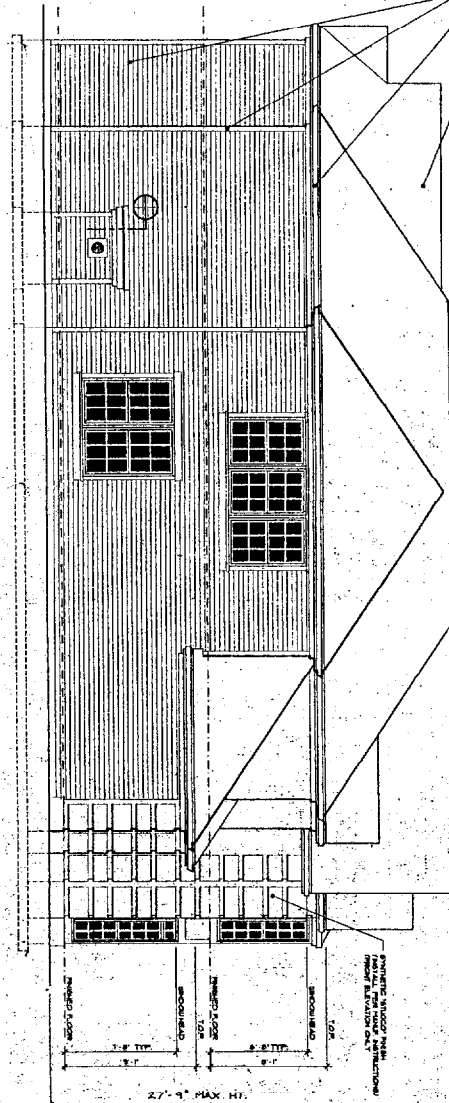
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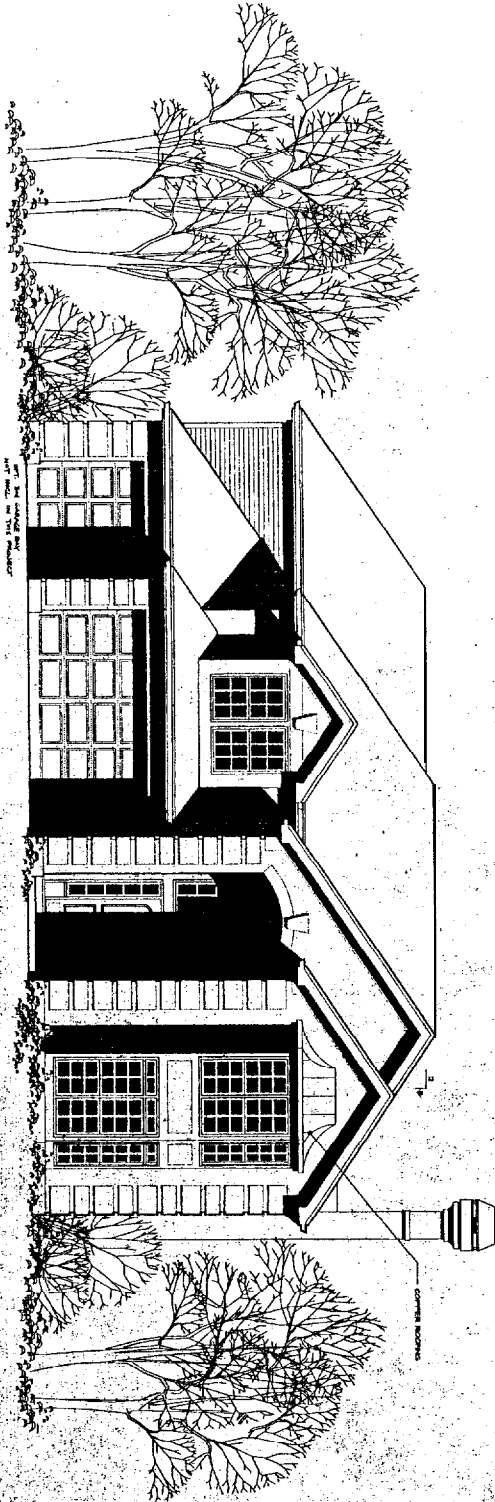
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G.I. POLYURETHANE (SEE ROOF PLAN)  
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NON-CONCRETE, L.P. ROOF  
CEMENT, CONCRETE CORNER BOSS  
ONLY, VENTING AS INDICATED  
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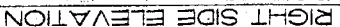
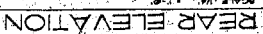
LEFT SIDE ELEVATION  
SCALE 1/4\"/>



FRONT ELEVATION  
SCALE 1/4\"/>

58  
EXHIBIT A

VERDUZCO MLD - LOT A		SHEET 2344	
DATE: 08/18/11		DRAWN BY: JAL	
CHECKED BY: JAL		APPROVED BY: JAL	
PROJECT: VERDUZCO MLD - LOT A		SHEET: 2344	
DATE: 08/18/11		DRAWN BY: JAL	
CHECKED BY: JAL		APPROVED BY: JAL	



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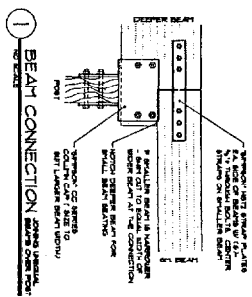
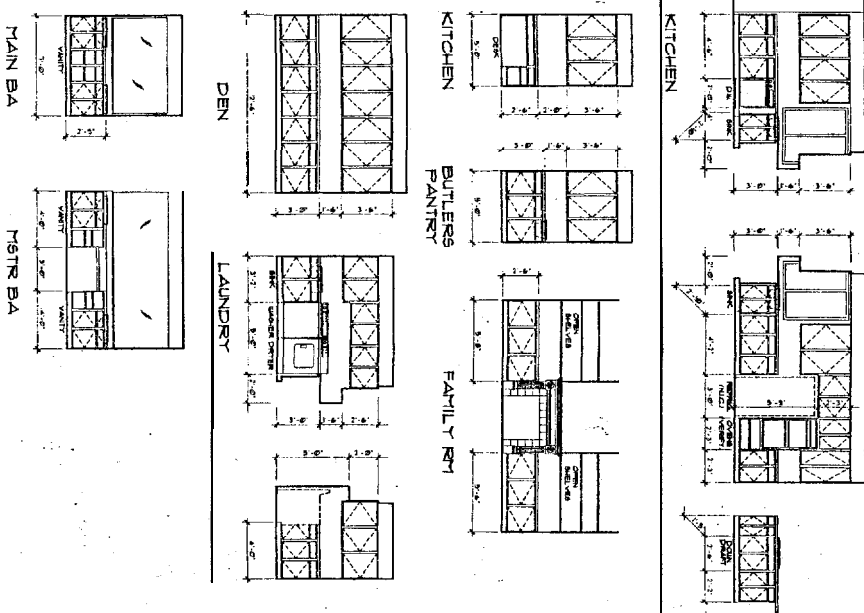
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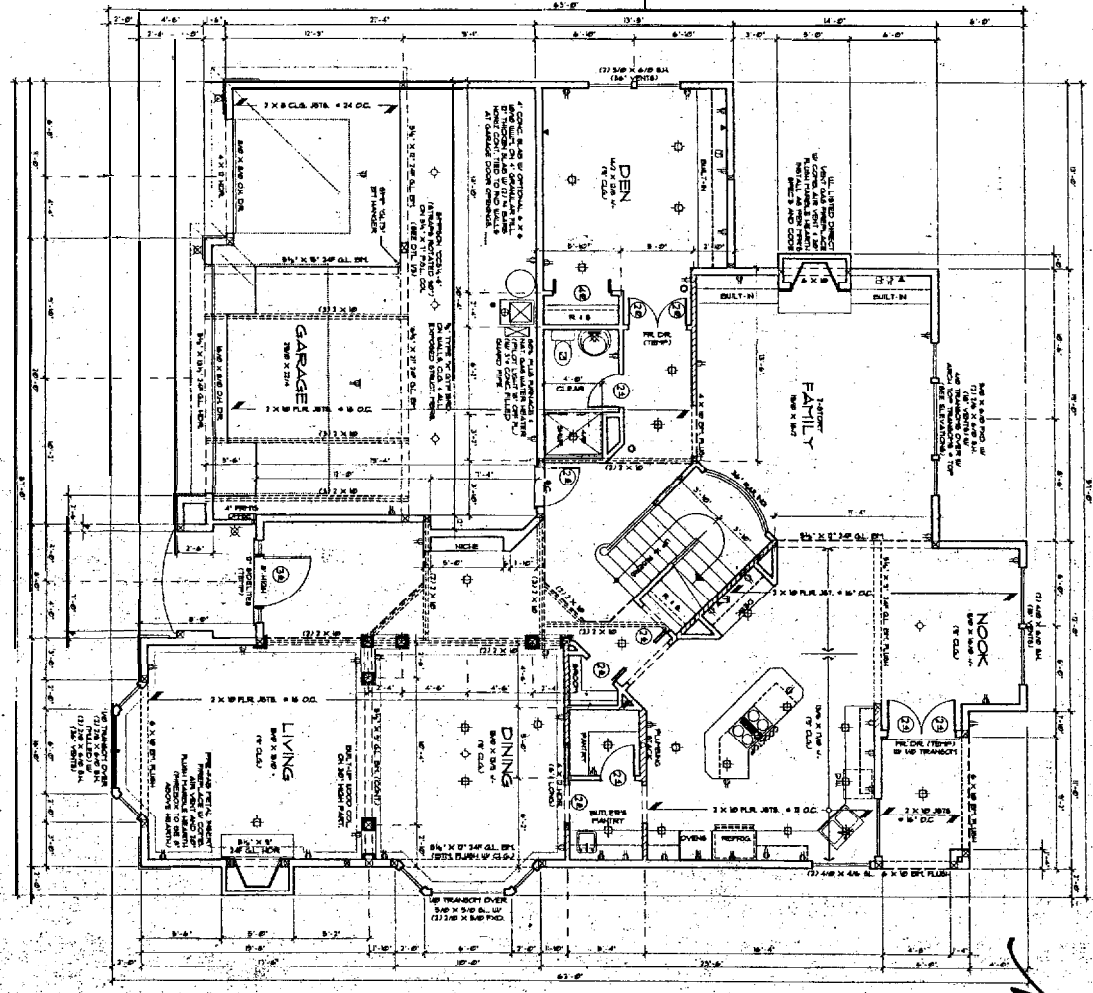
**VERDUGO MILB - LOT 4**

Exhibit A

CABINET ELEVATIONS



MAIN FLOOR PLAN



58

EXHIBIT A

**Legend**

- 1. EXTERIOR FINISHES
- 2. INTERIOR FINISHES
- 3. FLOOR FINISHES
- 4. WALL FINISHES
- 5. CEILING FINISHES
- 6. DOOR FINISHES
- 7. WINDOW FINISHES
- 8. STAIR FINISHES
- 9. BATH FINISHES
- 10. KITCHEN FINISHES
- 11. PANTRY FINISHES
- 12. FAMILY ROOM FINISHES
- 13. DEN FINISHES
- 14. NOOK FINISHES
- 15. LIVING FINISHES
- 16. DINING FINISHES
- 17. GARAGE FINISHES
- 18. PORCH FINISHES
- 19. PATIO FINISHES
- 20. DECK FINISHES
- 21. FENCE FINISHES
- 22. DRIVEWAY FINISHES
- 23. WALKWAY FINISHES
- 24. LANDSCAPE FINISHES
- 25. OTHER FINISHES

**Notes**

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**Sheet** 2344

**Scale** 1/4" = 1'-0"

**Author** [Name]

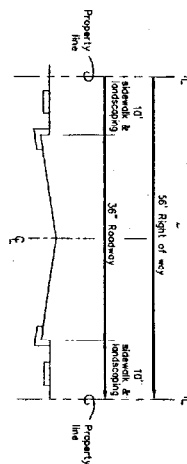
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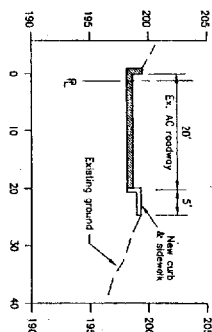




## STANDARD COUNTY DESIGN CRITERIA ROADWAY



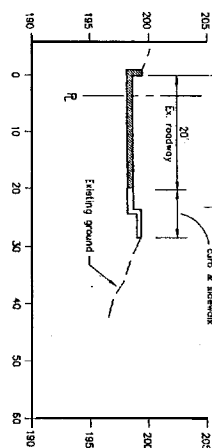
The proposed roadway sections are shown on Section 1, Section 2 and Section 3. All of these roadway sections are less than the County Standard form of 14 ft. An exception is requested because Journal is an existing less-than-standard roadway, a private roadway, this topography cannot accommodate a standard roadway, and this subdivision is the only development expected along this roadway. Asphflatt concrete pavement for new roadways shall be 5'oc on 8' x 24'typical base. R-662



## SECTION 1

20' WIDE ROADWAY

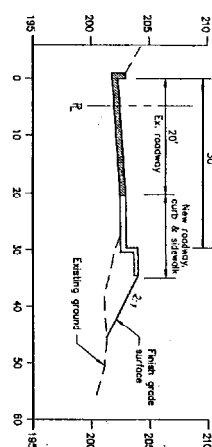
SCALE 1" = 10' HORIZONTAL 1"=5' VERTICAL



## SECTION 2

24' WIDE ROADWAY

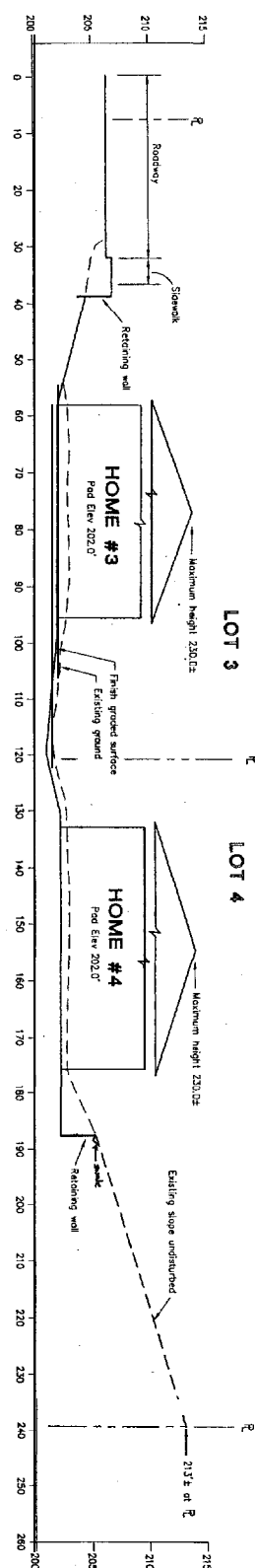
SCALE 1" = 10' HORIZONTAL, 1"=5' VERTICAL



### SECTION 3

**30' WIDE ROADWAY**

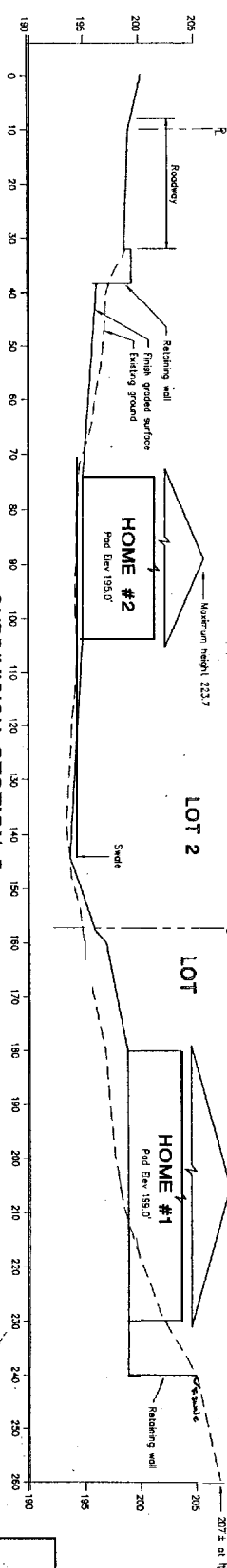
SCALE 1" = 10' HORIZONTAL 1"=5' VERTICAL



**SUBDIVISION SECTION 4**

SCALE 1" = 10' HORIZONTAL 1" = 5' VERTICAL

SCALE 1" = 10' HORIZONTAL 1" = 5' VERTICAL



**SUBDIVISION SECTION 5**

SCALE 1" = 10' HORIZONTAL 1" = 5' VERTICAL

SCALE 1" = 10' HORIZONTAL 1" = 5' VERTICAL



Date 3/00

**FREITAS + FREITAS**  
Engineering and Planning Consultants  
311 Laurent Street Santa Cruz, CA 95060  
(831) 429-5018 FAX (831) 429-1264

CROSS SECTIONS  
LANDS OF VERDUZCO APN 041-233-50  
APTOS, CALIFORNIA

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**EXHIBIT**

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### SUBDIVISION FINDINGS

1. THAT THE PROPOSED SUBDIVISION MEETS ALL REQUIREMENTS OR CONDITIONS OF THE SUBDIVISION ORDINANCE AND THE STATE SUBDIVISION MAP ACT.

The proposed division of land meets all requirements and conditions of the County Subdivision Ordinance and the State Map Act in that the project meets all of the technical requirements of the Subdivision Ordinance and is consistent with the County General Plan and the Zoning Ordinance as set forth in the findings below.

2. THAT THE PROPOSED SUBDIVISION, ITS DESIGN, AND ITS IMPROVEMENTS ARE CONSISTENT WITH THE GENERAL PLAN, AND THE AREA GENERAL PLAN OR SPECIFIC PLAN, IF ANY.

The proposed division of land, its design, and its improvements, are consistent with the General Plan. The project creates four single family lots and is located in the Residential, Urban Very Low Density General Plan designation which allows a density range of 1.0 to 4.3 units per net developable acre, which corresponds to lot size requirements of 10,000 square feet to one acre of net developable parcel area. The objective of this land use designation is to provide for areas of residential development on large lots at very low densities, inside the Urban Services Line, which have a full range of urban services. This designation is appropriate for sites such as the subject parcel, with environmental constraints, and as a transition to adjacent rural density development. All of the new lots proposed are larger than 10,000 square feet, net developable area,

The project is consistent with the General Plan in that the full range of urban services is available and will be extended to the new parcels created, including municipal water and sewer service. The subdivision is on an existing road which will be improved to provide satisfactory access to the project. The proposed subdivision is similar to the pattern and density of surrounding development, is near commercial shopping facilities and recreational opportunities, and, with proposed road improvements, will have adequate and safe vehicular access.

The subdivision, as conditioned, will be consistent with the General Plan regarding infill development in that the proposed single family development will be consistent with the pattern of the surrounding development, and the design of the proposed homes is consistent with the character of the surrounding neighborhood. The subdivision is not in a hazardous or environmentally sensitive area and protects natural resources by providing residential development in an area designated for this type and density of development.

3. THAT THE PROPOSED SUBDIVISION COMPLIES WITH ZONING ORDINANCE PROVISIONS AS TO USES OF LAND, LOT SIZES AND DIMENSIONS AND ANY OTHER APPLICABLE REGULATIONS.

With concurrent approval of the requested rezoning, the proposed division of land complies with the zoning ordinance provisions as to uses of land, lot sizes and dimensions and other applicable regulations in that the use of the property will be residential in nature, lot sizes meet the minimum

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dimensional standards for the R- 1 - 10 Zone District where the project is located, and all setbacks will be consistent with the zoning standards. The proposed new dwellings will comply with the development standards in the zoning ordinance as they relate to setbacks, maximum parcel coverage, minimum site width and minimum site frontage.

4. THAT THE SITE OF THE PROPOSED SUBDIVISION IS PHYSICALLY SUITABLE FOR THE TYPE AND DENSITY OF DEVELOPMENT.

The site of the proposed subdivision is physically suitable for the type and density of development in that no challenging topography affects the site, the existing property is commonly shaped to ensure efficiency in further development of the property, and the proposed parcels offer a traditional arrangement and shape to insure development without the need for variances or site standard exceptions. No environmental constraints exist which would necessitate the area remain undeveloped.

5. THAT THE DESIGN OF THE PROPOSED SUBDIVISION OR TYPE OF IMPROVEMENTS WILL NOT CAUSE SUBSTANTIAL ENVIRONMENTAL DAMAGE NOR SUBSTANTIALLY AND AVOIDABLY INJURE FISH OR WILDLIFE OR THEIR HABITAT.

The design of the proposed division of land and its improvements will not cause environmental damage nor substantially and avoidably injure fish or wildlife or their habitat. No mapped or observed threatened species impede development of the site as proposed. The parcel has undergone extensive review to determine if the presence of saturated soils and hydrophytic vegetation (in this case willows and horsetail on the surface and buried remnant water loving plants) would constitute a wetland [Reference "Soils, Drainage and Wetland Evaluation Report, dated February 27, 1999 (Attachment 9 to Exhibit "E"), letter dated July 15, 1999 from Bill Davilla, Ecosystems West (Attachment 10), and letter dated August 5, 1999, from Paia Levine, Resource Planner (Attachment 11 to Exhibit "E")]. It was determined, based on site inspections and information provided, that the area on the parcel supporting willows is a riparian woodland, as opposed to a wetland. The project has been substantially redesigned from the original submittal to maintain the existing riparian woodland on Lot 2 and to maintain a minimum 10-foot setback from this resource. In addition, drainage on Lot 2 has been designed to allow some overland flow through the riparian woodland, with the excess diverted to grated inlets on the southwestern parcel boundary.

A restoration plan dated February 3, 2000, has been prepared to address unpermitted clearing of riparian vegetation on the subject parcel (Attachment 12 to Exhibit "E"). The plan calls for planting six red willow saplings and allowing other riparian vegetation, such as poison oak and blackberries to reestablish in the designated area without additional clearing or disturbance.

The project received a mitigated Negative Declaration on March 3, 2000, pursuant to the California Environmental Quality Act and the County Environmental Review Guidelines (Exhibit "E"), and is conditioned to comply with all mitigation measures.

6. THAT THE PROPOSED SUBDIVISION OR TYPE OF IMPROVEMENTS WILL NOT CAUSE SERIOUS PUBLIC HEALTH PROBLEMS.

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EXHIBIT B

The proposed division of land or its improvements will not cause serious public health problems in that municipal water and sewer are available to serve all proposed parcels, and these services will be extended as part of the improvement plan for the subdivision.

7. THAT THE DESIGN OF THE PROPOSED SUBDIVISION OR TYPE OF IMPROVEMENTS WILL NOT CONFLICT WITH EASEMENTS, ACQUIRED BY THE PUBLIC AT LARGE, FOR ACCESS THROUGH, OR USE OF PROPERTY WITHIN THE PROPOSED SUBDIVISION.

The design of the proposed division of land and its improvements will not conflict with public easements for access in that no easements are known to encumber the property. Access to all lots will be from Jaunell Road.

8. THE DESIGN OF THE PROPOSED SUBDIVISION PROVIDES, TO THE EXTENT FEASIBLE, FOR FUTURE PASSIVE OR NATURAL HEATING OR COOLING OPPORTUNITIES.

The design of the proposed division of land provides to the fullest extent possible, the ability to use passive and natural heating and cooling in that the resulting parcels are oriented in a manner to take advantage of solar opportunities. All proposed parcels are conventionally configured and all proposed building envelopes meet the minimum setbacks as required by the zone district for the property and County code.

9. THE PROPOSED DEVELOPMENT PROJECT IS CONSISTENT WITH THE DESIGN STANDARDS AND GUIDELINES (SECTIONS 13.11.070 THROUGH 13.11.076) AND ANY OTHER APPLICABLE REQUIREMENTS OF THIS CHAPTER.

The proposed development is consistent with the Design Standards and Guidelines of the County Code in that the proposed lot sizes meet the minimum dimensional standards for the R- 1 - 10 zone district, and all development standards for the zone district will be met. The applicant proposes to construct homes on three of the new lots created. Architectural floor plans and elevations for the proposed homes are included in Exhibit "A." Three different home plans are proposed for the project. Homes are proposed to be two story with a variety of accent treatments. Proposed materials include stucco or horizontal wood siding exterior finishes various accents and trim. Roofing materials are proposed to be composition shingle. The size of the proposed homes ranges from 3,342 square feet to 3,588 square feet. All plans include design features such as single-story elements, variation in wall planes and details, porches and articulated roof lines for additional visual interest. Because of the topography of the site and surrounding properties, no second story windows would face directly into the side or rear yards of existing development.

To assure that the final construction is in conformance with the information submitted, a condition of approval has been included that requires all construction to be as presented in Exhibit "A." An additional condition of approval has been incorporated that prohibits changes in the placement of windows that face directly towards existing residential development without review and approval

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by the Planning Commission. Conditions of approval have been also been included to require the use of siding materials as presented, and to require that color combinations be interspersed throughout the development.

The proposed project has been designed to complement and harmonize with the existing and proposed land uses in the vicinity. It will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood. Home designs are consistent with existing development. Although the homes proposed are larger than surrounding homes, the larger lot sizes proposed result in a scale and mass that is similar to surrounding development,

Because the proposed project is subject to the County's Design Review Ordinance, Chapter 13.11, the project design is required, to the extent feasible, to incorporate mature trees into the design of the project. After redesign, only four mature oak trees and possibly one mature maple tree will be removed, which is consistent with the design review ordinance. Replacement trees, 24-inch box oak trees, are proposed to mitigate the potential loss of existing mature trees.

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#### ROADWAY/ROADSIDE EXCEPTION FINDINGS

1. THE IMPROVEMENTS WOULD BE LOCATED IN AN ENVIRONMENTALLY SENSITIVE AREA AS SHOWN BY INFORMATION ON FILE IN THE PLANNING DEPARTMENT; AND THE IMPACTS CANNOT BE SATISFACTORILY MITIGATED.

The applicant has requested an exception that would reduce Jaunell Road from the required 56-foot right of way and 36-foot roadway to a 40-foot right-of-way and a roadway ranging in width from 20-feet to 30-feet, eliminate the required four-foot planting strip, and eliminate sidewalks on the southeastern portion of the property from the driveway to Lot 3 to the southeastern parcel boundary. County Code Section 15.10.050 allows for an exception to County Design Criteria when the improvements are not appropriate due to the character of development in the area and the lack of improvements on surrounding developed property and when local topographic conditions render the improvements physically infeasible. Both of these conditions are applicable to the proposed project. Although the subject parcel is located within the Urban Services Line, the existing configuration of Jaunell Road is more rural in nature, and surrounding developed property is not improved, with the exception of an asphalt concrete sidewalk on Jaunell Road adjacent to the apartment complex. The applicant is proposing improvements that would provide adequate vehicular access and fire access, would provide additional on-street parking, and would include sidewalks to serve the new development. The proposed improvements are consistent with the rural feel and large lots in the area, and would improve existing conditions on Jaunell Road considerably.

Given that County Code Section 15.10.050(e) allows an exception to road improvement requirements if the standard improvements would not be appropriate due to the character of development in the area, the Roadside Exception can be approved and still conform to all applicable ordinances.

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## REZONING FINDINGS

1. THE PROPOSED ZONE DISTRICT WILL ALLOW A DENSITY OF DEVELOPMENT AND TYPES OF USES WHICH ARE CONSISTENT WITH THE OBJECTIVES AND LAND-USE DESIGNATIONS OF THE ADOPTED GENERAL PLAN.

The project site has a General Plan land use designation of "R-UVL" or Urban Very Low Density Residential. This designation allows a density range of 1.0 to 4.3 units per net developable acre, which corresponds to lot size requirements of 10,000 square feet to one acre of net developable parcel area. The objective of this land use designation is to provide for areas of residential development on large lots at very low densities, inside the Urban Services Line, which have a full range of urban services. This designation is appropriate for sites such as the subject parcel, with environmental constraints, and as a transition to adjacent rural density development. All of the new lots proposed are larger than 10,000 square feet, net developable area,

2. THE PROPOSED ZONE DISTRICT IS APPROPRIATE OF THE LEVEL OF UTILITIES AND COMMUNITY SERVICE AVAILABLE TO THE LAND.

The project is currently located in the R-1 - 1 acre zone district. This property, and other surrounding parcels were zoned R-1-1 acre following the adoption of the County's 1994 General Plan and enactment of the General Plan designation of "R-UVL." The zoning designation reflected the fact that parcels in this area are served by septic systems, and County Code Section 7.38.045 requires a minimum parcel size of one acre for individual septic systems. The R-1-1 acre zone district applicable to this parcel was not intended to reflect individual site constraints other than sewer availability. The applicant has requested a rezoning to R-1-10, which would allow a minimum lot size of 10,000 square feet of net developable area. Because portions of the parcel include slopes in excess of 30%, which are not developable land, only four parcels would be allowed by R-1 -10 zoning. The gross area of the four parcels proposed would range from 15,385 square feet to 31,640 square feet, for an average gross density of 22,104 square feet.

The R-1 -10 zoning requested appears appropriate for the subject parcel, based on site constraints and the character of surrounding development. Directly south and southwest of the subject parcel are parcels developed with apartments and zoned RM-5. To the southwest are parcels developed with single-family homes and zoned R-1-6. The average size of these parcels is 10,244 square feet, gross area. Parcels to the north are zoned R-1-20 and are also developed with single-family homes. The average gross area for those parcels is 25,863 square feet. Parcels to the east are zoned R-1 -1 acre, and the average gross area is 1.6 acres. The proposed R-1-10 zoning would provide a transition between higher density housing to the south and southwest and large lot development to the north. The density would be lower than single-family residential development to the south and west, and would be almost identical to development to the north.

The subject parcel is within the Santa Cruz County Sanitation District and sewer service is available to serve the existing dwelling, which is proposed to be relocated, and to serve the three new lots that would be created. The Soquel Creek Water District has indicated, in their letter dated September 3, 1998 and in their project comment sheet dated January 18, 2000, that they are able to serve the proposed new lots that would be created. The applicant is proposing improvements to Jaunell Road

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that would provide adequate vehicular access and fire access, would provide additional on-street parking, and would include sidewalks to serve the new development. The proposed improvements are consistent with the rural feel and large lots in the area, and would improve existing conditions on Jaunell Road considerably.

3. THE CHARACTER OF DEVELOPMENT IN THE AREA WHERE THE LAND IS LOCATED HAS CHANGED OR IS CHANGING TO SUCH A DEGREE THAT THE PUBLIC INTEREST WILL BE BETTER SERVED BY A DIFFERENT ZONE DISTRICT

This property, and other surrounding parcels were zoned R-1 - 1 acre following the adoption of the County's 1994 General Plan and enactment of the General Plan designation of "R-UVL." The zoning designation reflected the fact that parcels in this area are served by septic systems, and County Code Section 7.38.045 requires a minimum parcel size of one acre for individual septic systems. The R- 1 - 1 acre zone district applicable to this parcel was not intended to reflect individual site constraints other than sewer availability. The subject parcel is now located within the Santa Cruz County Sanitation District and sewer service is available to serve the four parcels that would be created.

Directly south and southwest of the subject parcel are parcels developed with apartments and zoned RM-5. To the southwest are parcels developed with single-family homes and zoned R-1-6. The average size of these parcels is 10,244 square feet, gross area. Parcels to the north are zoned R-1-20 and are also developed with single-family homes. The average gross area for those parcels is 25,863 square feet. Parcels to the east are zoned R-1-1 acre, and the average gross area is 1.6 acres. The proposed R- 1 - 10 zoning would provide a transition between higher density housing to the south and southwest and large lot development to the north. The density would be lower than single-family residential development to the south and west, and would be almost identical to development to the north.



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Conditions of Approval

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### CONDITIONS OF APPROVAL

Rezoning, Minor Land Division, and Roadway/Roadside Exception  
 Permit No.: 98-0857

Applicant: Kathy Casey, Casey Consulting

Property Owner: Frank and Grace Ann Verduzco

Assessor's Parcel No.: 041-233-50

Property Location and Address: Property located on the south side of Jaunell Road about 600 feet north from Soquel Drive, at 220 Jaunell Road, Aptos.

Planning Area: Aptos

Exhibits:

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- A. Site and Landscape Plan by Casey Consulting, dated 3/14/00; Tentative Parcel Map by Dunbar and Craig, dated 8/98; Preliminary Improvements Plans by Freitas and Freitas, dated 3/00; Axonometric Plan by Casey Consulting, dated 12/16/99; Architectural Plans by Alan Mascord
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All correspondence and maps relating to this land division shall carry the land division number

- I. Prior to exercising any rights granted by this Approval, the owner shall sign, date and return one copy of the Approval to indicate acceptance and agreement with the conditions thereof, and
- II. A Final Map for this land division must be recorded prior to the expiration date of the tentative map and prior to sale, lease or financing of any new lots; The Final Map shall be submitted to the County Surveyor (Department of Public Works) for review and approval prior to recordation. No improvements, including, without limitation, grading and vegetation removal, shall be done prior to recording the Final Map unless such improvements are allowable on the parcel as a whole (prior to approval of the land division). The Final Map shall meet the following requirements:
  - A. The Final Map shall be in general conformance with the approved tentative map and shall conform with the conditions contained herein. All other State and County laws relating to improvement of the property, or affecting public health and safety shall remain fully applicable.
  - B. This land division shall result in no more than four (4) total lots.
  - C. The minimum lot size shall be 10,000 square feet, net developable land.
  - D. The following items shall be shown on the Final Map:
    1. Building envelopes and/or building setback lines located according to the approved Tentative Map.
    2. The net area of each lot to nearest square foot.

3. The owner's certificate shall include:
  - a. An irrevocable offer of dedication to the County of Santa Cruz for the right-of-way and improvements shown on the tentative map. When this offer of dedication is accepted by the County, the roads are to be County maintained. Right-of-way width for Jaunell Road shall be 40 feet and road section width shall range in width from 20-feet to 30-feet, as shown on the preliminary improvement plans.
  - b. An easement for public use of the roadway and roadside improvements, shown on the tentative map, to expire when the offer of dedication is accepted by the County.
- E. The following requirements shall be noted on the Final Map as items to be completed prior to obtaining a building permit on lots created by this land division:
  1. Lots shall be connected for water service to Soquel Creek Water District.
  2. Lots shall be connected for sewer service to Santa Cruz County Sanitation District.
  3. All future construction of the lots shall conform to the Architectural Floor Plans and Elevations as stated or depicted in Exhibit "A" and shall also meet the following additional conditions:
    - a. No changes in the placement of windows that face directly towards existing residential development as shown on the architectural plans, shall be permitted without review and approval by the Planning Commission.
    - b. Exterior finishes shall incorporate stucco and wood siding. T-1-11 type siding is not allowed. Exterior color combinations shall be interspersed throughout the development.
    - c. Notwithstanding the approved preliminary architectural plans, all future development shall comply with the development standards for the R-1 -10 zone district. No structures shall exceed a 30% lot coverage or a 50% floor area ratio, or other standard as may be established for the R-1-10 zone district.
  4. A final Landscape Plan for the entire site specifying the species, their size: and irrigation plans and meeting the following criteria:
    - a. Turf Limitation. Turf area shall not exceed 25 percent of the total landscaped area. Turf area shall be of low to moderate water-using varieties, such as tall or dwarf fescue.
    - b. Plant Selection. At least 80 percent of the plant materials selected for

non-turf areas (equivalent to 60 percent of the total landscaped area) shall be well-suited to the climate of the region and require minimal water once established (drought tolerant). Native plants are encouraged. Up to 20 percent of the plant materials in non-turf areas (equivalent to 15 percent of the total landscaped area), need not be drought tolerant, provided they are grouped together and can be irrigated separately.

- c. Soil Conditioning. In new planting areas, soil shall be tilled to a depth of 6 inches and amended with six cubic yards of organic material per 1,000 square feet to promote infiltration and water retention. After planting, a minimum of 2 inches of mulch shall be applied to all non-turf areas to retain moisture, reduce evaporation and inhibit weed growth.
- d. Irrigation Management. All required landscaping shall be provided with an adequate, permanent and nearby source of water which shall be applied by an installed irrigation, or where feasible, a drip irrigation system. Irrigation systems shall be designed to avoid runoff, overspray, low head drainage, or other similar conditions where water flows onto adjacent property, non-irrigated areas, walks, roadways or structures.

The irrigation plan and an irrigation schedule for the established landscape shall be submitted with the building permit applications. The irrigation plan shall show the location, size and type of components of the irrigation system, the point of connection to the public water supply and designation of hydrozones. The irrigation schedule shall designate the timing and frequency of irrigation for each station and list the amount of water, in gallons or hundred cubic feet, recommended on a monthly and annual basis.

Appropriate irrigation equipment, including the use of a separate landscape water meter, pressure regulators, automated controllers, low volume sprinkler heads, drip or bubbler irrigation systems, rain shutoff devices, and other equipment shall be used to maximize the efficiency of water applied to the landscape.

Plants having similar water requirements shall be grouped together in distinct hydrozones and shall be irrigated separately.

Landscape irrigation should be scheduled between 6:00 p.m. and 11:00 a.m. to reduce evaporative water loss.

- e. All planting shall conform to the landscape plan shown as part of Exhibit "A". The following specific landscape requirements apply:

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Conditions of Approval

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- i. One 24-inch box size Coast Live Oak and one five-gallon size Coast Live Oak replacement tree shall be planted for each oak tree that is removed by construction. The new trees shall be located away from the building areas where they will extend the existing oak woodland.
  - ii. The owner/applicant shall implement the approved restoration plan for the riparian woodland, dated February 3, 2000, and shall permanently maintain the plantings. The existing drainage regime that favors the success of the plantings, with the exception of removal of the greywater discharge, shall not be altered such that the riparian plantings will not receive adequate water. The restoration work shall be inspected and approved by Environmental Planning Staff prior to issuance of building or grading permits on any parcels.
- 5. All future development on the lots shall comply with the requirements of the geotechnical report prepared Haro, Kasunich and Associates, dated 9/4/98.
  - 6. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district in which the project is located.
  - 7. Any changes between the approved Tentative Map, including but not limited to the attached exhibits for preliminary grading, drainage, erosion control, preliminary improvement plans, architectural and landscaping plans, must be submitted for review and approval by the decision-making body. Such proposed changes will be included in a report to the decision making body to consider if they are sufficiently material to warrant consideration at a public hearing noticed in accordance with Section 18.10.223 of the County Code. Any changes that are on the final plans that in any way do not conform to the project conditions of approval shall be specifically illustrated on a separate sheet and highlighted in yellow on any set of plans submitted to the County for review.

III. Prior to recordation of the Final Map, the following requirements shall be met:

- A. Pay a Negative Declaration filing fee of \$25.00 to the Clerk of the Board of the County of Santa Cruz as required by the California Department of Fish and Game mitigation fees program.
- B. Submit a letter of certification from the Tax Collector's Office that there are no outstanding tax liabilities affecting the subject parcels.

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**EXHIBIT C**

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- C. Meet all requirements of the Santa Cruz County Sanitation District as stated in the District's letter dated January 7, 2000, including, without limitation, the following standard conditions:
1. Submit and secure approval of an engineered sewer improvement plan providing sanitary sewer service to each parcel.
  2. Pay all necessary bonding, deposits, and connection fees.
- D. Submit and secure approval of engineered improvement plans from the Department of Public Works for all roads, curbs and gutters, storm drains, erosion control, and other improvements required by the Subdivision Ordinance, noted on the attached tentative map and/or specified in these conditions of approval. A subdivision agreement backed by financial securities (equal to 150% of engineer's estimate of the cost of improvements), per Sections 14.01.5 10 and 5 11 of the Subdivision Ordinance, shall be executed to guarantee completion of this work. Improvement plans shall meet the following requirements:
1. All improvements shall meet the requirements of the County of Santa Cruz Department of Public Works Design Criteria Manual except as modified in these conditions of approval. The road surface shall be three inches of paving over nine inches of compacted base material.
  2. A detailed erosion and sediment control plan for the subdivision shall be integrated with the improvement plans and shall be submitted to the Planning Department, Environmental Planning Section, for review and approval prior to submittal to the Department of Public Works and approval of the Final Map. The plan shall include a clearing and grading schedule, clearly marked disturbance envelope, revegetation specifications, temporary road surfacing and construction entry stabilization, details of temporary drainage control including lined swales, erosion protection at the outlets of pipes, sediment barriers around drain inlets, etc.
  3. A landscape plan for areas designated on the tentative map shall be submitted for Planning Department review and approval prior to submittal to the Department of Public Works. Wherever irrigation for landscaping is required, stub outs for water service shall be shown on the improvement plans. The landscape plan shall be compared to the utility plan to prevent placement conflicts. No change in the landscape plan shall be granted without County review.
  4. Plans shall comply with the requirements of the geotechnical report by Haro, Kasunich and Associates, dated 9/4/98. A plan review letter from the geotechnical engineer shall be submitted with the plans, stating that the plans have been reviewed and found to be in compliance with the recommendations of the geotechnical report.

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5. Engineered drainage plans shall be reviewed and approved by the Zone 6 drainage district. The drainage plans shall include the drainage improvements to Jaunell Road shown on the improvement plans and any improvements to the drainage system on Soquel Drive, required to increase the capacity for the increase in runoff created by the project. Appropriate fees for new impervious surface shall be paid.
6. All new utilities shall be constructed underground. All facility relocations, upgrades or installations required for utilities service to the project shall be noted on the improvement plans. All preliminary engineering for such utility improvements is the responsibility of the developer.
7. Acquire all rights of way and easements and make all dedications thereof as needed for construction of required improvements. Any and all costs incurred by the County of Santa Cruz to obtain title to any property in the event that condemnation proceedings are necessary to implement this condition, shall be paid in full by the applicant/subdivider prior to the recording of the Final Map.
8. All improvements shall comply with applicable provisions of the Americans With Disabilities Act and/or Title 24 of the State Building Regulations.
9. The following details shall be included on the final improvement plans:
  - a. Street lighting design and placement.
  - b. A Roadside Exception shall be permitted to reduce Jaunell Road from the required 56-foot right of way and 36-foot roadway to a 40-foot right-of-way and a roadway ranging in width from 20-feet to 30-feet, to eliminate the required four-foot planting strip, and to eliminate sidewalks on the southeastern portion of the property from the driveway to Lot 3 to the southeastern parcel boundary.
- E. Engineered improvement plans for all water line extensions required by the Soquel Creek Water District shall be submitted for the review and approval of the water agency.
- F. All requirements of the Aptos/La Selva Fire District shall be met as set forth in the District's letter dated January 2, 2000.
- G. Park dedication in-lieu fees shall be paid for three (3) new single-family dwelling units. On December 13, 2000 these fees were \$3,000 per unit (which assumes three bedrooms/unit at \$1,000 per bedroom), but are subject to change.
- H. Transportation improvement fees shall be paid for three (3) new single-family dwelling units. December 13, 2000 these fees were \$2,000 per unit, but are subject to change.

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- I. Roadside improvement fees shall be paid for three (3) new dwelling units. On December 13, 2000, these fees were \$2,000 per unit, but are subject to change.
  - J. Child Care Development fees shall be paid for three (3) new single-family dwelling units. On December 13, 2000 these fees were \$327 per unit (which assumes three bedrooms/unit at \$109 per bedroom), but are subject to change.
  - K. Submit one reproducible copy of the Final Map to the County Surveyor for distribution and assignment of temporary Assessor's parcel numbers and situs address.
- IV. All subdivision improvements shall be constructed in accordance with the approved improvement plans and in conformance with the requirements of the subdivision agreement recorded pursuant to condition III.D. The construction of subdivision improvements shall also meet the following conditions:
- A. All work adjacent to or within a County road shall be subject to the provisions of Chapter 9.70 of the County Code, including obtaining an encroachment permit where required. Where feasible, all improvements adjacent to or affecting a County road shall be coordinated with any planned County-sponsored construction on that road.
  - B. No land clearing, grading or excavating shall take place between October 15 and April 15 unless a separate winter erosion-control plan is approved by the Planning Director.
  - C. No land disturbance shall take place prior to issuance of building permits (except the minimum required to install required improvements, provide access for County required tests or to carry out other work specifically required by another of these conditions).
  - D. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.
  - E. Construction of improvements shall comply with the requirements of the geotechnical report prepared by Haro, Kasunich and Associates, dated September 4, 1998. The geotechnical engineer shall inspect the completed project and certify in writing that the improvements have been constructed in conformance with the geotechnical report.
  - F. To minimize noise, dust, and nuisance impacts on surrounding properties to insignificant levels during construction, the owner/applicant shall, or shall have the project contractor, comply with the following measures during all construction work:

1. Limit all construction-related activities to the time between 8:00 A.M. and 5:00 P.M. weekdays, unless a temporary exemption to this time restriction is approved in advance by the Planning Department to address an emergency situation.
  2. Each day it does not rain, wet all exposed soil frequently enough to prevent significant amounts of dust from leaving the site. Street sweeping on adjacent or nearby streets may be required to control the export of excess dust and dirt.
  3. The owner/developer shall designate a disturbance coordinator to respond to citizen complaints and inquiries from area residents during construction. A 24-hour contact number shall be conspicuously posted on the job site. The name, phone number, and nature of the disturbance shall be recorded by the disturbance coordinator. The disturbance coordinator shall investigate complaints and take remedial action, if necessary, within 24 hours of receipt of the complaint or inquiry. Unresolved complaints received by County staff from area residents may result in the inclusion of additional Operational Conditions.
  4. Saw cuts within the traveled roadway, which cause temporary depressions in the surfacing prior to repair, shall be leveled with temporary measures and signage shall be posted noting such.
- G. All required subdivision improvements shall be installed and inspected prior to final inspection clearance for any new structure on the subdivision lots.
- V. All future development on lots created by this subdivision shall comply with the requirements set forth in Condition II.E.
- VI. In the event that future County inspections of the subject property disclose non-compliance with any Conditions of this Approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including Approval revocation.
- VII. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
- A. COUNTY shall promptly notify the Development Approval Holder of any claim action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the



Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.

- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
  - 1. COUNTY bears its own attorney's fees and costs; and
  - 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.
- E. Within 30 days of the issuance of this development approval, the Development Approval Holder shall record in the office of the Santa Cruz County Recorder an agreement which incorporates the provisions of this condition, or this development approval shall become null and void.

#### VIII. Mitigation Monitoring Program

The mitigation measures listed under this heading have been incorporated into the conditions of approval for this project in order to mitigate or avoid significant effects on the environment. As required by Section 2 108 1.6 of the California Public Resources Code, a monitoring and reporting program for the above mitigations is hereby adopted as a condition of approval for this project. This monitoring program is specifically described following each mitigation measure listed below. The purpose of this monitoring is to ensure compliance with the environmental mitigations during project implementation and operation. Failure to comply with the conditions of approval, including the terms of the adopted monitoring program, may result in permit revocation pursuant to Section 18.10.462 of the Santa Cruz County Code.

- A. Mitigation Measure: Riparian Woodland (Condition II.E.4.e.ii)

Monitoring Program: The restoration plan for the riparian woodland shall be implemented. No building permits will be issued until compliance has been approved by the Planning Department.

- B. Mitigation Measure: Tree Removal (Condition II.E.4.e.i)

Applicant: Kathy Casey, Casey Consulting  
 Application No. 98-0857  
 APN: 041-233-50

Conditions of Approval

0409

Monitoring Program: A landscape plan shall be approved that includes replacement trees for any mature trees removed. The final map shall not be approved until the plan has been submitted, and final approval of improvements shall not be granted until compliance has been verified.

C. Mitigation Measure: Pedestrian Easement

Monitoring Program: This mitigation measure has already been addressed by a revised tentative map.

**AMENDMENTS TO THIS LAND DIVISION APPROVAL SHALL BE  
 PROCESSED IN ACCORDANCE WITH CHAPTER 18.10 OF THE COUNTY CODE.**

This Tentative Map is approved subject to the above conditions and the attached map, and expires 24 months after the 14-day appeal period. The Final Map for this division, including improvement plans if required, should be submitted to the County Surveyor for checking **at least 90 days** prior to the expiration date and in no event later than 3 weeks prior to the expiration date.

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

\_\_\_\_\_  
 Glenda Hill, AICP  
 Principal Planner

\_\_\_\_\_  
 Cathy Graves  
 Principal Planner

BEFORE THE PLANNING COMMISSION  
OF THE COUNTY OF SANTA CRUZ, STATE OF CALIFORNIA

0410

RESOLUTION NO. \_\_\_\_\_

On the motion of Commissioner  
duly seconded by Commissioner  
the following Resolution is adopted:

PLANNING COMMISSION RESOLUTION  
SENDING RECOMMENDATION TO THE BOARD OF SUPERVISORS  
ON PROPOSED AMENDMENT TO THE ZONING ORDINANCE

---

WHEREAS, the Planning Commission has held a public hearing on Application No. 98-0857, involving property located at 220 Jaunell Road, Aptos, and the Planning Commission has considered the proposed rezoning, all testimony and evidence received at the public hearing, and the attached staff report.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission recommends that the Board of Supervisors adopt the attached ordinance amending the Zoning Ordinance by changing property from the "R- 1 - 1 acre" single-family residential zone district to the "R- 1 - 10" single-family residential zone district.

BE IT FURTHER RESOLVED, that the Planning Commission makes findings on the proposed rezoning as contained in the Report to the Planning Commission.

PASSED AND ADOPTED by the Planning Commission of the County of Santa Cruz, State of California, this 13th day of December, 2000, by the following vote:

AYES: COMMISSIONERS  
NOES: COMMISSIONERS  
ABSENT: COMMISSIONERS  
ABSTAIN: COMMISSIONERS

\_\_\_\_\_  
ROBERT BREMNER, Chairperson

ATTEST: \_\_\_\_\_  
GLENDA HILL, Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
COUNTY COUNSEL

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EXHIBIT D



# County of Santa Cruz 0411

## PLANNING DEPARTMENT

701 OCEAN STREET, SUITE 400, SANTA CRUZ, CA 950604073

(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123

ALVIN D. JAMES, DIRECTOR

### NEGATIVE DECLARATION AND NOTICE OF DETERMINATION

**98-0857 Kathy Casey for Frank and Grace Ann Verduzco**

Proposal to rezone property from the R- 1- 1 acre zone district to the R- 1- 10 acre zone district, to create four single family residential lots, and to construct four single family dwellings. Requires a Rezoning, a Minor Land Division, and a Roadway/Roadside Exception to reduce Jaunell Road from the required 56-foot right of way and 36-foot roadway to a 40-foot right-of-way and a roadway ranging in width from 20-feet to 30-feet, to eliminate the required four-foot planting strip, and to eliminate sidewalks on the southeastern portion of the property from the driveway to Lot 3 to the southeastern parcel boundary. Property located on the south side of Jaunell Road about 600 feet north from Soquel Drive.

**APN: 041-233-50 Cathy Graves, Planner Zone District: R-1-1 acre**

Findings:

This project, if conditioned to comply with required mitigation measures or conditions shown below, will not have significant effect on the environment. The expected environmental impacts of the project are documented in the Initial Study on this project attached to the original of this notice on file with the Planning Department, County of Santa Cruz, 701 Ocean Street, Santa Cruz, California.

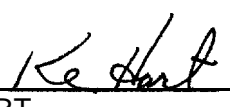
Required Mitigation Measures or Conditions:

N o n e

Att~~ached~~

Review Period Ends 09/28/00

Date Approved By Environmental Coordinator 09/29/00 .

  
 KEN HART  
 Environmental Coordinator  
 (831) 454-3127

If this project is approved, complete and file this notice with the Clerk of the Board:

NOTICE OF DETERMINATION

The Final Approval of This Project was Granted by \_\_\_\_\_

on \_\_\_\_\_. No EIR was prepared under CEQA.

THE PROJECT WAS DETERMINED TO NOT HAVE SIGNIFICANT EFFECT ON THE ENVIRONMENT.

Date completed notice filed with Clerk of the Board: \_\_\_\_\_

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**EXHIBIT E**

NAME : Casey Consulting for Verduzco  
APPLICATION: 98-0857  
A.P.N: 041-233-50

NEGATIVE DECLARATION MITIGATIONS

- A. In order to mitigate impacts from recent clearing within the riparian corridor woodland on proposed Parcel 2, the owner/applicant shall implement the approved restoration plan dated February 3, 2000 (Attachment 12 of the Initial Study), and shall permanently maintain the plantings. Further, the existing a drainage regime that favors the success of the plantings shall also be maintained (with the exception of the greywater discharge) shall not be altered such that the riparian plantings will not receive adequate water. The restoration work shall be inspected and approved by Environmental Planning staff prior to the issuance of building or grading permits on any of the parcels.
- B. In order to mitigate the loss of up to five mature oak trees, prior to filing the parcel map the owner/applicant shall submit a landscape plan for review and approval by Planning staff. The plan shall specify one 24 inch box size Coast Live Oak and one five gallon size Coast Live Oak replacement tree for each oak that is to be removed. The new trees shall be located away from the building areas where they will extend the oak woodland.
- C. In order to mitigate potential conflicts between pedestrians and traffic where there will not be sidewalk, prior to public hearing the owner/applicant shall revise the tentative map to indicate a pedestrian easement through Parcel 1 to Parcel 4.

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT

Date: August 21, 2000  
Staff Planner: Cathy Graves

0413

### ENVIRONMENTAL REVIEW INITIAL STUDY

Applicant: Kathy Casey, Casey Consulting  
Owner: Frank and Grace Ann Verduzco  
APN: 041-233-50  
Application No: 98-0857  
Supervisory District: Second District  
Site Address: 220 Jaunell Road, Aptos  
Location: On the south side of Jaunell Road about 600 feet north from Soquel Drive

#### EXISTING SITE CONDITIONS

Parcel Size: 2.06 acres  
Existing Land Use: One single-family dwelling  
Vegetation: A mixture of oaks, madrones, hydrophytic plants, chaparral  
Slope: 5 - 15% at proposed building envelopes, 30% on hillsides  
Nearby Watercourse: Valencia Creek  
Distance To: 2,000 feet  
Rock/Soil Type: USDA Soil Type 135, Elkhorn sandy loam, 15 - 30% slopes

#### ENVIRONMENTAL CONCERNS

|                         |                        |                        |                      |
|-------------------------|------------------------|------------------------|----------------------|
| Ground Water Supply:    | No mapped resource.    | Liquefaction:          | Low potential        |
| Water Supply Watershed: | No mapped resource     | Fault Zone:            | No mapped fault      |
| Ground water recharge:  | No mapped resource     | Floodplain:            | Outside floodplain - |
| Timber and Mineral:     | No mapped resource     | Riparian Corridor:     | Yes                  |
| Biotic Resources:       | Riparian habitat       | Solar Access:          | Adequate             |
| Fire Hazard:            | None                   | Electric Power Lines:  | None                 |
| Archaeology:            | Within mapped resource | Agricultural Resource: | None mapped          |
| Noise Constraint:       | None                   | Erosion:               | Low potential        |
| Landslide:              | No                     |                        |                      |

#### SERVICES

|                  |                                       |                    |               |
|------------------|---------------------------------------|--------------------|---------------|
| Fire Protection: | Aptos/La Selva Fire Protection        | Drainage District: | Zone 6        |
| Project Access:  | Jaunell Road                          | School District:   | Pajaro Valley |
| Water Supply:    | Soquel Creek Water District           |                    |               |
| Sewage Disposal: | Santa Cruz County Sanitation District |                    |               |

#### PLANNING POLICIES

Zone District: Single Family Residential R-I ac  
Within USL: Yes  
General Plan: Urban Very Low Density Residential (R-UVL)  
Special Designation: None  
Coastal Zone: No

#### PROJECT DESCRIPTION

Application No. 98-0857 is a proposal to rezone property from the R-I -1 acre zone district to the R-I -10 zone district, to create four, single family residential lots, and to construct four single family dwellings. Requires a Rezoning, a Minor Land Division, and a Roadway/Roadside Exception to reduce Jaunell Road from the required 56-foot right of way and 36-foot roadway to a 40-foot right-of-way and a roadway ranging in width from 20-feet to 30-feet, to eliminate the required four-foot planting strip, and to eliminate sidewalks on the southeastern portion of the property from the driveway to Lot 3 to the southeastern parcel boundary.

**EXHIBIT E1**

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## ENVIRONMENTAL REVIEW CHECKLIST

0414

## PROJECT SETTING

The subject parcel is 2.1 gross acres in area ( 89,615 square feet) and is located on Jaunell Road. There is an existing single family dwelling and several out buildings on the parcel, which has been used as a nursery in conjunction with the dwelling. All of the proposed new parcels would be accessed directly from Jaunell Road, which curves around the parcel creating the northern and eastern boundary of the property. Large lot single-family dwellings, with an average parcel size of 1.6 acres, are located to the south of the subject parcel, and are zoned R-I-I acre(Attachment 3). Smaller parcels, with an average parcel size of 25,156 square feet, are located to the north of the subject parcel and are zoned R- I-20. Single family residential parcels with an average size of 8,382 square feet are located to the northwest of the subject parcel and are zoned R-I -6. An apartment complex and a triplex are located to the southwest and south, and are zoned RM-5.

The site topography consists of nearly level to gentle slopes near Jaunell Road with steep slopes along the southeast side of the site away from Jaunell Road. There are two areas of slopes in excess of 30%, totaling 22,932 square feet, on the southeastern and southern portion of the parcel, adjacent to the large lot residential development. The site is located in a broad drainage ravine that encompasses several properties to the east. Through soils testing and evaluation of a potential wetland on the property, it was determined that the less sloping areas of the parcel are covered with approximately four feet of Aromas Formation fill. It appears that this fill may have resulted from the construction of Jaunell Raad and from grading activities to clear building envelopes on surrounding properties. The total volume of existing fill on the parcel is estimated to be 4,000 to 5,000 cubic yards. Soils on the filled portion of the site indicate that the parcel may have supported wetland or riparian habitat prior to the grading and filling.

Vegetation on the site includes both hydrophytic (water-loving) and drought tolerant plants. Some subsurface soils on the parcel are saturated, possibly the result of perched surface water, an existing grey water sump from the existing home, and/or up-slope subsurface movement from the well-defined riparian corridor to the northeast. Vegetation on the less sloped areas of the parcel includes oak'trees, arroyo willow, chaparral species and small horsetail. The more steeply sloped hillsides are vegetated with oak and madrone, with a minor understory of poison oak, rose and oak seedlings.

|                   |                  |                    |               |
|-------------------|------------------|--------------------|---------------|
| Significant:      | Potentially      |                    |               |
| No or Unknown     | Significant      | Less Than          | No            |
| <u>Mitigation</u> | <u>Unless</u>    | <u>Significant</u> | <u>Impact</u> |
|                   | <u>Mitigated</u> | <u>Impact</u>      | <u>Impact</u> |

## A. GEOLOGIC FACTORS

Could the project, or its related activities affect, or be affected by, the following:

1. Geologic Hazards: earthquakes (particularly surface ground rupture, liquefaction, seismic shaking), landslides, mud slides or other slope instability, or similar hazards?

X

*All portions of Santa Cruz County are subject to some hazard from earthquakes. This parcel not in a mapped fault zone where elevated hazard levels would be expected. A geotechnical investigation prepared by Haro, Kasunich and Associates, dated September 4, 1998 (Attachment 5), indicates that liquefaction potential on the site is moderate, as the top 50 feet of soil at the site has some fraction of fine-grained binder and groundwater was observed in certain lenses of the underlying soil. Loose soils comprise the top 15 feet of the site. The geotechnical investigation concluded that the proposed project appears to be compatible with the site if the recommendations of the report are incorporated in to the design and construction of the project.*

|  |  |   |                     |
|--|--|---|---------------------|
| Significant:<br>No Or Unknown<br><u>Mitigation</u> | Potentially<br>Significant<br>Unless<br><u>Mitigated</u> | Less Than<br>Significant<br><u>Impact</u> | No<br><u>Impact</u> |
|--|--|---|---------------------|

2. Soil Hazards: soil creep,  
shrink swell (expansiveness),  
high erosion potential?

X

A Geotechnical Investigation was completed by Haro, Kasunich and Associates, dated September 4, 1998 (Attachment 5). Based on their investigation, they determined that the proposed building sites appear suitable for the proposed development. The report noted that site drainage and control of runoff will be important to the performance of the project. Based on information provided in the February 27, 1999 report "Soils, Drainage, and Wetland Evaluation Report: 220 Jaunell Road, Aptos, CA," by Watershed Systems (Attachment 8), the geotechnical engineer prepared an amendment to site grading recommendations, dated May 22, 2000 (Attachment 6).

The Geotechnical Investigation also noted that site drainage and runoff control will be important on the site, due to the location of clay lenses in the subsurface soils and elevated groundwater levels. The geotechnical investigation concluded that the proposed project appears to be compatible with the site if the recommendations of the report are incorporated into the design and construction of the project.

3. Change in topography or ground  
surface relief features?

X

The building envelopes include slope generally less than 15%. There will be minimal grading associated with driveways to the building envelopes and with creating level pads for construction. Preliminary grading volume estimates are 390 cubic yards of cut and 712 cubic yards of fill for all four lots. If grading is done under the supervision of the geotechnical engineer, and excess fill is disposed of in a manner that does not create erosion, or is reengineered to replace existing fill, the impact of this grading will be less than significant.

4. The, destruction, covering or  
modification of any unique  
geologic or physical feature?

X

5. Steep slopes (over 30%)?

X

The building envelopes and proposed driveways are located on slopes less than 30%, and the building envelopes are set back a minimum of 30 feet from slopes over 30%.

6. Coastal cliff erosion?

X

7. Beach sand distribution?

X

8. Any increase in wind or water  
erosion of soils, either on  
or off site?

X

Additional impervious area would be created by the proposed project that will increase the rate and amount of runoff from undeveloped conditions. If the project were to go forward without adequate erosion control, on or off-site erosion could result. A detailed erosion control plan will be required as part of the improvement plans for the project, to prevent increased runoff and erosion.

## B. HYDROLOGIC FACTORS

Could the project affect, or be affected by, the following:

EXHIBIT E

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Significant:  
No or Unknown  
Mitigation

Potentially  
Significant  
Unless  
Mitigated

Less Than  
Significant  
Impact

No  
Impact

0416

1. Water related hazards such as flooding or tidal waves?

X

*Drainage calculations prepared by Michael Freitas, project engineer, have been reviewed and approved by the Department of Public Works, Drainage Section (Attachment 6). It appears that c'ownsiream improvements are adequate to accept drainage from the proposed development except that drainage improvements will be required along the project frontage to convey drainage to existing facilities, as shown on the preliminary improvement p/an dated March, 2000 (Attachment 1).*

2. Private or public water supply?

X

*The proposed projects are located within the boundary of the Soquel Creek Water District and will receive service from the district (Affachment 7).*

3. Septic system functioning (inadequate percolation, high water-table, proximity to water courses)?

X

*The existing dwelling is currently served by a septic system and grey water system, which will be replaced by sewer service from the County Sanitation District (Attachment 8). This will also help decrease undesired groundwater on-site.*

4. Increased siltation rates?

X

*If the project were to go forward without adequate erosion control, off site siltation could result. A detailed erosion control plan will be required as part of the improvement plans and building plans to prevent silt laden runoff from leaving the site.*

5. Surface or ground water quality (contaminants including silt-urban runoff, nutrient enrichment, pesticides, etc.)?

— X —

See Item B.4. above.

6. Quantity of ground water supply, or alteration in the direction or rate of flow of ground waters?

X

7. Groundwater recharge?

X

8. Watercourse configuration, capacity, or hydraulics?

X

9. Changes in drainage patterns or the rate and amount of runoff?

X

*Additional impervious area would be created by the proposed project and would increase the rate and amount of runoff, from existing undeveloped conditions. Drainage calculations prepared by Michael Freitas, project engineer, have been reviewed and approved by the Department of Public Works, Drainage Section (Attachment 6). it appears that downstream improvements are adequate to accept drainage from the proposed development, with the exception of the frontage facilities, which will be improved between the project site and Soquel Drive, as shown on the preliminary improvement plan dated March, 2000 (Attachment 1).*

10. Cumulative saltwater intrusion?

— — X

| Significant:<br>No or Unknown<br><u>Mitigation</u> | Potentially<br>Significant<br>Unless<br><u>Mitigated</u> | Less Than<br>Significant<br><u>Impact</u> | No<br><u>Impact</u> |
|--|--|---|---------------------|
|--|--|---|---------------------|

- |  |  |  |          |
|--|--|--|----------|
| 11. Inefficient or unnecessary water consumption?            |  |  | <u>X</u> |
| 12. Change in the amount of surface water in any water body? |  |  | <u>X</u> |

### C. BIOTIC FACTORS

Could the project affect, or be affected by, the following:

- |  |          |          |
|--|----------|----------|
| 1. Known habitat of any unique, rare or endangered plants or animals (designate species if known)?                             | _____    | <u>X</u> |
| 2. Unique or fragile biotic community (riparian corridor, wetland, coastal grasslands, special forests, intertidal zone, etc)? | <u>X</u> |          |

The parcel has undergone extensive review to determine if the presence of saturated soils and hydrophytic vegetation (in this case willows and horsetail on the surface and buried remnant water loving plants) would constitute a wetland [Reference "Soils, Drainage and Wetland Evaluation Report, dated February 27, 1999 (Attachment 9), letter dated July 15, 1999 from Bill Davilla, Ecosystems West (Attachment 10), and letter dated August 5, 1999, from Paia Levine, Resource Planner (Attachment 11)]. It was determined, based on site inspections and information provided, that the area on the parcel supporting willows is a riparian woodland, as opposed to a wetland. The project has been substantially redesigned from the original submittal to maintain the existing riparian woodland on Lot 2 and to maintain a minimum 10-foot setback from this resource. In addition, drainage on Lot 2 has been designed to allow some over/and flow through the riparian woodland, with the excess diverted to grated inlets on the southwestern parcel boundary.

A restoration plan dated February 3, 2000, has been prepared to address unpermitted clearing of riparian vegetation on the subject parcel (Attachment 12). The plan calls for planting six red willow saplings and allowing other riparian vegetation, such as poison oak and blackberries to reestablish in the designated area without additional clearing or disturbance.

The preliminary improvement plans were reviewed by Alan C. Beverly, Consulting Arborist, to determine if proposed improvements would have undesirable impacts on existing mature oak trees that are to be retained (Attachment 13). The consulting arborist determined that proposed improvements will not compromise the future of nearby trees, and that the minimum roadway clearance required by the fire department can be achieved by pruning individual branches which will also not compromise the future of the trees adjacent to Jaunell Road. The project, therefore, involves removal of only four or five mature trees.

- |   |       |       |       |          |
|---|-------|-------|-------|----------|
| 3. Fire hazard from flammable brush, grass, or trees?                             | _____ | _____ | _____ | <u>X</u> |
| 4. Change in the diversity of species, or number of species of plants or animals? | _____ | _____ | _____ | <u>X</u> |

### D. NOISE

Will the project:

Significant:  
No or Unknown  
MitigationPotentially  
Significant  
Unless  
MitigatedLess Than  
Significant  
ImpactNo  
Impact

1. Increase the ambient noise level for adjoining areas?

X

Noise generated during construction will increase the ambient noise levels for adjoining areas. Construction would be limited in duration, however, and a condition of approval will be included to limit all construction to the time between 8:00 A.M. and 5:30 P.M., weekdays, to reduce the noise impact on nearby residential development. The proposed residential development would increase permanent ambient noise in the area, but not to a significant level.

2. Violate Title 25 noise insulation standards, or General Plan noise standards, as applicable?

—

X

3. Be substantially affected by existing noise levels?

—

X

#### E. AIR

Will the project:

1. Violate any ambient air quality standard or contribute substantially to an existing or projected air quality violation?

X

2. Expose sensitive receptors to substantial pollutant concentrations?

X

Dust generation may occur during project construction. Final grading and erosion control plans shall include methods to control dust, and shall be submitted to the department of Public Works and Environmental Planning for review and approval prior to recording the parcel map.

3. Release bioengineered organisms or chemicals to the air outside of project buildings?

—

X

4. Create objectionable odors?

—

X

5. Alter wind, moisture or temperature (including sun shading effects) so as to substantially affect areas, or change the climate either in the community in the community or region?

—

X

#### F. ENERGY AND NATURAL RESOURCES

Will the project:

1. Affect or be affected by number resources?

—

—

X

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EXHIBIT E

|   | Significant:<br>No or Unknown<br><u>Mitigation</u> | Potentially<br>Significant<br>Unless<br><u>Mitigated</u> | Less Than<br>Significant<br><u>Impact</u> | No<br>p a c t |
|---|--|--|---|---------------|
| 2. Affect or be affected by lands currently utilized for agriculture or designated for agricultural use?                                | —  | —  | —   | <u>X</u>      |
| 3. Encourage activities which result in the use of large amounts of fuel, water, or energy, or use of these in a wasteful manner?       | —  | —  | —   | <u>X</u>      |
| 4. Have a substantial effect on the potential use, extraction, or depletion of a natural resource (i.e., minerals or energy resources)? |  | —  | —   | <u>X</u>      |

**G. CULTURAL/AESTHETIC FACTORS**

Will the project result in:

|   |  |   |   |          |
|---|--|---|---|----------|
| 1. Alteration or destruction of historical buildings or unique cultural features?                     |  |   |   | <u>X</u> |
| 2. Disturbance of archaeological or paleontological resources?  |  |   |   | <u>X</u> |
| 3. Obstruction or alteration of views from areas having important visual/scenic values?               |  |   | — | <u>X</u> |
| 4. Being visible from any adopted scenic highway or scenic corridor?                                  |  | — | — | <u>X</u> |
| 5. Interference with established recreational, educational, religious or scientific uses of the area? |  | — | — | <u>X</u> |

**H. SERVICES AND UTILITIES**

Will the project or its related activities result in:

|  |  |  |          |          |
|--|--|--|----------|----------|
| 1. A breach of national, state, or local standards relating to solid waste or litter management?   |  |  |          | <u>X</u> |
| 2. Expansion of or creation of new utility facilities (e.g., sewage plants, water storage, mutual water systems, storm drainage, etc.) including expansion of service area boundaries? |  |  | <u>X</u> | —        |

|  |  |   |                     |
|--|--|---|---------------------|
| Significant:<br>No or Unknown<br><u>Mitigation</u> | Potentially<br>Significant<br>Unless<br><u>Mitigated</u> | Less Than<br>Significant<br><u>Impact</u> | No<br><u>Impact</u> |
|--|--|---|---------------------|

*The existing single family dwelling is currently served by an individual septic system. The parcel is, however, within the Santa Cruz County Sanitation District, and sewer service is available to serve the existing dwelling (which is proposed to be moved) and to serve the three new lots that would be created (Attachment 8).*

3. A need for expanded governmental services in any of the following areas:

|  |          |
|--|----------|
| a. Fire protection?                                  | <u>X</u> |
| b. Police protection?                                | <u>X</u> |
| c. Schools?  | <u>X</u> |
| d. Parks or other recreational facilities?           | <u>X</u> |
| e. Maintenance of public facilities including roads? | <u>X</u> |
| f. Other governmental services? <u>      </u>        | <u>X</u> |

4. Inadequate water supply for fire protection? X

*The proposed project would receive water service, for both domestic use and fire protection, from Soquel Creek Water District.*

5. Inadequate access for fire protection?        X

*The applicant is proposing a Roadway/Roadside exception to County Design Criteria standards for an urban road, to reduce Jaunell Road from the required 56-foot right of way and 36-foot roadway to a 40-foot right-of-way and a roadway ranging from 20 feet to 30 feet in width. Although this design does not meet County Design criteria, it represents a substantial improvement to existing conditions on Jaunell Road, and has been reviewed and approved by the Aptos/La Selva fire Protection District (Attachment 6).*

## II. TRAFFIC AND TRANSPORTATION

Will the project result in:

1. An increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system?        X

*The proposed project will result in an increase in the existing traffic load. The creation of three new lots would result in the generation of approximately 30 new vehicle trips per day, of which approximately 3 would occur in the P.M. peak hour. This number of new trips, and peak hour trips, would not significantly impact the surrounding road network. The number of peak hour trips is minimal and would not be sufficient to result in a lower level of service (LOS) than currently exists.*

|  | Significant:<br>No or Unknown<br><u>Mitigation</u> | Potentially<br>Significant<br>Unless<br><u>Mitigated</u> | Less Than<br>Significant<br><u>Impact</u> | No<br><u>Impact</u> |
|--|--|--|---|---------------------|
| 2. Cause substantial increase in transit demand which cannot be accommodated by existing or proposed transit capacity? | <u>      </u>                                      |  | <u>      </u>                             | <u>  X  </u>        |
| 3. Cause a substantial increase in parking demand which cannot be accommodated by existing parking facilities?         |  |  |   | <u>  X  </u>        |
| 4. Alterations to present patterns of circulation or movement of people and/or goods?                                  |  |  |   | <u>  X  </u>        |
| 5. Increase in traffic hazards to motor vehicles, bicyclists, or pedestrians?  | <u>      </u>                                      |  | <u>  X  </u>                              |                     |

*The applicant is proposing a Roadway/Roadside exception to County Design Criteria standards for an urban road, to reduce Jaunell Road from the required 56-foot right of way and 36-foot roadway to a 40-foot right-of-way and a roadway ranging from 20 feet to 30 feet in width. Also proposed is elimination of a sidewalk on the southeastern portion of the parcel, due to topographic constraints and to maintain mature trees. Pedestrian safety will not be impaired by the lack of sidewalk, however, as a pedestrian easement will be required through Lot 1, to benefit Lot 4, so that all new lots will have access to sidewalks.*

|  |               |              |
|--|---------------|--------------|
| 6. Cause preemption of public mass-transportation modes? | <u>      </u> | <u>  X  </u> |
|--|---------------|--------------|

## J. LAND USE/HOUSING

Will the project result in:

|  |               |              |
|--|---------------|--------------|
| 1. Reduction of low/moderate income housing?                               | <u>      </u> | <u>  X  </u> |
| 2. Demand for additional housing?  | <u>      </u> | <u>  X  </u> |
| 3. A substantial alteration of the present or planned land use of an area? | <u>      </u> | <u>  X  </u> |

*Although the applicant is requesting a rezoning, to allow parcel sizes of a minimum of 10,000 square feet, net developable area, no change is requested in the General Plan designation of R-UVL or Urban Very Low Density Residential Density (Attachment 4). The density requested is consistent with the General Plan designation, and reflects the generally flat topography on the majority of the site and the availability of sewer service for the new development. The proposed zoning would be consistent with that of surrounding parcels and would act as a transition between higher density housing to the south and large lot development to the north. See Attachment 3 for the zoning context.*

|  |               |              |
|--|---------------|--------------|
| 4. Change in the character of the community in terms of terms of distribution or concentration of income, income, ethnic, housing, or age group? | <u>      </u> | <u>  X  </u> |
|--|---------------|--------------|

Significant:  
No or Unknown  
Mitigation

Potentially  
Significant  
Unless  
Mitigated

Less Than  
Significant  
Impact

No  
Impact

5. Land use not in conformance with the character of the surrounding neighborhood?

X

*The proposed higher density zoning would provide a transition between higher density housing to the south of the existing parcel and large lot development to the north, and would be lower density than development to the southwest.*

#### K. HAZARDS

Will the project:

1. Involve the use, production or disposal of materials which pose hazard to people, animal or plant populations in the area affected?

X

2. Result in transportation of significant amounts of hazardous materials, other than motor fuel?

X

3. Involve release of any bioengineered organisms outside of controlled laboratories?

X

4. Involve the use of any pathogenic organisms on site?

X

5. Require major expansion or special training of police, fire, hospital and/or ambulance services to deal with possible accidents?

X

6. Create a potential substantial fire hazard?

X

7. Expose people to electro-magnetic fields associated with electrical transmission lines?

X

#### L. GENERAL PLANS AND PLANNING POLICY

1. Does the project conflict with any policies in the adopted General Plan or Local Coastal Program? If so, how?

X

2. Does the project conflict with any local, state or federal ordinances? If so, how?

X

*The applicant has requested a Roadway/Roadside exception to County Design Criteria standards for urban roads. The requested exception would reduce Jaunell Road from the required 56-foot right of*

Significant:  
No or Unknown  
Mitigation

Potentially  
Significant  
Unless  
Mitigated

Less Than  
Significant  
Impact

No  
impact

way and 36-foot roadway to a 40-foot right-of-way and a roadway ranging in width from 20-feet to 30-feet, eliminate the required four-foot planting strip, and eliminate sidewalks on the southeastern portion of the property from the driveway to Lot 3 to the southeastern parcel boundary. County Code Section 570.050 allows for an exception to County Design Criteria when the improvements are not appropriate due to the character of development in the area and the lack of improvements on surrounding developed property and when local topographic conditions render the improvements physically infeasible. Both of these conditions are applicable to the proposed project. Although the subject parcel is located within the Urban Services Line, the existing configuration of Jaunell Road is more rural in nature, and surrounding developed property is not improved, with the exception of an asphalt concrete sidewalk on Jaunell Road adjacent to the apartment complex. The applicant is proposing improvements that would provide adequate vehicular access and fire access, would provide additional on-street parking, and would include sidewalks to serve the new development. The proposed improvements are consistent with the rural feel and large lots in the area, and would improve existing conditions on Jaunell Road considerably.

Because the proposed project is subject to the County's Design Review Ordinance, Chapter 13.11, the project design is required, to the extent feasible, to incorporate mature trees into the design of the project. After redesign, only four mature oak trees and possibly one mature maple tree will be removed, which is consistent with the design review ordinance.

3. Does the project have  
potentially growth inducing effect? \_\_\_\_\_

X

The proposed project is designed at the density and intensity of development indicated by the General Plan designations of the parcels, and is consistent surrounding development. Although the applicant is requesting a rezoning to allow higher density than currently allowed, the requesting zoning is consistent with the General Plan designation of R-UVL, and is consistent with the topography of the site and the availability of sewer service to the parcel.

4. Does the project require  
approval of regional, state,  
or federal agencies? Which agencies?

No regional, state or federal approval is required for the proposed project.



## MANDATORY FINDINGS OF SIGNIFICANCE

|  | <u>YES</u> | <u>NO</u> |
|--|------------|-----------|
| 1. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or pre-history? |            | <u>X</u>  |
| 2. Does the project have the potential to achieve short term, to the disadvantage of long term environmental goals? (A short term impact on the environment is one which occurs in a relatively brief, definitive period of time while long term impacts will endure well into the future.)  | —          | <u>X</u>  |
| 3. Does the project have impacts which are individually limited but cumulatively considerable? (A project may impact on two or more separate resources where the impact on each resource is relatively small, but where the effect of the total of those impacts on the environment is significant. Analyze in the light of past projects, other current projects, and probable future projects.)  | —          | <u>X</u>  |
| 4. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?  | —          | <u>X</u>  |

## TECHNICAL REVIEW CHECKLIST

|   | <u>REQUIRED</u>   | <u>COMPLETED*</u> | <u>N/A</u>      |
|---|-------------------|-------------------|-----------------|
| 4PAC REVIEW                                 | <u>          </u> | <u>          </u> | <u>X</u>        |
| ARCHAEOLOGIC REVIEW                         | <u>          </u> | <u>          </u> | <u>X</u>        |
| BIOTIC ASSESSMENT                           | <u>          </u> | <u>02/27/99</u>   | <u>X</u>        |
| GEOLOGIC HAZARD ASSESSMENT                  | <u>          </u> | <u>          </u> | <u>X</u>        |
| GEOLOGIC REPORT                             | <u>          </u> | <u>          </u> | <u>X</u>        |
| RIPARIAN PRE-SITE                           | <u>          </u> | <u>          </u> | <u>X</u>        |
| SEPTIC LOT CHECK                            | <u>          </u> | <u>          </u> | <u>X</u>        |
| SOILS REPORT                                | <u>X</u>          | <u>0910498</u>    | <u>        </u> |
| OTHER:                                      |                   |                   |                 |
| Soils, Drainage, and Wetland Evaluation     | <u>X</u>          | <u>02/27/99</u>   | <u>        </u> |
| <u>                                    </u> | <u>          </u> | <u>          </u> | <u>        </u> |
| <u>                                    </u> | <u>          </u> | <u>          </u> | <u>        </u> |
| <u>                                    </u> | <u>          </u> | <u>          </u> | <u>        </u> |

\*Attach summary and recommendation from completed reviews

List any other technical reports or information sources used in preparation of this initial study:

## ENVIRONMENTAL REVIEW ACTION

On the basis of this initial evaluation:

- - I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.

& I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described below have been added to the project. A NEGATIVE DECLARATION will be prepared.

I find the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

Date

8/24/00

Signature

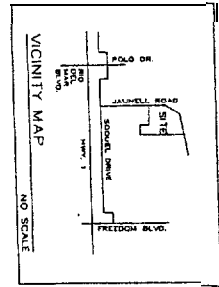
*[Handwritten Signature]*

For:  
Environmental Coordinator

## Attachments:

1. Site Plan and Landscape Plan by Casey Consulting, dated 3/14/00; Tentative Parcel Map by Dunbar & Craig, dated 8/98; Preliminary Improvement Plan, Preliminary Grading and Drainage Plan, Road Cross Sections, and Drainage Plan by Freitas & Freitas, dated 3/00
2. Assessors Parcel Map
3. Zoning Map
4. General Plan Map
5. County Review Letter and Summary and Recommendations from Geotechnical Investigation by Haro, Kasunich and Associates, dated 9/4/98
6. Comments from reviewing agencies and departments
7. Letters from Soquel Creek Water District, dated 9/3/98 and 1/18/00
8. Memo from S.M. Harper, County Sanitation District, dated 1/7/00
9. Soils, Drainage and Wetland Evaluation Report by Watershed Systems, dated 2/27/99
10. Letter from Bill Davilla, Ecosystems West, dated 7/15/99.
11. Letter from Paia Levine, Resource Planner, dated 8/5/99
12. Restoration Plan by Applicant, dated 2/3/00
13. Letter from alan C. Beverly, Consulting Arborist, dated 7/28/00

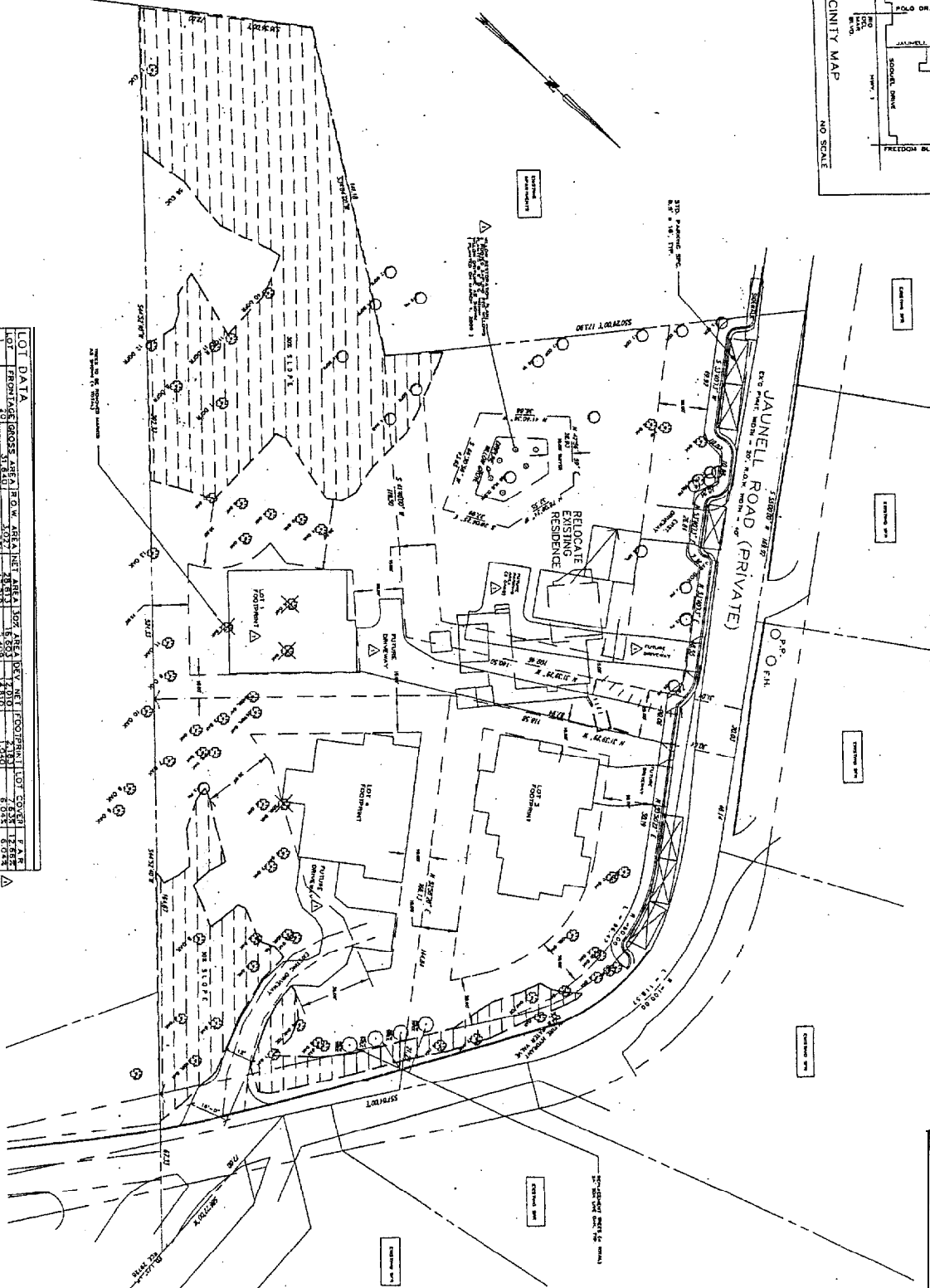
evstudy  
August 24, 2000



# SITE PLAN & LANDSCAPE PLAN

| LOT DATA |          |            |            |          |           |       |       |           |           |        |         |
|----------|----------|------------|------------|----------|-----------|-------|-------|-----------|-----------|--------|---------|
| LOT      | FRONTAGE | GROSS AREA | ROW. DIST. | NET AREA | TOT. AREA | DEV.  | NET   | FOOTPRINT | LOT COVER | P.A.R. | REMARKS |
| 1        | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 2        | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 3        | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 4        | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 5        | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 6        | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 7        | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 8        | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 9        | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 10       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 11       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 12       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 13       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 14       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 15       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 16       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 17       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 18       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 19       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 20       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 21       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 22       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 23       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 24       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 25       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 26       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 27       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 28       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 29       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 30       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 31       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |
| 32       | 14.50    | 2,210      | 4.01       | 1,809    | 16,003    | 2,700 | 1,183 | 7,534     | 12.66%    |        |         |

**RULES**  
1. LOT 1 R.O.W. AREA INCLUDES FLAG EAST OF JAUNELL ROAD R.O.W.  
2. LOT 4 R.O.W. AREA INCLUDES AREA PRESERVE AREA  
3. LOT 2 30% AREA INCLUDES WILLOW PRESERVE AREA



**SUBJECT SCHEDULE**

- |       |                               |
|-------|-------------------------------|
| 1     | SITE PLAN & LANDSCAPE PLAN    |
| 2     | TENTATIVE PARCEL MAP          |
| 3A-D  | PRELIMINARY IMPROVEMENT PLAN  |
| 4     | WEST PERSPECTIVE              |
| 5-8   | LOT 1 ELEVATIONS, FLOOR PLANS |
| 9-12  | LOT 2 ELEVATIONS, FLOOR PLANS |
| 13-16 | LOT 4 ELEVATIONS, FLOOR PLANS |

## Environmental Review Initial Study

ATTACHMENT 1  
APPLICATION 98-0851

OF 16 SHEETS



**SWIFT**

12/16/99

PROJECT:  
VERDUZCO MLD  
OWNER: FRANK & GRACE ANN VERDUZCO  
220 JAUNELL ROAD  
SANTA CRUZ COUNTY  
A.P.N. 041-233-50

**CASEY CONSULTING**  
LAND USE PLANNING • BUILDING  
DESIGN  
1677 WILSHIRE DRIVE, APTOS, CA 95003  
(831) 888-7104

EXHIBIT E

58

THREE LEADS

APN 041-233-84  
ROBERT SCHMIDL ET UX  
PARCEL B  
34-PM-14

APR 04-23-63  
HARPAL GILL, ET AL  
PARCEL A  
34-PM-14

APN 041-233-30  
PENO SARAILEY, ET UX  
#28836 - 6/27/97

APN 041-431-11  
KMS TAMAKI  
FORMERLY 2828-OR-188

APN 041-431-10  
MARK NELSON, ET UX  
#47275 - B/14/98

APN 041-431-09  
RANDALL EVANS  
195443 - 12/17/92

APN 041-233-57  
FRANK HEIDENFELDER, ET UX  
PARCEL A  
22-PM-72

APN 041-233-56  
ORGE BACOTT, ET UX  
PARCEL B  
22-PM-72

APR 041-233-71  
FRANK WARTHEMAN, ET UX  
PARCEL B  
S1-PM-5

PARCEL B  
S1-PM-5

SI-PN-5

GRAPHIC SCALE

( IN FEET )

Length = 50 ft.



DUNBAR and CRAIG

1 CEDAR STREET, SANTA CRUZ, CA 95009  
P.O. BOX 1018, SANTA CRUZ, 95061  
(408) 473-7331

1990년 12월 10일

|            |               |
|------------|---------------|
| 020 JAN 40 | 11 02 - 10M 1 |
|------------|---------------|

|         |       |
|---------|-------|
| YOM ONY | 1/1/8 |
| 1-1-8   | 1-1-8 |

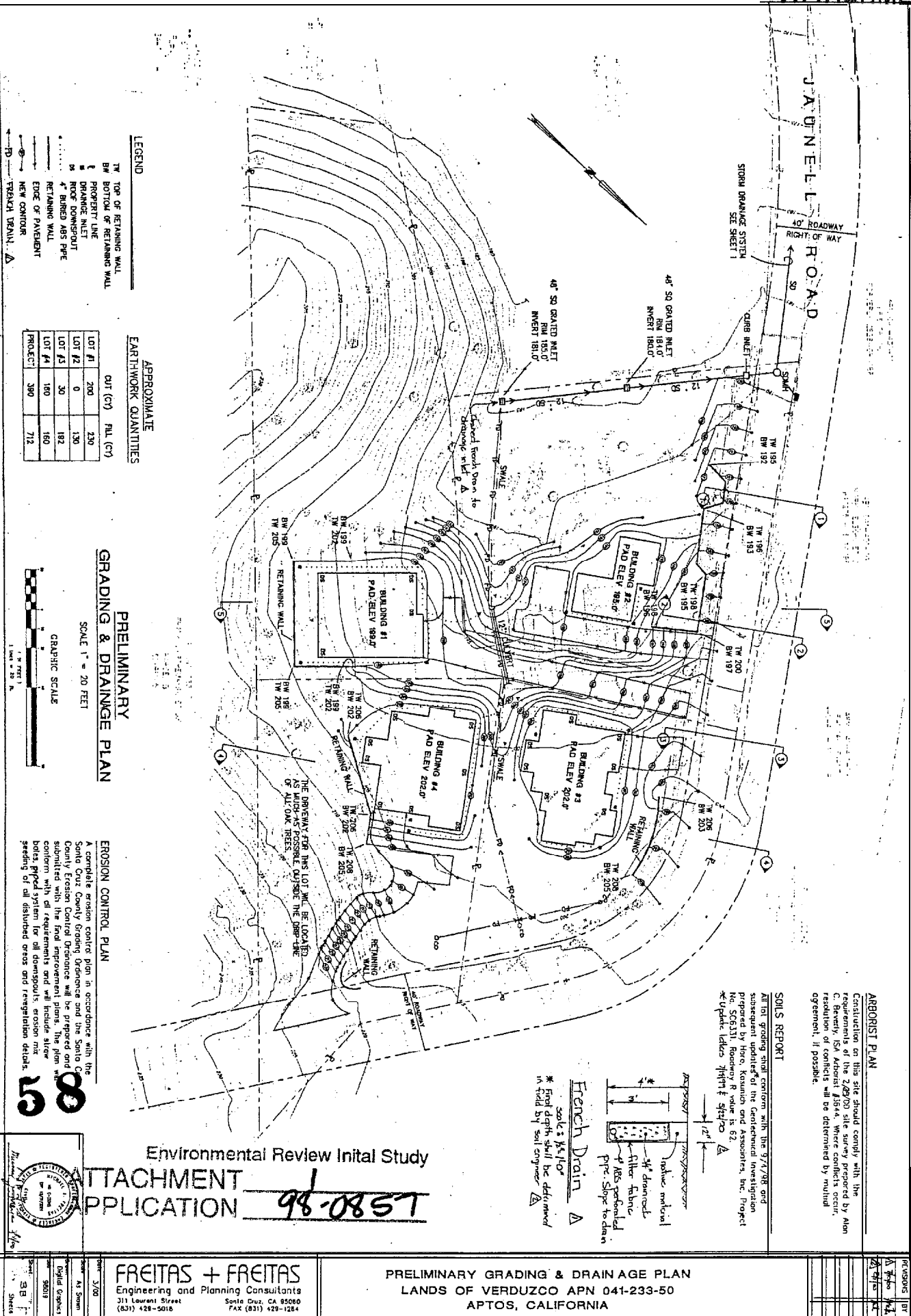
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APPROPRIATE AGENCY REVIEW INITIALS

**EXHIBIT**



0430



LEGEND

- TW TOP OF RETAINING WALL
- BW BOTTOM OF RETAINING WALL
- PROPERTY LINE
- ROOF DOWNSPOUT
- 4\"/>

APPROXIMATE  
EARTHWORK QUANTITIES

|         | CUT (CY) | FILL (CY) |
|---------|----------|-----------|
| LOT #1  | 200      | 230       |
| LOT #2  | 0        | 130       |
| LOT #3  | 30       | 182       |
| LOT #4  | 160      | 160       |
| PROJECT | 390      | 712       |

PRELIMINARY  
GRADING & DRAINAGE PLAN

SCALE 1\"/>

GRAPHIC SCALE



EROSION CONTROL PLAN

A complete erosion control plan in accordance with the Santa Cruz County Grading Ordinance and the Santa Cruz County Erosion Control Ordinance will be prepared and submitted with the final improvement plans. The plan will conform with all requirements and will include slope stakes, pipe system for all downspouts, erosion mix seeding of all disturbed areas and revegetation details.

ARBORIST PLAN

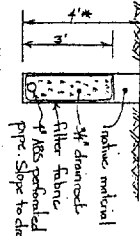
Construction on this site should comply with the requirements of the 2/28/00 site survey prepared by Alan C. Beverly, ISA Arborist #15844. Where conflicts occur, resolution of conflicts will be determined by mutual agreement, if possible.

SOILS REPORT

All top grading shall conform with the 7/1/98 and subsequent updates of the Geotechnical Investigation prepared by Hays, Kohnen and Associates, Inc. Project SCD11. Minimum Factor is 62.  
\* Update dates 11/11/11 4/1/20

French Drain

soil: 3 1/2\"/>



Environmental Review Initial Study

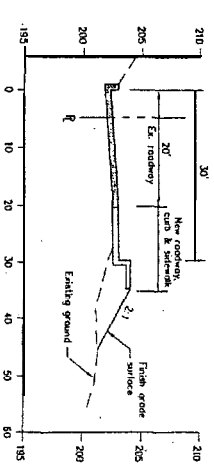
ATTACHMENT  
APPLICATION

98-0857

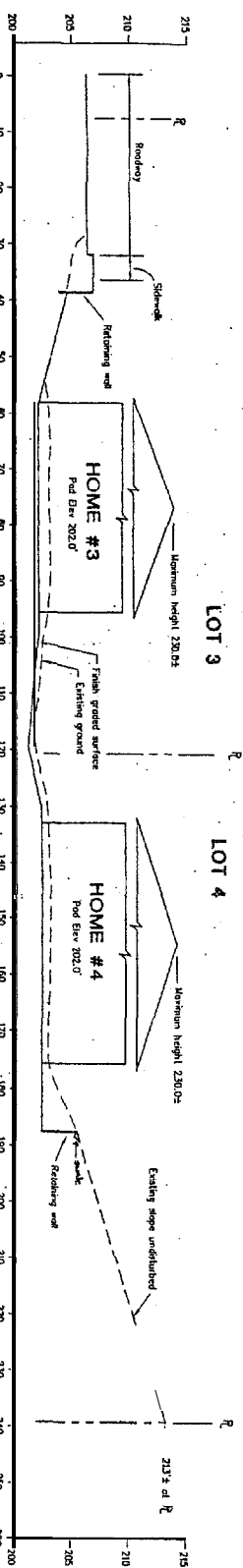
**FREITAS + FREITAS**  
Engineering and Planning Consultants  
311 Laurent Street  
(831) 428-5018  
Santa Cruz, CA 95060  
Fax (831) 429-1284

PRELIMINARY GRADING & DRAINAGE PLAN  
LANDS OF VERDUZCO APN 041-233-50  
APTOS, CALIFORNIA

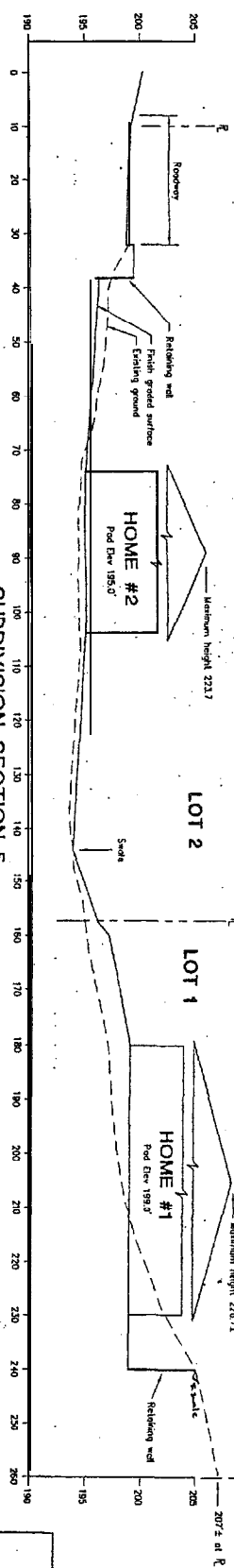
EXHIBIT E



**SECTION 3**  
**30' WIDE ROADWAY**  
SCALE 1" = 10' HORIZONTAL 1" = 5' VERTICAL



**SUBDIVISION SECTION 4**  
SCALE 1" = 10' HORIZONTAL 1"=5' VERTICAL



**SUBDIVISION SECTION 5**  
SCALE 1" = 10' HORIZONTAL 1"=5' VERTICAL

Environmental Review Initial Study  
ATTACHMENT 1  
APPLICATION 98-0857

CROSS SECTION5  
LANDS OF VERDUZCO APN 041-233-50  
APTOS, CALIFORNIA

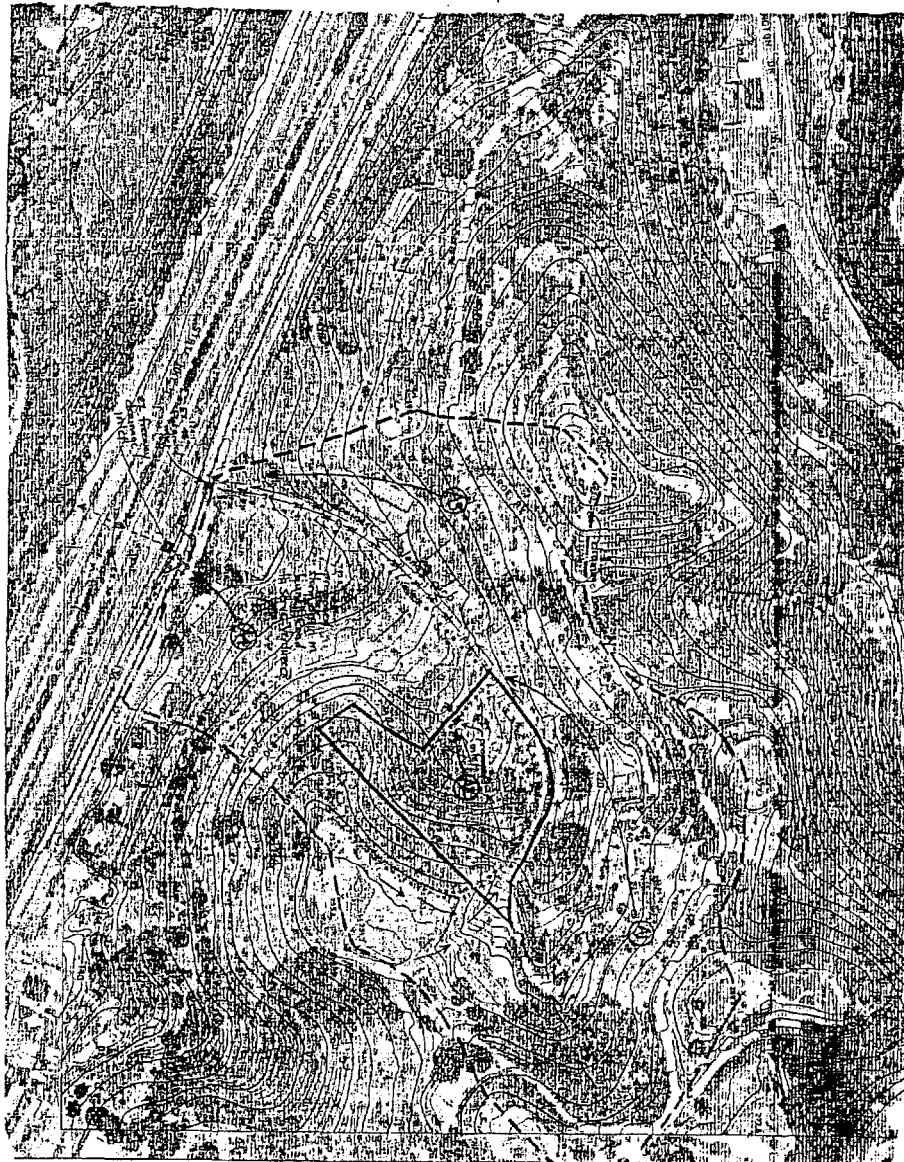
**FREITAS + FREITAS**  
Engineering and Planning Consultants  
311 Laurant Street  
(831) 429-5018  
Santa Cruz, CA 95060  
FAX (831) 429-1264

|       |                  |
|-------|------------------|
| Scale | As Shown         |
| Drawn | Digital Graphics |
| Job   | 56019            |
| Sheet | 73C              |
|       | Sheets           |



432

- Legend**
- Damage boundary
  - Sub drainage boundary
  - Drainage boundary
  - Buried storm drain
  - Drainage inlet
  - Property line
  - Tributary Area



**DRAINAGE PLAN & REPORT  
FOR  
220 JAUNELL ROAD, APTOS  
LANDS OF VERDUZCO (APN 041-233-50)**

This map shows the existing drainage boundaries and facilities which serve the area around the proposed Transition Shop Application No. 98-0857. The map shows the drainage boundary in this area has been directed to flow on the surface of Jaunell Road by signing the road around the right side and serving drainage against an AC curb placed there. AC curbs have been placed along the downhill roadside to keep them from entering the Verduzco property.

Along Jaunell Drive at all points where the ground drainage will collect the flow from Jaunell Road and connect it to the drainage system that drains the Verduzco property (Jaunell Drive) is shown on the map. The existing drainage that is partially shown on Jaunell Drive is shown as a dashed line. The drainage for the proposed site is shown as a solid line. The drainage for the proposed site is shown as a solid line. The drainage for the proposed site is shown as a solid line.

This project proposes to construct a buried storm drainage system to collect storm water from the site and deliver it to the drainage system that drains the Verduzco property. The drainage for the proposed site is shown as a solid line. The drainage for the proposed site is shown as a solid line. The drainage for the proposed site is shown as a solid line.

Site: C-0.5, P-0.5, S-0.5, T-0.5, U-0.5, V-0.5, W-0.5, X-0.5, Y-0.5, Z-0.5, AA-0.5, AB-0.5, AC-0.5, AD-0.5, AE-0.5, AF-0.5, AG-0.5, AH-0.5, AI-0.5, AJ-0.5, AK-0.5, AL-0.5, AM-0.5, AN-0.5, AO-0.5, AP-0.5, AQ-0.5, AR-0.5, AS-0.5, AT-0.5, AU-0.5, AV-0.5, AW-0.5, AX-0.5, AY-0.5, AZ-0.5, BA-0.5, BB-0.5, BC-0.5, BD-0.5, BE-0.5, BF-0.5, BG-0.5, BH-0.5, BI-0.5, BJ-0.5, BK-0.5, BL-0.5, BM-0.5, BN-0.5, BO-0.5, BP-0.5, BQ-0.5, BR-0.5, BS-0.5, BT-0.5, BU-0.5, BV-0.5, BW-0.5, BX-0.5, BY-0.5, BZ-0.5, CA-0.5, CB-0.5, CC-0.5, CD-0.5, CE-0.5, CF-0.5, CG-0.5, CH-0.5, CI-0.5, CJ-0.5, CK-0.5, CL-0.5, CM-0.5, CN-0.5, CO-0.5, CP-0.5, CQ-0.5, CR-0.5, CS-0.5, CT-0.5, CU-0.5, CV-0.5, CW-0.5, CX-0.5, CY-0.5, CZ-0.5, DA-0.5, DB-0.5, DC-0.5, DD-0.5, DE-0.5, DF-0.5, DG-0.5, DH-0.5, DI-0.5, DJ-0.5, DK-0.5, DL-0.5, DM-0.5, DN-0.5, DO-0.5, DP-0.5, DQ-0.5, DR-0.5, DS-0.5, DT-0.5, DU-0.5, DV-0.5, DW-0.5, DX-0.5, DY-0.5, DZ-0.5, EA-0.5, EB-0.5, EC-0.5, ED-0.5, EE-0.5, EF-0.5, EG-0.5, EH-0.5, EI-0.5, EJ-0.5, EK-0.5, EL-0.5, EM-0.5, EN-0.5, EO-0.5, EP-0.5, EQ-0.5, ER-0.5, ES-0.5, ET-0.5, EU-0.5, EV-0.5, EW-0.5, EX-0.5, EY-0.5, EZ-0.5, FA-0.5, FB-0.5, FC-0.5, FD-0.5, FE-0.5, FF-0.5, FG-0.5, FH-0.5, FI-0.5, FJ-0.5, FK-0.5, FL-0.5, FM-0.5, FN-0.5, FO-0.5, FP-0.5, FQ-0.5, FR-0.5, FS-0.5, FT-0.5, FU-0.5, FV-0.5, FW-0.5, FX-0.5, FY-0.5, FZ-0.5, GA-0.5, GB-0.5, GC-0.5, GD-0.5, GE-0.5, GF-0.5, GH-0.5, GI-0.5, GJ-0.5, GK-0.5, GL-0.5, GM-0.5, GN-0.5, GO-0.5, GP-0.5, GQ-0.5, GR-0.5, GS-0.5, GT-0.5, GU-0.5, GV-0.5, GW-0.5, GX-0.5, GY-0.5, GZ-0.5, HA-0.5, HB-0.5, HC-0.5, HD-0.5, HE-0.5, HF-0.5, HG-0.5, HH-0.5, HI-0.5, HJ-0.5, HK-0.5, HL-0.5, HM-0.5, HN-0.5, HO-0.5, HP-0.5, HQ-0.5, HR-0.5, HS-0.5, HT-0.5, HU-0.5, HV-0.5, HW-0.5, HX-0.5, HY-0.5, HZ-0.5, IA-0.5, IB-0.5, IC-0.5, ID-0.5, IE-0.5, IF-0.5, IG-0.5, IH-0.5, II-0.5, IJ-0.5, IK-0.5, IL-0.5, IM-0.5, IN-0.5, IO-0.5, IP-0.5, IQ-0.5, IR-0.5, IS-0.5, IT-0.5, IU-0.5, IV-0.5, IW-0.5, IX-0.5, IY-0.5, IZ-0.5, JA-0.5, JB-0.5, JC-0.5, JD-0.5, JE-0.5, JF-0.5, JG-0.5, JH-0.5, JI-0.5, JJ-0.5, JK-0.5, JL-0.5, JM-0.5, JN-0.5, JO-0.5, JP-0.5, JQ-0.5, JR-0.5, JS-0.5, JT-0.5, JU-0.5, JV-0.5, JW-0.5, JX-0.5, JY-0.5, JZ-0.5, KA-0.5, KB-0.5, KC-0.5, KD-0.5, KE-0.5, KF-0.5, KG-0.5, KH-0.5, KI-0.5, KJ-0.5, KK-0.5, KL-0.5, KM-0.5, KN-0.5, KO-0.5, KP-0.5, KQ-0.5, KR-0.5, KS-0.5, KT-0.5, KU-0.5, KV-0.5, KW-0.5, KX-0.5, KY-0.5, KZ-0.5, LA-0.5, LB-0.5, LC-0.5, LD-0.5, LE-0.5, LF-0.5, LG-0.5, LH-0.5, LI-0.5, LJ-0.5, LK-0.5, LL-0.5, LM-0.5, LN-0.5, LO-0.5, LP-0.5, LQ-0.5, LR-0.5, LS-0.5, LT-0.5, LU-0.5, LV-0.5, LW-0.5, LX-0.5, LY-0.5, LZ-0.5, MA-0.5, MB-0.5, MC-0.5, MD-0.5, ME-0.5, MF-0.5, MG-0.5, MH-0.5, MI-0.5, MJ-0.5, MK-0.5, ML-0.5, MM-0.5, MN-0.5, MO-0.5, MP-0.5, MQ-0.5, MR-0.5, MS-0.5, MT-0.5, MU-0.5, MV-0.5, MW-0.5, MX-0.5, MY-0.5, MZ-0.5, NA-0.5, NB-0.5, NC-0.5, ND-0.5, NE-0.5, NF-0.5, NG-0.5, NH-0.5, NI-0.5, NJ-0.5, NK-0.5, NL-0.5, NM-0.5, NN-0.5, NO-0.5, NP-0.5, NQ-0.5, NR-0.5, NS-0.5, NT-0.5, NU-0.5, NV-0.5, NW-0.5, NX-0.5, NY-0.5, NZ-0.5, OA-0.5, OB-0.5, 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XS-0.5, XT-0.5, XU-0.5, XV-0.5, XW-0.5, XX-0.5, XY-0.5, XZ-0.5, YA-0.5, YB-0.5, YC-0.5, YD-0.5, YE-0.5, YF-0.5, YG-0.5, YH-0.5, YI-0.5, YJ-0.5, YK-0.5, YL-0.5, YM-0.5, YN-0.5, YO-0.5, YP-0.5, YQ-0.5, YR-0.5, YS-0.5, YT-0.5, YU-0.5, YV-0.5, YW-0.5, YX-0.5, YY-0.5, YZ-0.5, ZA-0.5, ZB-0.5, ZC-0.5, ZD-0.5, ZE-0.5, ZF-0.5, ZG-0.5, ZH-0.5, ZI-0.5, ZJ-0.5, ZK-0.5, ZL-0.5, ZM-0.5, ZN-0.5, ZO-0.5, ZP-0.5, ZQ-0.5, ZR-0.5, ZS-0.5, ZT-0.5, ZU-0.5, ZV-0.5, ZW-0.5, ZX-0.5, ZY-0.5, ZZ-0.5.

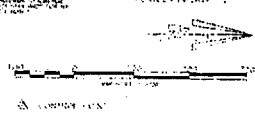
SANTA CRUZ COUNTY  
PUBLIC WORKS DEPARTMENT  
ORTHO / TOPO MAPPING

ZONE 6 DRAINAGE DISTRICT

| Zone | Area | Permit | Notes |
|------|------|--------|-------|
| 1    | 1.0  | 1.0    | 1.0   |
| 2    | 2.0  | 2.0    | 2.0   |
| 3    | 3.0  | 3.0    | 3.0   |
| 4    | 4.0  | 4.0    | 4.0   |
| 5    | 5.0  | 5.0    | 5.0   |
| 6    | 6.0  | 6.0    | 6.0   |
| 7    | 7.0  | 7.0    | 7.0   |
| 8    | 8.0  | 8.0    | 8.0   |
| 9    | 9.0  | 9.0    | 9.0   |
| 10   | 10.0 | 10.0   | 10.0  |
| 11   | 11.0 | 11.0   | 11.0  |
| 12   | 12.0 | 12.0   | 12.0  |
| 13   | 13.0 | 13.0   | 13.0  |
| 14   | 14.0 | 14.0   | 14.0  |
| 15   | 15.0 | 15.0   | 15.0  |
| 16   | 16.0 | 16.0   | 16.0  |
| 17   | 17.0 | 17.0   | 17.0  |
| 18   | 18.0 | 18.0   | 18.0  |
| 19   | 19.0 | 19.0   | 19.0  |
| 20   | 20.0 | 20.0   | 20.0  |
| 21   | 21.0 | 21.0   | 21.0  |
| 22   | 22.0 | 22.0   | 22.0  |
| 23   | 23.0 | 23.0   | 23.0  |
| 24   | 24.0 | 24.0   | 24.0  |
| 25   | 25.0 | 25.0   | 25.0  |
| 26   | 26.0 | 26.0   | 26.0  |
| 27   | 27.0 | 27.0   | 27.0  |
| 28   | 28.0 | 28.0   | 28.0  |
| 29   | 29.0 | 29.0   | 29.0  |
| 30   | 30.0 | 30.0   | 30.0  |
| 31   | 31.0 | 31.0   | 31.0  |
| 32   | 32.0 | 32.0   | 32.0  |
| 33   | 33.0 | 33.0   | 33.0  |
| 34   | 34.0 | 34.0   | 34.0  |
| 35   | 35.0 | 35.0   | 35.0  |
| 36   | 36.0 | 36.0   | 36.0  |
| 37   | 37.0 | 37.0   | 37.0  |
| 38   | 38.0 | 38.0   | 38.0  |
| 39   | 39.0 | 39.0   | 39.0  |
| 40   | 40.0 | 40.0   | 40.0  |
| 41   | 41.0 | 41.0   | 41.0  |
| 42   | 42.0 | 42.0   | 42.0  |
| 43   | 43.0 | 43.0   | 43.0  |
| 44   | 44.0 | 44.0   | 44.0  |
| 45   | 45.0 | 45.0   | 45.0  |
| 46   | 46.0 | 46.0   | 46.0  |
| 47   | 47.0 | 47.0   | 47.0  |
| 48   | 48.0 | 48.0   | 48.0  |
| 49   | 49.0 | 49.0   | 49.0  |
| 50   | 50.0 | 50.0   | 50.0  |

AIRBORNE PHOTOGRAPHY SERVICES  
1000 N. ZEPHYRUS AVE.  
SANTA CRUZ, CA 95060  
(408) 298-1234

DATE: 10/1/98  
BY: [Signature]  
CHECKED: [Signature]  
APPROVED: [Signature]



**Hydrology**

In accordance with County Design Criteria for drainage C-4.6, T-1.4

| Name | Description   | Area | Permit | Notes |
|------|---------------|------|--------|-------|
| 1    | Area Drainage | 1.0  | 1.0    | 1.0   |
| 2    | Area Drainage | 2.0  | 2.0    | 2.0   |
| 3    | Area Drainage | 3.0  | 3.0    | 3.0   |
| 4    | Area Drainage | 4.0  | 4.0    | 4.0   |
| 5    | Area Drainage | 5.0  | 5.0    | 5.0   |
| 6    | Area Drainage | 6.0  | 6.0    | 6.0   |
| 7    | Area Drainage | 7.0  | 7.0    | 7.0   |
| 8    | Area Drainage | 8.0  | 8.0    | 8.0   |
| 9    | Area Drainage | 9.0  | 9.0    | 9.0   |
| 10   | Area Drainage | 10.0 | 10.0   | 10.0  |
| 11   | Area Drainage | 11.0 | 11.0   | 11.0  |
| 12   | Area Drainage | 12.0 | 12.0   | 12.0  |
| 13   | Area Drainage | 13.0 | 13.0   | 13.0  |
| 14   | Area Drainage | 14.0 | 14.0   | 14.0  |
| 15   | Area Drainage | 15.0 | 15.0   | 15.0  |
| 16   | Area Drainage | 16.0 | 16.0   | 16.0  |
| 17   | Area Drainage | 17.0 | 17.0   | 17.0  |
| 18   | Area Drainage | 18.0 | 18.0   | 18.0  |
| 19   | Area Drainage | 19.0 | 19.0   | 19.0  |
| 20   | Area Drainage | 20.0 | 20.0   | 20.0  |
| 21   | Area Drainage | 21.0 | 21.0   | 21.0  |
| 22   | Area Drainage | 22.0 | 22.0   | 22.0  |
| 23   | Area Drainage | 23.0 | 23.0   | 23.0  |
| 24   | Area Drainage | 24.0 | 24.0   | 24.0  |
| 25   | Area Drainage | 25.0 | 25.0   | 25.0  |
| 26   | Area Drainage | 26.0 | 26.0   | 26.0  |
| 27   | Area Drainage | 27.0 | 27.0   | 27.0  |
| 28   | Area Drainage | 28.0 | 28.0   | 28.0  |
| 29   | Area Drainage | 29.0 | 29.0   | 29.0  |
| 30   | Area Drainage | 30.0 | 30.0   | 30.0  |
| 31   | Area Drainage | 31.0 | 31.0   | 31.0  |
| 32   | Area Drainage | 32.0 | 32.0   | 32.0  |
| 33   | Area Drainage | 33.0 | 33.0   | 33.0  |
| 34   | Area Drainage | 34.0 | 34.0   | 34.0  |
| 35   | Area Drainage | 35.0 | 35.0   | 35.0  |
| 36   | Area Drainage | 36.0 | 36.0   | 36.0  |
| 37   | Area Drainage | 37.0 | 37.0   | 37.0  |
| 38   | Area Drainage | 38.0 | 38.0   | 38.0  |
| 39   | Area Drainage | 39.0 | 39.0   | 39.0  |
| 40   | Area Drainage | 40.0 | 40.0   | 40.0  |
| 41   | Area Drainage | 41.0 | 41.0   | 41.0  |
| 42   | Area Drainage | 42.0 | 42.0   | 42.0  |
| 43   | Area Drainage | 43.0 | 43.0   | 43.0  |
| 44   | Area Drainage | 44.0 | 44.0   | 44.0  |
| 45   | Area Drainage | 45.0 | 45.0   | 45.0  |
| 46   | Area Drainage | 46.0 | 46.0   | 46.0  |
| 47   | Area Drainage | 47.0 | 47.0   | 47.0  |
| 48   | Area Drainage | 48.0 | 48.0   | 48.0  |
| 49   | Area Drainage | 49.0 | 49.0   | 49.0  |
| 50   | Area Drainage | 50.0 | 50.0   | 50.0  |

Environmental Review Initial Study

ATTACHMENT 5 APPLICATION 98-0857

**FREITAS + FREITAS**  
Engineering and Planning Consultants  
311 Laurent Street  
(831) 429-5018  
Santa Cruz, CA 95060  
FAX (831) 429-1264

DRAINAGE PLAN & REPORT  
220 JAUNELL ROAD, APTOS  
LANDS OF VERDUZCO (APN 041-233-50)

EXHIBIT E

# ASSESSOR'S PARCEL MAP

FOR TAX PURPOSES. ONLY

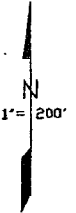
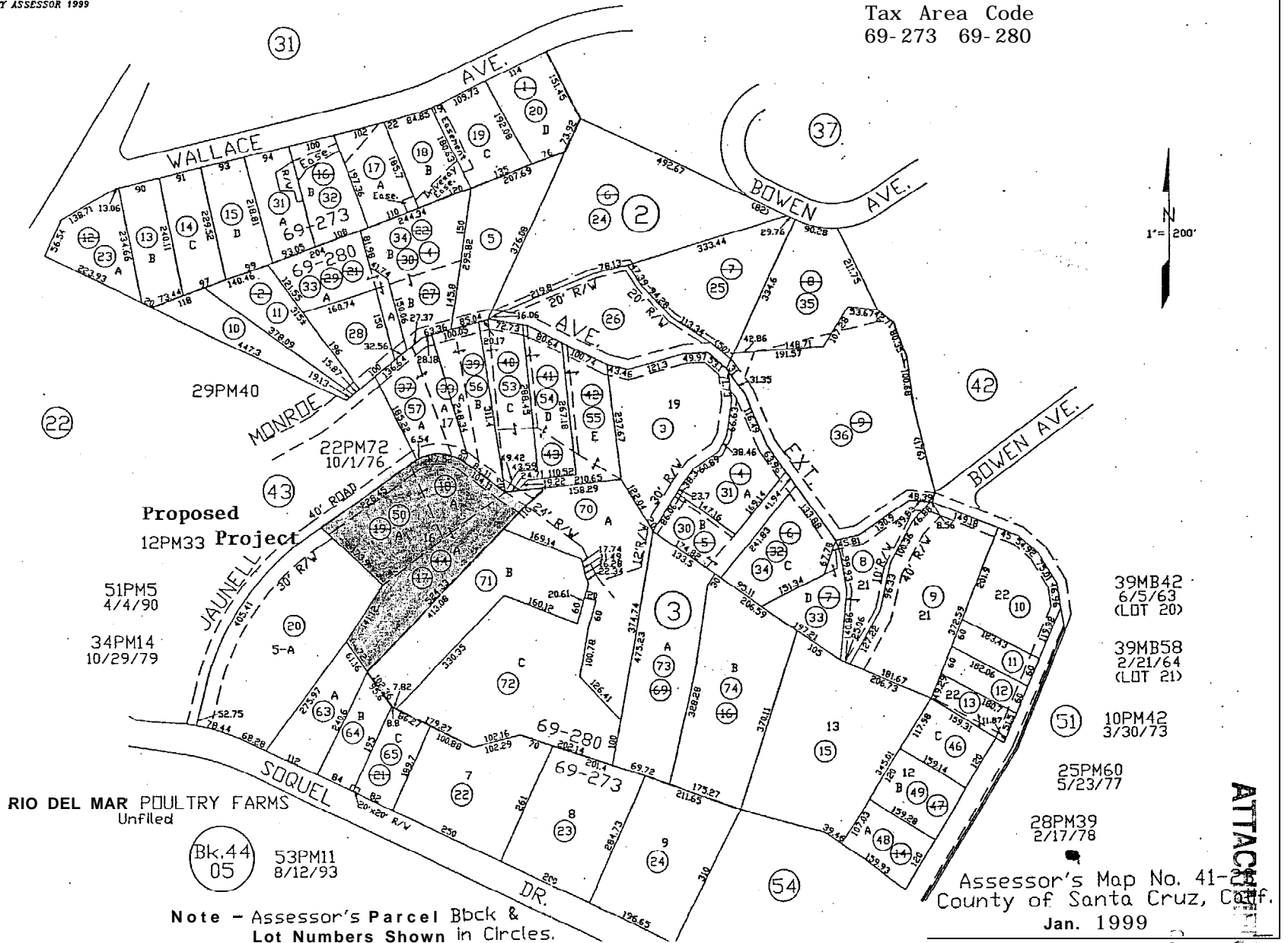
THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.

POR. APTOS RANCHO  
SEC. 17, T.11S., R.1E., M.D.B. & M.

41-23

Tax Area Code  
69-273 69-280

Environmental Review Initial Study  
ATTACHMENT 2  
APPLICATION 98-0857



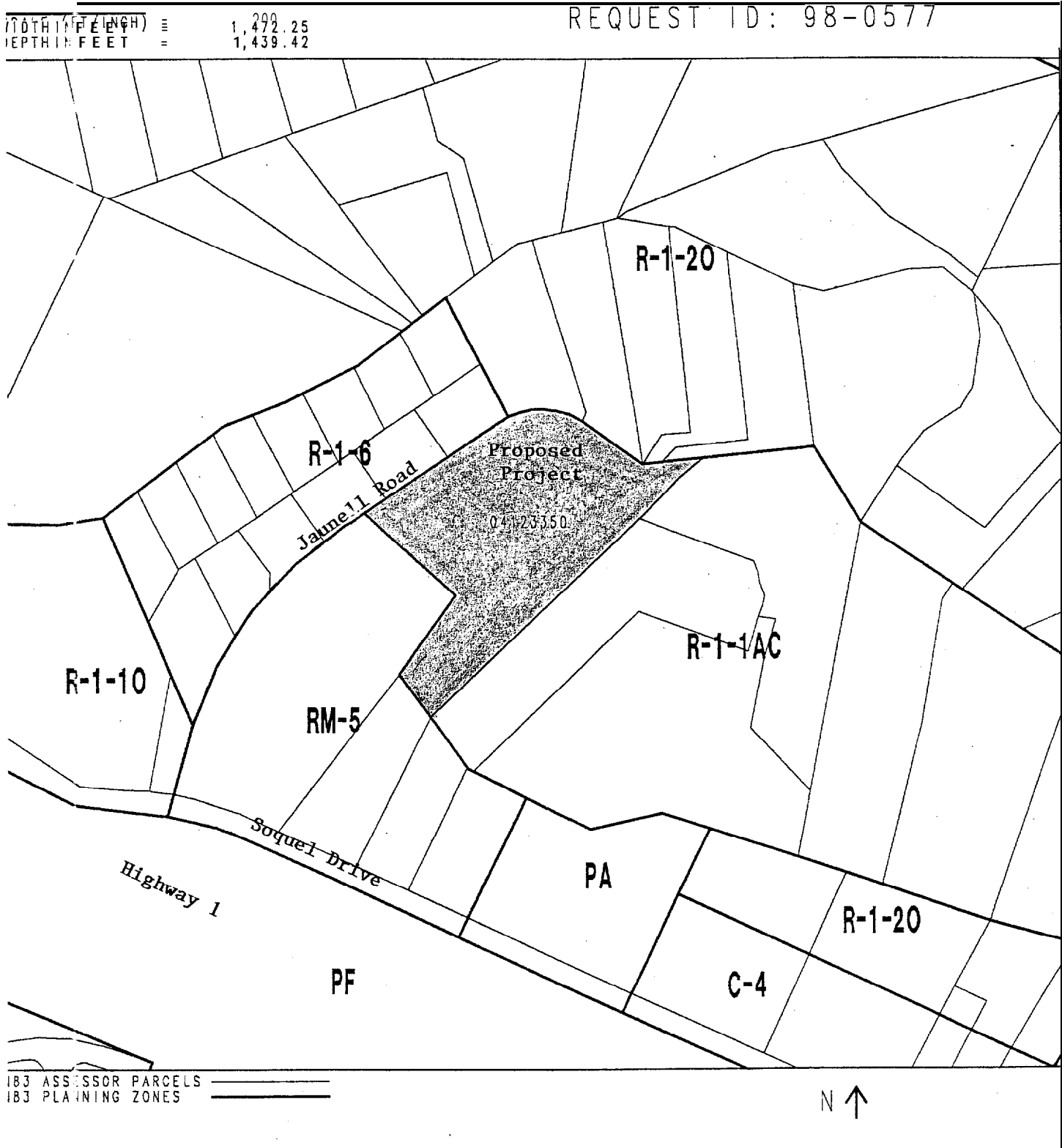
ATTACHMENT 5

EXHIBIT E

58

Electronically Reprinted 6/9/91  
Rev 5/6/99 CB (CA)

ZONING DESIGNATIONS



58

Environmental Review Initial Study

ATTACHMENT 3  
APPLICATION 98-0857

EXHIBIT E

## GENERAL PLAN DESIGNATIONS

0435

SCALE (FT/INCH) = 200  
WIDTH IN FEET = 1,472.25  
DEPTH IN FEET = 1,439.42

REQUEST ID: 98-0577



58

Environmental Review Initial Study

ATTACHMENT 4  
APPLICATION 98-0857

EXHIBIT E



# County of Santa Cruz 0436

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## PLANNING DEPARTMENT

701 OCEAN STREET, SUITE 400, SANTA CRUZ, CA 95060-4073

(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123

ALVIN D. JAMES, DIRECTOR

July 3, 2000

Casey Consulting  
Attn: Kathy Allen Casey  
1677 Wilshire Dr.  
Aptos, CA 95003

SUBJECT: Review of soil report by Haro, Kasunich & Associates  
dated September 1998 and Amendment dated June 22, 2000,  
PROJECT NUMBER: SC6331  
APN: 041-233-50, APPLICATION NUMBER: 98-0857

Dear Ms. Casey:

Thank you for submitting the soil report for the parcel referenced above. The report was reviewed for conformance with County Guidelines for Soils/ Geotechnical Reports and also for completeness regarding site specific hazards and accompanying technical reports (e.g. geologic, hydrologic, etc.). The purpose of this letter is to inform you that the Planning Department has accepted the report and the following recommendations become permit conditions:

1. All report recommendations must be followed.
2. Final Foundation plans must incorporate the design recommendations as detailed in the report.
3. Final plans shall show the drainage system as detailed in the soils engineering report including outlet locations and appropriate energy dissipation devices.
4. Final plans shall show a subdrain constructed within the in-filled channel. Prior to Public Hearing, the Department's Senior Civil Engineer shall review and approve these plans.
5. Final plans shall indicate building pad over excavation and recompaction as detailed in the report.
6. Final plans shall reference the approved soils engineering report and state that all development shall conform to the report recommendations.

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Prior to building permit issuance, the soil engineer must submit a brief

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building, grading and drainage plan review letter to Environmental Planning  
 APN: 041-233-50  
 Pg. 2

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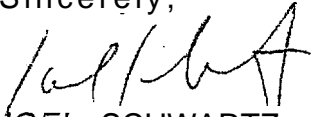
- stating that the plans and foundation design are in general compliance with the report recommendations. If, upon plan review, the engineer requires revisions or additions, the applicant shall submit to Environmental Planning two copies of revised plans and a final plan review letter stating that the plans, as revised, conform to the report recommendations,
8. The soil engineer must inspect all foundation excavations and a letter of inspection must be submitted to Environmental Planning and your building inspector prior to pour of concrete.
  9. For all projects, the soil engineer must submit a final letter report to Environmental Planning and your building inspector regarding the compliance with all technical recommendations of the soil report prior to final inspection. For all projects with engineered fills, the soil engineer must submit a final grading report (reference August 1997 County Guidelines for Soils/Geotechnical Reports) to Environmental Planning and your building inspector regarding the compliance with all technical recommendations of the soil report prior to final inspection.

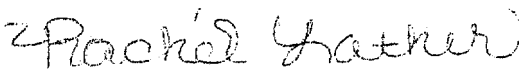
The soil report acceptance is only limited to the technical adequacy of the report. Other issues, like planning, building design, septic or sewer approval, etc., may still require resolution.

The Planning Department will check final development plans to verify project consistency with report recommendations and permit conditions prior to building permit issuance. If not already done, please submit two copies of the approved soil report at the time of building permit application for attachment to your building plans.

Please call 454-3164 if we can be of any assistance.

Sincerely,

  
 JOEL SCHWARTZ  
 Geotechnical Associate

  
 FOR: RACHEL LATHER  
 Senior Civil Engineer

cc: Cathy Graves, Project Planner

98-0857s.wpd/PLN056

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FINAL SOILS-GRADING REPORTS

Prior to final inspection clearance a final soils report must be prepared and submitted for review for all projects with engineered fills. These reports, at a minimum, must include:

1. Climatic Conditions

Indicate the climatic conditions during the grading processes and indicate any weather related delays to the operations,

2. Variations of Soil Conditions and/or Recommendations

Indicate the accomplished ground preparation including removal of inappropriate soils or organic materials, blending of unsuitable materials with suitable soils, and the keying and benching of the site in preparation for the fills.

3 . Ground Preparation

The extent of ground preparation and the removal of inappropriate materials, blending of soils, and keying and benching of fills.

4. Optimum Moisture/Maximum Density Curves

Indicate in a table the optimum moisture maximum density curves. Append the actual curves at the end of the report.

5. Compaction Test Data

The compaction test locations must be shown on same topographic map as the grading plan and the test values must be tabulated with indications of depth of test from the surface of final grade, moisture content of test, relative compaction, failure of tests ( i.e. those less than 90% of relative compaction), and re-testing of failed tests.

6. Adequacy of the Site for the Intended Use

The soils engineer must re-confirm her/his determination that the site is safe for the intended use.

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APPLICATION 98-0857**EXHIBIT E**

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Project No. SC6331  
22 May 2000

FRANK AND GRACE-ANN VERDUZCO  
220 Jaunell Road  
Aptos, California 95003

Subject: Amendment to Site Grading Recommendations  
Geotechnical Investigation Dated 4 September 1998 (SC6331)

Reference: Proposed Single Family Residences  
APN 041-233-50, Application Number 98-0857  
Jaunell Road  
Santa Cruz County

Dear Mr. and Mrs. Verduzco:

The 27 February 1999 "Soils, Drainage, and Wetland Evaluation Report: 220 Jaunell Rd., Aptos, CA" report prepared by Watershed Systems indicates the gentle areas of the site are underlain by 4 feet of fill placed in the 1960's and 1970's and that the site was historically part of a natural drainage area prior to the construction of Jaunell Road. Discussions with Joe Hanna, Santa Cruz County Engineering Geologist, indicate there may also be an incised drainage channel that ran through the central portion of this area that has since been in-filled. Based on this new information provided to us, we have developed additional grading recommendations for the site to mitigate potential settlement and groundwater problems associated with an in-filled drainage channel.

The following recommendations should be amended to our 4 September 1998 Geotechnical Investigation:

1. At least 2.5 feet of the existing soil and all of the loose fill should be removed from proposed foundation areas and replaced with engineered fill prior to construction of foundations or placement of additional fill that may be proposed to raise the existing grades. The fill depth is generally 4 feet thick but may be deeper along the central portion of the site where an in-filled drainage channel may exist.
2. The removal of loose soil and fill should extend at least 3 feet beyond the perimeter of proposed structures.

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Frank and Grace Ann Veiduzco  
Project No. SC6331  
Jaunell Road  
22 May 2000  
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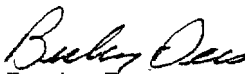
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3. The geotechnical engineer, or their representative, should observe the removal of fill and loose soil and determine if there is a potential for subsurface seepage along the upslope side of the excavation prior to placement of engineered fill. If there is, a potential for subsurface seepage, a subdrain should be placed along the upslope side of the fill area to collect seepage water that may become blocked by the denser engineered fill. Collected seepage water should be discharged below the engineered fill area and away from proposed improvements.
4. Prior to construction of individual residences, the geotechnical engineer should be provided the opportunity to review the proposed residence and grading plans to determine if the intent of our recommendations has been met and determine if the actual loading conditions will be adequately handled with the redensification zone recommended in this letter.

If you have any questions, please contact me at (831) 722-4175 Ext 269.

Very Truly Yours,

HARO, KASUNICH & ASSOCIATES, INC.

  
Becky Dees  
C.E. 57210

BD/dk

Copies: 2 to Addressee  
1 to Casey Consulting  
1 to Joe Hanna

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Project No. SC6331 0441  
14 July 1999

CASEY CONSULTING  
1677 Wilshire Drive  
Aptos, California 95003

Attention: Kathleen Allen Casey

Subject: R-Value Test Results

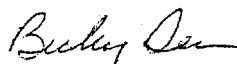
Reference: Proposed Road Widening  
220 Jaunell Avenue  
Verduzco Property  
Santa Cruz County, California

Dear Ms. Casey:

Here are the results of the R-value test taken for the proposed road widening at 220 Jaunell Avenue. If you have any questions, please call our office.

Very truly yours,

HARO, KASUNICH & ASSOCIATES, INC.

  
Becky Dees  
C.E. 57210

BD/db

Attachments

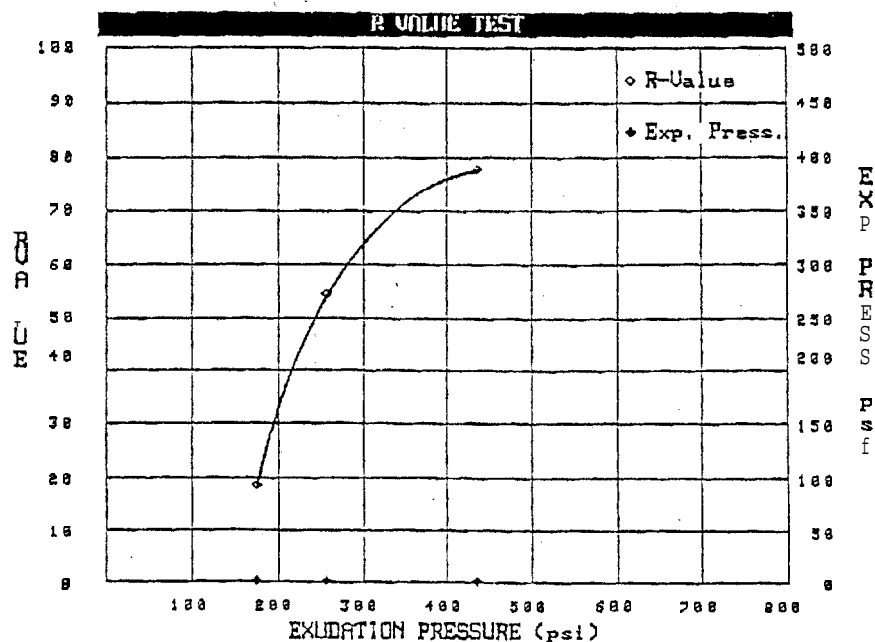
Copies: 2 to Addressee

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| COOPER TESTING LABORATORIES  |       |       |   |      |                                 |
|--|-------|-------|---|------|---------------------------------|
| R-VALUE TEST   |       |       |   |      |                                 |
| JOB #: 032-115<br>DATE: 7/13/1999<br>CLIENT: Haro Kasunich<br>SAMPLE #: SC 6331<br>SOIL TYPE: brown silty SAND |       |       | DISH WEIGHT: 52.2<br>WET: 324.5<br>DRY: 303.2<br>INITIAL MOISTURE: 0.0849 |      |                                 |
| SPECIMEN   | A     | B     | C   | D    | VALUES AT 300 EXUDATION         |
| EXUDATION PRESSURE (psi)   | 177   | 438   | 258   | 0    | R-VALUE: 62<br>EXP. PRESSURE: 0 |
| PREPARED WEIGHT (gm)   | 1200  | 1200  | 1200  | 1200 |                                 |
| FINAL WATER ADDED (gm)   | 50    | 25    | 35  | 0    | REMARKS                         |
| WEIGHT, SOIL & MOLD (gm)   | 3129  | 3153  | 3164  | 0    |                                 |
| WEIGHT, MOLD (gm)  | 2082  | 2100  | 2109  | 0    |                                 |
| HEIGHT (in)  | 2.37  | 2.39  | 2.40  | 0.00 |                                 |
| MOISTURE CONTENT (%)   | 13.0  | 10.7  | 11.7  | 0.0  |                                 |
| DRY DENSITY (pcf)  | 118.4 | 120.5 | 119.2   | 0.0  |                                 |
| EXPANSION DIAL   | 0     | 0     | 0   | 0    |                                 |
| EXPANSION PRESSURE (psf)   | 0     | 0     | 0   | 0    |                                 |
| STABILOMETER @ 2000 lb   | 110   | 22    | 80  | 0    |                                 |
| TURNS DISPLACEMENT   | 4.46  | 3.93  | 4.14  | 0.00 |                                 |
| R-VALUE  | 20    | 80    | 57  | 0    |                                 |
| R-VALUE (corrected)  | 18    | 78    | 54  | 0    |                                 |



PROJECT No: SC 6331

DATE: JULY 14, 1999

SCALE: -

DRAWN BY: BD

R-VALUE TEST RESULTS  
 PROPOSED ROAD WIDENING  
 220 JANNELL AVE.  
 SANTA CRUZ COUNTY, CALIF.

HARO, KASUNICH &amp; ASSOCIATES

FIGURE No. 1

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 APPLICATION 98-0851

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GEOTECHNICAL INVESTIGATION  
for  
220 JAUNELL ROAD  
APN 041-233-50  
Santa Cruz County, California

Prepared For  
FRANK AND GRACE VERDUZCO  
Aptos, California

Prepared By  
HARO, KASUNICH AND ASSOCIATES, INC.  
Geotechnical & Coastal Engineers  
Project No. SC6331  
September 1998

0444

Project No. SC6331  
4 September 1998

FRANK AND GRACE VERDUZCO  
c/o Kathy Casey  
1677 Wilshire Drive  
Aptos, California 95003

Subject: Geotechnical investigation

Reference: 4 Lot Minor Land Division  
220 Jaunell Road  
Aptos, California

Dear Mr. and Mrs. Verduzco:


In accordance with your authorization, we have performed a Geotechnical Investigation for the referenced project in Santa Cruz County, California.

The accompanying report presents our conclusions and recommendations, as well as the results of the geotechnical investigation on which they are based.

If you have any questions concerning the data or conclusions presented in this report, please call our office.

Very truly yours,

HARO, KASUNICH & ASSOCIATES, INC.

  
Becky Dees  
C.E. 5721 0  
GEASS for BD

BD/dk

Copies: 4 to Addressee

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Environmental Review Initial Study

ATTACHMENT 5  
APPLICATION 98-0857

116 EAST LAKE AVENUE • WATSONVILLE, CALIFORNIA 95076 • (831) 722-4175

Fax (831) 722-3202

EXHIBIT E

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4 September 1998

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## DISCUSSIONS, CONCLUSIONS AND RECOMMENDATIONS

Based on the results of our investigation, the proposed project appears compatible with the site, provided the following recommendations are incorporated into the design and construction of the proposed project.

Primary geotechnical concerns at the site include embedment of foundations into redensified native soil, site drainage and strong seismic shaking. A 2 foot thick compacted soil mat, placed below proposed foundations should provide adequate bearing capacity and resistance to differential settlement.

Proposed structures should be setback from steep slopes at least 30 feet or the slope should be evaluated by the soil engineer.

The following recommendations should be used as guidelines for preparing project plans and specifications:

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### General Site Grading

1. The soil engineer should be notified at least four (4) working days prior to any grading or foundation excavating so the work in the field can be coordinated with the grading contractor, and arrangements for testing and observation can be made. The recommendations of this report are based on the assumption that the soil engineer will perform the required testing and observation during grading and construction. It is the owner's responsibility to make the necessary arrangements for these required services.
2. Where referenced in this report, Percent Relative Compaction and Optimum Moisture Content shall be based on ASTM Test Designation D1557-78.
3. Areas to be graded should be cleared of all obstructions including loose fill, trees not designated to remain and other unsuitable material. Existing depressions or voids created during site clearing should be backfilled with engineered fill.
4. Cleared areas should then be stripped of organic-laden topsoil. Stripping depth should be from 2 to 4 inches. Actual depth of stripping should be determined in the field by the soil engineer. Strippings should be wasted off-site or stockpiled for use in landscaped areas if desired.

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5. Areas to receive engineered fill should be scarified to a depth of 6 inches, moisture conditioned, and compacted to at least 90 percent relative compaction. Portions of the site may need to be moisture conditioned to achieve a suitable moisture content for compaction. These areas may then be brought to design grade with engineered fill.
6. Engineered fill should be placed in thin lifts not exceeding 8 inches in loose thickness moisture conditioned, and compacted to at least 90 percent relative compaction. The upper 6 inches of pavement and slab subgrades should be compacted to at least 95 percent relative compaction. The aggregate base below pavements should likewise be compacted to at least 95 percent relative compaction,
7. If grading is performed during or shortly after the rainy season, the grading contractor may encounter compaction difficulty, such as pumping or bringing free water to the surface, in the upper surface clayey and silty sands. If compaction cannot be achieved after adjusting the soil moisture content, it may be necessary to overexcavate the subgrade soil and replace it with angular crushed rock to stabilize the subgrade. We estimate that the depth of overexcavation would be approximately 24 inches under these adverse conditions.



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8. Fills should be keyed and benched into firm soil or bedrock in areas where existing slope gradients exceed 6:1 (horizontal to vertical). Subdrains will be required in areas where keyways or benches expose potential seepage zones.
9. The on-site soils generally appear suitable for use as engineered fill. Materials used for engineered fill, should be free of organic material, and contain no rocks or clods greater than 6 inches in diameter, with no more than 15 percent larger than 4 inches.
10. We estimate shrinkage factors of about 15 percent for the on-site materials when used in engineered fills.
11. All permanent fill slopes should be inclined no steeper than 2:1 (horizontal to vertical). The maximum steepness of permanent cut slopes should be evaluated in the field on an individual basis.
12. Following grading, exposed slopes should be planted as soon as possible with erosion-resistant vegetation.
13. After the earthwork operations have been completed and the soil engineer has finished his observation of the work, no further earthwork operations shall be performed

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except with the approval of and under the observation of the soil engineer.

### Foundations

14. The proposed residences may be supported on convention spread footings or slabs-on-grade embedded into engineered fill. Footings should be continuous for all load bearing and shear walls. At least 2 feet of engineered fill should be placed below the bottom of the footings.

### Spread Footings

15. Footings should be founded at least 12 inches below the lowest adjacent grade for one story structures and 18 inches for two story structures. Perimeter footings should be at least 1.5 inches wide. Actual footing depths should be determined in accordance with anticipated use and applicable design standards. The footings should be reinforced as required by the structural designer based on the actual loads transmitted to the foundation.

16. The foundation trenches should be kept moist and be thoroughly cleaned of all slough or loose materials prior to pouring concrete. In addition, all footings located adjacent to other footings or utility trenches should have their bearing surfaces founded below an imaginary 1.5:1 plane projected upward from the bottom edge of the adjacent footings or utility trenches.

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17. Foundations constructed adjacent to fill slopes should be set back at least 10 feet horizontally from the top of the slopes. As an alternate, the footings may be embedded deeper, such that the base is at least 15 feet horizontally from the surface of the slope. Where foundations will be placed within 15 feet of existing fill slopes the stability of the fill slopes should be evaluated by the soil engineer.

18. Foundations designed in accordance with the above may be designed for an allowable soil bearing pressure of 2000 psf for dead plus live loads. This value may be increased by one-third to include short-term seismic and wind loads.

19. Total and differential settlements under the proposed light building loads are anticipated to be less than 1 inch and ½ inch respectively.

20. Lateral load resistance for structures supported on footings may be developed in friction between the foundation bottom and the supporting subgrade. A friction coefficient of .36 is considered applicable.

#### Basement and Retaining Wall Lateral Pressures

21. Retaining walls should be designed to resist both lateral earth pressures and any additional surcharge loads. Walls up to 15 feet high should be designed to resist

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an active equivalent fluid pressure of 40 pcf for level backfills, and 55 pcf for sloping backfills inclined up to 2:1 (horizontal to vertical). Restrained walls should also be designed to resist uniformly applied wall pressure of  $28H$  psf. The walls should also be designed to resist any surcharge loads imposed on the backfill behind the walls.

22. Retaining wall footings not part of proposed structures may be founded on native soil. An allowable soil bearing capacity of 1000 psf may be used in design. Alternatively, footings may also be designed in accordance with the foundation section of this report.

23. The above lateral pressures assume that the walls are fully drained to prevent hydrostatic pressure behind the walls. Drainage materials behind the wall should consist of Class 2 permeable material (Caltrans Specification 68-1.025) or an approved equivalent. The drainage material should be at least 12 inches thick. The drains should extend from the base of the walls to within 12 inches of the top of the backfill. A perforated pipe should be placed (holes down) about 4 inches above the bottom of the wall and be tied to a suitable drain outlet. Wall backdrains should be plugged at the surface with clayey material to prevent infiltration of surface runoff into the backdrains.

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24. Lateral loads on spread footings may be designed for a passive resistance acting along the face of the footings. Where footings are poured neat against firm native soils, an equivalent fluid pressure of 250 pcf acting along the face of the footings is considered applicable. Topsoil or other loose materials should be neglected when computing passive resistance.

### Slabs-on-Grade

25. Interior slabs-on-grade should be founded on at least 2 feet of engineered fill. Deepened or thickened edges should be used under load bearing walls.

26. Prior to construction of slabs, the subgrade surface should be proofrolled to provide a smooth, uniform surface for slab support. Slab reinforcing should be provided in accordance with the anticipated use and loading of the slab.

27. In areas where floor wetness would be undesirable, a blanket of 4 inches of free-draining gravel should be placed beneath the floor slab to act as a capillary break. In order to minimize vapor transmission, an impermeable membrane should be placed over the gravel. The membrane should be covered with 2 inches of sand or rounded gravel to protect it during construction. The sand or gravel should be lightly moistened just prior to placing the concrete to aid in curing the concrete.

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28. Exterior concrete slabs-on-grade should be founded on firm, well-compacted ground. Reinforcing should be provided in accordance with the anticipated use and loading of the slab. The reinforcement should not be tied to the building foundations. These exterior slabs can be expected to suffer some cracking and movement. However, thickened exterior edges, a well-prepared subgrade including premoistening prior to pouring concrete, adequately spaced expansion joints, and good workmanship should minimize cracking and movement.

#### Site Drainage

29. Thorough control of runoff will be important to the performance of the project.

30. Permanent subdrains may be required adjacent to pavements or building foundations where groundwater levels are near the surface. The location and depth of these drains should be determined in the field by the soil engineer at the time of construction.

31. Surface drainage should include provisions for positive gradients so that surface runoff is not permitted to pond adjacent to foundations and pavements. Surface drainage should be directed away from the building foundations.

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32. Roof gutters should be placed around all eaves. Discharge from the roof gutters should be conveyed away from the downspouts with rigid, solid conduit pipe.

33. The migration of water or spread of extensive root systems below foundations, slabs, or pavements may cause undesirable differential movements and subsequent damage to these structures. Landscaping should be planned accordingly.

#### Plan Review, Construction Observation, and Testing

34. Our firm should be provided the opportunity for a general review of the final project plans prior to construction so that our geotechnical recommendations may be properly interpreted and implemented. If our firm is not accorded the opportunity of making the recommended review, we can assume no responsibility for misinterpretation of our recommendations. We recommend that our office review the project plans prior to submittal to public agencies, to expedite project review. The recommendations presented in this report require our review of final plans and specifications prior to construction and upon our observation and, where necessary, testing of the earthwork and foundation excavations. Observation of grading and foundation excavations allows anticipated soil conditions to be correlated to those actually encountered in the field during construction.

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4 September 1998

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## LIMITATIONS AND UNIFORMITY OF CONDITIONS

1. The recommendations of this report are based upon the assumption that the soil conditions do not deviate from those disclosed in the borings. If any variations or undesirable conditions are encountered during construction, or if the proposed construction will differ from that planned at the time, our firm should be notified so that supplemental recommendations can be given.
2. This report is issued with the understanding that it is the responsibility of the owner, or his representative, to ensure that the information and recommendations contained herein are called to the attention of the Architects and Engineers for the project and incorporated into the plans, and that the necessary steps are taken to ensure that the Contractors and Subcontractors carry out such recommendations in the field. The conclusions and recommendations contained herein are professional opinions derived in accordance with current standards of professional practice. No other warranty expressed or implied is made.
3. The findings of this report are valid as of the present date. However, changes in the conditions of a property can occur with the passage of time, whether they be due to natural processes or to the works of man, on this or adjacent properties. In addition, changes in applicable or appropriate standards occur whether they result from legislation or the broadening of knowledge. Accordingly, the findings of this report may be invalidated, wholly or partially, by changes outside our control. Therefore, this report should not be relied upon after a period of three years without being reviewed by a soil engineer.



Project Planner: Cathy Graves

Date: August 23, 2000

Application No. 98-0857  
APN: 041-233-50

Time: 14:30:55  
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Environmental Planning Completeness Comments

I performed a site check on 1-6-99 and met the applicants at that time. During my initial discussion with them, I mentioned that some riparian vegetation (willows) existed on site but, from where our discussion occurred at the site, there didn't appear sufficient stands of the vegetation to warrant calling it a riparian habitat. However, as I continued my site walk I noted several large willows and areas where many more willows had once stood but appear to have been recently cleared. Review of aerial photographs from 1989 show the area through the middle of the property to be heavily vegetated. Also, the drainage swale immediately to the north side of Jaunell Road is distinctly riparian woodland. Based on this information, I believe it would be prudent to have a biotic assessment performed on this parcel to define the extent of protected riparian woodland. The cost of the biotic assessment is \$891.

The results of the assessment may further restrict the net developable area of this parcel. Also, due to the location of residual willow stands seen during my sight visit, the proposed southeast lot may be found inaccessible.

Preliminary grading plans are required for this project. But, the plans should not be prepared until we determine what impact the riparian determination will have on the project design.

The development application will not be complete until 1) the biotic assessment is complete, 2) the archaeologic site review is complete, and 3) the soils report review is complete.

\*\* REVIEW UPDATE 1-15-99 \*\*

After my discussion with the County's biotic consultant, Bill Davilla, we can forego a biotic assessment of the property if the access road for the southeast parcel is relocated to avoid the dense cluster of willows in the southern part of the property. The redesign of the project should attempt to minimize development in the stand of willow trees. The archaeologic site check and soils report review must be completed before the application can be deemed complete.

\*\* REVIEW UPDATE 4-30-99 \*\*

I revisited the site yesterday with Paia Levin. Before supplying additional comments regarding the Riparian issue, we would like to get input from DPW regarding access restrictions to the property.

Environmental Planning Miscellaneous Comments

All building permit applications for development on the divided parcels must include 1) erosion control plans, 2) drainage plans, and 3) letters of plan review from the soils engineer stating that the plans conform to the recommendations of the original soils report. If development of these lots does not occur within 3-years of the original soils report preparation, then a supplemental geotechnical investigation

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Project Planner: Cathy Graves  
Application No.: 98-0857  
APN: 041-233-50

Date: August 23, 2000  
Time: 14:30:55  
Page: 2 0457

may be required.

All recommendations of the soils report must be followed.

Additional building permit requirements may arise from the completion of the archaeological site check, biotic site review, and soils report review.

#### Long Range Planning Completeness Comments

NO COMMENT

#### Long Range Planning Miscellaneous Comments

The applicant has requested a rezoning from the R-1-1 to the R-1-10 zone district. The General Plan designation for the property is Urban Very Low Density Residential.

Policy 2.7.2 of the General Plan discusses the specific criteria for density determination and includes factors such as terrain, adequacy of access, presence of significant environmental resources, the pattern of existing land use in the neighborhood, etc. In reviewing the application, only terrain appears to be of any concern. The project appears to be designed to avoid development on 30%+ slopes. The parcels to the west are designated Urban Low Density Residential and the parcels to the south are designated Urban Medium Density Residential. In light of this, it seems reasonable to allow a zoning of R-1-10 for this property.

#### Dpw Drainage Completeness Comments

Expanding on/clarifying the comments of 12/30/99, the following is required: 1. Drainage study for the project. The study shall cover the entire water shed area upstream of the project, as well as showing and analyzing the existing drainage facilities receiving runoff from this site. The study shall identify all downstream restrictions/deficiencies. Inspect existing facilities to verify their condition. Based on the outcome of the study and inspections, downstream improvements may be required. Refer to Part 3 of the County Design Criteria for storm drainage analysis and design. 2. For parcels draining toward each other, the plans shall show measures on how to handle upstream parcels's runoff so as not to impact the downstream ones. Also show the limit of the drainage area above lots 1, and 4 and what is being proposed to intercept runoff from this area, so as not to impact the new structures on site. 3. A civil-Engineered drainage plan is required for the MLD. The plan shall show how each parcel's runoff is going to be handled and how the runoff from the adjoining uphill area to the southeast of the project shall be handled and directed to the proposed 12" dia pipe along lot 4. 4. Zone 6 fees shall be applicable to the net increase of impervious areas. In order to calculate the appropriate credit due, show all existing improvements and clearly show limits of existing driveways and edge of pavement along Jaune Road. 4/13/00 1. Submit drainage calculations for the drainage system downstream of the project. This is required at this stage of review in order to identify existing downstream restrictions and the extent of possible mitigations if needed. The calculations shall be in conformance with the County Design Criteria (CDC) standards. Limits of calculations shall be between Highway one and the project. In order to assume a realistic water surface elevation at highway one and the drainage system being analyzed, the 30" dia pipe across highway one has to be

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Project Engineer: Cathy Graves  
 Application No.: 98-0857  
 APN: 041-233-50

Date: August 23, 2000  
 Time: 14:30:55  
 Page: 3 0458

included in the calculations. This 30" dia pipe as stated on the watershed map is shown on our inventory (the 701 series maps) as 24" pipe. Please verify in the field. The condition of the existing system has to be field-inspected and the results of the inspection shall be stated on the plans. Repairs or replacements may be required based on the outcome of the inspection. 3. It is recommended that the proposed storm drain system be aligned to connect to the existing catch basin instead of installing a manhole adjacent to it. This catch basin shall be replaced with a silt and grease trap inlet/manhole per fig SD-15 of the CDC. The following issues are in regard to the construction plans and may be addressed prior to recording the final map. 1. Sections 1, 2, and the roadway widening details are not in conformance with the plan, and has to be revised. 2. The 12" culvert across the driveway to lot 1 is not possible to install based on the proposed ground elevations on the driveway and the adjoining area upstream of it. 3. The Grading and Drainage plans shall be revised to show proposed above ground swales for all the building pads receiving runoff from adjoining upstream areas. This is applicable to the easterly side of building pads #1, 4, the northerly and easterly side of pad 3 and the northerly side of pad 2.

8/11/00 Upon reviewing the drainage calculations prepared by Michael Freitas, no additional downstream drainage improvements shall be required of this project. Limits of the improvements are between the project site and Soquel Drive, per the preliminary Improvement plan dated 3/2000. Detailed drainage plan for the work on site and on Jaunel Road shall be required for drainage review and approval prior to recording the tentative map.

#### Dpw Drainage Miscellaneous Comments

NO COMMENT

4/13/00 Per discussion with Michael Freitas, the project's civil engineer, the developer accepts the possibility that the calculations may lead to the need to replace the drainage system on Soquel Drive and is requesting to proceed with the project with that as a permit condition. Therefore, the application may be considered complete with the above stated comments as permit conditions. The calculations and downstream drainage improvement plans have to be reviewed and approved by Zone 6 Drainage District prior to recording the map.

#### Dpw Driveway/Encroachment Completeness Comments

No Comment, project adjacent to a non-County maintained road.  
 No comment, project involves a subdivision or MLD.

#### Dpw Driveway/Encroachment Miscellaneous Comments

No comment.  
 No comment.

#### Dpw Road Engineering Completeness Comments

The proposed roadway improvements to Jaunel Road does not meet the current County Design Criteria standards for an urban local street. The design standard is 36 feet wide road with Type A curb and gutter, a four foot separated sidewalk with a four foot landscaping strip behind the curb. An exception request is necessary to reduce

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Environmental Review Initial Study

ATTACHMENT 6  
 APPLICATION 98-0857

EXHIBIT E

Project Planner: Cathy Graves

Date: August 23, 2000

Application No.: 98-0857  
APN: 041-233-50Time: 14:30:55  
Page: 4

0459

the design criteria standard. The project plans need to be revised to show the design criteria standard cross-section, and a cross-section indicating the proposed changes from the design criteria standard. The proposed road widening near the curve on Jaunell Road is recommended to be eliminated due to the potential sight distance obstruction of the parked vehicles for the proposed driveways into lots 1 and 3. The typical parallel parking stall for on-street parking is 8 feet by 22 feet if it is within a bulb-out area. The noted driveway to Lot 4 should not be considered an existing driveway since it is not an improved driveway or has a driveway cut through the existing asphalt dike. 2/9/00 - Subsequent field investigations indicates that the on-street parking near the curve would not inhibit sight distance from the proposed driveway. The existing trees and brush would be the obstruction, but trimming and removing lower growth in the area should provide sufficient sight distance. An exception is required for the roadway where street widening is not proposed. A cross-section of the standard street and the proposed street improvements must be indicated on the plans.

**Dpw Road Engineering Miscellaneous Comments**

Additional comments will be sent after review of requested revisions (1/19/00).

**Dpw Surveyor Completeness Comments**

SUBMIT RECORD OF SURVEY MAP AFTER APPROVAL OF TENTATIVE MAP. RECORD OF SURVEY TO COMPLY WITH 1999 SUBDIVISION MAP ACT AND CONFORM TO TENTATIVE MAP.

**Dpw Surveyor Miscellaneous Comments**

SUBMIT RECORD OF SURVEY AFTER TENTATIVE MAP IS APPROVED. RECORD OF SURVEY TO CONFORM WITH SUBDIVISION MAP ACT OF 1999 AND TENTATIVE MAP CONDITIONS.

**Environmental Health Completeness Comments**

MLD will require sewer hookup, preceded by annexation to a sanitation district. UPDATE 1-10-99: No Change in comment.

**Environmental Health Miscellaneous Comments**

APN 41-233-50 appears to be served by a septic system approved by EHS in 1973. If no hook-up to sewer has not occurred for this APN, it will be required now in addition to the other lots proposed to be served by sewer. Public Works oversees the proper abandonment of septic systems for APNs getting sewer. Update 1-10-99: No Change in comment.

**Apas-La Selva Beach Fire Prot Dist Completeness C**

12/30/98 DENIED. See copy of Fire Department letter and attached red line corrected plans.

We require the additional information in order to complete our review. Please have designer add appropriate notes to plans.

Fire flow requirements for **subject** properties are 1000 gpm. Note on the plans the required and available fire flow. The available fire flow information can be ob-

Environmental Review Initial Study

ATTACHMENT 6  
APPLICATION 98-0857

EXHIBIT E

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COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT

ATTACHMENT 5

0460

DATE: January 19, 2000

*updated 2-5-00*

TO: Cathy Graves, Planner

FROM: Paia Levine, Resource Planner

SUBJECT: COMMENTS FOR VERDUSZCO MLD #98-0857

---

1. Biotic:

The willow area has been further cleared since we had those detailed discussions with the applicant and Planning Director about preserving the area and determining the appropriate setback. All that remains is one large willow. It was therefore impossible to field verify the boundaries of the willow riparian woodland as given on the plans. Assuming the boundary is accurate, the setback of 15 to twenty feet between the riparian area and structures is adequate as shown.

The project approval must be conditioned on restoring the small riparian area. Cuttings of the same species of willow shall be planted at the wet time of year (now is the best time) and maintained until established. A restoration plan showing the replanting (species, spacing, and planting instructions), including a planting schedule and recommended maintenance is required. I suggest the applicants submit this plan for approval right away, as this is the appropriate time of year for planting. Taking care of this now will also streamline the permit process so there will not be any hold up later waiting for the correct season.

2. Tree Preservation:

The Juanell frontage improvements have been designed to retain mature trees growing near the sidewalk and right of way. Environmental Planning supports this design and recommends it to Public Works and project staff. If these trees must be retained in order to meet the design guidelines, it will be necessary to have a licensed arborist confirm that they will indeed survive the disturbance and to recommend construction methods and preparations that will aid in their survival.

Add a note to the tentative map that states the driveway to Lot 4 will stay out of the dripline of any oaks.

3. Grading:

Preliminary grading volume required, and existing grade should be added to the elevations.

4. Drainage and Geotechnical:

Looking ahead to Environmental Review, please ensure that DPW drainage approves the drainage plan. It looks to me like the collection system at the base of the parcel 2 must be pumped up to the street system.

Condition the project such that soils report and review are required to develop Lots 1-3, to include engineered drainage plans, Subsurface interception drains may be required.

Summary:

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Prior to determining the application complete, applicant to submit revised site plan showing willow riparian area, driveway will avoid driplines, revised elevation showing existing

ATTACHMENT 6  
APPLICATION 98-0857

EXHIBIT E

grade, and obtain preliminary grading volume,

Update 2-5-00

Restoration plan received. OK to go forward with plan. Mitigation will include requirements to :

1. No herbicide in restoration area, as defined on improvement plans;
2. Maintain the native vegetation and the components of the restoration plan in place, including irrigation through the end of dry season 2000, with replacement of any lost transplants, in kind, during wet season 2000/2001;
3. Dec of restriction to be recorded on the Lot that contains the restoration area, prohibiting encroachment or destruction of native and restoration related vegetation.

January 19, 2000

County of Santa Cruz  
Planning Department  
701 Ocean Street, Room 400  
Santa Cruz, CA 95060  
Attn: Cathy Graves

APPL#98-0857 – 220 Jaunell Road, Aptos (APN#041-233-50)

Pacific Bell has reviewed the above mentioned subdivision requirements.

Pacific Bell does not have any conflicts with existing or proposed easements and no additional utility easements are required by Pacific Bell.

Upon approval by your city council and final recordation of this map please furnish this office a copy for file.

Sincerely,



Toni Cantrell  
Right of Way Administrator  
831 754-8165

cc: Bob Tara, Pacific Bell Engineer

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Environmental Review Initial Study  
ATTACHMENT 6  
APPLICATION 98-0857

EXHIBIT E



**Pacific Gas and  
Electric Company**

**ATTACHMENT 5**

PG&E  
LAND RIGHTS OFFICE  
356 E. ALSAL STREET  
SALINAS, CA 93901

0463

January 21, 2000

County of Santa Cruz  
Cathy Graves, Planning Department  
701 Ocean St.  
Santa Cruz, CA 95060

Re: Application #98-0857, APN 041-233-50, 220 Jaunell Road, Verduzco MLD;  
Our File : 50006682

Dear Ms. Graves:

This letter is in reference to Application # 98-0857.

PG&E would like to suggest :

1. All private roads be shown as PUEs.
2. A 6 foot wide PUE contiguous to the ultimate boundary lines of all roads, public and private, including radials and cul-de-sacs.

This will allow PG&E to install new and future utilities on the property. Please note that new services require a sufficient amount of time to engineer and schedule for construction. The developer should contact Albert Troiano at 615-7th Avenue, Santa Cruz, telephone (831) 479-3118; as soon as possible, to review service and/or relocation requirements. Additional easements may be necessary depending on new service requirements.

If you and/or the developer require additional information please contact me at the above address, telephone (831) 784-3443.

Sincerely

D.O. Chavez  
Land Agent

DOC

*[Faint, illegible text, likely a carbon copy or bleed-through from the reverse side of the page.]*

Environmental Review Initial Study  
ATTACHMENT 6  
APPLICATION 98-0857

**58**  
**EXHIBIT E**



COUNTY OF SANTA CRUZ  
INTER-OFFICE CORRESPONDENCE

ATTACHMENT 5

0464

DATE : January 15, 1999

TO: Cathy Graves, Planning Department

FROM: John Presleigh, Department of Public Works



SUBJECT: VERDUZCO MINOR LAND DIVISION, APN 041-233-50, APPLICATION NO. 98-0857

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The Department of Public Works Transportation and Road Planning Engineering Section has reviewed the proposed project and has the following comments.

1. It is recommended that Jaunell Road be fully improved to County Design Criteria Standards including the construction of a 36-foot curb to curb roadway, sidewalks, and landscaping strip. The applicant may request an exception through the approving body to construct a minimum roadway section of 30-foot curb to curb.
2. It is recommended that all driveway approaches meet minimum sight distance requirements of approximately 150 to 200 feet.
3. Transportation Improvement Area (TIA) fees are required for new residential development. The Aptos TIA fee is \$4,000 per new residential unit (\$2,000 for the Roadside fee and \$2,000 for the Transportation fee).

If you have any questions, please call me or Jack Sohriakoff, Civil Engineer, at X2160.

4. *require formation of a homeowners assn to maintain the private road.*

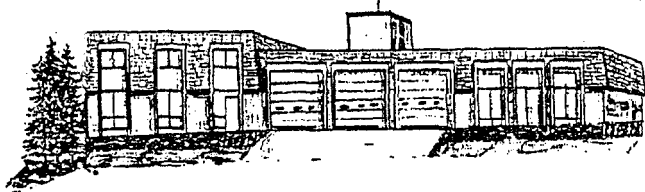
58

Environmental Review Initial Study

ATTACHMENT  
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6  
98-0857

EXHIBIT E



**APTOS/LA SELVA**  
**FIRE PROTECTION DISTRICT**

**ATTACHMENT 5**

6934 Soquel Drive, Aptos, California 95003  
(408) 685-6690 ● FAX (408) 685-6699

0465

January 2, 2000

Planning Department  
-County of Santa Cruz  
Attention: Cathy Graves  
701 Ocean Street  
Santa Cruz, CA 95060

Subject: APN: 041-233-50 / Appl #98-0857

Dear Ms. Graves:

Aptos/La Selva Fire Department has reviewed the plans for the above cited project .  
and has no objections as presented.

- Any other requirements will be addressed in the Building Permit phase.
- Plan check is based upon plans submitted to this office. Any changes or alterations shall be re-submitted for review prior to construction.

Note: As a condition of submittal of these plans, the submitter, designer and installer certify that these plans and details comply with applicable Specifications, Standards, Codes and Ordinances, agree that they are solely responsible for compliance with applicable Specifications, Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by this review, subsequent review, inspection or other source, and, to hold harmless and without prejudice, the reviewer and reviewing agency.

Sincerely,

Paul Z. Vitali, Fire Marshal  
Fire Prevention Division  
Aptos/La Selva Fire Protection District

Environmental Review Initial Study  
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APPLICATION 98-0857

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**EXHIBIT E**

APN: 041-233-50

Appl. #98-0857

Page 2

ATTACHMENT 5

0466

cc: Frank & Grace Ann Verduzco  
220 Juanelle Road.  
Aptos, CA 95003

cc: Casey Consulting  
1677 Wilshire Drive  
Aptos, CA 95003

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Environmental Review Initial Study

ATTACHMENT 6  
APPLICATION 98-0857

EXHIBIT E



**SOQUEL CREEK  
WATER DISTRICT**

5180 SOQUEL DR.  
P.O. BOX 158  
SOQUEL, CA 95073  
TEL 408-475-8500 / 408-686-2288  
FAX 408-475-4291

Rec'd 9-14-98

**ATTACHMENT 5**

0467

September 3, 1998

**DIRECTORS**

DANIEL F. KRIEGER  
President

JAMES M. BARGETTO

JOHN W. REEBE

KRISTEN COZAD

GARY E. HAZELTON

LAURA D. BROWN  
General Manager

Ms. Kathleen Casey  
Casey Consulting  
1677 Wilshire Drive  
Aptos, CA 95003

Subject: Minor Land Division Application for 220 Jaunell Road  
- APN 41-233-50

Dear Kathleen,

We have reviewed your proposed project according to the District's Minor Land Division Procedures for Processing and according to your preliminary map titled "Lot Layout - 1b." Based on the information submitted to the District it does not appear that a main extension or variance will be required to serve this project.

Assuming that all requirements are met such as: District connection fees are paid, Water Pressure Waivers are recorded against each lot, fire protection requirements are met, and any private wells on the properties are destroyed according to the State Well Bulletin for Well Destruction, the District would then serve the project subject to such conditions and reservations as may be imposed at the time of entering into a final contract for service. This present indication to serve is valid for a two-year period from the date of this letter; however, it should not be taken as a guarantee that service will be available to the project in the future. Instead, this present indication to serve is intended to acknowledge that the proposed development is within the service area of the District, and that under existing conditions, water service would be available. Future conditions which may negatively affect the District's ability to serve the proposed development include, but are not limited to, a determination by the District that existing and anticipated water supplies are insufficient to continue adequate and reliable service to existing customers while extending new service to your development. In that case, service may be denied.

The Aptos/La Selva Fire District determines fire protection requirements and contact should be made with them directly.

Environmental Review Initial Study

ATTACHMENT  
APPLICATION

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98-0857

EXHIBIT E

**58**

Ms. Kathleen Casey  
Casey Consulting  
September 3, 1998  
Page 2,

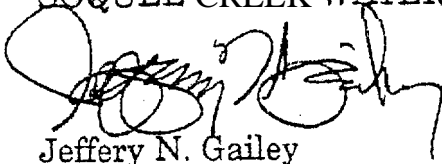
0468

Upon receipt of all fees and charges, the District will prepare the Service Installation Orders and notify the County of Santa Cruz that the District will serve the individual lots of the minor land division without exception.

If you have any additional questions, please contact me directly at 475-0354, Extension 23.

Sincerely,

SOQUEL CREEK WATER DISTRICT



Jeffery N. Gailey  
Engineering Manager/Chief Engineer

JNG:jjy  
Enclosures

**58**

Environmental Review Initial Study  
ATTACHMENT 7  
APPLICATION 98-0857

**EXHIBIT E**



SOQUEL CREEK  
WATER DISTRICT

P.O. Box 158  
Mail to: 5180 Soquel Drive  
Soquel, CA 95073-0158  
PHONE (831) 475-8500 FAX (831) 475-4291

ATTACHMENT 5

# PROJECT COMMENT SHEET

0469

Date of Review: 1/18/2000  
Reviewed By: John Zeller

|              |  |
|--------------|--|
| Returned     | Cathy Graves                             |
| Project      | County of Santa Cruz, Planning           |
| Comments to: | 701 Ocean Street<br>Santa Cruz, CA 95060 |

Owner: **Verduzco Frank & Grace Ann**  
**220 Juanell Rd**  
**Aptos, Ca. 95003**

Applicant: **Casey Consulting**  
**1677 Wilshire Dr.**  
**Aptos, Ca. 95003**

Type of Permit: Minor Land Division  
County Application #: 98-0857

Subject APN: 041-233-50

Location: Property located on the south side of Jaunell Rd. about 600-feet North of Soquel Dr.

Project Description: Proposal to create 4 single-family residential parcels. Requires a Minor Land Division Permit. Property located on the south side of Jaunell Rd (at 220 Jaunell Rd) in Aptos.

## Soquel Creek Water District Project Review Comments:

- |  |
|--|
| 1. The Applicant will need to apply for water service from Soquel Creek Water District per the guidelines set forth in the 'Soquel Creek Water District Procedures for Processing Minor Land Divisions, (Attached) |
| 2. Applicant shall submit a written request to Soquel Creek Water District for water service and provide three copies of the minor land division plot map and a filing fee of \$50.                                |
| 3. SCWD Staff shall determine whether or not a water main extension is required or a variance required or that each parcel fronts on an existing water main.   |
| 4. Any water system improvements shall be in conformance with Soquel Creek Water District Standard Specifications and Standard Plans (dated August 1994). Copies are available from the SCWD Office for \$25.      |

## Attachments:

- ☒ Soquel Creek Water District Procedures for Processing Minor Land Divisions (MLD) dated November 9, 1992
- ☐ Fire Protection Requirement Form
- ☒ Resolution 79-7, Resolution of the Board of Directors of the Soquel Creek County Water District Establishing Landscape Design and Irrigation Water Use Policy
- ☐ Soquel Creek Water District Variance Application

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1 of 2

01/18/00 at 10:39 AM

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Environmental Review Initial Study  
ATTACHMENT 7  
APPLICATION 98-0857

EXHIBIT E

- .03 The District shall develop a contract based upon the low quote which will be submitted to the applicant for signature, payment of all fees and charges which will include the total for the installation of the water facilities, the District Storage and Transmission Fees, the Meter Drop-in Fee and the cost to provide a two-year maintenance bond for the facilities to be installed.
- .04 Upon receipt of all the fees and charges, the water main extension agreement will be presented at the next regular Board Meeting of the Board of Directors requesting authorization for the project and for the President to sign the main extension agreement.
- .05 Based upon the approval of the Board of Directors and signed agreement with all fees and charges paid, the District will notify the County that the District will serve the parcels of the minor land division without exception upon the completion of the installation of facilities.

4. Minor Land Divisions Without Water Main Extension Requirement

- .01 All Parcels Fronting on a Water Main: If all parcels front on an existing water main, the applicant deposits the standard Water Service and Meter Installation Fee, Fire Service Installation Fee and Storage and Transmission Fee in effect at the time of application. Upon receipt of the fees; the District will prepare the Service Installation Order and notify the County of Santa Cruz that the District will serve the individual lots of the 'minor land division without exception.
- .02 Variance Required: If it is determined by the General Manager that a water main extension to serve those parcels of a minor land division that do not front on a water main may not be required for the orderly expansion of the water system, then the applicant will file a variance with the Board of Directors of the Soquel Creek Water District requesting authorization for service without frontage on a water main. The minor land division plot map will be submitted with the variance application showing the location of the proposed water services along with the release from the Fire Protection District that specific fire protection facilities are not required due to the development of this minor land division. If the Board finds that variance can be granted according to the appropriate District resolutions, the applicant will provide the required fees and charges for the installation of the water service, meter, fire service and the Storage and Transmission Fee in effect at the time of application. If the Board of Directors denies the variance: application and the applicant wishes to proceed with the project, the District Staff will prepare the appropriate water main extension agreement or fire hydrant installation agreement whichever is required according to the above described procedures.

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Environmental Review Initial Study

ATTACHMENT  
APPLICATION7  
98-0857

## 5. Water Main Extension Applicant Installed or District Installed

- .01 If the General Manager determines that there is sufficient on-site improvements by the applicant requiring a general contractor, an Applicant Installed Water Main Extension Agreement would be used. The water main extension agreement will include the deposit to cover costs of District engineering and District inspection along with the Meter Installation Fee and Storage and Transmission Fee, performance and maintenance bonds and insurance according to the agreement. The agreement will then be submitted to the Board of Directors for their consideration.
- .02 If the Board of Directors approves the project, the Board President will sign the agreement and the applicant will be notified that the work on the project can proceed. The District will notify the County of Santa Cruz that each of the parcels will be served without exception upon completion of the installation of the required facilities.
- .03 Project Construction: The applicant shall notify the District at least 48 hours in advance of the proposed starting date of construction. The applicant's contractor shall have a set of signed improvement plans on the job site at all times and the applicant's contractor shall make the work available for inspection. The District Staff will inspect the construction of the water facilities during regular working hours.
- .04 Project Completion: When it is determined by the Staff that improvements have been made in accordance with the plans and specifications, tests have been satisfactorily completed and all other items of the agreement have been satisfied, the project will be placed on the agenda of the next regular Board Meeting of the District for their approval and final acceptance. Upon their approval, water meters will be installed by the District.

Rev.12/16/92



## SOQUEL CREEK WATER DISTRICT

0472

PROCEDURES FOR PROCESSING  
MINOR LAND DIVISIONS (MLD)  
November 9, 1992

A minor land division is described as a division of property into no more than four parcels. It is the Policy of the Soquel Creek Water District that this type of project is to be processed according to the following procedures in order that each parcel of the minor land division would front on a water main with an individual water service line and meter and would meet the fire protection requirements of the Fire Protection Districts. It is also the District's Policy that parcels outside the District's present boundaries be annexed to the District where practical. Costs and efforts for this annexation to be the responsibility of the applicant.

APPLICATION FOR SERVICE

1. Applicant shall submit a written request for water service accompanied by the following:
  - .01 Three copies of the minor land division plot map.
  - .02 Filing fee of \$50.
2. The District will process the application as follows:
  - .01 Review by District Staff to determine whether or not a water main extension is required or a variance required or that each parcel fronts on an existing water main.
  - .02 Review by the District General Manager for authorization to provide water service under the conditions recommended by District Staff.
  - .03 District Staff will provide written notification of the General Manager's action. The notification will include special conditions, if any, such as a water main extension requirement, fire hydrant requirement. One copy of the applicant's minor land division plot map with the proposed water improvements delineated schematically thereon will be included with this notification.
3. Improvement Plans
  - .01 If the applicant chooses to proceed with the project and a water main extension is required, the District shall prepare plans and specifications for that water main extension.
  - .02 The District shall receive quotes for the installation of facilities according to that main extension plan from at least three qualified contractors.

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Environmental Review Initial Study

ATTACHMENT  
APPLICATION

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98-0957

EXHIBIT B2

**SANTA CRUZ COUNTY SANITATION DISTRICT**

INTER-OFFICE CORRESPONDENCE

0473

DATE: January 7, 2000

TO: Planning Department, ATTENTION: Cathy Graves

FROM: Santa Cruz County Sanitation District

SUBJECT: SEWER AVAILABILITY 'AND PUBLIC WORKS' CONDITIONS OF  
SERVICE FOR THE FOLLOWING PROPOSED DEVELOPMENT:

APN: 41-233-50

APPLICATION NO.: 98-0857

PARCEL ADDRESS:

220 JAUNELL ROAD, APTOS

PROJECT DESCRIPTION:

4-LOT MINOR LAND DIVISION

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Sewer service is available for the subject development upon completion of the following conditions. This notice is effective for one year from the issuance date to allow the applicant the time to receive tentative map, development or other discretionary permit approval. If after this time frame this project has not received approval from the Planning Department, a new sewer service availability letter must be obtained by the applicant. Once a tentative map is approved this letter shall apply until the tentative map approval expires.

Proposed location of on-site sewer lateral(s), clean-out(s), and connection(s) to existing public sewer must be shown on the plot plan of the building permit application.

Department of Public Works and District approval shall be obtained for an engineered sewer improvement plan, showing on-site and off-site sewers needed to provide service to each lot or unit proposed, ~~Before sewer connection permits can be issued~~ n t p l a n shall conform to the County's "Design Criteria" and shall also show any roads and easements. Existing and proposed easements shall be shown on any required Final Map. If a Final Map is not required, proof of recordation of existing or proposed easement is required.

Show all existing and proposed plumbing fixtures on floor plans of building application.

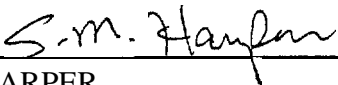
Environmental Review Initial Study  
ATTACHMENT 8  
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EXHIBIT **58**

PLANNING DEPARTMENT  
PAGE 2

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Other: Existing septic system shall be abandoned per County requirements. Applicant shall work with Sanitation District staff to get sewer plan and associated easements approved. Contact District staff for any questions regarding connection and repayment fees.

  
S. M. HARPER  
Sanitation Engineering

SMH:dls/493

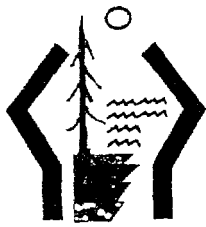
c: Joan Carpenter  
Applicant: CASEY CONSULTING  
ATTN KATHY ALLEN CASEY  
1677 WILSHIRE DRIVE  
APTOS, CA 95003  
Property Owner: FRANK & GRACE ANN VERDUZCO  
220 JUANELL ROAD  
APTOS, CA 95003

DUNBAR & CRAIG  
PO BOX 1018  
SANTA CRUZ CA 95061

FREITAS & FREITAS  
3 11 LAURENT ST  
SANTA CRUZ CA 95060

HARO, KASUNICH & ASSOCIATES  
116 EAST LAKE AVE  
WATSONVILLE CA 95076

0475

*Watershed Systems*

Hydrology - Geology - Soil Science

Robert Curry, Ph.D., P.G.

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 831 426-6131; FAX 426-9604; curry@cats.ucsc.edu  
 ATT: 1-700-STREAMS; field: 760 932-7700

February 27, 1999

Frank and Grace-Ann Verduzco  
 220 Jaunell Road  
 Aptos, CA

APN 041-233-50 Santa Cruz County

## Soils, Drainage, and Wetland Evaluation Report 220 Jaunell Rd., Aptos, Ca

My investigation of the hydrology and potential wetlands of the Jaunell Road area of Aptos is complete. This analysis is based on current statutory federal wetland delineation criteria, my field investigations of soils and hydrology, on assessment of land use based on historical aerial photos, and on confirming discussions with the Regulatory Branch of the U.S. Army Corps of Engineers. This is prepared at your request in my capacity as a California Registered Geologist, as a federal and state wetland delineation specialists, as a Certified Erosion Control Specialist, as a professional soil scientist and as an aerial photogrammetry specialist. Field investigations were conducted on 1-27-99 and on 2-13-99 after a 6-to-8-inch antecedent precipitation event in an above-normal precipitation season.

It is my understanding that you have been requested by the Santa Cruz County Planning Department to consider accommodating some area of potential wetland within the 4-unit subdivision that is now under application. It is further my understanding that you are seeking my input on feasible design accommodations for a parcel-wide drainage plan and that these two objectives need to be considered together so that one does not mutually exclude the other.

### **Current status**

My investigations showed, through series of auger holes and calibration with the drill studies of your engineers', that the primary building areas in the lower-gradient portions of the parcel are all covered with a uniform 4.0 feet of native Aromas Formation fill. Up to 2.0 feet of that fill has been excavated in the area of your present

<sup>1</sup> Haro, Kasunich & Associates, 1998, Geotechnical Investigation for 220 Jaunell Road, Project SC6331

homesite, but the footings of your house do not apparently extend to a depth necessary to encounter native soils that have formed in place. The apartment complex constructed below your parcel (southwest) is also constructed on the same fill, but its upslope footing penetrates the full fill thickness. The total volume of fill on your parcel alone is on the order of 4000 to 5000 cubic yards (140 ft x 240 ft x 4 feet). This is a very substantial volume. All areas with an average slope of less than 13% are filled.

On the fill prism portion of your parcel, some soils are saturated to near the surface after a heavy rain and drainage augmentation will be necessary. The saturated surface conditions are the result of a perched water table where native soils at a depth of 5 to 6 feet contain enough silt to impair infiltration and thus capture surface rainfall. Septic suitability testing was not conducted because this development is to be connected to sewers. I found no buried soils with greater than 10 % clay size or clay mineral fragments.

Where seasonal surface soil saturation exists, there are both hydrophytic and drought tolerant plants. Oak (*Quercus agrifolia*) reproduction is occurring throughout the parcel but those individuals that must tolerate prolonged winter saturation would be expected to die from root pathogens before reaching maturity. Arroyo Willow (*Salix lasiolepus*) is found along the central part of the parcel within the zone of maximum surface saturation, and herbaceous cover consists of seedlings of native chaparral species (coyote bush, several buckwheats, and *Ceanothus* spp) and widespread small horsetail (*Equisetum laevigatum*). With the exception of the arroyo willow; this is a common assemblage that would be found in a highly disturbed site in mid-winter on fill. The chaparral species are adapted to summer drought conditions, and the equisetum is responding to high winter water tables.

On the oak and madrone covered hillslopes there is a good 3-6-inch litter layer with only minor understory of poison oak, rose, and oak seedlings indicating well-drained soils throughout the year.

The bedrock geology is standard Aromas sandstone; a medium grained, poorly consolidated, orange to pink to red stained quartz-rich dominantly wind-blown and beach sand. The entire fill is also reddish Aromas sandstone, apparently locally derived slightly higher in the geologic section (and thus redder due to greater oxidation). The fill has domestic debris (bottles and old cans) that suggest that it was scraped off surface sites while preparing building pads within or near the drainage of Jaunell Gulch. The fill was apparently placed over bulldozed chaparral and arroyo willow vegetation that had been piled and burnt before being covered with sand. Only two species that may have been brought into that site would have survived such geologic burial. These are the arroyo willow and blue elderberry (*Sambucus mexicana*) that are seen to be growing through the fill.

### **The Watershed of Jaunell Gulch**

The watershed area above the Verduzco parcel is about 90 acres. The watershed area is essentially built out with over 40% of the area having impaired permeability, of which 20 % is impermeable. This means that with 35 inches of mean annual precipitation, at least 77 ac-ft of seasonal excess runoff must be accommodated along the middle section of Jaunell Gulch. Most of that can be absorbed into the permeable Aromas sands, but during times when rainfall amounts exceed infiltration capacity, excess runoff will flow down Jaunell Road. At the present time, about half this

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runoff is captured in a detention basin created by Jaunell Road where it crosses the gulch directly above (northeast of) the Verduzco parcel. Overflow from that basin is diverted toward parcel 041-233-57 (Heidenfelder, et ux, 243 Jaunell) and passes down the main roadway, as was seen in February, 1999. There is no erosional evidence that overflow has ever passed over the roadway directly into the Verduzco parcel nor is there apparently any culvert beneath the roadway to discharge to the Verduzco parcel. Thus, the roadway across the Gulch acts as an effective dam and traps surface runoff.

Comparison of historic aerial photos (Plates 1 & 2) illustrate the early stages of disruption of the natural drainage of this watershed. In 1956 a few oaks and primarily chaparral vegetation characterize the entire drainage basin. Larger trees that could be arroyo willows are seen along what is now the bottom of the drainage swale exactly where the road now crosses that swale. One may be on the Verduzco parcel but the rest are all above it up the drainage swale on what is now the Low and Baggott parcels of an earlier subdivision. Most of the bottom-land trees appear to be oaks because they are not in the bottom of the swale but are restricted to the north-facing inner part of the swale.

By 1973 (Plate 2) Jaunell Road had been constructed and parcels were being cleared on the hilltops in the watershed headwaters. Impaired drainage was already evident by the much-increased growth of arroyo willow and other hydrophytes where the road blocked drainage down the swale. The Verduzco parcel had not yet been developed but revegetated fill is evident as is shown in detail in Plate 3 (boundary lines approximate). Young oaks are seen on the Verduzco parcel and extensive clearing (a fill source?) is evident around it. Five trees on the Verduzco parcel could be arroyo willows. Four are in a line along the lowest point in the swale below the present home site, and one full-sized tree with an oak growth form and August foliage tone is seen near the north end of the parcel. Arroyo willow is characterized by multiple stems and a low bushy early growth form while oaks have a single stem and round crown if developed in the open without competition.

It is our understanding that this Verduzco parcel had been purchased and that construction was to begin in the month following this August, 1973, photograph. This photograph then represents the site conditions very near to the time of initial purchase. We can see that the extensive vegetation in the swale shown in 1956 had been destroyed and that the fill over it was in the process of becoming revegetated.

### ***Wetland Status:***

None of the Verduzco parcel can be considered as wetland today. There is local wetland hydrology, and there is local seasonal facultative and facultative-wet vegetation, but there are not soils that would support the federal three-element wetland classification. Five sites were investigated in detail to make this determination. The Haro, Kasunich (op cit, footnote 1) report does provide detailed drilling logs but these cannot be used for wetland status determination because they lack detail necessary for either functional or statutory determination. Thus, it was necessary to redrill near each of their boring sites and to more carefully evaluate the soil and hydrology characteristics at each.

We investigated the 4 Harro, Kasunich (H-K) bore hole sites and added a fifth below the present homesite in the greywater outfall among the arroyo willows in the drainage channel on the 190 foot contour (H-K Fig. 2 - attached here as Fig 1). H-K

sites B-3 and B-2 were both uplands without fill (see fill boundaries on Fig. 1 attached). At these two sites there was oak, poison oak, coffee-berry, blackberry and a small amount of equisetum present growing on a simple modern contemporary oak-forest floor A-horizon that extended to a depth of 18 inches in non-illuvial medium sand. At 18 inches depth there was a non-sticky, non-plastic, slightly cohesive sand with about 2% silt-clay sized material. At 3.0 feet there was a saturated stony coarse brown (10YR 4/4) sand which became somewhat lighter at a depth of 4 feet (7.5 YR 4/6) as it graded into an A/C profile boundary with about 10% silt and a few percent clay. This was unaltered parent material (Aromas Formation). Standing water rose in the holes to a point 4 feet below the surface on February 13 after 4 days of heavy rainfall.

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The other three coring sites were all in and through 4.0 to 4.1 feet of fill. H-K site B-4 along the thalweg (lowest point) of the original swale just above the site of the present home was characterized by ruderal vegetation and ornamental plants only. Less than 50% of the vegetative cover was facultative or wetter and included, in order of decreasing dominance, oak, eucalyptus, pampas grass, arroyo willow, a spike rush, and two species of Equisetum. The hole was started in the bottom of a 1-foot deep drainage ditch and was in standard 10YR 3/6 medium clean brown Aromas sands to a depth of 1.3 feet, below which it was partly oxidized in bands to 10YR 3/3. At 2.0 feet roots were encountered and the soil began grading downward into a buried A-horizon (10YR 2/2). That medium dark sand became silt and clay rich at 4.0 feet (5 feet below the fill surface) in a 10B2t buried B-horizon. At 4.8 to 6 feet there was slight mottling with faint oxidized roots. Mottles were 7.5YR 4/6 in sand with 5-10 percent clay and 10 percent silt. There were no reducing odors but the buried soil chromas were definitely 2. There was no gley or evidence of gleying. Water rose to the surface of the hole and the full depth was saturated.

At the H-K B-1 site there was a uniform coarse beach-origin sand to a depth of 4.0 feet. This material is not from the same source as is the fill at H-K site B-4. The fill was red-brown with a color of 10YR 5/4. At 4.0 feet it abruptly graded into a buried sandy-loam topsoil with colors of 10YR 3/2 to 10YR 2/2. The soil was not saturated even at 6.0 feet and there was no evidence of any perching of groundwater today or in the past.

At the new site ("NEW" on Fig 1) directly down-swale from the home at a surface elevation of 190 ft, there was a uniform Aromas sand fill to 4.1 ft with colors of 10YR 4/6 to 10YR 5/6 with the original oxy-redox mottling of the bedrock still visible. At 4.1 feet a gravelly layer was reached grading downward to non-saturated silty to stony sand. Buried soils were not encountered and the site must have been excavated to at least 2 feet depth before being filled with 4 feet of fill. This site is immediately adjacent to a patch of arroyo willow and thus has more than 50% facultative or wetter vegetation. The surface was saturated but the subsurface was not. It appears that the arroyo willow are largely supported by drainage water from the home today and from the nursery located on a fill pad immediately to the north.

#### Interpretation of Wetland Indicators:

None of the 5 detailed investigation sites had low-chroma organic-rich wetland surface soils. It is clear from sites H-K B-1 and B-4 that such soils once existed on the lowest portion of the swale in Jaunell Gulch. Wetlands can be restored where good wetland soils exist together with a suitable site hydrology, but the native soils are now

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deeply buried. Surface vegetation supports a wetland delineation only below the homesite, but the soils do not. Even along the top of the apartment stem wall foundation where groundwater movement is blocked below the Verduzco parcel, we could not find suitable in-situ soils to support wetlands. Arroyo willow is a facultative species that adapts to both wetlands and wetland-marginal sites and is not an obligate indicator plant. Even above Jaunell Road where the drainage is blocked and where a dense thicket of both obligate and facultative wetland species and wetland hydrology clearly exist, we could not find *surface* wetland soils. Because these were found on parts of the Verduzco parcel below 4 feet depth, one may presume that such may exist beneath the willow thicket on the Baggott parcel.

To functionally perform as wetlands for water quality maintenance and improvement, reducing soil conditions are needed at least seasonally in the surface soils. The fill on the Verduzco parcel (see Fig 1) was not found to be organic rich and can not function to maintain wetland functional values even with saturated soils and wetland vegetation. If there were dominantly wetland plants present that tolerated seasonally reducing soil conditions and if the seasonal water were moving at low gradients through such soils while they were oxygen deprived, then water quality improvements can accrue. But the Verduzco parcel has a gradient along the bottom of the swale of 8.3 percent and the 4 feet of fill is porous. Only the deep-rooted arroyo willow is able to add new organic matter to the buried A-horizon to maintain reducing conditions from year to year and such reducing conditions were not encountered in the deep soil borings.

To make this site a functional wetland would require excavating a major portion of the fill (at least 2500 cu-yds) and restoring the through drainage now blocked by Jaunell Road. Such action would seriously threaten the down-swale properties below the Verduzco parcel

### ***Historical Analysis and Regulatory Framework:***

Historical aerial photps were used to supplement the field information to develop a chronology of modification at the Verduzco site. Only two of these are included as attached plates, but the critical period of initial site development in the early to mid 70's is fully covered by available copyright photos published annually for Santa Cruz County by Arcata Real Estate<sup>2</sup> for appraisal purposes.

The pre-development photo of the Jaunell Gulch area, taken in 1956 for the Soil Conservation Service (Plate 1) shows that the watershed was then roaded along the ridge-line only with no access through the present alignment of Jaunell Road. South and east-facing slopes are chaparral-covered and there are a few scattered very small oaks along north-facing slopes near the canyon bottom. Dense vegetation exists along the canyon-bottom through the Verduzco parcel. This vegetation is in the position where a buried organic-rich A-horizon is found beneath the fill in the canyon-bottom today, thus suggesting that it may consist of some willows. The primary land-use in the entire watershed up to this time had evidently been grazing, judging by the suppression of oak reproduction and healing erosion scars.

<sup>2</sup> These 1972 through 1980 large format 1:12,000 aerial prints are on the oversize atlas shelves at the UCSC map library.



By August, 1973, Jaunell Road was in place and connected to the ridge-top road network, and the northwest side of the gulch has, been subdivided and built. Jaunell Road has blocked drainage to the site that is to become the Verduzco parcel and arroyo willow has responded above that blocking with vigorous growth. Grazing has largely ceased throughout the watershed and upland trees such as oak and madrone are returning. Some clearing around what had then become the Verduzco parcel can be seen, and major regrading and clearing is seen along the south-facing hillside above Soquel Drive and on the hilltops to the east and north of the Verduzco parcel. Some of that grading may have been the origin of the fill that had apparently been placed in the Verduzco parcel site during the 1960's.

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Plate 3 is a detailed enlargement of the area around the Verduzco parcel as seen in August, 1973. An extensive tractor trail and primitive road network is seen throughout the watershed. Vegetation on the Verduzco parcel has begun to reappear and only 4 or 5 small shrubby plants in the lower portion of that future parcel appear to be potentially arroyo willows, following the curving alignment of the bottom of the swale.

Review of the copyright Arcata Real Estate photo set shows that Jaunell Road was in place and blocking drainage in June of 1972. The fill appears to have been brought in sometime in the 1960's. Based on the buried charcoal at the top of the buried soil horizon under the fill at sites H-K B-1 and B-4, and based on the lithology of the fill itself, it seems most reasonable to hypothesize that the site was scraped down to bare mineral soil in the 1960's in the bottom of the gulch on the Verduzco Parcel and on the parcel below it now occupied by apartments. This vegetation was then burnt in place and fill was brought in from off-site. As many as 400 to 500 5-ton small dump-truck loads of fill were placed in this gulch. This was probably derived from construction of building pads in the upper part of the watershed, but could have come from as far as Aptos High School or the Aptos Pines trailer park area.

By the date of the last aerial photo reviewed, taken in January of 1980, the Verduzco home had been constructed, nursery stock was in place on the fill above that home, the area below the parcel where the apartment complex was to be constructed had been cleared, and most of the remainder of the watershed above the Verduzco parcel was either subdivided or under construction.

There is evidence that arroyo willows grew through the 4-feet of fill over much of the area that had been filled. These trees have a maximum age of 19 years, based on tree rings. Most of these trees are or were apparently rooted in the buried A-horizon and coexist easily with oaks rooted in the overlying fill. Thus, the site vegetation today is anomalous in the fill area. There is no evidence that willow seedlings can become established in the fill prism today.

#### Clean Water Act:

The Clean Water Act that regulates fill in wetlands was passed and published on December 24, 1980 (40 CFR Part 230 [Sect 404]). The aerial photo evidence is incontrovertible that this site was filled before passage of that act, and such fill could not be regulated under federal statutes, or under subsequent state Water Quality Protection regulations. Because the fill is so thick and the drainage is not slow enough to allow anoxic conditions to accumulate in the wet season today, any action short of removal of the fill is not likely to lead to water quality enhancement that is the focus Of Section 404.

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ATTACHMENT 9  
APPLICATION 98-0857

EXHIBIT E 6

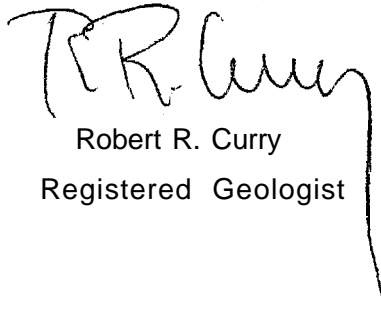
**Recommendations:**

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Because the main Jaunell Gulch drainage is blocked by Jaunell Road today, and because the fill below the road is so permeable and is a medium to coarse grained sand and because it lies over a soil layer below 4.0 feet that perches a water table, drainage for this site will be easy and inexpensive. I recommend that a simple drainage network be installed, with a depth not to exceed 4.0 ft. Your drainage engineers can develop an inexpensive system

Because the drainage on this parcel today is too rapid over too great a gradient to allow development of future wetlands even with a perched water table, the effect of this engineered enhanced site drainage system will simply be to carry surface runoff offsite and back to Jaunell Road more rapidly from the top 4-feet of fill without changing the drainage characteristics of the buried soil horizon. This means that future fill-area residents could plant a weeping willow in a hole 5 feet deep and an oak in a hole 2 feet deep, and that both would grow side-by-side.

Submitted March 3, 1999



Robert R. Curry

Registered Geologist

FIG 1 Site Map Copy

EASE MAP B-1 DUNBAR and CRAIG DATED AUG 1978  
PROJECT NO: CC 6331  
DATE: OCTOBER 1978  
SITE TOPOGRAPHIC MAP SHOWS  
APPROXIMATE BORING LOCATI  
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PLICATION 98-0857

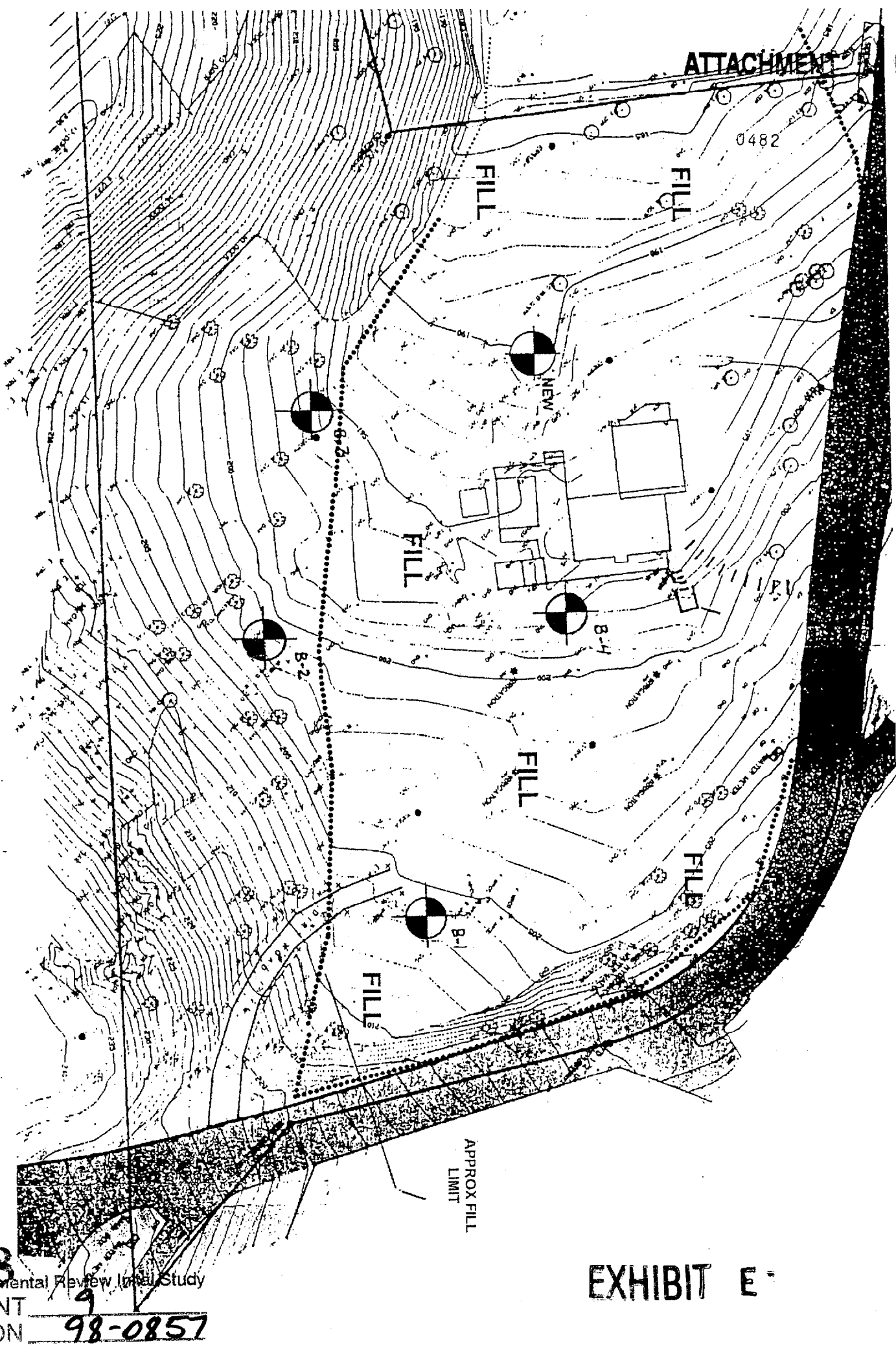
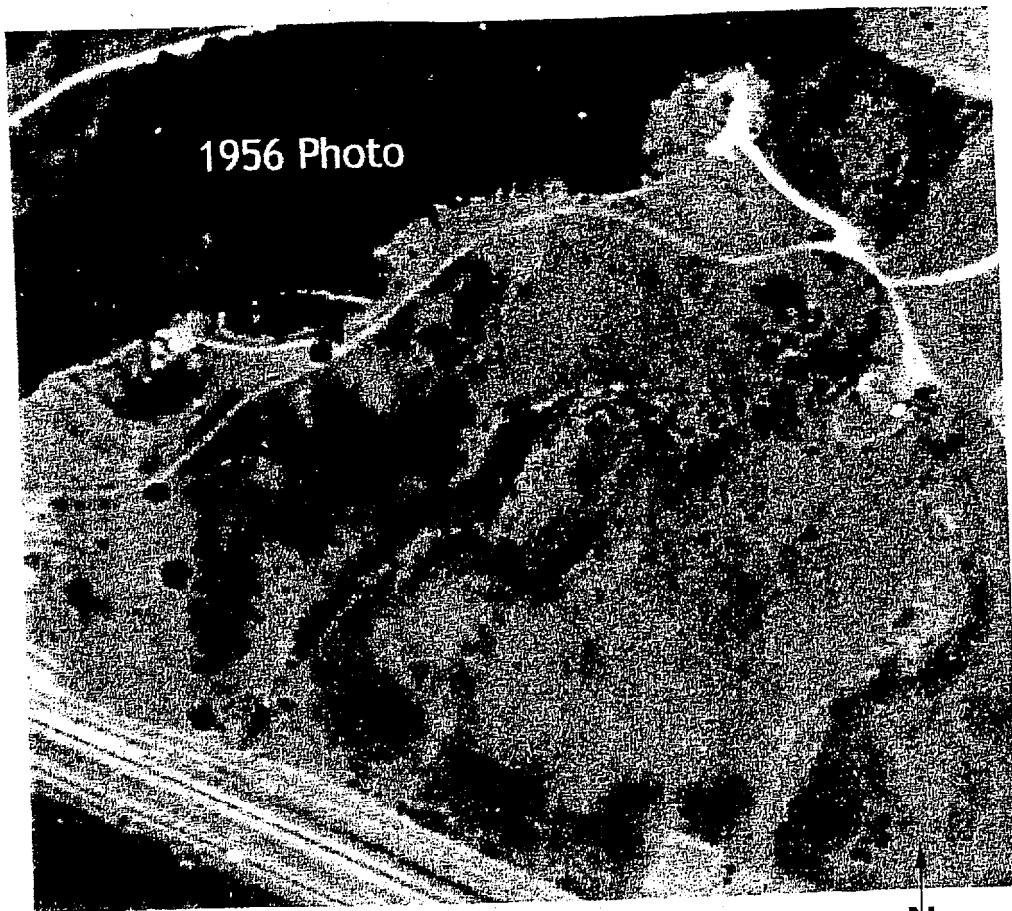


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1956 Photo

Plate 1

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Aug 23, 1973 Photo

Plate 2

Aug 23, 1973  
Flight 19, Exp. 2-16  
Future Verduzco Parcel  
Location Approximate  
APN 041-233-50



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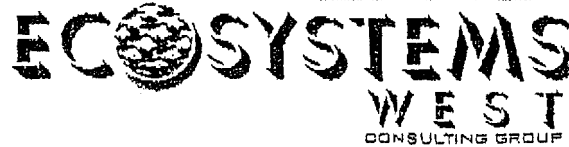
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98-0857

EXHIBIT E



ATTACHMENT 5

0485

July 15, 1999

Ms. Paia Levine  
Planning Department  
County of Santa Cruz  
701 Ocean Street  
Santa Cruz, CA 95060

Subject: Biotic Review of the Wetland Evaluation for the Frank Verduzco Property

Dear Paia:

This Letter provides my review of the "Soils, Drainage, and Wetland Evaluation Report" prepared by Robert Curry of Watersheds Systems for the Frank and Grace-Ann Verduzco property located at 220 Jaunell Road in Aptos, California. This assessment was conducted at the request of the Santa Cruz Planning Department to assess the type and condition of potential wetland or riparian habitat on the property and drainage management on the property. Dr. Curry summarized his survey and assessment findings in the above reference report.

The report states that the portion of the property supporting Arroyo willows had been covered in fill prior to 1973 and that the presence of wetland indicator species is a result of a perched water table due to an impermeable substrate layer some four feet below. He further states that the willows are rooted in the preexisting wetland soils buried four to six feet below. His report does not specifically state where this water is coming from but does suggest that it is both due to direct rainfall and the gray water sump from the Verduzco's home. I am not convinced that this hydrology is entirely attributable to direct sources but may be the result of up-slope subsurface movement. The high water tables or surface runoff must be of a sufficient time duration to support the facultative wet species, *Equisetum laevigatum*. The soils on the filled portion of the parcel do not meet wetland indicator status in the top 12 inches but do below the fill. This suggests that the site supported wetland or possibly riparian habitat prior to the grading and placement of fill on the swale portion of the parcel. Since the substrate is sandy it may suggest that this criteria be dropped from the three parameter assessment for delineation of a jurisdictional wetland. The presence of wetland indicator species and saturated hydrology may be used exclusive of the soils criteria by the Corps of Engineers for delineation in problematic wetland sites with fill (Corps of Engineers Wetland Delineation Manual, 1957, Part 4, Section F "Atypical Situations"). This determination would be made by the Corps' Regulatory Branch.

It is clear that the property had been disturbed and modified based on the two aerial photos appended in the report. However, since the 1980 photo cited in the document was not included in the report, I could not verify the size of the area occupied by arroyo willow or the extent of arroyo willow cover prior to the recent clearing done sometime in 1998. Therefore, it is not clear to what extent the willow cover reflects the current hydrology. No routine wetland determination forms were provided in the report for each of the five sample sites. Further, no citation of dates or persons contacted at the Corps Regulatory Branch were included in the report. Lacking this

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51/2 PACIFIC AVE., SUITE 4, SANTA CRUZ, CA 95060  
PHONE 831-429-6730 \* FAX 831-429-8742

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## ATTACHMENT 5

data there is no way to independently confirm Dr. Curry's findings or agreement by the Corps. For these reasons, it is my recommendation that a formal wetland delineation, including routine data forms and mapping, be completed and submitted to the Corps for their review and confirmation that site does not require Section 404 regulation. The result of this consultation should be utilized to finalize planning guidelines and hydrologic management on the parcel.

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Should you require further clarification of these suggestions, please don't hesitate to contact me.

Sincerely,



Bill Davilla  
Principal/Senior Botanist

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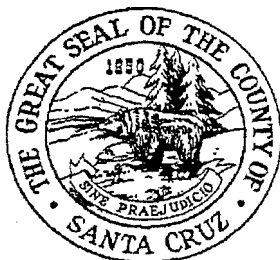
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ATTACHMENT 10  
APPLICATION 98-0851

EXHIBIT E1

PLANNING DEPARTMENT

GOVERNMENTAL CENTER



COUNTY OF SANTA CRUZ

0487

701 OCEAN STREET SANTA CRUZ, CALIFORNIA 95060  
(831) 454-2580 FAX (831) 454-2131 TDD (831) 454-2123

July 16, 1999

Ms. Kathy Casey  
1677 Wilshire Drive  
Aptos, CA 95003

Dear Ms. Casey:

Enclosed is Bill Davilla's review of the "Soils, Drainage, and Wetlands" report for the Verduzco property. The outcome of the review is that the report does not provide enough information to make a clear determination of whether or not, this is a jurisdictional wetland. The complicating factors are, on one hand, the nature of the site (fill placed over wetland and/or riparian area in the past, vegetation that has been partially cleared, and soil type that may not develop indications of wetland conditions) and on the other, the lack of a vegetation map, 1980 air photo, data forms for sample locations, etc.

At this time, because of the complicated nature of the determination and the fact that the project will likely affect the wetland should it be determined that one does exist, the appropriate resolution is to have the Corps of Engineers provide a formal wetland determination. Dr. Curry will know how to obtain this for you. Once there is a delineation the project can be planned accordingly.

Sincerely,

Paia Levine  
Resource Planner

FOR: Ken Hart  
Principal Planner  
Environmental Planning

CC: Cathy Graves, Project Planner  
Mike Cloud, Resource Planner

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ATTACHMENT 10  
APPLICATION 98-0857

EXHIBIT **58**  
E



PLANNING DEPARTMENT

GOVERNMENTAL CENTER



COUNTY OF SANTA CRUZ

0488

701 OCEAN STREET SANTA CRUZ, CALIFORNIA 95060  
(831) 454-2580 FAX (831) 454-2131 TDD (831) 454-2123

August 5, 1999

Ms. Kathy Casey  
1677 Wilshire Drive  
Aptos, CA 95003

Dear Ms. Casey:

This letter is to let you know the status of our review of the wetland/riparian resource on the Verduzsco property. We have continued to consider your project relative to the applicable ordinances and land use policies, and have arrived at the following determination.

The physical distinction between a "wetland" and a "riparian area" is frequently open to interpretation. The importance of choosing the most accurate term to describe the resource is that there are different setback requirements for development adjacent to wetlands than there are for riparian areas. Based on the air photos taken prior to the grading of the area that suggest a riparian corridor with some form of associated channel, and the character of the vegetation, the willow area on this parcel can accurately be described as a riparian woodland.

The Riparian and Wetlands Protection Ordinance, Chapter 16.30, prohibits development inside a riparian woodland and a ten foot buffer around the woodland. The Chapter does have a provision for exceptions to this prohibition, however, the findings for an exception cannot be made for a land division that exceeds the limits of the current zoning. Therefore, when designing your proposed land division, you must show that all proposed development (buildings, paving, grading, any activity defined as "development" per Chapter 16.30) will occur outside the Riparian Woodland and buffer. A copy of the Ordinance is attached,

This setback will provide adequate protection to the resource area, as long as the hydrology and drainage on the parcel are not altered by the development such that the moist conditions that support the willows are compromised. Your development proposal, therefore, must be designed to provide adequate drainage control for the development while also demonstrating that the subsurface flow that feeds the woodland will continue.

In summary, the willows, as they existed prior to recent clearing and/or other control, represent a riparian woodland that is protected per Chapter 16.30. As you design your land division please be aware of the setback restrictions and the condition that drainage be handled such that the riparian vegetation will be preserved.

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This letter supercedes any previous communications on this subject.

Please call me or Cathy Graves if you have any questions.

ATTACHMENT 5 4

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Sincerely,

Paia Levine  
Resource Planner

FOR: Ken Hart  
Principal Planner  
Environmental Planning

CC: Cathy Graves, Planner  
Mike Cloud, Resource Planner  
Ken Hart, Principal Planner

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Environmental Review Initial Study  
ATTACHMENT 11  
APPLICATION 98-0857

EXHIBIT E

VERDUZCO MLD 98-0857

(688-9551)

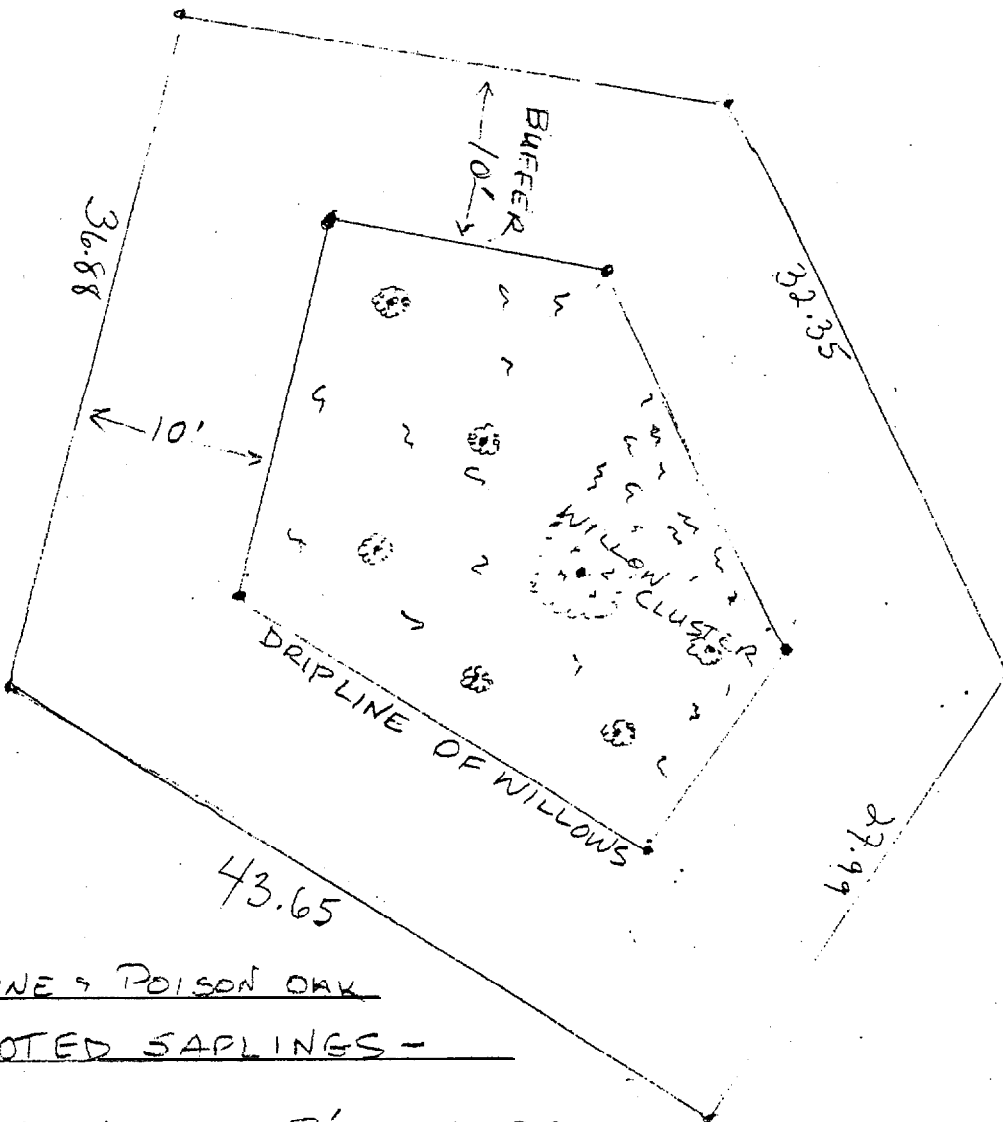
RESTORATION PLAN

ATTACHMENT 5

0490

RECOMMENDED BY NATIVE REVIVAL NURSERY (684-1811)

REQUESTED BY PAIA LEVINE



BERRY VINE & POISON OAK

6-ROOTED SAPLINGS-

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ED WILLOWS ON 8' CENTERS

BERRY VINE & POISON OAK RE-EMERGING NATURALLY

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APPLICATION

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EXHIBIT E

7-2-2000

Dear Paul,

Here is a plan to plant willow saplings in the designated willow preserve as it appears on the plans, per your telephone conversation with Kathy Casey on Wednesday, February 2, 2000.

We spoke with John <sup>(684-1811)</sup> Dagers at the Native Revival Nursery in Aptos this morning. At the lower end of their nursery, there were willow seedlings - (small twigs growing from seed) coming from the nearby willows, and growing in a very light silty soil. It looked like a miniature forest of twigs 1 foot high and 2"-3" apart. He said in a natural habitat this is how they grow. And then the larger trees shade out the smaller ones & they die. This is how they thin themselves out. Our situation is much different. As was stated in

We do not naturally have seed  
germination. We do not have a new crop  
of willows every year as would naturally  
happen in a willow habitat. Our willows  
have rings of nineteen years, growing from  
large clumps of trunks. We have had  
no new willow seedlings over the  
years. Yet we are still willing to  
plant these to red willow saplings  
which already have established  
root systems. They grow very quickly  
and will soon fill the preserve  
with vegetation. The poison oak and  
berry vine have already begun to  
re-emerge with shoots up to 16"  
high. That too will soon take  
over again. I will call you on  
Monday or you can call me to give  
us the go ahead if you accept  
this plan. We will plant as soon  
as we get a meadow between trains.  
our telephone number is 688-9551

ATTACHMENT 5

0492

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Sincerely  
Dana and Lindsay

EXHIBIT E

0493

Alan C Beverly ASCA  
Ecoscape , ISA Arborist #3644  
424 National St. Santa Cruz, CA 95060  
831.459.8106  
ecoscape@scrucenet.com

July 28, 2000

To: Frank & Grace Ann Verduzco  
220 Jaunell Rd. Aptos, CA 95003

Dear Frank & Grace Ann:

On Saturday July 22 I visited all areas of your property APN 041-233-50 and reviewed the preliminary plans by Freitas&Freitas 3-00. The impact of each of 4 proposed retaining walls on existing trees for lots #1, 2, 3, 4 and the road clearance of 24ft. minimum for fire dept. access is discussed.

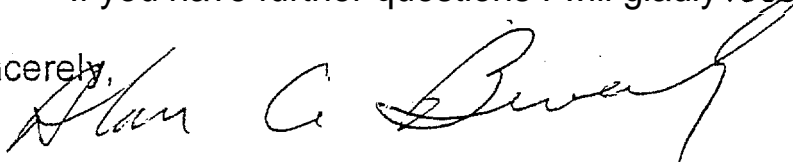
The proposed retaining for lot #1 was site and plan surveyed. The location of the 4ft. wall and the cut (soil volume) will alone not negatively impact the nearest *Quercus agrifolia*. The proposed retaining for lot #2 was site surveyed and compared with the plan. The 3ft. retaining wall and fill volume to slope the road drainage will not harm the existing trees there. The *Cedrus deodara* are at least 4 feet away from the wall location. The site of the proposed wall for lot #3 was examined. There is no expectation of negative impact on nearby trees, *Quercus agrifolia*. The proposed 4ft. retaining wall site on lot #4 was examined. The soil cut is 5.5ft. from the nearest 14" dbh *Quercus agrifolia*. This is not expected to compromise the future of that tree.

The minimum roadway clearance of 24ft required by the Aptos/La Selva Fire Dept. may be accomplished by pruning branches less than 1" diameter. This will not endanger nor compromise these trees' future.

My site survey of 2-5-2000 was the basis for my report to you dated 2-28-2000, and is contained herein.

If you have further questions I will gladly receive your call.

Sincerely,



Alan C Beverly  
Consulting Arborist

**Alan C Beverly**  
**ISA Arborist #3644**  
**424 National St.**  
**Santa Cruz, CA 95060**  
**831.459~8106 [ecoscape@scruznet.com](mailto:ecoscape@scruznet.com)**  
**Feb 28, 2000**

**To: Mr. & Mrs Frank & Grace Ann Verduzco**  
**220 Jaunell Dr., Aptos CA 95003**

Dear Frank & Grace Ann:

At your request I have conducted sufficient site survey and inspection and interview on Feb 5, 2000 to assess the impact of a proposed 12' wide asphalt entry road to lot #4, as per site plan and landscape map by Casey 12-16-99, on two Quercus aarifolia trees Qa1 and Qa2(double). Since much site disturbance of the lower area has occurred the scope of this investigation 'shall be confined to the area adjacent to the proposed road within the 30% slope zone. Visual inspection of both trees' canopy, trunk, root-flare area and the site soil was made.

## Observations and Discussion

The site soil is a sandy loam, how deep this profile exists was not investigated. No disturbance of the leaf litter layer within the canopy has occurred nor should it ever be removed. Trees' Qa1 with a dbh 17" and Qa2 with dbh 14" and 16" have arisen from seed at the site naturally. Thus they should be considered representatives of the local gene pool of Q. a. and supremely adapted to the site. They are deeply rooted. Test holes dug into the middle of the proposed roadway showed only a few 1/4" caliper roots at 10" depth. The trees are healthy and vigorous. No foliar pathogens, nor trunk cankers, nor bark boring beetle exit holes were witnessed. There is no root-flare fungal pathogen infection, and no decay of wood at the root flare zone. Both trees have live crown ratios of 50-60%. Qa1 has recently made great progress because poison oak (Rhus diversiloba) was removed from the canopy. The smaller caliper oaks, such as these are, are known to be tolerant of the type of road construction proposed by the Casey site plan.

## Conclusion

Construction of a 12' wide access road on the pre-graded site (circa 1983) of lot #4 is not sufficient impact to cause long or short term harm to the subject trees if the recommendations stated below are followed.

**58**

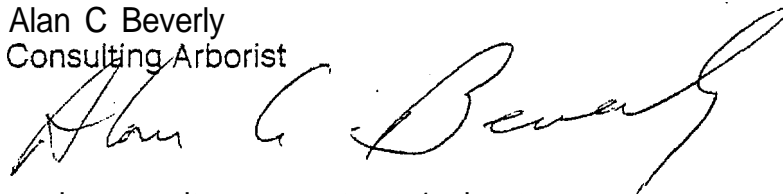
## Recommendations

1. Excavation for road construction should be minimized. An asphalt curb at the top should prevent Jaunell Rd water runoff from entering the Lot#4 road.
2. All invasive pest plant species should be removed continuously, with priority given to the oak canopy zone. A list of these species may be found in A Plague of Plants by Moore and Hyland [www.wildwork.org](http://www.wildwork.org).
3. The root flare zone of Qa1 should be cleared of excessive debris and soil to expose the top of the largest root flare(s). A retaining wall should be installed on the uphill side 24" high and about 10' arc. The wall should clear the tree by at least 4', and function both structurally and to prevent the root-flare zone from being buried. Removal of deadwood and all poison-oak any time is permissible. Application of a complete granular fertilizer such as 15-1 5-15, 5lb for Qa1 and 3lb. for Qa2 within the canopy will help each tree redevelop a fuller canopy. Application of Roots2 inoculant will enhance the trees' root health also. These applications may be accomplished post-construction.
4. The downhill side of the proposed road should have an asphalt curb to prevent water from leaving the road surface and flowing onto Qa1.
5. The road should turn away from Qa2 to give 10' clearance, as shown on the site map.
6. During construction a TPZ, tree protection zone should be established with 4' plastic net. No grading is allowed within the TPZ, nor storage of equipment, materials. The TPZ should clear Qa1 by 8-9', and Qa2 by 8-9'.
7. Prior to site grading by equipment, a narrow trench should be hand dug along the edge to the specified depth of road base and all small roots sharply cut with a by-pass pruner.

Please call if you have any further questions. I will be available to review these conclusions and existing field conditions.

Sincerely,

Alan C Beverly  
Consulting Arborist



enclosures: site map extract 1 sheet