



COUNTY OF SANTA CRUZ

0283

PLANNING DEPARTMENT

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KATHLEEN MOLLOY PREVISICH, PLANNING DIRECTOR

August 29, 2013

Agenda Date: September 10, 2013

Board of Supervisors
County of Santa Cruz
701 Ocean Street
Santa Cruz, CA 95060

Subject: Public Hearing to consider Application Number 131110, a proposed grading permit to place approximately 19,000 cubic yards of soil to create an athletic field on the campus of Aptos High School

Members of the Board:

On August 28, 2013, the Planning Commission held a public hearing to consider an application filed by the Pajaro Valley Unified School District (PVUSD) to place approximately 19,000 cubic yards of soil to create an athletic field on the campus of Aptos High School on Assessor's Parcel Number 041-291-39. The project includes the installation of drainage facilities, irrigation, turf and surfacing for a 13-space ADA accessible parking area. The project is located near the entrance to Aptos High School at the intersection of Freedom Boulevard and Mariner Way (approximately 0.4 miles north of the Highway 1 Freedom Boulevard exit).

The proposed athletic field itself has already been approved by the PVUSD School Board, who issued a Categorical Exemption for the proposed work in May 2012. While most school projects are not subject to County permitting requirements, California Government Code Section 53097 provides that the school district must comply with any county ordinance requiring the review and approval of grading plans as these ordinance provisions relate to the design and construction of improvements which affect drainage or grading. As such, the project requires a County grading permit for the placement of fill. The County's jurisdiction is limited to matters that relate to the proposed placement and grading of fill in the proposed location.

Typically, this county permit would have been obtained prior to placement of fill on the site, but county staff at the time was unaware of Section 53097 and believed that the State Architect's Office handled all construction on school properties, and had so indicated to the Second District County Supervisor at the time, who conveyed it to PVUSD.

Although the County has limited permitting authority over the construction of grading and drainage improvements only, an informational Initial Study was prepared that considered the whole of the project as required under the California Environmental Quality Act (CEQA). The

County was aware that some members of the public considered the project ineligible for a Categorical Exemption due to "unusual circumstances". The Initial Study found that the project as proposed, and as operated in accordance with the guidelines adopted by the PVUSD Board of Directors, would not result in significant environmental impacts, and no mitigation measures were necessary to ensure that impacts of the project would be less than significant.

The public review and comment period for the Initial Study closed on August 22, 2013. Responses to comments received during the comment period were provided to Planning Commission members on August 26, 2013 for their consideration prior to the August 28th hearing. The Planning Commission Staff Report, Initial Study and response to public comments are attached, as well as other public comments submitted prior to or at the Planning Commission hearing.

The Planning Commission took actions to (1) place itself in an advisory role pursuant County Code section 18.10.124(B); and (2) adopt a resolution recommending that your Board adopt the Negative Declaration and approve the Preliminary Grading Permit, with findings and conditions. The final recommended conditions of approval specifically include certain standard operational permit conditions regarding construction hours and erosion control, as desired by a member of the public and as directed by the Commission.

RECOMMENDATION It is recommended that your Board take the following actions:

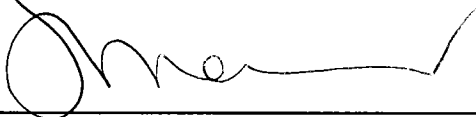
1. Conduct a public hearing on the proposed Preliminary Grading Application 131110; and
2. Adopt the attached resolution (Attachment 1) adopting the Negative Declaration and approving the Preliminary Grading Permit, Application Number 131110, based upon the findings and with conditions of approval.

Sincerely,



Kathy M. Previsich
Planning Director

RECOMMENDED



SUSAN A. MAURIELLO
County Administrative Officer

Attachments:

1. Resolution adopting Negative Declaration and approving Preliminary Grading Permit Application No. 131110
2. Staff Report and Materials Considered by Planning Commission (*paper copies to each Supervisor; materials available on website or at offices of Planning Department*)

RESOLUTION NO. _____

On the motion of Supervisor _____
 duly seconded by Supervisor _____
 the following Resolution is adopted:

**BOARD OF SUPERVISORS RESOLUTION ADOPTING THE NEGATIVE DECLARATION
 AND APPROVING PRELIMINARY GRADING PERMIT APPLICATION 131110**

WHEREAS, the Planning Commission held a public hearing on September 28, 2013 to consider Application No. 131110, and took action to adopt a resolution recommending to the Board of Supervisors that it adopt a Negative Declaration and approve a proposed Preliminary Grading Permit for the placement of 19,000 cubic yards of soil to create an athletic field on the campus of Aptos High School;

WHEREAS, the Board of Supervisors has held a public hearing on this September 10, 2013 date to consider Application No. 131110, for the purpose of making a determination regarding the proposed adoption of a Negative Declaration and approval of a proposed Preliminary Grading Permit for the placement of 19,000 cubic yards of soil to create the athletic field; and

WHEREAS, the design of the proposed athletic field is consistent with applicable general and specific plans adopted pursuant to Chapters 13.01 and 13.03 of the Santa Cruz County Code; and

WHEREAS, the proposed grading plan for the development has been reviewed by Environmental Planning and the Department of Public Works Stormwater Management section and is found to comply with applicable requirements of the Santa Cruz County Code; and

WHEREAS, the project will not cause excessive or unnecessary disturbance of the site; and

WHEREAS, review of the grading plans, hazard mapping and supporting geotechnical investigation for the project have shown that the work proposed would not be hazardous by reason of flood, geological hazard, or unstable soils; be liable to endanger other properties or result in the deposition of debris on any public way, property, or drainage course; or otherwise create a hazard; and

WHEREAS, an Initial Study prepared for the project found that the work proposed would not create any unavoidable or significant adverse environmental impacts; and that no mitigation measures were required to be adopted to ensure that impacts of the project were less than significant; and

WHEREAS, the proposed grading is not for creation of a building site and does not lie within a riparian corridor or 100-year floodplain.

NOW, THEREFORE, BE IT RESOLVED AND ORDERED, that Board of Supervisors hereby adopts the Negative Declaration and approves Preliminary Grading Permit Application No. 131110 based on the following findings and with the attached conditions (Attachment 1).

1. The Project that was the subject of environmental review includes but is not limited to the following components:

Proposal to place approximately 19,000 cubic yards of soil to create an athletic field on the campus of Aptos High School (APN 041-291-39). The project includes the installation of drainage facilities, irrigation, turf, and surfacing for an ADA accessible parking area. The project requires Preliminary Grading Approval. 0286

2. Environmental review completed for the proposed grading determined that the proposed project will not have a significant impact on the environmental, and therefore a Negative Declaration has been prepared in accordance with the California Environmental Quality Act (CEQA), which was circulated for public comment and review on August 2, 2013. All public comments received regarding the environmental review and comment period have been considered and do not change the determination that no significant impacts will result from this project. The Board of Supervisors has considered the Negative Declaration and through adoption of this resolution hereby adopts the Negative Declaration.
3. The Board of Supervisors finds, on the basis of the whole record before it, that there is no substantial evidence that the project will have a significant effect on the environment, and that the Negative Declaration reflects the independent judgment and analysis of the County of Santa Cruz.
4. The grading project is consistent with the General Plan and complies with applicable requirements of the Santa Cruz County Code. It will not cause excessive or unnecessary disturbance of the site. It will not be hazardous by reason of flood, geological hazard, or unstable soils; be liable to endanger other properties; or result in the deposition of debris on any public way, property, or drainage course; or otherwise create a hazard. The proposed grading project is not for creation of a building site and does not lie within a riparian corridor or 100-year floodplain.
5. The material which constitutes the record of proceedings upon which the Board of Supervisor's decision is based shall be located in the offices of the Planning Department, located at 701 Ocean Street Santa Cruz, California.

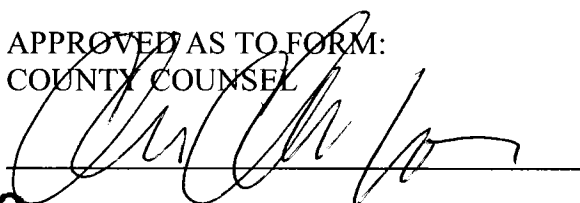
PASSED AND ADOPTED by the Board of Supervisors of the County of Santa Cruz, State of California this _____ day of _____, 2013, by the following vote:

AYES: SUPERVISORS
NOES: SUPERVISORS
ABSENT: SUPERVISORS
ABSTAIN: SUPERVISORS

Neal Coonerty, Chairperson

ATTEST: _____
Clerk of the Board

APPROVED AS TO FORM:
COUNTY COUNSEL



Conditions of Approval

- I. This permit authorizes the placement of approximately 19,000 cubic yards of fill to create an athletic field. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Grading Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Grading application. Applications for Grading Permits would not be accepted or processed while there is an outstanding balance due.
 - C. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder) within 30 days from the effective date of this permit.
- II. Prior to issuance of a Grading Permit the applicant/owner shall:
 - A. Submit final engineering plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. Any changes from the approved Exhibit "A" for this development permit on the plans submitted for the Grading Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled would not be authorized by any Grading Permit that is issued for the proposed development.
 - B. Submit four copies of the approved Discretionary Permit with the Conditions of Approval attached. The Conditions of Approval shall be recorded prior to submittal, if applicable.
 - C. Submit 3 copies of the accepted soils report prepared and stamped by a licensed Geotechnical Engineer.
- III. All construction shall be performed according to the approved plans for the Grading Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
 - A. All site improvements shown on the final approved Grading Permit plans shall be installed.

- B. All inspections required by the grading permit shall be completed to the satisfaction of the County Building Official.
- C. The project must comply with all recommendations of the approved soils reports.
- D. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100 shall be observed.

IV. Operational Conditions

- A. Prior to commencement of grading operations the applicant must submit a Stormwater Pollution Prevention Plan (SWPPP) to the state to obtain permission to proceed under the state Construction General Permit.
- B. Construction activities at the site are limited to the hours of 8 a.m. to 5 p.m. unless approved in advance by the Planning Department. No grading shall be permitting on Saturdays, Sundays, and holidays unless specifically authorized by the Planning Director. (SCCC Section 16.20.080(K))
- C. The applicant shall designate a disturbance coordinator and a 24-hour contact number shall be conspicuously posted on the job site.
- D. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- E. No grading shall occur during the winter season (October 15th through April 15th), unless authorized in advance by the Planning Director with reference to the erosion control ordinance. (SCCC Section 16.20.080(O))
- F. All sediment shall be contained on-site, per the requirements of the approved erosion control plan and Stormwater Pollution Prevention Plan (SWPPP). (SCCC Chapter 16.22); and dust control measures implemented in accordance with the requirements of the Monterey Bay Unified Air Pollution Control District, to minimize airborne material leaving the site.

- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless

the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.

- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this preliminary grading approval which do not affect the overall concept may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a grading permit is obtained for the grading work described in the development permit. Failure to exercise the grading permit and to complete all of the construction under the building permit, resulting in the expiration of the grading permit, would void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: September 10, 2013
Effective Date: September 10, 2013
Expiration Date: September 10, 2016



Staff Report to the Planning Commission

Application Number: **131110**

Applicant: Pajaro Valley Unified School
District

Agenda Date: 8/28/2013

Owner: Pajaro Valley Unified School
District

Agenda Item #: 8

APN: 041-291-39

Time: After 9:00 a.m.

Project Description: Proposal to place approximately 19,000 cubic yards of soil to create an athletic field on the campus of Aptos High School. The project includes the installation of drainage facilities, irrigation, turf and surfacing for an ADA accessible parking area. The project requires Preliminary Grading Approval.

Location: The property is located on the corner of Freedom Boulevard and Mariner Way, about 0.5 miles north of Highway 1 within the Aptos Hills Planning area.

Supervisory District: 2nd District (District Supervisor: Zach Friend)

Permits Required: Preliminary Grading Approval, Grading Permit (>8,000 Cubic Yards)

Technical Reviews: Soils Report Review, Biotic Report Review

Staff Recommendation:

- That the Planning Commission recommend that the Board of Supervisors adopt the Negative Declaration and approve Preliminary Grading Permit Application No. 131110 based on the following findings and with the attached conditions (Exhibit C).

Exhibits

- | | |
|--|-------------------------------------|
| A. Project plans | E. Assessor's, Location, Zoning and |
| B. Planning Commission Resolution / Findings | General Plan Maps |
| C. Conditions | F. DPW Memo Re: "D" Zone Dist. |
| D. CEQA Notice of Determination (Negative Declaration) | |

Parcel Information

Parcel Size:	22.8 acres
Existing Land Use - Parcel:	Vacant Land
Existing Land Use - Surrounding:	Residential
Project Access:	Freedom Boulevard

Planning Area: Aptos Hills Planning area
Land Use Designation: R-R (Rural Residential)
Zone District: RA-D (Residential Agricultural in the "D" Designated
Park Combining District)
Coastal Zone: ☐ Inside ☒ Outside
Appealable to Calif. Coastal ☐ Yes ☒ No
Comm.

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Soils: Soils report completed, attached to Initial Study (Negative
Declaration), Exhibit D
Fire Hazard: Not a mapped constraint
Slopes: Area of Development: 10%-15%, Site slopes up steeply (up to 50%+)
Env. Sen. Habitat: None (see Biotic Report, attached to Initial Study (Negative
Declaration), Exhibit D)
Grading: Approximately 19,000 cubic yards of fill
Tree Removal: No
Scenic: Partial (see Scenic Areas Map, attached to Initial Study (Negative
Declaration), Exhibit D)
Drainage: Project includes drainage improvements to comply with pre-
development rate infiltration requirements of Public Works
Archeology: Not mapped/no physical evidence on site

Services Information

Urban/Rural Services Line: ☐ Inside ☒ Outside
Water Supply: Private Well
Sewage Disposal: Santa Cruz County Sanitation
Fire District: Aptos-La Selva Fire Protection District
Drainage District: None

Project History

The subject parcel was purchased by Pajaro Valley Unified School District (PVUSD) in 2000. Although portions of the parcel have been used by the Aptos High Disc Golf Club as part of their disc golf circuit, it has been minimally used by the student body.

During the spring of 2012, PVUSD was approached by the Aptos Sports Foundation (ASF) with a request to utilize the previously disturbed southeast corner of the parcel to construct a practice soccer field. Although the project would normally prove prohibitively expensive, ASF had already secured the large volumes of fill material required by volunteering to accept excess

material generated by the excavations for the Highway One auxiliary lane project underway at the time.

In late March 2012, PVUSD representatives contacted the County Supervisor for their district regarding what permits may be required for the proposed grading work. The Supervisor in turn asked the Planning Department if permits were required, and the Department responded that the State Architect's Office has jurisdiction over permitting of school facilities. With that, PVUSD then issued a Notice of Exemption (NOE) for a project consisting of "the construction of a new athletic practice field on the campus of an existing high school. The project involves the import of 15,000 yards of imported soils, grading of a +/- 200,000 square foot area, and the installation of irrigation and turf. The project also includes the placement of two (2) disabled parking places in conformance with the California Education Code and Department of the State Architect assessability standards." The District's NOE is attached to the Initial Study/Negative Declaration as Exhibit D. The exemption status was listed as a Class 14 Categorical Exemption for Minor Additions to Schools, as the field does not increase the original student capacity by more than 25% or ten classrooms. The Notice of Exemption was received by the State Clearinghouse on May 29, 2012 and PVUSD and ASF proceeded to oversee the placement of approximately 19,000 cubic yards of material to create a large flat pad.

In June 2012, Aptos High neighbors contacted PVUSD and the County Planning Department to object to the absence of a County-issued permit for the project. While normally a city or county has no permitting jurisdiction over school districts, per Government Code Section 53097 the County does have limited permit authority over grading plans for improvements that would affect drainage, road conditions or grading. Once notified that the County would be exercising this authority, PVUSD ceased grading activities, installed erosion control and winterization measures, and began assembling plans and supporting documentation to apply for Preliminary Grading Approval and a grading permit for the placement of approximately 19,000 cubic yards of soil to create an athletic field on the campus of Aptos High School. The project includes the installation of drainage facilities, irrigation, turf, and a 13-space parking area including 2 ADA-accessible spaces.

Project Setting

Located northeast of the intersection of Mariner Way and Freedom Boulevard, approximately .5 miles north of Highway 1, the parcel is bounded by Aptos High School to the north and northeast, Aptos Pines Mobile Home Park to the south, and rural residential properties across Freedom Boulevard to the west.

The limits of disturbance for the proposed field occupy an approximately 640 foot by 300 foot swath of land in the southeast corner of the property, located along the frontage of the main entrance to Aptos High School on Mariner Way. Although the majority of the Aptos High campus improvements are located to the north, above the proposed practice field site, an existing baseball field and associated parking lot are located approximately 350 feet northeast.

The closest residences to the proposed athletic field lie to the south, across Mariner Way, where 15 residences directly abut the roadway easement. The residences are approximately 35 feet south of the roadway, and 60 to 70 feet from the closest point of the proposed area of disturbance. Currently, a 5-foot tall wooden fence and vegetative strip with trees and shrubs separates the rear yards of these residences from the roadway easement.

The parcel was undeveloped at the time of purchase by Pajaro Valley Unified School District in 2000, and most remains so with scattered grasses and oak trees along with a disc golf course. From 2004 – 2007 the school underwent a large scale improvement and modernization project. To accommodate the increase in drainage volumes resulting from the improvement project, a 17,100 square foot retention basin was installed among the oak trees in the southwest corner of the parcel at the intersection of Mariner Way and Freedom Boulevard. During construction, the southeast corner of the parcel (the location of the proposed athletic field) was used as a fill source and stockpile location for soils excavated from other school construction areas. Since the conclusion of the modernization project, this corner of the parcel has experienced on-going periodic disturbance by unauthorized off-road vehicle usage and student foot traffic. Presently, dirt obtained from the Highway 1 auxiliary lane project is stockpiled on the site, awaiting County grading permit approval prior to completing field improvements.

Original topography in the affected area prior to fill placement sloped gently to the southwest with grades ranging between 5 – 10 percent. Exploration of the field site in its current condition revealed native soils consisting of medium dense to very dense silty sands of the Aromas Sand Formation overlain by a layer of older, previously placed fill up to several feet in depth and another more recently placed layer of fill ranging from 2 – 10 feet in depth. The field as currently installed is essentially flat with perimeter embankments ranging from 5 feet below Mariner Way at the eastern end of the field, up to 10 feet above the roadway at the highest point along the western perimeter.

The area is bounded to the north by a moderately steep (50 percent) slope approximately 50 feet in height. This slope is the only surface drainage tributary, as the upslope drainage that might have come from the east is intercepted by the Mariner Way drainage system. Subsurface groundwater seeps were also observed along the eastern slope face below Mariner Way.

As noted above, the field site and adjacent slope prior to grading was previously disturbed, and devoid of vegetation or sparsely inhabited by non-native grassland species. A man-made drainage retention basin that receives runoff piped from the Aptos High School campus lies more than 100 feet west of the limits of disturbance for the field, and is surrounded by several large oak trees. The PVUSD maintenance staff clear the basin of accumulated sediment and vegetation once per year. No trees have been or would be removed for construction of the proposed field.

A biotic assessment (John Gilchrist and Associates, March 2013, attached to the Initial Study/Negative Declaration as Exhibit D) was prepared for the proposed field project. It assessed habitat conditions at the high school and off site with respect to suitability to support state and federal threatened and endangered plant species known to occur in Santa Cruz County. The

study found that there is a low potential for occurrence of these species in the area of the proposed field. The assessment also concluded that the area to be occupied by the proposed practice field does not include habitat suitable for Santa Cruz Long-toed Salamander and California Red Legged Frog. The study found that these species may traverse the project site or surrounding areas while moving to or from breeding sites.

Detailed Project Description

Government Code Section 53097 for the State of California requires that the school district comply with any city or county ordinance "requiring the review and approval of grading plans as these ordinance provisions relate to the design and construction of onsite improvements which affect drainage, road conditions, or grading". Thus, the County's permitting authority is *limited to the approval of the grading plans alone*. An Initial Study has been prepared for the whole of the project as described in the following paragraphs, but the project scope under consideration by the Planning Commission is limited to the grading operations only and does not include the use of the field. The school district adopted a resolution which describes the planned operation of the field, which the County has considered in preparing the Initial Study.

Overall Project Scope

At its completion, the project would result in a 74,000 square foot turf practice field, associated drainage facilities, and a 13-space parking lot (of which 2 spaces are ADA Accessible) with bollard path lighting and one motion-sensitive overhead lamp.

The proposed practice field would be used by Aptos High School for physical education exercises during regular school hours and for athletic team practice, as needed. No area or stadium-type lighting is proposed for the field, and therefore practices would be concluded by late afternoon. The existing baseball field parking lot would be available for parking needs beyond that which is accommodated by the proposed parking area. A path would be installed to facilitate access from the upper baseball field lot to the practice field. No permanent structures (i.e. restrooms) or amplified sound systems are planned for the field. (see grading plans attached as Exhibit A).

As with all school facilities, the practice field may be utilized by local sports clubs or other community groups after school hours or on the weekends, subject to their abiding by a Facilities Use Agreement that dictates the hours of use, parking areas, and use restrictions. According to PVUSD, failure to comply with this use agreement results in the elimination of the group's ability to use the field in the future.

In order to address neighbor concerns regarding noise, traffic, and terms of use for the field, the PVUSD Board of Trustees adopted the following utilization guidelines for the field (see MOU, attached to Initial Study/Negative Declaration as Exhibit D).

- No stadium or other lighting for evening games/practices shall be installed and/or allowed. Hours of operation shall be during the instructional day and conclude by sunset each evening.
- No amplified sound or use of bullhorns shall be permitted at any time.
- No permanent structures are to be erected on the field or adjacent area (portable bathrooms will be allowed).
- Access to the field would be restricted during nights and non-use times. The district would maintain a fence with locking gate(s) around the field with appropriate security lighting for the parking lot and adjacent walkways.
- Aptos High School would utilize the field solely for practice and P.E. purposes during the instructional day.
- Community use during evenings and weekends shall be authorized via the district facility use review and permit process. Community members and/or organizations would be required to adhere to these guidelines as a condition of authorization.
- No parking would be allowed on Mariner Way. Parking for non-school use shall be directed to the upper campus area.
- School site staff would work with neighbors to identify security issues and maintain appropriate oversight over field use.
- The district would work with County officials to resurface Mariner Way and install appropriate speed control measures, landscaping, walkways, and safety lighting along the roadway via the Measure L bond project process. The district would install appropriate vegetation to mitigate viewing access into adjacent homes/backyards in the Aptos Pines Mobile Home Park.
- The District would work with the county, state, and federal wildlife officials to address noise abatement, water quality, invasive species removal, and species protection issues.
- Future changes to these guidelines shall require public notification and hearing with residents within 1,000 feet of the field prior to implementation.

Practice Field Construction

The fill required for the proposed practice field has already been imported and placed on site. Recent field studies of the fill soils found that they were placed with inconsistent compaction effort, resulting in relative compaction values between 80 – 98 percent. (Haro Kasunich and Associates, Inc., Project No. SC10423, 2/8/13, attached to Initial Study/Negative Declaration as Exhibit D. Field studies also found that because construction was halted prior to final contouring of the field and drainage swale installation, saturation and concentrated overland flow caused erosion and shallow slumping of the fill slopes below the west and southwest perimeters of the field. Seasonal saturation of the east slope face also contributed to some erosion as well.

The remaining work to be completed at the site consists of reworking the existing fill soils to establish effective field drainage, installation of subsurface and surface drainage facilities, and compaction of surface soils. The final field grades would provide a crown in the center of the field directing field drainage to permeable swales installed along the north perimeter and toe of the south embankment of the field. These swales would generally maintain existing drainage

patterns by directing runoff westward into a 195 foot long percolation trench. As is currently the case, any water that does not percolate into the soils would flow to the existing drainage retention basin.

To alleviate the effects of subsurface drainage seeps at the east end of the field, the proposed design includes the installation of curtain drains across the eastern portion of the site to intercept subsurface flow. The drains continue beneath proposed permeable swales that act as retention trenches and allow percolation, outletting at a 195-foot long retention trench proposed at the west end of the field, once again maintaining general site drainage patterns.

The project proposal includes excavation and recompaction of the upper two feet of existing fill soil across the practice field to provide a uniform surface and prevent settlement. Also, the faces of fill slopes are to be groomed by cutting them back four feet and recompact the soil to repair damage sustained during the winter months due to lack of proper grades and drainage facilities.

The final surface for the proposed athletic field will be a drought tolerant turf species, which will be watered via an irrigation system to be installed after grading is complete. As is the case for all of the water needs of Aptos High School, irrigation water would be supplied by two on-site wells. Although the CEQA Initial Study prepared for the athletic field considered the issue and determined that the impact was less than significant, it is important to note that the proposed turf surfacing and associated irrigation needs are tied to the use of the field and would not be considered under the Preliminary Grading Approval. As stated previously, the County has limited permitting authority related to grading activities and has no ability to impose conditions related to water use on the project.

Native Vegetation Restoration

Due to the potential for Santa Cruz Long-toed Salamander to traverse the site, PVUSD has met several times with representatives from US Fish and Wildlife Service (USFWS) and the California Department of Fish and Wildlife (CDFW) to discuss the proposed project. The project grading would affect areas previously devoid of vegetation or sparsely inhabited by non-native grassland, and therefore would not have a significant impact to vegetation. Although it was agreed that the project would not impact the salamander, USFWS and CDFW did identify areas of the campus that had large populations of invasive exotic plant species and/or were candidates for native plant restoration due to their proximity to prime oak woodland habitat that is favored by salamander. PVUSD voluntarily agreed to work with the resource agencies to pursue a restoration project. The restoration plan would include the revegetation of a portion of the bare slope north of the proposed athletic field, the small patch of oak woodland near the existing sediment basin, and a fenced area southwest of the school water tanks (See Figure 1 of the Initial Study, Exhibit D for restoration locations).

PVUSD is currently working with the agencies to prepare a final restoration plan to be implemented through the USFWS School Yard Habitat Program. This is a cooperative habitat restoration and stewardship program that also provides long-term learning opportunities for

students. The PVUSD Board of Trustees passed an MOU on June 12, 2013 (attached to Initial Study (Negative Declaration), Exhibit D), committing itself to the preparation and implementation of these plans in collaboration with USFWS.

Zoning & General Plan Consistency

Although the County does not have land use authority over development of an athletic field on a school site, it is relevant to note that the site is a park use consistent with the General Plan and Zoning District.

The General Plan designation for this parcel is Rural Residential (R-R), and the property is located in the Residential Agricultural (R-A) "D" Designated Park Combining District. The "D" Designation denotes those parcels which have been designated in whole or in part by the County General Plan to be acquired and/or developed for future neighborhood, community or regional public recreational facilities.

Within the Residential Agricultural Zone District unpaved sports fields are considered a principal permitted use, and no use approval would be necessary.

Within the Residential Agricultural (R-A) "D" Designated Park Combining District, any development permit processed at Level 5 or greater must be submitted for review by the Director of Parks, Open Space and Cultural Services (now part of the Department of Public Works) for review to determine whether the County would like to acquire the property or condition the manner of development to preserve the potential for future park use. The Assistant Director of Public Works for Parks has provided a memo (see Exhibit F) stating that because the proposed soccer field would provide for an interim recreational use on the property and the "D" designation would remain on the property allowing for future consideration for park site acquisition, and concluding the project does not require further review and may proceed.

Grading Review

The proposed grading plan has been reviewed by the Civil Engineer for Environmental Planning, as well as the Department of Public Works Stormwater Management, and Environmental Health and found to be consistent with County Code requirements pertaining to grading and drainage.

Environmental Review

Environmental review has been required for the proposed project per the requirements of the California Environmental Quality Act (CEQA). The project was reviewed by the County's Environmental Coordinator on August 1, 2013. A preliminary determination to issue a Negative Declaration (Exhibit D) was made on August 1, 2013; the 20-day Negative Declaration/Initial Study public comment period began on August 2, 2013 and runs through August 22, 2013.

Conclusion


As proposed, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation


Staff recommends the following:

1. That the Commission take an action to place itself in an advisory role to the Board of Supervisors and provide the Board of Supervisors with a recommendation; and
2. That the Planning Commission recommend to the Board of Supervisors that it:
 - a. **ADOPT** the Negative Declaration; and
 - b. **APPROVE** the Preliminary Grading Permit, Application Number 131110, based upon findings and conditions of approval.

Report Prepared By: _____

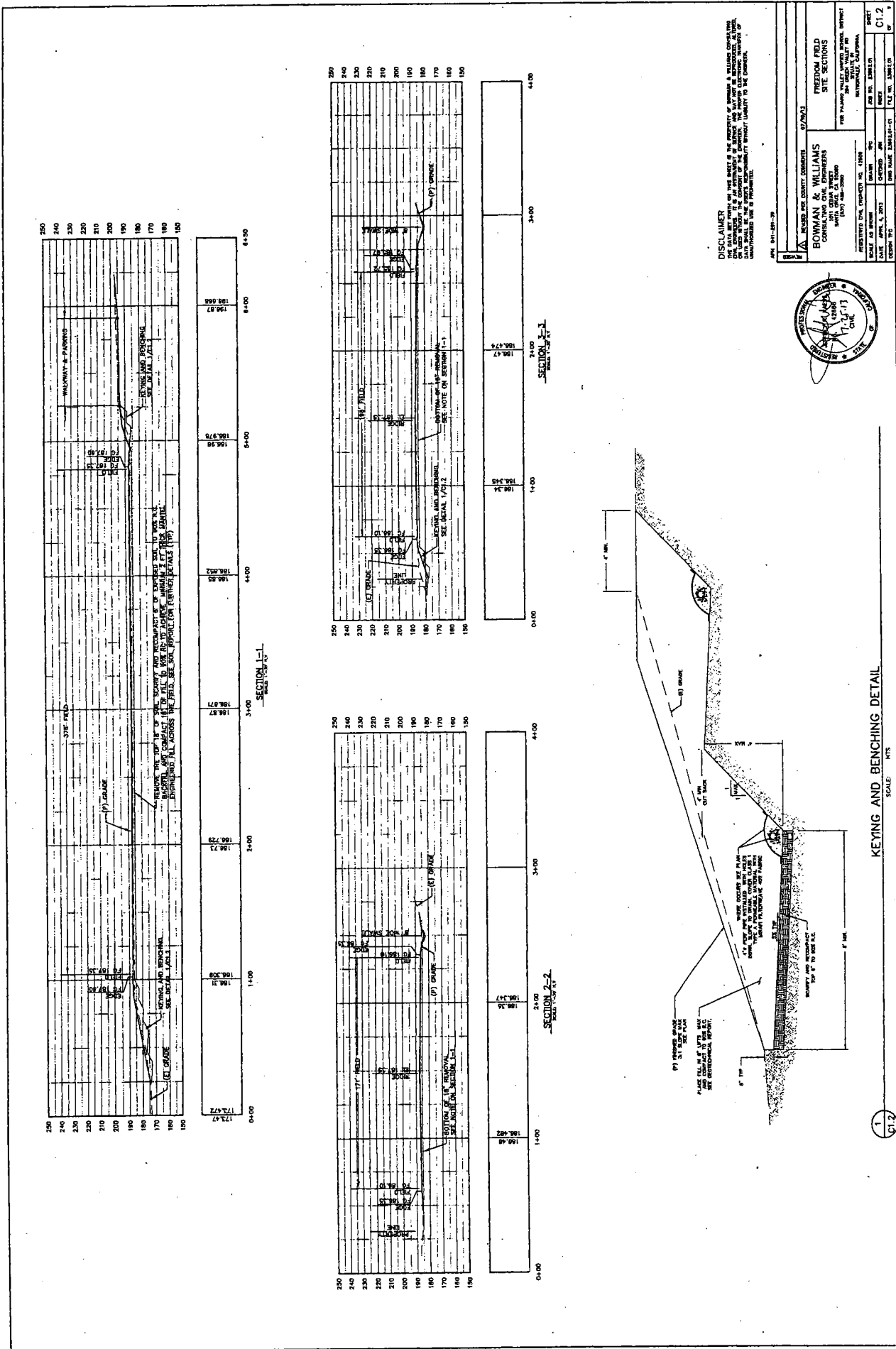

Carolyn Burke
Santa Cruz County Planning Department
701 Ocean Street, 4th Floor
Santa Cruz CA 95060
Phone Number: (831) 454-5121
E-mail: carolyn.burke@co.santa-cruz.ca.us

Report Reviewed By: _____

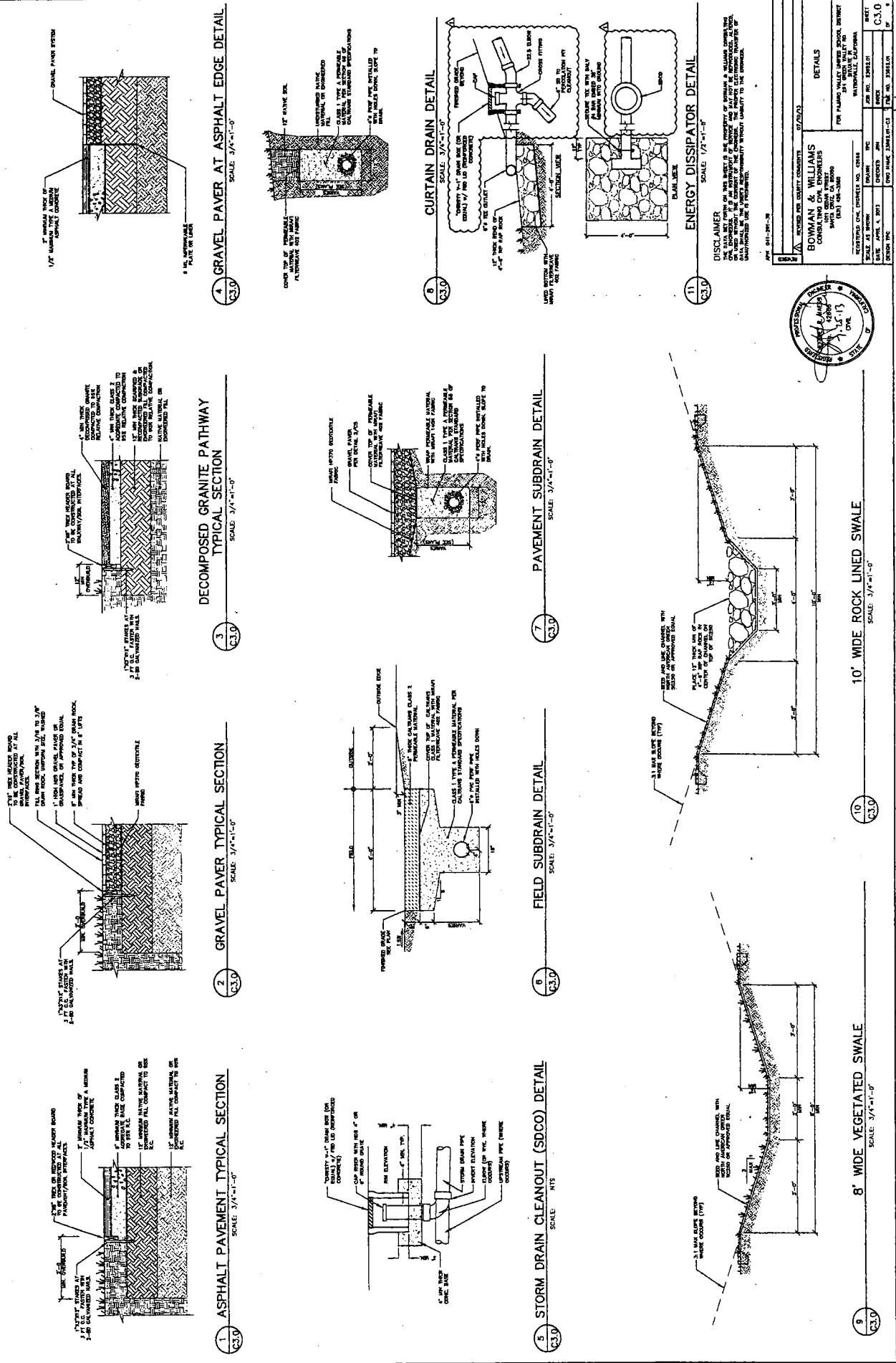

Kent Edler
Senior Civil Engineer
Santa Cruz County Planning Department

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

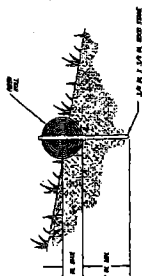


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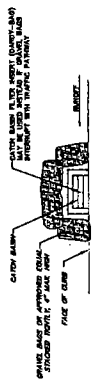




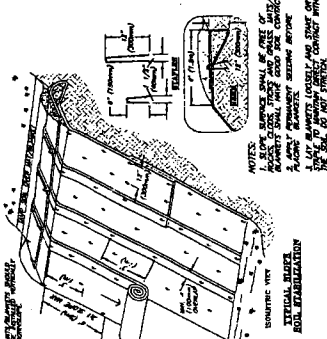
1
C4.2



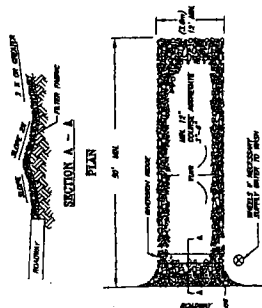
2 STRAW WATTLES/FIBER ROLLS
C4.2 SCALE: NTS



3 EROSION CONTROL MAT DETAIL
C4.2 SCALE: NTS



4 CONSTRUCTION ENTRANCE/EXIT
4.2 SCALE: NTS



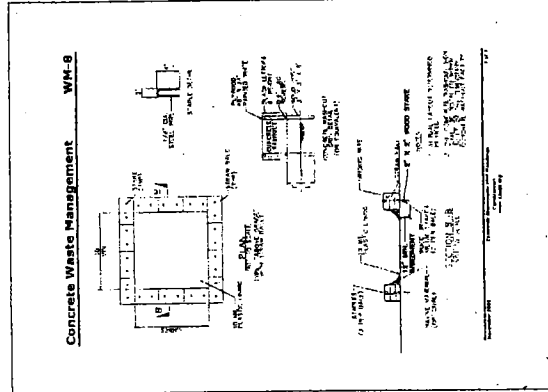
NOTES:

Property grade evidence is present rarely from construction sites. Distance situation should be fewer than street.

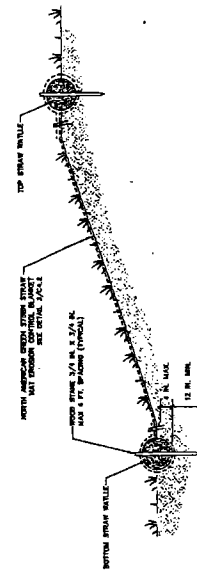
Inspect roadway for damage and repair as needed.

1. Require that all employees, subcontractors and suppliers utilize the standard construction entrance.

2. Service personnel, including drivers, residents.



5
C4.2



7
C4.2

DISCLAIMER

THE DATA SET FORTH ON THIS SHEET IS THE PROPERTY OF BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS. IT IS AN INSTRUMENT OF SERVICE AND MAY NOT BE REPRODUCED, ALTERED, OR USED WITHOUT THE CONSENT OF THE ENGINEER. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE ENGINEER.

APR 04 041-JUN-92

[illegible]

BEFORE THE PLANNING COMMISSION
OF THE COUNTY OF SANTA CRUZ, STATE OF CALIFORNIA

0308

RESOLUTION NO. _____

On the motion of Commissioner _____
duly seconded by Commissioner _____
the following Resolution is adopted:

PLANNING COMMISSION RESOLUTION RECOMMENDING
TO THE BOARD OF SUPERVISORS THAT IT ADOPT THE NEGATIVE DECLARATION
AND APPROVE PRELIMINARY GRADING PERMIT APPLICATION 131110

WHEREAS, the Planning Commission has held a public hearing on Application No. 131110, for the purpose of making a recommendation to the Board of Supervisors regarding the proposed Preliminary Grading Permit and adoption of a Negative Declaration for the placement of 19,000 cubic yards of soil to create an athletic field on the campus of Aptos High School; and

WHEREAS, the design of the proposed athletic field is consistent with the applicable general and specific plans adopted pursuant to Chapters 13.01 and 13.03 of the Santa Cruz County Code; and

WHEREAS, the proposed grading plan for the development has been reviewed by Environmental Planning and the Department of Public Works Stormwater Mangement section and are found to comply with the requirements of the Santa Cruz County Code; and

WHEREAS, the project will not cause excessive or unnecessary disturbance of the site; and

WHEREAS, review of the grading plans, hazard mapping and supporting geotechnical investigation for the project have shown that the work proposed would not be hazardous by reason of flood, geological hazard, or unstable soils; be liable to endanger other properties or result in the deposition of debris on any public way, property, or drainage course; or otherwise create a hazard; and

WHEREAS, an Initial Study prepared for the project found that the work proposed would not create any unavoidable or significant adverse environmental impacts; and

WHEREAS, the proposed grading is not for creation of a building site and does not lie within a riparian corridor or 100-year floodplain.

NOW, THEREFORE, BE IT RESOLVED AND ORDERED, that the Planning Commission hereby recommends that the Board of Supervisors adopt the Negative Declaration and approve Preliminary Grading Permit Application No. 131110 based on the following findings and with the attached conditions (Exhibit C).

1. The Project that was the subject of environmental review includes but is not limited to the following components:

Proposal to place approximately 19,000 cubic yards of soil to create an athletic field on the campus of Aptos High School (APN 041-291-39). The project includes the installation of drainage facilities, irrigation, turf, and surfacing for an ADA accessible parking area. The project requires Preliminary Grading Approval.

2. Environmental review completed for the proposed grading determined that the proposed project will not have a significant impact on the environmental, and therefore a Negative Declaration has been prepared in accordance with the California Environmental Quality Act (CEQA), which was circulated for public comment and review on August 2, 2013. All public comments received regarding the environmental review and comment period have been considered and do not change the determination that no significant impacts will result from this project. The Board of Supervisors has considered the Negative Declaration and through adoption of this resolution hereby adopts the Negative Declaration.
3. The Board of Supervisors finds, on the basis of the whole record before it, that there is no substantial evidence that the project will have a significant effect on the environment, and that the Negative Declaration reflects the independent judgment and analysis of the County of Santa Cruz.
4. The material which constitutes the record of proceedings upon which the Board of Supervisor's decision is based shall be located in the offices of the Planning Department, located at 701 Ocean Street Santa Cruz, California.

PASSED AND ADOPTED by the Planning Commission of the County of Santa Cruz, State of California this ____ day of _____, 2013, by the following vote:

AYES:	COMMISSIONERS
NOES:	COMMISSIONERS
ABSENT:	COMMISSIONERS
ABSTAIN:	COMMISSIONERS

Chairperson

ATTEST: _____
Ken Hart, Secretary

APPROVED AS TO FORM:
COUNTY COUNSEL

Conditions of Approval

0310

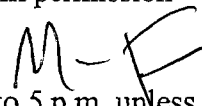
- I. This permit authorizes the placement of approximately 19,000 cubic yards of fill to create an athletic field. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Grading Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Grading application. Applications for Grading Permits would not be accepted or processed while there is an outstanding balance due.
 - C. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder) within 30 days from the effective date of this permit.
- II. Prior to issuance of a Grading Permit the applicant/owner shall:
 - A. Submit final engineering plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. Any changes from the approved Exhibit "A" for this development permit on the plans submitted for the Grading Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled would not be authorized by any Grading Permit that is issued for the proposed development.
 - B. Submit four copies of the approved Discretionary Permit with the Conditions of Approval attached. The Conditions of Approval shall be recorded prior to submittal, if applicable.
 - C. Submit 3 copies of the accepted soils report prepared and stamped by a licensed Geotechnical Engineer.
- III. All construction shall be performed according to the approved plans for the Grading Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
 - A. All site improvements shown on the final approved Grading Permit plans shall be installed.
 - B. All inspections required by the grading permit shall be completed to the

satisfaction of the County Building Official.

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- C. The project must comply with all recommendations of the approved soils reports.
- D. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.

IV. Operational Conditions

- A. Prior to commencement of grading operations the applicant must submit a Stormwater Pollution Prevention Plan (SWPPP) to the state to obtain permission to proceed under the state Construction General Permit.
- B. Construction activities at the site are limited to the hours of 8 a.m. to 5 p.m. unless approved in advance by the Planning Department. 
- C. The applicant shall designate a disturbance coordinator and a 24-hour contact number shall be conspicuously posted on the job site.
- D. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.

- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the

defense of any claim, action, or proceeding if both of the following occur:

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1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor'(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a grading permit is obtained for the grading work described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the grading permit and to complete all of the construction under the building permit, resulting in the expiration of the grading permit, would void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Kent Edler
Senior Civil Engineer

Carolyn Burke
Project Planner

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.



County of Santa Cruz

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123

KATHLEEN MOLLOY PREVISICH, PLANNING DIRECTOR

www.sccoplanning.com

ENVIRONMENTAL COORDINATOR

NOTICE OF INTENT TO ADOPT A NEGATIVE DECLARATION NOTICE OF PUBLIC REVIEW AND COMMENT PERIOD

Pursuant to the California Environmental Quality Act, the following projects have been reviewed by the County Environmental Coordinator to determine if they have a potential to create significant impacts to the environment and, if so, how such impacts could be solved. A negative declaration has been prepared in cases where the project is determined not to have any significant environmental impacts. An environmental impact report (EIR) will be prepared for projects, which could have a significant impact.

Public review periods are provided for these Environmental Determinations according to the requirements of the County Environmental Review Guidelines, depending upon whether State agency review is required or whether an EIR is required. The environmental documents are available for review at the County Planning Department at 701 Ocean Street, Santa Cruz. You may also view environmental documents on the web at www.sccoplanning.com under the Planning Department menu, Agendas link. If you have questions or comments about these determinations please contact Matt Johnston of the Environmental Review staff at (831) 454-3201.

The County of Santa Cruz does not discriminate on the basis of disability, and no person shall, by reason of a disability, be denied the benefits of its services, programs or activities. If you require special assistance in order to review this information, please contact Bernice Romero at (831) 454-3137 (TDD number (831) 454-2123 or (831) 763-8123) to make arrangements.

Application #: 131110

APTOS HIGH SCHOOL ATHLETIC FIELD

Zone District: R-A (Residential Agricultural)

Project Location: The proposed project is located near the entrance to Aptos High School at the intersection of Freedom Boulevard and Mariner Way (approximately 0.4 miles North of the Hwy 1, Freedom Boulevard exit).

Project Description: Proposal to place approximately 19,000 cubic yards of soil to create an athletic field on the campus of Aptos high School. The project includes the installation of drainage facilities, irrigation, turf and paving for an ADA accessible parking area.

ACTION: Negative Declaration

REVIEW PERIOD: August 3, 2013 through August 22, 2013

OWNER / APPLICANT: PAJARO VALLEY UNIFIED SCHOOL DISTRICT (PVUSD)

SUPERVISORIAL DISTRICT: SECOND

STAFF PLANNER: CAROLYN BURKE, CIVIL ENGINEER, (831) 454-5121

EMAIL: pln416@co.santa-cruz.ca.us

ACTION: Negative Declaration

REVIEW PERIOD: August 3, 2013 through August 22, 2013

The project will be considered at a public hearing by the Santa Cruz County Planning Commission on August 28, 2013 at 9:00 a.m. in the Board of Supervisors Chambers, 701 Ocean Street, Room 525, Santa Cruz, CA 95060.

30
EXHIBIT D



COUNTY OF SANTA CRUZ

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PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123
KATHLEEN MOLLOY PREVISICH, PLANNING DIRECTOR
<http://www.sccoplanning.com/>

NEGATIVE DECLARATION

Owner/Applicant: Pajaro Valley Unified School District (PVUSD)
Staff Planner: Carolyn Burke; (831) 454-5121
Zone District: R-A (Residential Agricultural)

Application No.: 131110

Project Location: The proposed project is located near the entrance to Aptos High School at the intersection of Freedom Boulevard and Mariner Way (approximately 0.4 miles North of the Hwy 1, Freedom Boulevard exit).

Project Description: Proposal to place approximately 19,000 cubic yards of soil to create an athletic field on the campus of Aptos High School. The project includes the installation of drainage facilities, irrigation, turf and paving for an ADA accessible parking area.

The project will be considered at a public hearing by the County of Santa Cruz Planning Commission on August 28, 2013 in the Board of Supervisors Chambers.

California Environmental Quality Act Mitigated Negative Declaration Findings:

Find, that this Mitigated Negative Declaration reflects the decision-making body's independent judgment and analysis, and; that the decision-making body has reviewed and considered the information contained in this Mitigated Negative Declaration and the comments received during the public review period; and, that revisions in the project plans or proposals made by or agreed to by the project applicant would avoid the effects or mitigate the effects to a point where clearly no significant effects would occur; and, on the basis of the whole record before the decision-making body (including this Mitigated Negative Declaration) that there is no substantial evidence that the project as revised will have a significant effect on the environment. The expected environmental impacts of the project are documented in the attached Initial Study on file with the County of Santa Cruz Planning Department located at 701 Ocean Street, 4th Floor, Santa Cruz, California.

Review Period Ends: August 22, 2013

Note: This Document is considered Draft until it is Adopted by the Appropriate County of Santa Cruz Decision-Making Body

Date: 8/1/13

Todd Sexauer
TODD SEXAUER, Environmental Coordinator
(831) 454-3511



County of Santa Cruz

0315

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123

KATHLEEN MOLLOY PREVISICH, PLANNING DIRECTOR

www.sccoplanning.com

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) ENVIRONMENTAL REVIEW INITIAL STUDY

Date: August 1, 2013

Application Number: 131110

Staff Planner: Carolyn Burke, Civil Engineer

I. OVERVIEW AND ENVIRONMENTAL DETERMINATION

APPLICANT: Pajaro Valley Unified
School District (PVUSD)

APN(s): 041-291-39

OWNER: Pajaro Valley Unified School
District (PVUSD)

SUPERVISORAL DISTRICT: 2

PROJECT LOCATION: The project is located near the entrance to Aptos High School at the intersection of Freedom Boulevard and Mariner Way (approximately 0.5 mile North of the Hwy 1, Freedom Boulevard exit – see Vicinity Map, Attachment 1).

SUMMARY PROJECT DESCRIPTION: Proposal to place approximately 19,000 cubic yards of soil to create an athletic field on the campus of Aptos High School. The project includes the installation of drainage facilities, irrigation, turf and surfacing for an Americans With Disabilities Act (ADA) accessible parking area. The project also includes the eradication of invasive plants and restoration of native plant species in specific areas. (see Detailed Project Description Figure 1 – Site Plan)

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED: All of the following potential environmental impacts are evaluated in this Initial Study. Categories that are marked have been analyzed in greater detail based on project specific information.

- | | |
|---|---|
| <input checked="" type="checkbox"/> Geology/Soils | <input checked="" type="checkbox"/> Noise |
| <input type="checkbox"/> Hydrology/Water Supply/Water Quality | <input checked="" type="checkbox"/> Air Quality |
| <input checked="" type="checkbox"/> Biological Resources | <input type="checkbox"/> Greenhouse Gas Emissions |
| <input type="checkbox"/> Agriculture and Forestry Resources | <input type="checkbox"/> Public Services |
| <input type="checkbox"/> Mineral Resources | <input checked="" type="checkbox"/> Recreation |
| <input type="checkbox"/> Visual Resources & Aesthetics | <input type="checkbox"/> Utilities & Service Systems |
| <input type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Land Use and Planning |

- | | |
|--|---|
| <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Population and Housing |
| <input checked="" type="checkbox"/> Transportation/Traffic | <input type="checkbox"/> Mandatory Findings of Significance |

DISCRETIONARY APPROVAL(S) BEING CONSIDERED:

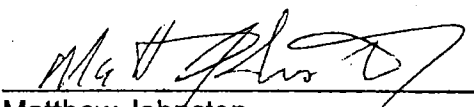
- | | |
|---|---|
| <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Coastal Development Permit |
| <input type="checkbox"/> Land Division | <input checked="" type="checkbox"/> Grading Permit |
| <input type="checkbox"/> Rezoning | <input type="checkbox"/> Riparian Exception |
| <input type="checkbox"/> Development Permit | <input checked="" type="checkbox"/> Other: Preliminary Grading Approval |

NON-LOCAL APPROVALS

Other agencies that must issue permits or authorizations: None

DETERMINATION: (To be completed by the lead agency)
On the basis of this initial evaluation:

- ☒ I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- ☐ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- ☐ I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- ☐ I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- ☐ I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.


Matthew Johnston
Environmental Coordinator

8/2/13
Date

II. BACKGROUND INFORMATION

EXISTING SITE CONDITIONS

Parcel Size: 22.8 acres
Existing Land Use: Vacant, sediment basin for school facility drainage
Vegetation: Sparse grasses, wildflowers with scattered large areas of bare ground
Slope in area affected by project: ☒ 0 - 30% ☐ 31 - 100%
Nearby Watercourse: Closest mapped watercourse in Aptos watershed: Valencia Creek
Distance To: 0.9 miles

ENVIRONMENTAL RESOURCES AND CONSTRAINTS

Water Supply Watershed: None Mapped	Fault Zone: None Mapped
Groundwater Recharge: Yes	Scenic Corridor: Partial - See Map
Timber or Mineral: No	Historic: No
Agricultural Resource: No	Archaeology: None Mapped
Biologically Sensitive Habitat: None Mapped	Noise Constraint: No
Fire Hazard: No	Electric Power Lines: No
Floodplain: None Mapped	Solar Access: N/A
Erosion: No	Solar Orientation: Open Field
Landslide: No	Hazardous Materials: No
Liquefaction: No	Other: None

SERVICES

Fire Protection: Aptos-La Selva Fire Protection District	Drainage District: None
School District: Aptos High	Project Access: Mariner Way
Sewage Disposal: Santa Cruz County	Water Supply: Two Private Wells
Sanitation District: CSA 12	

PLANNING POLICIES

Zone District: RA - Residential Agricultural District	Special Designation: "D" - Designated Park Site Combining District
General Plan: Rural Residential	
Urban Services Line: <input type="checkbox"/> Inside <input checked="" type="checkbox"/> Outside	
Coastal Zone: <input type="checkbox"/> Inside <input checked="" type="checkbox"/> Outside	

ENVIRONMENTAL SETTING AND SURROUNDING LAND USES:

Located northeast of the intersection of Mariner Way and Freedom Boulevard, approximately 0.5 mile north of Highway 1, the parcel is bounded by Aptos High School to the north and northeast, Aptos Pines Mobile Home Park to the south, and rural residential properties across Freedom Boulevard to the west.

The limits of disturbance for the proposed field occupy an approximately 640 foot by 300 foot swath of land in the southeast corner of the property, which frontages the main entrance to Aptos High School, Mariner Way. Although the majority of the Aptos High

campus improvements are located to the north, above the proposed athletic field site, an existing baseball field and associated parking lot are located approximately 350-feet northeast.

The closest residences to the proposed athletic field lie to the south, across Mariner Way, where 15 residences directly abut the roadway easement. The residences are approximately 35-feet south of the roadway, and 60-70 feet from the closest point of the proposed area of disturbance. Currently, a 5-foot tall wooden fence and vegetative strip with trees and shrubs separates the rear yards of these residences from the roadway easement.

The parcel was undeveloped at the time of purchase, and remains so with scattered grasses and oak trees. From 2004 – 2007 the school underwent a large scale improvement and modernization project. To accommodate the increase in drainage volumes resulting from the improvement project, a 17,100 square foot retention basin was installed among the oak trees in the southwest corner of the parcel at the intersection of Mariner Way and Freedom Boulevard. During construction the southeast corner of the parcel (the location of the proposed athletic field) was used as a fill source and stockpile location for soils excavated from other school construction areas. Since the conclusion of the modernization project, this corner of the parcel has experienced continued disturbance by unauthorized off-road vehicle usage and student foot traffic.

Topography, Soils and Drainage

Original topography in the affected area prior to fill placement sloped gently to the southwest with grades ranging between 5 – 10 percent. Exploration of the field site in its current condition revealed native soils consisting of medium dense to very dense silty sands of the Aromas Sand Formation overlain by a layer of older, previously placed fill up to several feet in depth and another more recently placed layer of fill ranging from 2 – 10 feet in depth. The field as currently installed is essentially flat with perimeter embankments ranging from 5 – feet below Mariner Way at the eastern end of the field up to 10 – feet above the roadway at the highest point along the western perimeter.

The area is bounded to the north by a moderately steep (50-percent) slope approximately 50-feet in height. This slope is the only surface drainage tributary, as the upslope drainage that may come from the east is intercepted by the Mariner Way drainage system. Subsurface groundwater seeps were also observed along the eastern slope face below Mariner Way.

Vegetation

As noted above, the field site and adjacent slope prior to grading was previously disturbed and devoid of vegetation or sparsely inhabited by non-native grassland species. A man-made drainage retention basin that receives runoff piped from the Aptos High School campus lies more than 100 feet west of the limits of disturbance for the field, and is surrounded by several large oak trees. The PVUSD maintenance staff clear

the basin of accumulated sediment and vegetation once per year. No trees have been or would be removed for construction of the proposed field.

Threatened Species

A biotic assessment (John Gilchrist and Associates, March 2013) was prepared for the proposed field project that assessed habitat conditions at the high school and off site with respect to their suitability to support state and federal threatened and endangered plant species known to occur in Santa Cruz County. The study found that there is a low potential for occurrence of these species in the area of the proposed field. The assessment also concluded that the area to be occupied by the proposed athletic field does not include habitat suitable for Santa Cruz Long-toed Salamander and California Red Legged Frog. The study found that these species may traverse the project site or surrounding areas while moving to or from breeding sites.

PROJECT BACKGROUND:

The subject parcel was purchased by Pajaro Valley Unified School District (PVUSD) in 2000. Although portions of the parcel have been used by the Aptos High Disk Golf Club as part of their disk golf circuit, it has largely been unutilized by the student body.

During the spring of 2012, PVUSD was approached by the Aptos Sports Foundation (ASF) with a request to utilize the previously disturbed southeast corner of the parcel to construct a practice soccer field. Although the project would normally prove prohibitively expensive, ASF had already secured the large volumes of fill required by volunteering to accept excess material generated by the ongoing excavations for the Highway One expansion project underway at the time.

In late March 2012, PVUSD representatives contacted the County Supervisor for their district regarding what permits may be required for the proposed grading work. The Supervisor in turn asked the Planning Department if permits were required and the Department responded that the State Architect's Office has jurisdiction over permitting of school facilities. With that, PVUSD then issued a Notice of Exemption (NOE) for a project consisting of, "the construction of a new athletic practice field on the campus of an existing high school. The project involves the import of 15,000 yards of imported soils, grading of a +/- 200,000 square foot area, and the installation of irrigation and turf. The project also includes the placement of two (2) disabled parking places in conformance with the California Education Code and Department of the State Architect accessibility standards." (Attachment 9) The exemption status was listed as a Class 14 Categorical Exemption for Minor Additions to Schools, as the field does not increase the original student capacity by more than 25% or ten classrooms. The Notice of Exemption was received by the State Clearinghouse on May 29, 2013, and PVUSD and ASF proceeded to oversee the placement of approximately 19,000 cubic yards of material to create a large flat pad.

In June 2012, Aptos High neighbors contacted PVUSD and the County Planning Department to object to the absence of a County issued permit for the project. While normally a city or county has no permitting jurisdiction over school districts, per Government Code Section 53097 the County does have *limited* permit authority over grading plans for improvements that would affect drainage, road conditions or grading. Once notified that we would be exercising this authority, PVUSD immediately ceased grading activities, installed erosion control and winterization measures and began assembling plans and supporting documentation to apply for Preliminary Grading Approval, and subsequently a grading permit for the placement of approximately 19,000 cubic yards of soil to create an athletic field on the campus of Aptos High School.

DETAILED PROJECT DESCRIPTION:

Overall Project Scope

At its completion, the project would result in a 74,000 square foot turf athletic field, associated drainage facilities, and a 13-space ADA accessible parking area with bollard path lighting and one motion-sensitive overhead lamp. In addition, PVUSD has plans to restore native vegetation at two sites on the Aptos High campus (see Site Plan, Figure 1, Page 9).

The proposed athletic field would be used by Aptos High School for physical education exercises during regular school hours. After school hours and on weekends the field may be utilized by school sports teams or community athletic leagues for practice and/or games. No area or stadium-type lighting is proposed for the field, and therefore activities would be concluded by late afternoon. The existing baseball field parking lot would be available for parking needs beyond that which can be accommodated by the proposed ADA accessible parking area. An existing foot path would be formalized to facilitate easy access from the adjacent baseball field lot to the new field. No permanent structures (i.e. restrooms) or amplified sound systems are planned for the field. (see grading plans, Attachment 2)

As with all school facilities, the athletic field could be utilized by local sports clubs or other community groups on the weekends. Use of the field would be subject to a Facilities Use Agreement that would dictate the hours of use, parking areas, and other use restrictions. Failure to comply with this use agreement would result in the elimination of a group's ability to use the field in the future.

In order to address neighbor concerns regarding noise, traffic, and terms of use for the field, the PVUSD Board of Trustees adopted the following utilization guidelines for the field (see Attachment 8):

- No stadium or other lighting for evening games/practices shall be installed and/or allowed. Hours of operation shall be during the instructional day and conclude by sunset each evening.
- No amplified sound or use of bullhorns shall be permitted at any time.
- Access to the field would be restricted during nights and non-use. The district would maintain a fence with locking gate(s) around the field with appropriate security lighting for the parking lot and adjacent walkways.
- No parking would be allowed on Mariner Way. Parking for non-school use shall be directed to the upper campus area.

Athletic Field Construction

The fill required for the proposed athletic field has already been imported and placed on site. Recent field studies of the fill soils found that they were placed with inconsistent compaction effort, resulting in relative compaction values between 80 – 98 percent.

(Haro Kasunich and Associates, Inc., Project No. SC10423, 2/8/13, see Attachment 3)
Field studies also found that because construction was halted prior to final contouring of the field and drainage swale installation, saturation and concentrated overland flow caused erosion and shallow slumping of the fill slopes below the west and southwest perimeters of the field. Seasonal saturation of the east slope face also contributed to some erosion as well.

The remaining work to be completed at the site consists of reworking the existing fill soils to establish effective field drainage, installation of subsurface and surface drainage facilities, and compaction of surface soils. The final field grades would provide a crown in the center of the field causing field drainage to flow to permeable swales installed along the northern and southern perimeter of the field. These swales would generally maintain existing drainage patterns by directing runoff westward into a 195 foot long percolation trench. As is currently the case, any water that does not percolate into the soils would be returned to the existing drainage retention basin.

To alleviate the effects of subsurface drainage seeps at the east end of the field, the proposed design includes the installation of curtain drains across the eastern portion of the site to intercept subsurface flow. The drains continue beneath the proposed permeable swales and outlet at energy dissipation structures installed at the west end of the field, once again maintaining general site drainage patterns.

The project proposal includes excavation and recompaction of the upper two feet of soil across the athletic field to provide a uniform surface and prevent settlement. Also, the faces of fill slopes are to be groomed by cutting them back four feet and recompacting the soil to repair damage sustained during the winter months due to lack of proper grades and drainage facilities.

Native Vegetation Restoration

Due to the potential for Santa Cruz Long-toed Salamander to traverse the site, PVUSD has met several times with representatives from U.S. Fish and Wildlife Service (USFWS) and the California Department of Fish and Wildlife (CDFW) to discuss the proposed project. The project grading would affect areas previously devoid of vegetation or sparsely inhabited by non-native grassland, and therefore would not have a significant impact to vegetation. Although it was agreed that the project would not impact the salamander, USFWS and CDFW did identify areas of the campus that had large populations of invasive exotic plant species and were candidates for native plant restoration due to their proximity to prime oak woodland habitat that is favored by salamander. The restoration plan would include the revegetation of a portion of the bare slope north of the proposed athletic field, the small patch of oak woodland near the existing sediment basin, and a fenced area southwest of the school water tanks.

PVUSD is currently working with the resource agencies to prepare a final restoration plan to be implemented through the USFWS School Yard Habitat Program. This is a cooperative habitat restoration and stewardship program that also provides long-term

learning opportunities for children. The PVUSD Board of Trustees passed an MOU on June 12, 2013 (see Attachment 9), committing itself to the preparation and implementation of these plans in collaboration with USFWS.

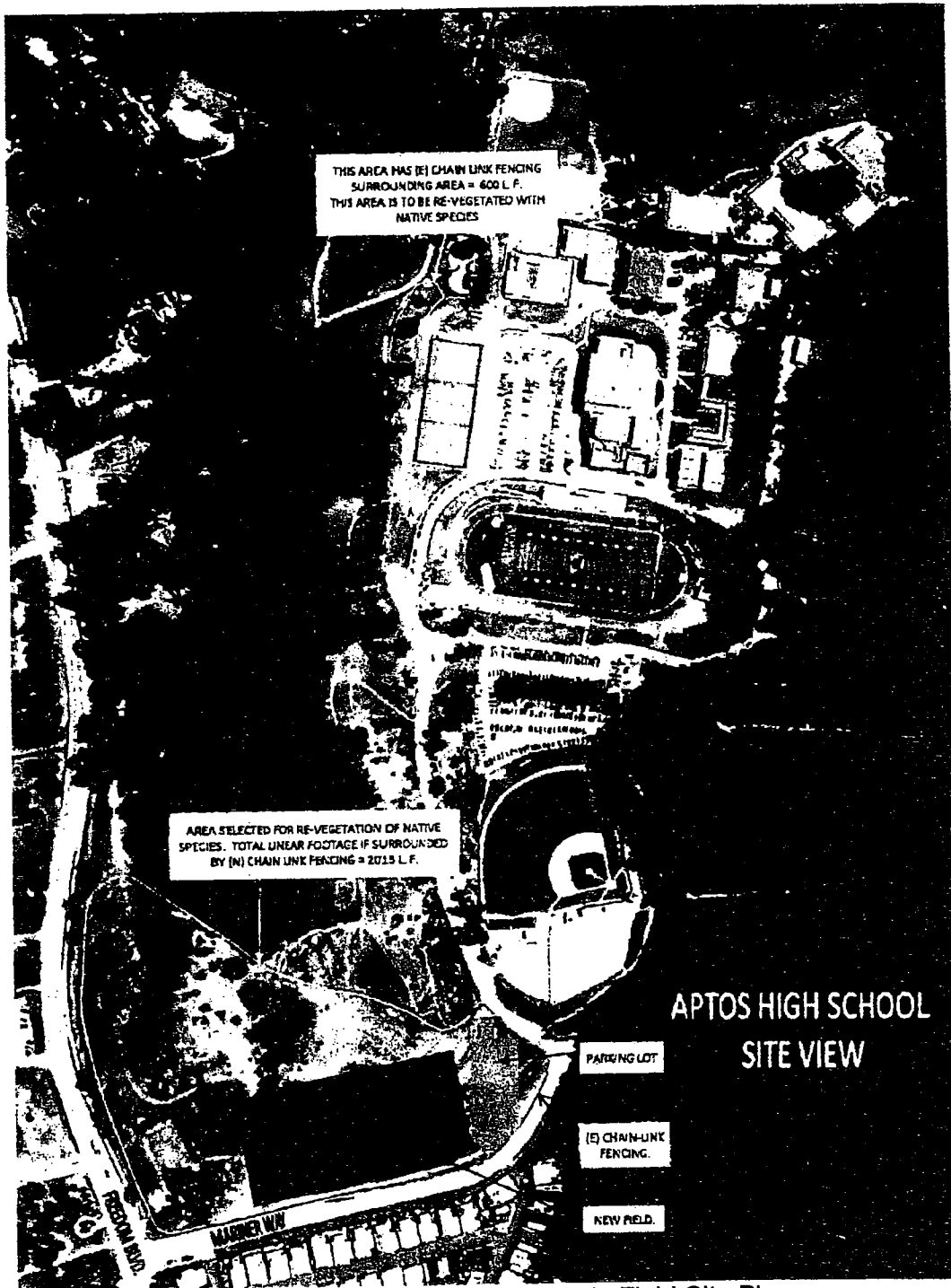


Figure 1: Aptos High School Athletic Field Site Plan

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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III. ENVIRONMENTAL REVIEW CHECKLIST**A. GEOLOGY AND SOILS**

Would the project:

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|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 1. Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving: | | | | |
| A. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42. | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| B. Strong seismic ground shaking? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| C. Seismic-related ground failure, including liquefaction? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| D. Landslides? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Discussion (A through D): The project site is located outside of the limits of the State Alquist-Priolo Special Studies Zone (County of Santa Cruz GIS Mapping, California Division of Mines and Geology, 2001). However, the project site is located approximately 6 mile(s) southwest of the San Andreas fault, and approximately 2 mile(s) southwest of the Zayante fault. While the San Andreas fault is larger and considered more active, each fault is capable of generating moderate to severe ground shaking from a major earthquake. Consequently, large earthquakes can be expected in the future. The October 17, 1989 Loma Prieta earthquake (magnitude 7.1) was the second largest earthquake in central California history.

All of Santa Cruz County is subject to some hazard from earthquakes. However, the project site is not located within or adjacent to a county or state mapped fault zone. A geotechnical investigation for the proposed project was performed by Haro, Kasunich and Associates, Inc. (see Attachment 3). The report concluded that, as proposed, the athletic field is not susceptible to ground rupture, seismic shaking, liquefaction or landslide hazards. The proposed project scope includes compaction of the upper 2 feet of existing fill soils, which would prevent differential settlement of the field surface. It should be noted that no permanent structures were considered in this application.

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| 2. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Discussion: The geotechnical report cited under A-1 (Attachment 3) did not identify a significant potential for damage caused by any of these hazards.

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| 3. Develop land with a slope exceeding 30%? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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Discussion: There are slopes that exceed 30% on the property. However, no improvements are proposed on slopes in excess of 30%.

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| 4. Result in substantial soil erosion or the loss of topsoil? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
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Discussion: Some potential for erosion exists during the construction phase of the project, however, this potential is minimal because of relatively gentle site grades and standard erosion controls are a required condition of the project. Also, the site topography flattens out below the project site, allowing runoff to slow and drop any carried sediment. Secondary protection is provided by the existing sediment basin below the site, where runoff would collect in the event it is not retained by site soils. The project plans include an erosion control plan that provides temporary and permanent erosion control measures (see Attachment 2). Temporary measures include rocked construction entrances, silt fences and straw wattles. After construction is complete, the plans call for permanent vegetation for all disturbed soils, grass-lined swales and drainage energy dissipaters to minimize future erosion.

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|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 5. Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The geotechnical report for the project did not identify any elevated risk associated with expansive soils.

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| 6. Place sewage disposal systems in areas dependent upon soils incapable of adequately supporting the use of septic tanks, leach fields, or alternative waste water disposal systems where sewers are not available? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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Discussion: The proposed project scope would not include any permanent structures and as such, would not require a sewage disposal system.

7. Result in coastal cliff erosion? ☐ ☐ ☐ ☒

Discussion: The proposed project is not located in the vicinity of a coastal cliff or bluff, and therefore, would not contribute to coastal cliff erosion.

B. HYDROLOGY, WATER SUPPLY, AND WATER QUALITY

Would the project:

1. Place development within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? ☐ ☐ ☐ ☒

Discussion: According to the Federal Emergency Management Agency (FEMA) National Flood Insurance Rate Map, dated March 2, 2006, no portion of the project site lies within a 100-year flood hazard area.

2. Place within a 100-year flood hazard area structures which would impede or redirect flood flows? ☐ ☐ ☐ ☒

Discussion: No structures are proposed and according to the Federal Emergency Management Agency (FEMA) National Flood Insurance Rate Map, dated March 2, 2006, no portion of the project site lies within a 100-year flood hazard area.

3. Be inundated by a seiche, tsunami, or mudflow? ☐ ☐ ☐ ☒

4. Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)? ☐ ☐ ☒ ☐

Discussion: The proposed athletic field site is located in a mapped groundwater recharge area; drainage calculations have been provided showing that as designed, the project would not decrease pre-development infiltration volumes for a two year, two

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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hour storm which meets the Santa Cruz County DPW standard (see Attachment 2 – Sheet C2). The project scope includes several features to increase retention of surface and subsurface drainage. Subsurface drainage intercepted by curtain drains at the eastern end of the project is routed into subdrains installed around the perimeter of the field to allow the water to percolate back into the subsurface soils before being released at the western end of the field. Also, the plans call for field runoff to flow into pervious swales with subsurface retention trenches, allowing for further percolation of whatever runoff does not seep into the field surface itself. All surface and subsurface drainage that is not absorbed by the soils below the field would be directed to a 195 lineal foot long, 2 foot deep retention trench at the west end of the field. The only impervious surfaces proposed are a walkway leading from the ADA accessible parking area and to the field, as well as a concrete apron for the parking lot.

5. Substantially degrade a public or private water supply? (Including the contribution of urban contaminants, nutrient enrichments, or other agricultural chemicals or seawater intrusion). ☐ ☐ ☒ ☐

Discussion: The project would not discharge runoff either directly or indirectly into a public or private water supply. No commercial or industrial activities are proposed that would contribute contaminants. Potential siltation from the proposed project would be addressed through implementation of standard erosion control best management practices (BMPs). The parking and driveway associated with the project would incrementally contribute urban pollutants to the environment; however, the contribution would be minimal given the size of the driveway and parking area.

6. Degrade septic system functioning? ☐ ☐ ☐ ☒

Discussion: There is no indication that existing septic systems in the vicinity would be affected by the project.

7. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding, on- or off-site? ☐ ☐ ☒ ☐

Discussion: The proposed project is not located near any watercourses, and would not alter the existing overall drainage pattern of the site. Department of Public Works Drainage Section staff has reviewed and approved the proposed drainage plan. Through surface and subsurface routing of runoff, the proposed plan maintains the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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east-west drainage pattern. Drainage calculations have been provided showing that as designed, the project does not decrease pre-development infiltration volumes for a two year, two hour storm, which meets the Santa Cruz County DPW standard.

8. Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems, or provide substantial additional sources of polluted runoff? ☐ ☐ ☒ ☐

Discussion: Drainage Calculations prepared by Jeffrey Naess (RCE 42666), dated 7/10/13 (see Attachment 2 – Sheet C2), have been reviewed for potential drainage impacts and accepted by the Department of Public Works (DPW) Drainage Section staff. The calculations show that the infiltration rate for the site would be maintained by providing a 195 lineal feet long by 2 feet deep retention trench that would provide both detention and retention of runoff such that there would be no runoff at all in the event of a 2 year, 2 hour long storm. Any excess runoff that would manage to make its way beyond the retention trench would sheet flow across approximately 125 feet of sandy, high permeability soil (approximately 8 in/hr) to an existing retention basin as is currently the case for site runoff. Due to the intensive retention features incorporated into the design as well as the high permeability of the soils and lack of proposed additional tributary area, it is not anticipated that site runoff would exceed the capacity of existing stormwater drainage systems. Refer to response B-5 for discussion of urban contaminants and/or other polluting runoff.

9. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam? ☐ ☐ ☒ ☐

Discussion: The project site is not located within a mapped flood zone.

10. Otherwise substantially degrade water quality? ☐ ☐ ☒ ☐

Discussion: Refer to response B-5 for discussion of urban contaminants and/or other polluting runoff. All site runoff would undergo some form of on-site retention, improving water quality.

C. BIOLOGICAL RESOURCES

Would the project:

1. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or ☐ ☐ ☒ ☐

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game, or U.S. Fish and Wildlife Service?

Discussion: A Biotic Report was prepared for this project by John Gilchrist and Associates, dated March 2013 (see Attachment 5). This report has been reviewed and accepted by the Planning Department Environmental Section (see Attachment 6). No special status species have been identified on the subject property in either the Biotic Report or in site visits by Planning Department staff. The report did determine that both the California Red Legged Frog and the Santa Cruz Long-toed Salamander may traverse the project area, but would not be impacted as a result of field. USFWS and CDFW concur with this finding.

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| 2. Have a substantial adverse effect on any riparian habitat or sensitive natural community identified in local or regional plans, policies, regulations (e.g., wetland, native grassland, special forests, intertidal zone, etc.) or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: There are no mapped or designated sensitive biotic communities in the area of disturbance. Other areas of the property that have been identified as potential oak woodland would undergo native plant restoration and eradication of invasive exotic species in cooperation with USFWS (see detailed project description and Figure 1, Page 9 for specifics.)

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| 3. Interfere substantially with the movement of any native resident or migratory fish or wildlife species, or with established native resident or migratory wildlife corridors, or impede the use of native or migratory wildlife nursery sites? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: A biotic assessment (John Gilchrist and Associates, March 2013) was prepared for the proposed field project that assessed habitat conditions at the high school and off site with respect to their suitability to support state and federal threatened and endangered plant species known to occur in Santa Cruz County (see Attachment 5). The study found that there is a low potential for occurrence of these species in the area of the proposed field. The assessment also concluded that the area to be occupied by the proposed athletic field does not include habitat suitable for Santa

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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Cruz Long-toed Salamander and California Red Legged Frog. The study found that these species may traverse the project site or surrounding areas while moving to or from breeding sites, but would not be impacted as a result of field construction. USFWS and CDFW concur with this finding. (Also see Section C-1)

4. Produce nighttime lighting that would substantially illuminate wildlife habitats? ☐ ☐ ☒ ☐

Discussion: The subject property is located in an urbanized area and is surrounded by existing residential development that currently generates nighttime lighting. The project includes bollard path lighting and one motion-sensitive overhead light in the parking area at the east end of the site that would remain unlit the majority of the time. These lighting sources would create an incremental increase in night lighting. However, this increase would be small, and would be similar in character to the lighting associated with the surrounding existing uses. There are no sensitive animal habitats within or adjacent to the lighted area.

5. Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? ☐ ☐ ☐ ☒

Discussion: The project is not near any federally protected wetlands.

6. Conflict with any local policies or ordinances protecting biological resources (such as the Sensitive Habitat Ordinance, Riparian and Wetland Protection Ordinance, and the Significant Tree Protection Ordinance)? ☐ ☐ ☐ ☒

Discussion: The project would not conflict with any local policies or ordinances.

7. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan? ☐ ☐ ☐ ☒

Discussion: The proposed project would not conflict with the provisions of any adopted Habitat Conservation Plan Natural Community Conservation Plan, or other

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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approved local, regional, or state habitat conservation plan. Therefore, no impact would occur.

D. AGRICULTURE AND FOREST RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment Project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:

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|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 1. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project site does not contain any lands designated as Prime Farmland, Unique Farmland, or Farmland of Statewide Importance as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency. In addition, the project does not contain Farmland of Local Importance. Therefore, no Prime Farmland, Unique Farmland, Farmland of Statewide or Farmland of Local Importance would be converted to a non-agricultural use. No impact would occur from project implementation.

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|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 2. Conflict with existing zoning for agricultural use, or a Williamson Act contract? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project site is zoned Residential Agricultural, which is not considered to be an agricultural zone. Additionally, the project site's land is not under a Williamson Act Contract. Therefore, the project would not conflict with existing zoning for agricultural use, or a Williamson Act Contract. No impact is anticipated.

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| 3. Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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Government Code Section 51104(g))?

Discussion: The project is neither on, nor adjacent to land designated as Timber Resource.

4. Result in the loss of forest land or conversion of forest land to non-forest use? ☐ ☐ ☐ ☒

Discussion: No forest land occurs on the project site or in the immediate vicinity. No impact is anticipated.

5. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use? ☐ ☐ ☐ ☒

Discussion: The project site is currently vacant and neither it nor the adjacent parcels are used for farmland or designated as forest land; therefore the project would not result in the conversion of such lands.

E. MINERAL RESOURCES

Would the project:

1. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state? ☐ ☐ ☐ ☒

Discussion: The site does not contain any known mineral resources that would be of value to the region and the residents of the state. Therefore, no impact is anticipated from project implementation.

2. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan? ☐ ☐ ☐ ☒

Discussion: The project site is zoned Residential Agriculture, which is not considered to be an Extractive Use Zone (M-3) nor does it have a Land Use Designation with a Quarry Designation Overlay (Q) (County of Santa Cruz 1994). Therefore, no potentially significant loss of availability of a known mineral resource would occur as a result of this project.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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F. VISUAL RESOURCES AND AESTHETICS

Would the project:

1. Have an adverse effect on a scenic vista? ☐ ☐ ☐ ☒

Discussion: The project would not directly impact any public scenic resources, as designated in the County's General Plan (1994), or obstruct any public views of these visual resources.

2. Substantially damage scenic resources, within a designated scenic corridor or public view shed area including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway? ☐ ☐ ☐ ☒

Discussion: The western third of the project site is located within a County designated scenic area (see Attachment 1). Originally, the project site was essentially level with a gentle slope toward Freedom Boulevard and populated with sparse grasses. The proposed site would be level and covered with grass; no trees would be removed and no permanent structures are proposed. No impact is anticipated.

3. Substantially degrade the existing visual character or quality of the site and its surroundings, including substantial change in topography or ground surface relief features, and/or development on a ridgeline? ☐ ☐ ☐ ☒

Discussion: The existing visual setting is that of an undeveloped almost flat lot populated with sparse grasses and trees beyond to the east, and a baseball field to the northeast. The proposed project would raise the grade in the area of the athletic field up to 10 feet, but it would remain flat and would not obstruct views of the trees beyond. No permanent structures are proposed, and the manicured field is similar to the nearby baseball field. The project fits into this setting well.

4. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area? ☐ ☐ ☐ ☒

Discussion: Currently, Mariner Way to the south has overhead streetlights that are lit at night. The proposed lighting would be less invasive than the lighting associated with the surrounding existing uses.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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G. CULTURAL RESOURCES

Would the project:

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| 1. Cause a substantial adverse change in the significance of a historical resource as defined in CEQA Guidelines Section 15064.5? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The property is undeveloped; no historic resources would be affected.

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| 2. Cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA Guidelines Section 15064.5? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: No archeological resources have been identified in the project area. Pursuant to County Code Section 16.40.040, if at any time in the preparation for or process of excavating or otherwise disturbing the ground, any human remains of any age, or any artifact or other evidence of a Native American cultural site which reasonably appears to exceed 100 years of age are discovered, the responsible persons shall immediately cease and desist from all further site excavation and comply with the notification procedures given in County Code Chapter 16.40.040.

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| 3. Disturb any human remains, including those interred outside of formal cemeteries? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: Pursuant to Section 16.40.040 of the Santa Cruz County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this project, human remains are discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the sheriff-coroner and the Planning Director. If the coroner determines that the remains are not of recent origin, a full archeological report shall be prepared and representatives of the local Native California Indian group shall be contacted. Disturbance shall not resume until the significance of the archeological resource is determined and appropriate mitigations to preserve the resource on the site are established.

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| 4. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: No potential unique paleontological resource, site or geologic features have been identified at this site.

H. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

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|---------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 1. Create a significant hazard to the | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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public or the environment as a result of the routine transport, use or disposal of hazardous materials?

Discussion: The project scope would not include transportation or disposal of hazardous materials.

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|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 2. | Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project scope would not require the use of hazardous materials.

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|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 3. | Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project scope would not require the use of hazardous materials.

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| 4. | Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project site is not included on the 7/17/13 list of hazardous sites in Santa Cruz County compiled pursuant to the specified code.

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| 5. | For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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Discussion: The project is not located near any airports.

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|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 6. | For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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or working in the project area?

Discussion: The project is not within the vicinity of a private airstrip.

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|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 7. | Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The installation of the athletic field in an undeveloped existing field would not impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan.

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|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 8. | Expose people to electro-magnetic fields associated with electrical transmission lines? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project would not require installation of additional electrical transmission lines.

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|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 9. | Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project would not include the installation of any habitable structures.

I. TRANSPORTATION/TRAFFIC

Would the project:

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|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 1. | Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The project would not generate any increase in traffic on weekdays, as only the existing student body would be using the field. The project would create a small incremental increase in traffic on nearby roads and intersections on weekends

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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limited to game or practice attendees' arrival and departure. However, given the relatively small number of new trips created by the project this increase is less than significant.

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|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 2. | Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The proposed project would not affect air traffic.

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| 3. | Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: No significant design features or changes in use are proposed.

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|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 4. | Result in inadequate emergency access? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project is located off the roadway. All construction and staging would take place on site; no temporary or permanent barriers to emergency access are anticipated.

- | | | | | | |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 5. | Cause an increase in parking demand which cannot be accommodated by existing parking facilities? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The project includes installation of 13 parking spaces adjacent to the proposed field which would mainly be used for weekend or after school use (students using the field during the week would already be on campus). Any additional parking spaces required to meet the incremental increase in demand would be accommodated by the use of several parking lots at the adjacent baseball field and on the Aptos High campus, all of which would have ample spaces available on weekends and while school is not in session. As stated in the project description, parking on Mariner Way would be prohibited per the conditions of the Facilities Use Agreement for outside groups utilizing the field.

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|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 6. | Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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Discussion: The proposed project does not include changes to public transit, bicycle

or pedestrian facilities.

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| 7. Exceed, either individually (the project alone) or cumulatively (the project combined with other development), a level of service standard established by the County General Plan for designated intersections, roads or highways? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Discussion: See response I-1 above.

J. NOISE

Would the project result in:

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|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 1. A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: Overall, the project would create an incremental increase in the existing noise environment. Existing site noise sources are typical of those associated with a school in session including an amplified school PA system, noise generated by students talking, shouting or laughing while walking to and from campus, vehicular traffic on Mariner Way, and the sound of traffic on Freedom Boulevard. Aside from the sound of traffic on Freedom Boulevard, existing noise sources on the weekends include that generated by football games held at the upper Aptos High field (utilizing amplified sound), and use of the baseball field approximately 350 feet northeast of the proposed athletic field. However, the athletic field project as proposed includes provisions that prohibit amplified sound and/or use of bullhorns at the field and limit hours of operation to daytime use (concluding by sunset; see Attachment 8). As proposed, the noise increase would not be substantial, and would be similar in character to noise generated by the surrounding existing uses.

The County of Santa Cruz, however, only has permitting authority over the grading required to install the proposed athletic field. Noise generated during construction would increase the ambient noise levels for adjoining areas. Construction would be temporary, and given the limited duration of this impact it is considered to be less than significant.

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|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 2. Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project would not result in groundborne vibration or noise.

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|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 3. Exposure of persons to or generation of noise levels in excess of standards | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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established in the General Plan or
noise ordinance, or applicable
standards of other agencies?

Discussion: Per County policy, average hourly noise levels shall not exceed the General Plan threshold of 50 dBA L_{eq} during the day (7 a.m. to 10 p.m.) and 45 dBA L_{eq} during the nighttime (10 p.m. to 7 a.m.). Impulsive noise levels shall not exceed 65 dBA during the day or 60 dBA at night. The nearest potential receptors for noise generated by the soccer field are the residents of Aptos Pines Mobile Home Park, whose backyards abut the Mariner Way right-of-way. Of the existing noise sources that affect these neighbors (see J-1 Discussion), the closest and most prominent would be that of the vehicular traffic on Mariner Way whose centerline lies just 37-feet north of their northern property lines. California Vehicular Code Section 23130.5(a)(3) states that the maximum noise level for motor vehicles is 74 dBA at a distance of 50 feet from the centerline of the roadway. This noise level equates to 76.6 dBA at 37 feet from the centerline, or at the property line of the Aptos Pines neighbors. Using a more conservative range of 60-70 dBA rather than 76.6 dBA, noise would still be 63-70 dBA at the northern property lines. This is approximately 13 dBA above the threshold for the existing condition.

Several California park acoustic studies were reviewed to determine the potential noise generation of the proposed athletic field relative to existing noise levels. One such study performed for the Nipomo Community Park Master Plan EIR (Nipomo, California) found that during a multi-game youth soccer tournament with three games being played at the same time, the noise level was 54.0 L_{eq} dBA at a distance of 100 feet from the center of the field. The closest property line to the center of the proposed athletic field is 200 feet away. Utilizing the noise data from the Nipomo study, this would equate to a noise level of 48.0 L_{eq} dBA at the closest neighbor's property line which falls below the 50 L_{eq} dBA daytime noise threshold required by the General Plan. The Nipomo study also found that most of the noise measured from the games resulted from cheering spectators and not the players on the field. It is important to note that the proposed field would not include any permanent seating or bleachers and the design would not provide for spectator viewing areas, effectively limiting this noise source. Also, an existing fence is in place along the property lines of the neighbors providing a further incremental reduction in the field noise level.

Although it is anticipated that the field will not generate noise levels that exceed the General Plan thresholds, the previously addressed provisions and plans to prohibit amplified sound and limit hours of use (see Attachment 8) will further reduce noise exposure levels to fall well within the prescribed limits of the General Plan and below existing noise levels.

The County of Santa Cruz, however, only has permitting authority over the grading required to install the proposed athletic field. Noise generated during construction would also increase the ambient noise levels for adjoining areas. Construction would be temporary, and given the limited duration of this impact it is considered to be less than significant.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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| 4. | A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: Noise generated during construction would increase the ambient noise levels for adjoining areas. Construction would be temporary, and given the limited duration of this impact it is considered to be less than significant.

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|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 5. | For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project is not in the vicinity of any airports.

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|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 6. | For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project is not in the vicinity of any private airstrip.

K. AIR QUALITY

Where available, the significance criteria established by the Monterey Bay Unified Air Pollution Control District (MBUAPCD) may be relied upon to make the following determinations. Would the project:

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|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 1. | Violate any air quality standard or contribute substantially to an existing or projected air quality violation? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The North Central Coast Air Basin does not meet state standards for ozone and particulate matter (PM₁₀). Therefore, the regional pollutants of concern that would be emitted by the project are ozone precursors (Volatile Organic Compounds [VOCs] and nitrogen oxides [NO_x]), and dust.

Given the modest amount of new traffic that would be generated by the project there is no indication that new emissions of VOCs or NO_x would exceed Monterey Bay Unified Air Pollution Control District (MBUAPCD) thresholds for these pollutants and therefore there would not be a significant contribution to an existing air quality violation.

Project construction may result in a short-term, localized decrease in air quality due to

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generation of dust. However, standard MBUAPCD dust control best management practices, such as periodic watering, would be implemented during construction to reduce impacts to a less than significant level.

2. Conflict with or obstruct implementation of the applicable air quality plan? ☐ ☐ ☒ ☐

Discussion: The project would not conflict with or obstruct implementation of the regional air quality plan. See K-1 above.

3. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)? ☐ ☐ ☐ ☒

Discussion: See K-1 above.

4. Expose sensitive receptors to substantial pollutant concentrations? ☐ ☐ ☐ ☒

Discussion: The project would not generate pollutants in substantial concentrations. No impact would occur.

5. Create objectionable odors affecting a substantial number of people? ☐ ☐ ☐ ☒

Discussion: There are no identifiable sources of objectionable odors within the project scope.

L. GREENHOUSE GAS EMISSIONS

Would the project:

1. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment? ☐ ☐ ☒ ☐

Discussion: The proposed athletic field itself would not generate greenhouse gas emissions. Visitors that may travel by vehicle to the field would not generate enough greenhouse gas emissions to have a significant impact on the environment.

2. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of ☐ ☐ ☐ ☒

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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greenhouse gases?

Discussion: The proposed athletic field would not generate greenhouse gas emissions, and would not conflict with any policies or regulations adopted for the purpose of reducing the emissions of greenhouse gases.

M. PUBLIC SERVICES

Would the project:

1. Result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for any of the public services:

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|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a. Fire protection? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Police protection? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. Schools? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Parks or other recreational activities? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Other public facilities; including the maintenance of roads? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Discussion (a through e): The project would not include the installation of any permanent structures or residences, and would not increase the population of the school student body or surrounding community.

N. RECREATION

Would the project:

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|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 1. Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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or be accelerated?

Discussion: The project provides another recreational facility for the community. If any, the resulting impact would be an incremental reduction in the use of existing neighborhood and regional parks.

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| 2. Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The project does not include the construction of recreational facilities.

O. UTILITIES AND SERVICE SYSTEMS

Would the project:

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|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 1. Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: Drainage Calculations prepared by Jeffrey Naess (RCE 42666), dated 7/10/13 (see Attachment 2), have been reviewed for potential drainage impacts and accepted by the Department of Public Works (DPW) Drainage Section staff. The calculations show that the infiltration rate for the site would be maintained by providing a 195 lineal feet long by 2 feet deep retention trench that would provide both detention and retention of runoff such that there would be no runoff at all in the event of a 2 year, 2 hour long storm. Any excess runoff which could manage to make its way beyond the retention trench would sheet flow across approximately 125 feet of sandy, high permeability soil (approximately 8 in/hr) to an existing retention basin as is currently the case for site runoff. Due to the intensive retention features incorporated into the design as well as the high permeability of the soils and lack of proposed additional tributary area, it is not anticipated that site runoff would exceed the capacity of existing stormwater drainage systems.

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 2. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: No permanent restrooms are proposed.

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|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 3. Exceed wastewater treatment requirements of the applicable | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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Regional Water Quality Control
Board?

Discussion: There would be no wastewater generated by the project, as no permanent restrooms are proposed.

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|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 4. | Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The school has sufficient water supplies to irrigate the proposed athletic field, with two wells and two water storage tanks that hold a combined 715,000 gallons of water. No other project water needs have been identified.

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|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 5. | Result in determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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Discussion: See O-3, above.

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| 6. | Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The athletic field would not generate a significant amount of solid waste.

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|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 7. | Comply with federal, state, and local statutes and regulations related to solid waste? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The athletic field would not generate a significant amount of solid waste.

P. LAND USE AND PLANNING

Would the project:

- | | | | | | |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 1. | Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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adopted for the purpose of avoiding or
mitigating an environmental effect?

Discussion: The subject property is located in the Residential Agricultural "D" Designated Park Combining District. The "D" Designation denotes those parcels which have been designated in whole or in part by the County General Plan to be acquired and/or developed for future neighborhood, community or regional public recreational facilities. Any Development permit processed at Level 5 or greater must be submitted for review by the Director of Parks, Open Space and Cultural Services (now part of the Department of Public Works) for their review to determine whether they would like to acquire the property or condition the manner of the development to preserve the potential for future park use. The Director of Public Works has provided a memo (see Exhibit F) stating that because the proposed soccer field would provide for an interim recreational use on the property and the "D" designation would remain on the property allowing for future consideration for park site acquisition, the project does not require further review and may proceed (see Attachment 10). The proposed project would not conflict with any regulations or policies adopted for the purpose of avoiding or mitigating an environmental effect.

2. Conflict with any applicable habitat conservation plan or natural community conservation plan? ☐ ☐ ☐ ☒

Discussion: The proposed project would not conflict with any applicable habitat conservation plan or natural community conservation plan.

3. Physically divide an established community? ☐ ☐ ☐ ☒

Discussion: The project would not include any element that would physically divide an established community.

Q. POPULATION AND HOUSING

Would the project:

1. Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? ☐ ☐ ☐ ☒

Discussion: The proposed project would not induce substantial population growth in an area because the project does not propose any physical or regulatory change that would remove a restriction to or encourage population growth in an area.

2. Displace substantial numbers of existing housing, necessitating the construction of replacement housing ☐ ☐ ☐ ☒

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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elsewhere?

Discussion: The proposed project would not displace any existing housing since the site is currently vacant.

3. Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Discussion: The proposed project would not displace a substantial number of people since the site is currently vacant.

R. MANDATORY FINDINGS OF SIGNIFICANCE

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| 1. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Discussion: The potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory were considered in the response to each question in Section III of this Initial Study. It has been determined that no significant resources would be potentially impacted by this project. Therefore, this project has been determined not to meet this Mandatory Finding of Significance.

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Impact |
|--|--------------------------------------|--|-------------------------------------|--------------------------|
| 2. Does the project have impacts that are individually limited, but cumulatively considerable? ("cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Discussion: In addition to project specific impacts, this evaluation considered the projects potential for incremental effects that are cumulatively considerable. As a result of this evaluation, there is no substantial evidence that there are cumulative effects associated with this project. Therefore, this project has been determined not to meet this Mandatory Finding of Significance.

- | | Potentially
Significant
Impact | Less than
Significant
with
Mitigation | Less than
Significant
Impact | No
Impact |
|--|--------------------------------------|--|-------------------------------------|--------------------------|
| 3. Does the project have environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Discussion: In the evaluation of environmental impacts in this Initial Study, the potential for adverse direct or indirect impacts to human beings were considered in the response to specific questions in Section III. As a result of this evaluation, there is no substantial evidence that there are adverse effects to human beings associated with this project. Therefore, this project has been determined not to meet this Mandatory Finding of Significance.

IV. TECHNICAL REVIEW CHECKLIST

	<u>REQUIRED</u>	<u>DATE COMPLETED</u>
Agricultural Policy Advisory Commission (APAC) Review	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	_____
Archaeological Review	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	_____
Biotic Report/Assessment	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	5/17/13
Geologic Hazards Assessment (GHA)	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	_____
Geologic Report	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	_____
Geotechnical (Soils) Report	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	5/11/13
Riparian Pre-Site	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	_____
Septic Lot Check	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	_____
Other:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	_____

V. REFERENCES USED IN THE COMPLETION OF THIS ENVIRONMENTAL REVIEW INITIAL STUDY

County of Santa Cruz 1994.

1994 General Plan and Local Coastal Program for the County of Santa Cruz, California. Adopted by the Board of Supervisors on May 24, 1994, and certified by the California Coastal Commission on December 15, 1994.

Karl Mikel, PE 2010

Nipomo Community Park Master Plan EIR, Nipomo, California – Noise Study Report. Prepared for: Shawna Scott, SWCA Environmental Consultants dated November 25, 2010

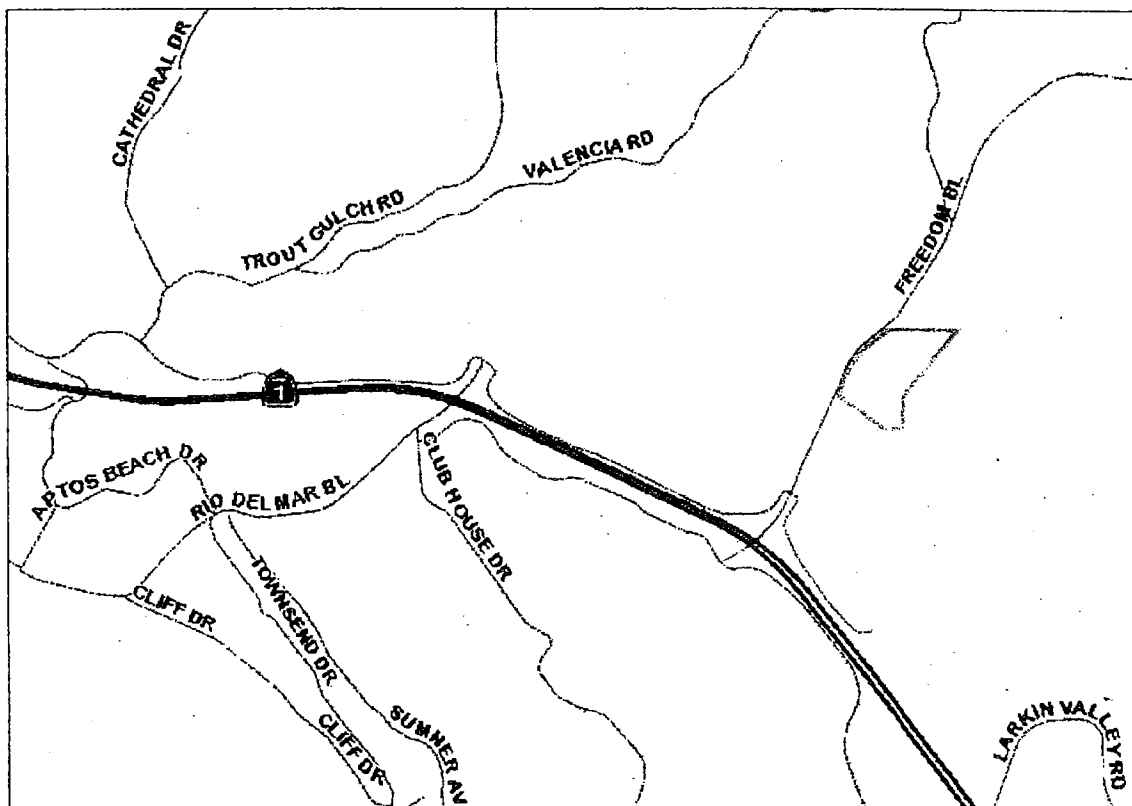
VI. ATTACHMENTS

1. *Vicinity Map, Map of Zoning Districts; Map of General Plan Designations; Map of Scenic Areas; and Assessors Parcel Map.*
2. *Grading and Drainage Plans*, prepared by Jeffrey Naess, Bowman and Williams, dated 4/4/13, revised 7/10/13.
3. *Geotechnical Investigation (Report Summary, Conclusions, Recommendations, Map & Cross Sections)*, prepared by Haro, Kasunich and Associates, Inc., dated 2/8/13.
4. *Geotechnical Review Letter*, prepared by Carolyn Burke, dated 5/11/13.
5. *Biotic Report*, prepared by John Gilchrist & Associates, dated March 2013.
6. *Biotic Report Review Letter*, prepared by Matthew Johnston, dated 5/17/13.
7. *PVUSD Board of Trustees Meeting Agenda Item 9.3, dated 6/12/13: Approval of MOU with the USFWS and Aptos High School.*
8. *PVUSD Board of Trustees Meeting Agenda Item 11.2, dated 6/26/13: Approval of completion and utilization guidelines for the Aptos High School Freedom Field Project. (Includes Neighborhood Meeting Notes as Attachment)*
9. *PVUSD Notice of Exemption*, signed 5/25/13 by Brett McFadden; *State Clearinghouse CEQAnet printout acknowledging receipt date of 5/29/12.*
10. *Aptos High Soccer Field – DPW Project Acceptance Letter* dated 7/11/13.

GROUNDWATER RECHARGE AREA
(Designated Recharge Areas shown in blue)

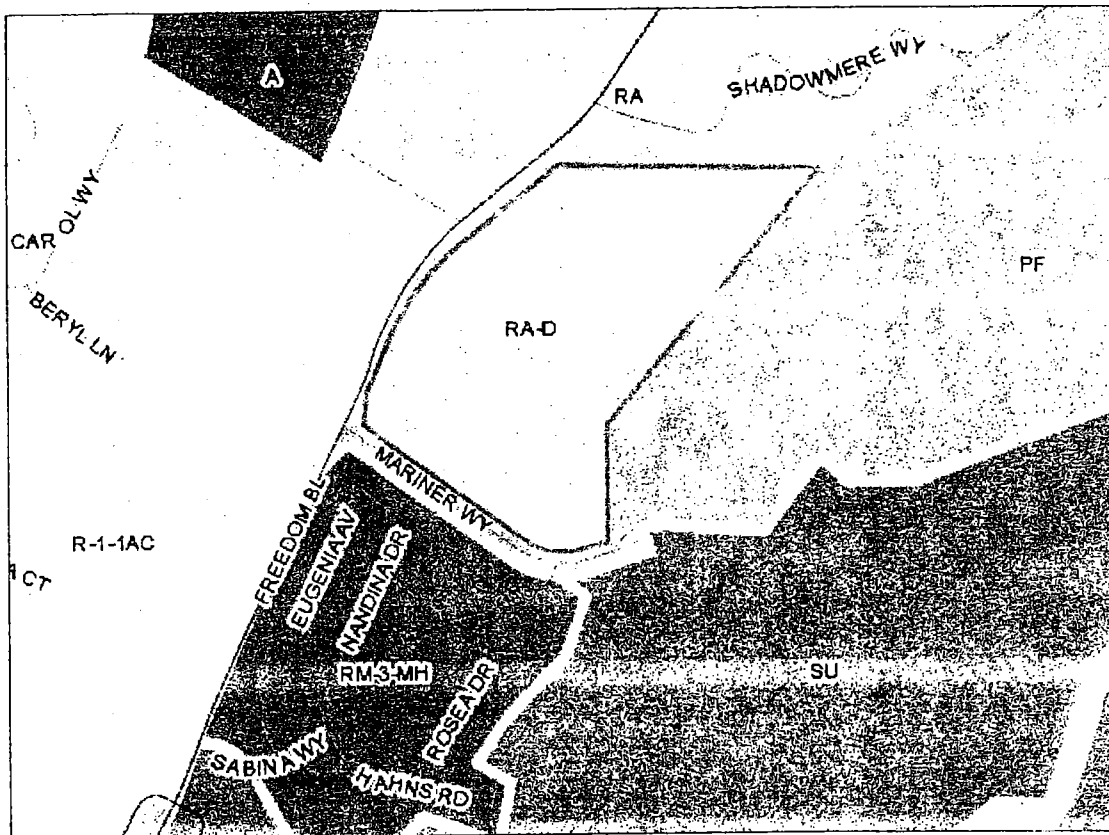


VICINITY MAP
APTOS HIGH
100 MARINER WAY, APTOS
APN 041-291-39

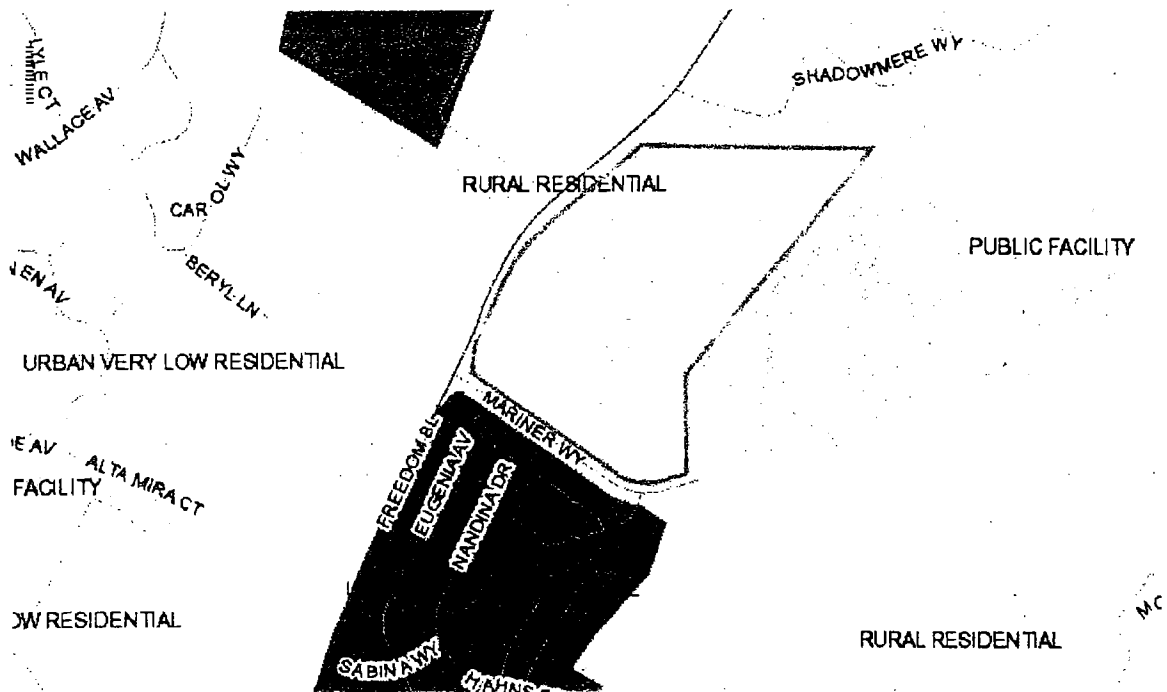


Attachment 1

MAP OF ZONING DISTRICTS
APTOS HIGH
100 MARINER WAY, APTOS
APN 041-291-39



MAP OF GENERAL PLAN DESIGNATIONS
 APTOS HIGH
 100 MARINER WAY, APTOS
 APN 041-291-39

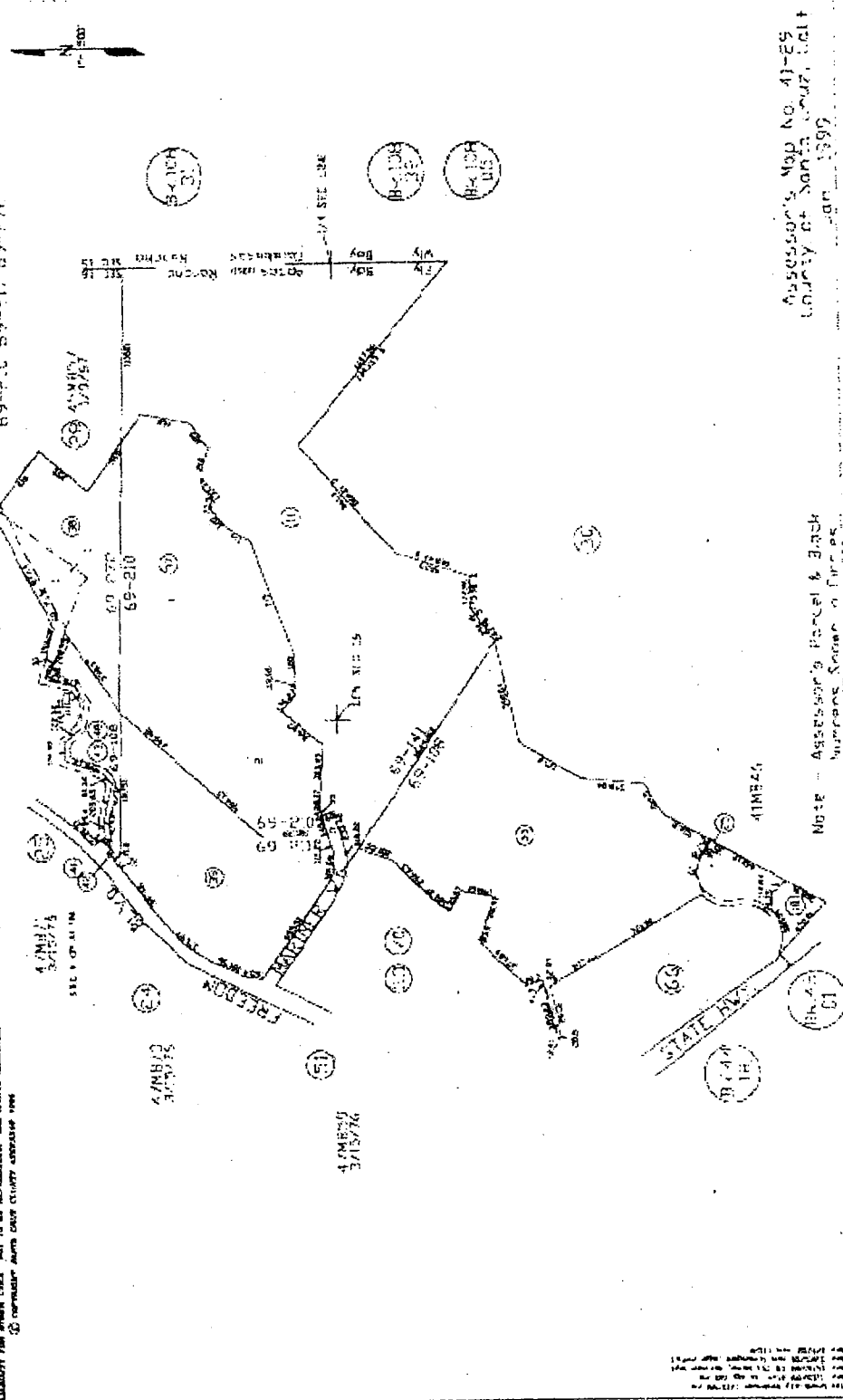


ASSESSOR PARCEL MAP
APTOS HIGH
100 MARINER WAY, APTOS
APN 041-291-39

4 JR LAX FURFESS INLY

FOR APPLS RANCH
SEC 16, T18S, R1E, MDR & M

Box 4-ec Code
69-108 69-141
69-210 69-211 69-272



6661 apt
4101 12th street to Alhambra
52-14 on den 5, 20555555

Note: Aggregates Parcel & Block
 boundary shown in green.

Attachment 1

Attachment 1

SCENIC AREAS MAP
APTOS HIGH
100 MARINER WAY, APTOS
APN 041-291-39



IMPROVEMENT PLANS
FREEDOM FIELD
APTOS HIGH SCHOOL
COUNTY OF SANTA CRUZ, CALIFORNIA

GENERAL NOTES:

- THE CONTRACTOR SHALL HAVE A MINIMUM 40 HOURS OF PLAY OF SKEE PLAYS IN THE COUNTY FROM THE DATE OF THE AWARD. THE CONTRACTOR IS TO MAINTAIN ALL EXISTING CONSTRUCTION CRASHBARS AND IS TO CONSIDER SKEE PLAYS AS ONE OF THE MOST IMPORTANT CRASHBARS FOR THE COUNTY'S ROADWAY. THE CONTRACTOR IS ALSO TO MAINTAIN THE ART PLAYS OF CONSTRUCTION CRASHBARS.

SPECIFICATIONS

STORM DRAIN.

1. ALL TIES ARE REPEATED EVERY OTHER FEET SHALL BE SPACED NOT LESS THAN 10 FEET.

- [illegible]

CELLULOSE DERIVATIVES AND CRYSTALLINITY

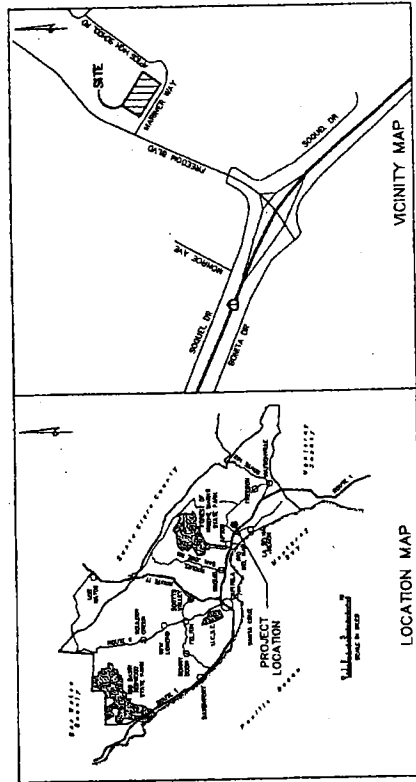
- [illegible]

EARTHWORK VOLUMES

AREA	EXAMINATION DATE	EXAMINER	DATE	REF. NO.
1. AREA	2. DATE	3. EXAMINER	4. DATE	5. REF. NO.

NOTE:

1. The area to be examined shall be the area of the structure which is the subject of the examination. The area to be examined shall be the area of the structure which is the subject of the examination. The area to be examined shall be the area of the structure which is the subject of the examination.
2. The area to be examined shall be the area of the structure which is the subject of the examination. The area to be examined shall be the area of the structure which is the subject of the examination. The area to be examined shall be the area of the structure which is the subject of the examination.
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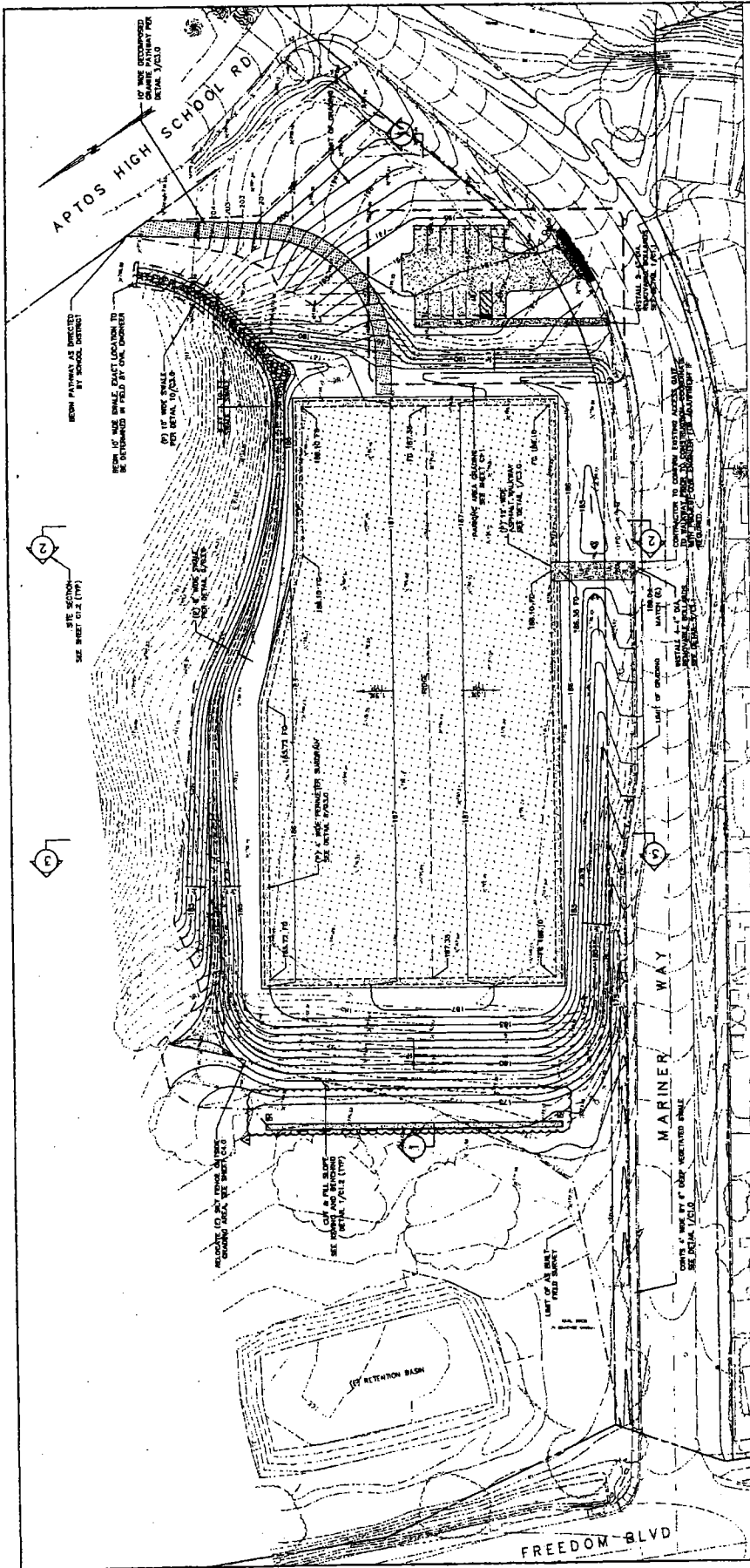
[illegible]SHEET INDEX 17315

- | | |
|------|-----------------|
| CD.0 | COVER SHEET |
| CD.0 | GRADING PLAN |
| CD.1 | PARKING PLAN |
| CD.2 | SITE SECTIONS |
| CD.3 | DRAINAGE PLAN |
| CD.3 | DETAILS |
| CD.0 | BASE GRADING |
| CA.1 | FINAL SITE PLAN |
| CA.2 | DETAILS - STORM |

DEPT. OF JUSTICE

DISCLAIMER

[illegible]



GRAPHIC SCALE



DISCLAIMER
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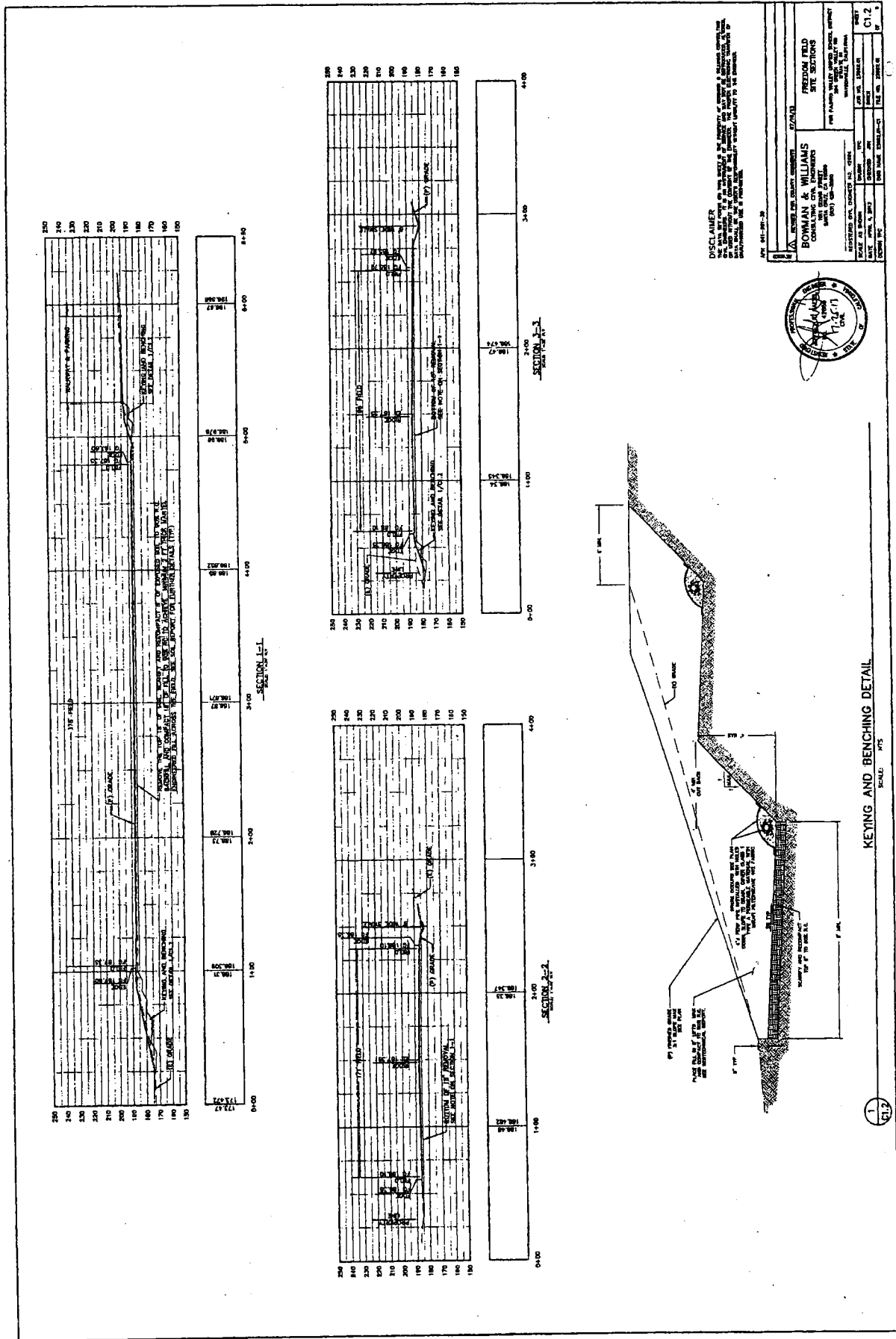


BOWMAN & WILLIAMS CONSULTANTS AND ENGINEERS 1000 MARINER WAY APTOS, CA 95020 (408) 426-1000		DRAWING PLAN	
DATE: 10/15/99	BY: JWB	DATE: 10/15/99	BY: JWB
CHECKED: JWB	DATE: 10/15/99	DESIGNED: JWB	DATE: 10/15/99
APPROVED: JWB	DATE: 10/15/99	FOR SCALE: 1/8"=1'-0"	FILE NO. 2000-01-01
SHEET NO. 1 OF 1		SHEET NO. 1 OF 1	

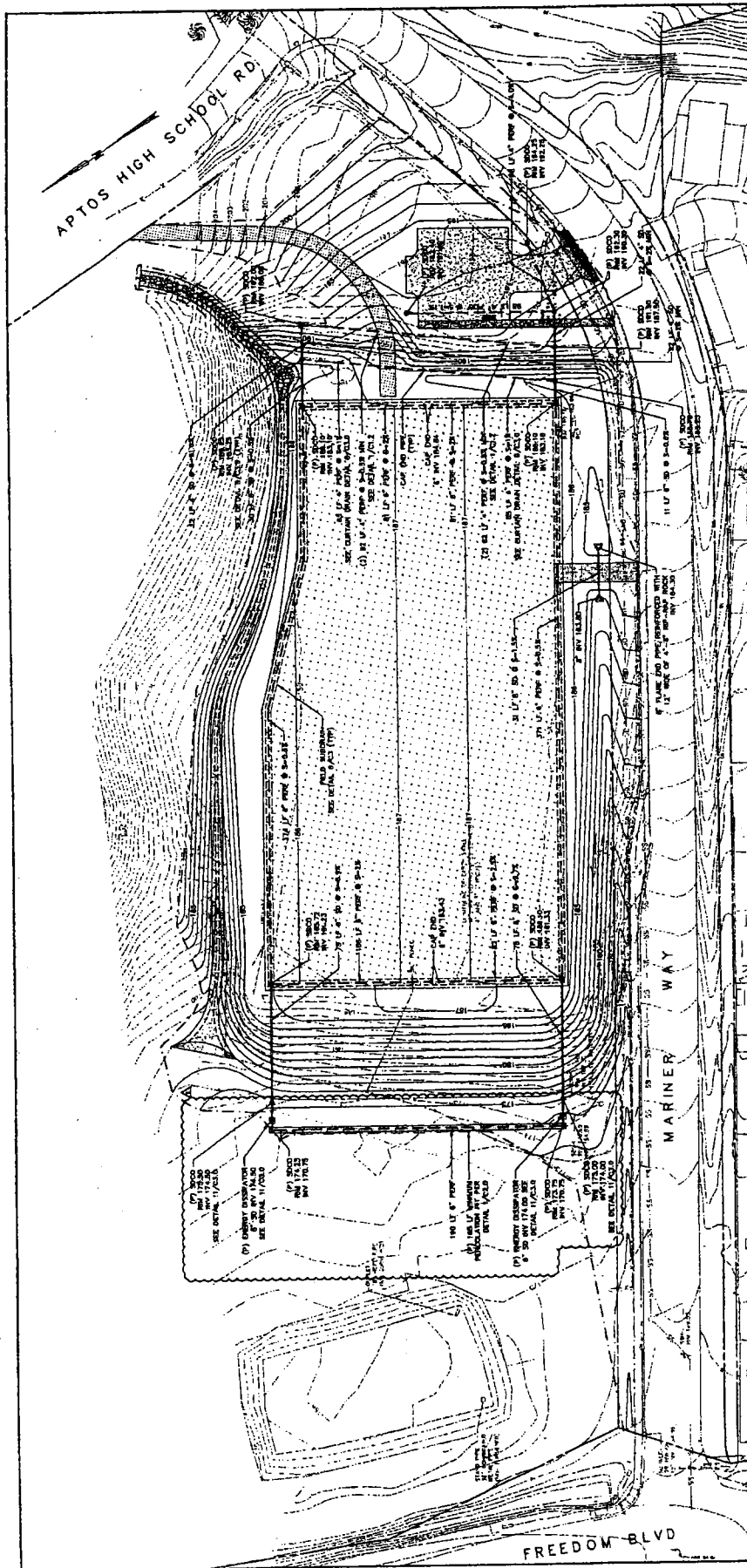


VEGETATED SWALE DETAIL
SCALE: 1/8"=1'-0"

0358




0360

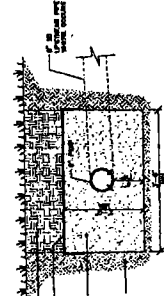


GRAPHIC SCALE

DISCLAIMER

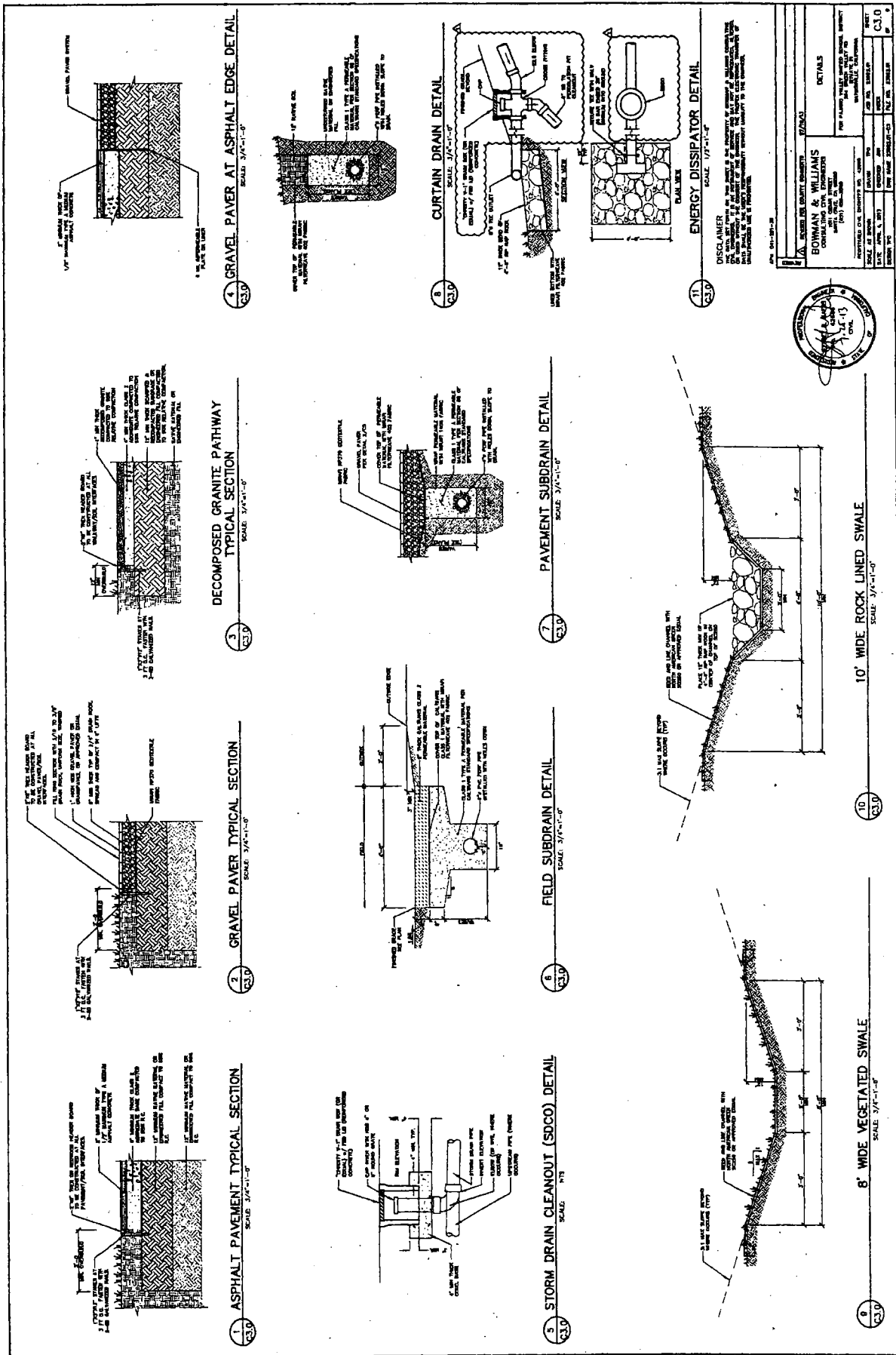
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 REVIEWED FOR BIDDING PURPOSES 07/2003	BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS 1001 GARDEN STREET SUITE 100 SAN JOSE, CA 95128 (408) 435-3200	PROJECTED BIDDING COMPLETION DATE: 12/04/03	
		SCALE: 1" = 30'	
DRAINAGE PLAN		SHEET NO. 1 OF 1	JOB NO. 030610
FOR PUNTING VALLEY LIMITED PARTNERSHIP 2000 PUNTING VALLEY RD WATSONVILLE, CALIFORNIA 95076		DATE: 07/2003	PROJECT:



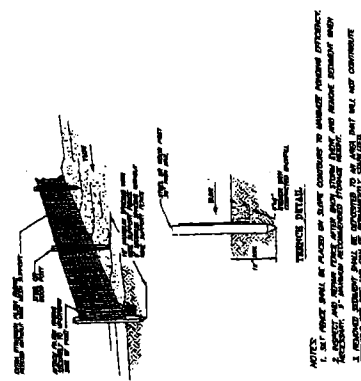
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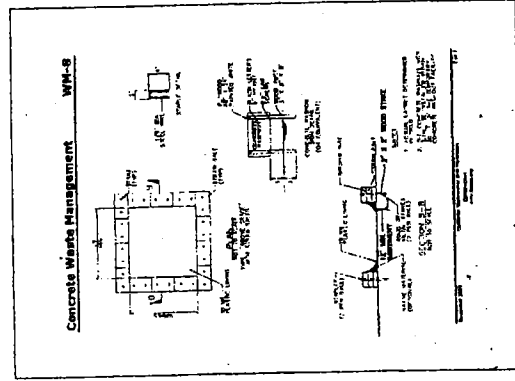
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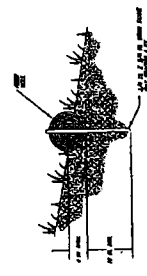


NOTES:
1. FENCE SHALL BE PLACED ON SAME CONTAINERS TO AVOID FLOODING EFFICIENCY.
2. FENCE SHALL BE PLACED ON SAME CONTAINERS TO AVOID FLOODING EFFICIENCY.
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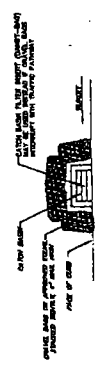
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C4.2



5 CONCRETE WASHOUT
SCALE: NTS
C4.2

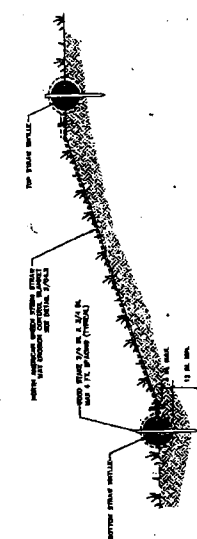


2 STRAW WATTLES/FIBER ROLLS
SCALE: NTS
C4.2

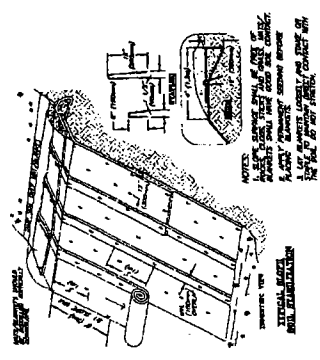


NOTES:
1. PLACE STORM DRAIN INLET PROTECTION WHERE STORM DRAIN ENTERS AND ALLOW
2. STORM DRAIN INLET PROTECTION SHALL BE PLACED WHERE STORM DRAIN ENTERS
3. STORM DRAIN INLET PROTECTION SHALL BE PLACED WHERE STORM DRAIN ENTERS

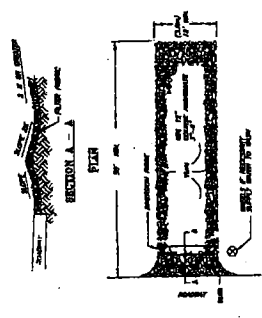
3 STORM DRAIN INLET PROTECTION
SCALE: NTS
C4.2



7 TYPICAL SLOPE EROSION CONTROL
SCALE: NTS
C4.2



3 EROSION CONTROL MAT DETAIL
SCALE: NTS
C4.2




NOTES:
1. FENCE SHALL BE PLACED ON SAME CONTAINERS TO AVOID FLOODING EFFICIENCY.
2. FENCE SHALL BE PLACED ON SAME CONTAINERS TO AVOID FLOODING EFFICIENCY.
3. FENCE SHALL BE PLACED ON SAME CONTAINERS TO AVOID FLOODING EFFICIENCY.

4 CONSTRUCTION ENTRANCE/EXIT
SCALE: NTS
C4.2

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<div>  BOWMAN & WILLIAMS CONSULTING ENGINEERS 1010 10TH STREET SAN FRANCISCO, CA 94103 (415) 398-1000 </div>		<div> DETAILS PREPARED FOR: STIMULANT POLICE CONTROL PLAN FOR: PAULSON HALL, 1000 SOUTH BURNETT ST AN IMPROVEMENT PROJECT IN THE CITY OF SAN FRANCISCO </div>	
PROJECT NO.	DATE	SCALE	SHEET
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**Geotechnical Investigation
of the
Existing Lower Practice Field and Future ADA Parking Area
Aptos High School
100 Mariner Way
APN 041-291-37
Santa Cruz County, California**

**Prepared for
Pajaro Valley Unified School District
Maintenance, Operations & Facilities Department
Watsonville, CA**

**Prepared By
HARO, KASUNICH AND ASSOCIATES, INC
Geotechnical & Coastal Engineers
Project No. SC10423
February 2013**

HARO, KASUNICH AND ASSOCIATES, INC.

CONSULTING GEOTECHNICAL & COASTAL ENGINEERS

Project No. SC10423
8 February 2013PAJARO VALLEY UNIFIED SCHOOL DISTRICT
Maintenance, Operations & Facilities Department
294 Green Valley Road
Watsonville, California 95076

Attention: Gregory Giuffre, Planning Assistant

Subject: Geotechnical Investigation

Reference: Existing Lower Practice Field and Future ADA Parking Area
Aptos High School
100 Mariner Way
Santa Cruz County, California

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& FACILITIES

Dear Mr. Giuffre:

In accordance with your authorization, we have completed a Geotechnical Investigation of the existing lower practice field and the adjacent future ADA parking area located along the entrance to Aptos High School in Santa Cruz County, California. The practice field has been designated Freedom Field to distinguish it from the other athletic fields at Aptos High School.

Freedom Field is situated on the northern side of Mariner Way, about 200 feet southeast of Freedom Boulevard. The future ADA parking area is located at the southeast end of the practice field near the entrance gate to Aptos High School. Freedom Field was constructed during the summer of 2012 utilizing soils generated during the widening of Highway 1 at the La Fonda Avenue overpass area in Santa Cruz. Work on the project was stopped by the County of Santa Cruz Planning Department with the mandate the School District apply for a Level 6 Grading Permit. One requirement for the grading permit application is a Soil Report or Geotechnical Investigation.

A Topographic Survey of Freedom Field has been completed by Bowman & Williams and is dated 29 November 2012. The practice field area is approximately 400 feet long parallel to Mariner Way and about 240 feet wide. Fill slopes at the western perimeter of the Freedom Field range in slope gradient from approximately 15 to 25 percent. The fill slope at the southwest corner of the field is approximately 12 feet high with the fill slope adjacent Mariner Way ranging in gradient from about 30 to 55 percent.

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The slope above the east end of Freedom Field is approximately 5 feet high and sloped at about 25 percent. During our site visits in December 2012 and January 2013 we noted seepage emitting from the slope face along the entire eastern perimeter of Freedom Field with standing water or ponding below. We also noted erosion rills developing on the saturated slope face with minimal overland flow directed toward the slope.

Our Geotechnical Investigation of the Freedom Field practice field area focused upon field testing of the existing fill soils for compliance to the County of Santa Cruz Grading Regulations, Section 16.20.150 (F) which specifies "All fills shall be compacted to a minimum of 90 percent of relative maximum density as determined by ASTM D-1557-70." It is our understanding the practice field soils were placed in an uncontrolled manner without special inspections or relative compaction testing as outlined in Section 1704A.7 of the 2010 California Building Code (CBC).

To evaluate the quality and consistency of the uncontrolled fill soils comprising Freedom Field, we conducted: relative compaction testing of the top 2 feet of practice field soils using a nuclear density gauge at 8 locations; and relative density testing of the fill soils and the native soils below at 6 locations utilizing a truck mounted drill rig to perform Standard Penetration Testing.

Our nuclear density gauge testing of the Freedom Field was conducted at 8 locations at both the surface and at the bottom with hand dug pits excavated 12-16 inches below surface grade. Relative compaction tests at the surface of the Freedom Field ranged from approximately 90 to 98 percent. Relative compaction tests at 12 to 16 inches below the surface of the Freedom Field ranged from approximately 80 to 94 percent.

In our 6 drill rig borings with Freedom Field, we performed Standard Penetration Testing to determine the relative density and consistency of the fill soils. We found loose to medium dense, new and old fill soils to 10.5 ft below grade atop dense to very dense native soils below. The fill soils blow counts ranged from 6 to 20 blows per foot. We also noted variation in Standard Penetration Testing values both vertically and laterally indicating inconsistent moisture conditioning and compaction effort.

Based upon Standard Penetration Testing, we estimate the potential settlement of the existing fill soils to be on the order of 0.5 percent (0.005) of their height.

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For example, at the southwest end of the playing field with uncontrolled fill soils to 10.5 feet below grade, we estimate the potential total settlement to be approximately 0.6 inches.

Based upon our field and laboratory testing, the primary geotechnical concerns at Freedom Field in its existing state are:

- Erosion and shallow slumping of the uncontrolled fill slopes below the west and southwest perimeters of the playing field due to saturation and overland sheet flow;

- Erosion and destabilization of the seasonally saturated slope face above the east perimeter of the field;

- Potential settlement of the uncontrolled fill soils both within the near level playing field area and the slopes below;

- Control of playing field storm water runoff; and

- Control of subsurface seepage along the east perimeter of the playing field to reduce seasonal ponding across the east end of the playing field.

To stabilize the Freedom Field uncontrolled fill soils and the 5 feet high slope above the eastern perimeter of the practice field, we recommend the following:

- a. The fill slopes below the western and southwestern perimeters of the practice field should be cut back a minimum of 4 feet from the top to the bottom. The exposed native soil surface at the bottom should be scarified to a depth of 6 inches; moisture conditioned, and compacted to at least 90 percent relative compaction. The project contractor will need to accommodate underground utilities in this area. The excavated soils should be moisture conditioned and replaced in thin, level lifts not exceeding 8 inches in loose thickness; and compacted to at least 90 percent relative compaction to restore the project site slopes. We anticipate it will be necessary to overbuild and then cutback the compacted slopes to achieve at least 90 percent relative compaction at the surface of the finished slopes. Finish slope gradients should be 2:1(H:V) or less steep;

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- b. The top 18 inches of the near level practice field soils should be removed and stockpiled on site. The exposed soils of the practice field should be moisture conditioned, and compacted to at least 90 percent relative compaction. The stockpiled soils should be replaced in thin lifts not exceeding 8 inches in loose thickness; moisture conditioned, and compacted to at least 90 percent relative compaction to achieve a minimum 2 feet thick mantle of engineered fill across the practice field;
- c. A curtain drain system should be installed along the eastern perimeter of the practice field to collect seepage from slope above and convey the collected seepage away from the practice field to a suitable detention/retention facility by gravity flow. The curtain drain should consist of a trench excavated at least 2 feet below adjacent grade with the bottom sloped to drain and a perforated pipe with the holes down should be placed along the trench bottom. The trench should be backfilled with mechanically compacted, Caltrans Permeable Material, Class I, Type A. The curtain drain system should be designed by the project civil engineer; and
- d. The project site slope above the eastern perimeter of Freedom Field should be cut back a minimum of 4 feet from the top to the bottom. The exposed native soil surface at the bottom should be scarified to a depth of 6 inches; moisture conditioned, and compacted to at least 90 percent relative compaction. The excavated soils should be moisture conditioned and replaced in thin, level lifts not exceeding 8 inches in loose thickness; and compacted to at least 90 percent relative compaction to restore the project site slope. A drainage system consisting of Caltrans Permeable Material Class 1, Type A and perforated pipe should be placed between the engineered fill and native slope to collect and convey seepage away from the engineered fill slope to a suitable detention/retention facility by gravity flow.. We anticipate it will be necessary to overbuild and then cutback the compacted slope to achieve at least 90 percent relative compaction at the surface of the finished slope. Due to the near surface seasonal groundwater present above the east end of Freedom Field, the finish slope gradient should be 3:1(H:V) or less steep.

We recommend at least one relative compaction test be performed per vertical foot of engineered fill per 2,500 square feet of practice field or slope area. Laboratory compaction curve testing should be performed as needed to

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accurately determine the relative compaction of the remedial earthwork recommended for Freedom Field and the proposed ADA improvements.

Removal of the existing uncontrolled fill soils from the surface of the Freedom Field and replacement as a mantle of engineered fill compacted to at least 90 percent relative compaction will stabilize the surface of the project site, reduce total settlement of the fill soils, and reduce the effects of differential settlement across the site.

Control of borrowing rodents at the project site such as gophers and ground squirrels is important for the long term integrity of the fill soils and also to minimize practice field tripping hazards. Rodent borrows can facilitate soil piping within the slopes below Freedom Field by introducing surface runoff into the sandy fill soils.

The existing surface soils at Freedom Field contain gravels to 3 inches in diameter. We anticipate site drainage flow patterns will be established during the recommended remedial grading of Freedom Field with no or minimal importation of engineered fill soil needed. Additional soils will be needed to be imported to establish the playing field surface turf. The composition of the top 6 inches of the practice field soils should be determined by a playing field turf expert. The top 6 inches of the practice field soils should be compacted to between 85 and 90 percent relative compaction to foster root growth or as advised by a playing field turf expert.

We understand no buildings or habitable structures are proposed for Freedom Field. Future accessory structures such as bleachers should be supported by foundation elements which penetrate the uncontrolled fill soils at depth and achieve bearing within the medium dense to dense, native soils below.

We also drilled one exploratory boring to 21.5 feet below existing grade within the proposed future ADA parking area, upslope of the eastern end of Freedom Field, to determine the soil profile and consistency in order to make recommendations for site grading to accommodate ADA parking and the ADA pathway to Freedom Field below. We found wet, loose to medium dense sands. We capped the boring and returned to the site in January 2013 to find groundwater at 3 feet below grade. In comparison, we drilled to 26.5 feet below grade at the southwest corner of Freedom field as well as 5 additional borings throughout the practice field and encountered no groundwater. We anticipate the groundwater level

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below the future ADA parking pad will drop during the summer and fall. A liquefaction analysis of the soils below the future ADA parking pad was beyond the scope of the investigation. Based on our prior experience, there is a high potential for liquefaction to occur below the ADA parking pad and the ADA pathway down to Freedom Field if severe seismic shaking occurs during or after the winter rain season. Liquefaction has the potential to induce settlement of the saturated sands and result in significant damage to the parking pad and pathway pavement sections. If severe seismic shaking occurs during the dry season, we expect there to be some soil densification of the loose sands resulting in settlement and damage of the parking pad area, but to a lesser degree than if the loose sands were saturated.

To increase the bearing capacity of the loose sandy soils encountered within the ADA parking area and reduce the effects of seismically induced settlement, we recommend the ADA parking pad pavement section be supported by engineered fill soil mat consisting of moisture conditioned onsite soils compacted to at least 90 percent relative compaction at least 2 feet thick. When properly moisture conditioned, the onsite soils may be used for engineered fill. The top 12 inches of the 2 feet thick engineered fill soil mat should be compacted to at least 95 percent relative compaction. The soil mat should extend at least 2 feet laterally beyond the pavement section perimeters.

To mitigate the loose, near surface soils found above the eastern end of Freedom Field and to reduce maintenance of the ADA pathway to Freedom Field, we recommend the pathway pavement section should be supported by at 12 inches of moisture conditioned onsite soils compacted to at least 90 percent relative compaction. The compacted soil should extend at least 1 foot laterally beyond the pathway pavement section perimeters.

Based on the results of our investigation, a stable playing field surface can be established at Freedom Field provided the recommendations outlined in this report are incorporated into the design of the project Grading and Drainage Plan; and adhered to during the remedial earthwork and drainage improvements construction to mitigate the uncontrolled fill soils. The recommendations outlined in this report will provide a stable playing field surface, minimize settlement of the fill soils under their own weight, reduce the settlement from seismic shaking and stabilize the field slopes to minimize erosion.

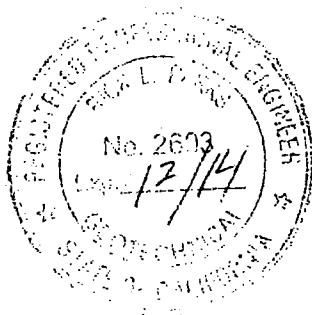
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This report presents our conclusions and recommendations, as well as the results of the geotechnical investigation on which they are based.

If you have any questions concerning the data or conclusions presented in this report, please call our office.

Respectfully submitted,

HARO, KASUNICH & ASSOCIATES, INC.



Rick L. Parks, GE 2603
Senior Geotechnical Engineer

RLP/dk
Copies:

4 to Addressee (+ electronic copy)
1 to Bowman & Williams (+ electronic copy)
Attn: Jeff Naess, PE

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GEOTECHNICAL INVESTIGATION

Introduction

This report presents the results of our Geotechnical Investigation of the existing lower practice field and adjacent future ADA parking area located along the entrance roadway to Aptos High School in Santa Cruz County, California. The practice field has been designated Freedom Field to distinguish it from the other athletic fields at Aptos High School.

A Topographic Survey of Freedom Field has been completed by Bowman & Williams and is dated 29 November 2012.

Purpose and Scope

The purpose of our investigation was to explore and evaluate the surface and subsurface soil conditions at the project site in order to develop geotechnical criteria to: stabilize the existing uncontrolled fills to provide a stable playing field surface; minimize settlement of the fill soils under their own weight; reduce the settlement of the fill soils from seismic shaking; and stabilize the field slopes to minimize erosion.

The specific scope of our services was as follows:

1. Review the data in our files pertinent to the site, including:
 - Geologic Map of Santa Cruz County dated 1989 by E. E. Brabb (digital data base dated 1997);
 - Liquefaction Potential of Quaternary Deposits in Santa Cruz County dated 1975 by W. R. Dupre, (digital compilation dated 1998);
 - Preliminary Landslide Deposits in Santa Cruz County, California dated 1975 by Cooper-Clark;

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-Working Group in Northern California Earthquake Potential dated 1996 by the U.S. Geologic Survey Open File Report 96-705;

-Watsonville West, California – 7.5 Minute Topographic Map photo revised 1994 by the U.S. Geologic Survey;

-Geotechnical Investigation – Aptos High School Expansion dated 28 October 2003 by Cleary Consultants, Inc;

-Geotechnical Investigation – Replacement of Distressed Water Tank dated 13 April 2006 by Bauldry Engineering, Inc;

-Supplemental Geotechnical Investigation – Proposed Water Tank Replacement dated 26 March 2007 by Bauldry Engineering, Inc;

-Geotechnical Investigation – Proposed New Visitor Bleachers – Football Field at Aptos High School dated 21 November 2012 by our firm; and

Soils in Construction by W. L. Schroeder and S. E. Dickenson 1975, Prentice Hall.

2. USA locates and exploration of the subsurface conditions at the project site with seven exploratory borings to 9.5 feet and 26.5 feet below existing grades utilizing a truck mounted drill rig;
3. Relative compaction testing of the top 2 feet practice field soils using a nuclear density gauge at 8 locations at both the surface and 12 to 16 inches below grade.
4. Test selected soil samples to determine their pertinent engineering properties.

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5. Analyze the field and laboratory data to develop recommendations for geotechnical engineering recommendations for the stabilization of the practice field uncontrolled fill soils site; general grading recommendations for ADA parking area and pathway to Freedom Field; and general recommendations for site erosion control and drainage.
6. Present the results of our investigation in a report including recommendations for the stabilization of the practice field uncontrolled fill soils; general grading recommendations for the ADA parking area and pathway to Freedom Field; and recommendations for site drainage and erosion control.

Site Description

The existing lower practice field and proposed ADA parking pad at Aptos High School in Santa Cruz County, California are situated on the northern side of Mariner Way, about 200 feet southeast of Freedom Boulevard; see the Google Earth - Aerial Photo Site Plan and the USGS - Site Location Map, Figures 1 and 2 in the Appendix of this report. The lower practice field has been designated Freedom Field to distinguish it from the other athletic fields at Aptos High School. The future ADA parking area is located at the southeast end of the practice field near the entrance gate to Aptos High School. Freedom Field was constructed during the summer of 2012 utilizing soils generated during the widening of Highway 1 at La Fonda Avenue overpass area in Santa Cruz. Prior to the 2012 placement of the fill soils within the lower practice field area, we understand uncontrolled fill soils generated from the construction of the Aptos High School Performing Arts Center were initially placed within Freedom Field practice field area. Work on the 2012 Freedom Field project was stopped by the County of

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Santa Cruz Planning Department with the mandate the School District apply for a Level 6 Grading Permit. One requirement for the grading permit application is a Soil Report or Geotechnical Investigation.

A Topographic Survey of Freedom Field has been completed by Bowman & Williams and is dated 29 November 2012. The practice field area is near level, approximately 400 feet long parallel to Mariner Way and about 240 feet wide. Fill slopes at the western perimeter of the Freedom Field range in slope gradient from approximately 15 to 25 percent. The fill slope at the southwest corner of the field is approximately 12 feet high with the fill slope adjacent Mariner Way ranging in gradient from about 30 to 55 percent.

The slope above the east end of Freedom Field is approximately 5 feet high and slopes at about 25 percent. During our site visits in December 2012 and January 2013 we noted seepage emitting from the slope face along the entire eastern perimeter slope of Freedom Field with standing water or ponding below. We also noted erosion rills developing on the saturated slope face with minimal overland flow from above.

Project Site Evaluation Description

Our Geotechnical Investigation of the Freedom Field practice field focused upon field testing of the existing fill soils for compliance to the County of Santa Cruz Grading Regulations, Section 16.20.150 (F) which specifies "All fills shall be compacted to a minimum of 90 percent of relative maximum density as determined by ASTM D-1557-70." It is our understanding the practice field soils were placed in an uncontrolled manner without special inspections or relative compaction testing as outlined in Section 1704A.7 of the 2010 California Building Code (CBC).

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To evaluate the quality and consistency of the uncontrolled fill soils comprising Freedom Field, we conducted: relative compaction testing of the top 2 feet practice field soils using a nuclear density gage at 8 locations; and relative density testing of the fill soils profile and the native soils below at 6 locations utilizing a 4WD, truck mounted drill rig to perform Standard Penetration Testing.

We also drilled one exploratory boring to 21.5 feet below existing grade within the proposed future ADA parking area, upslope of the eastern end of the practice field, to determine the soil profile and consistency in order to make recommendations for site grading to accommodate ADA parking and the ADA pathway to Freedom Field below.

Surface and Near Surface Nuclear Gauge Testing

Our nuclear density gauge testing of the Freedom Field was conducted on 20 December 2012 at 8 locations. At each test location, we tested the relative compaction of the soils below surface grade and at the bottom of hand dug pits excavated 12-16 inches below grade. For the tests performed at 12 to 16 inches below grade, we collected soil samples at the bottom of the test pits to determine soil moisture contents in order to calculate the field densities. The measured field densities were then compared to the laboratory compaction curves to determine the relative compaction of the near surface soils. Relative compaction tests at the surface of the Freedom Field ranged from approximately 90 to 98 percent. Relative compaction tests at 12 to 16 inches below the surface of the Freedom Field ranged from approximately 80 to 94 percent. The lateral variation in relative compaction tests results indicates the fill soils were placed with inconsistent moisture conditioning and compaction effort. The approximate locations of the relative compaction testing locations are indicated on the Boring

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Site Plan, Figure 5 in the Appendix of this report. The compaction testing results as well as the laboratory and field data upon which they are based are included in the Appendix of this report as Figures 16, 17 and 18.

Drill Rig Subsurface Exploration

Subsurface conditions at Freedom Field and the proposed future ADA parking area were investigated on 20 December 2012 using a 4WD, truck mounted drill rig. The approximate locations of the seven test borings are indicated on the Boring Site Plan, Figure 5 in the Appendix of this report.

In the 6 drill rig borings completed within the near level area of Freedom Field, we performed Standard Penetration Testing to determine the relative density and consistency of the fill soils. We found loose to medium dense, new and old fill soils ranging in depth from approximately 2 feet to 10.5 ft below grade atop dense to very dense native soils below. The fill soils blow counts ranged from 6 to 20 blows per ft. The higher blow counts per foot measured within the fill soils were found in soils containing gravels which can increase the effective diameter of sampler with an increase in recorded blow counts.

There are no direct conversions between relative compaction, minimum and maximum relative density measurements in the laboratory and Standard Penetration Testing N_{60} values of the insitu soils. There are correlations between relative density measured in the laboratory (ASTM D4254/ASTM D4253) and Standard Penetration Testing (N_{60}) as well as correlations between relative density measured in the laboratory and relative compaction (ASTM 1557). Using these correlations, we determined 90 percent relative compaction is approximately equivalent to 20 blows per foot. Most of the Freedom Field fill soils tested using a drill rig were found to be less than 20 blows per foot and by

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correlation less than 90 percent relative compaction. We also noted variation in Standard Penetration Testing values both vertically and laterally indicating inconsistent moisture conditioning and compaction effort.

We also drilled one exploratory boring to 21.5 feet below existing grade within the proposed future ADA parking area, upslope of the eastern end of the practice field, to determine the soil profile and consistency to make recommendations for site grading to accommodate the ADA parking pad and the ADA pathway to Freedom Field below. We found wet, loose to medium dense sands. We capped the boring and returned to the site on 4 January 2013 to find water at 3 feet below grade. On 29 January 2013 the groundwater level was at 4 feet below grade with seepage occurring along the toe of the slope below. In comparison, we drilled to 26.5 feet below grade at the southwest corner of the playing field and encountered no groundwater. We anticipate groundwater level will drop during the summer and fall to rise again each winter rainy season. A liquefaction analysis of the soils below the future was beyond the scope of the investigation. Based on our prior experience and Standard Penetration Testing of the saturated sands encountered at boring location B-7, there is a high potential for liquefaction below the ADA parking pad if severe seismic shaking occurs during or after the winter rain season. If severe seismic shaking occurs during the dry season, we expect there to be some soil densification or volumetric compression of the loose sands.

Representative soil samples were obtained from the exploratory borings at selected depths or at major strata changes. These samples were recovered using the Standard Terzaghi Sampler (T).

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The penetration resistance blow counts noted on the boring logs were obtained as the sampler was dynamically driven into the in situ soil. The process was facilitated using a powered cathead to raise and drop a 140-pound hammer a 30-inch free fall distance and driving the sampler 6 to 18 inches and recording the number of blows for each 6-inch penetration interval. The blows recorded on the boring logs represent the accumulated number of blows that were required to drive the last 12 inches.

The soils encountered in the borings were continuously logged in the field and described in accordance with the Unified Soil Classification System (ASTM D2486). The Logs of the Test Borings are included as Figures 6 through 12 in Appendix of this report. The Boring Logs denote subsurface conditions at the locations and time observed, and it is not warranted that they are representative of subsurface conditions at other locations or times.

Laboratory Testing

The laboratory testing program was directed toward determining pertinent engineering and index soil properties of the project site soils.

For the drill rig subsurface exploration, the natural moisture contents of selected samples were determined in the laboratory and are recorded on the boring logs at the appropriate depths. Sieve analyses were performed to aid in the classification of the project site subsurface soil profile. The strength parameters of the underlying earth materials and relative densities were determined from field test values derived from Standard Penetration Testing resistance of the insitu soils. The results of the field and laboratory testing appear on the "Logs of Test Borings" opposite the sample tested. The Sieve Analyses Gradation charts are included in the Appendix of this report as Figures 13, 14 and 15.

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For the nuclear gauge, relative compaction testing of the surface soils at Freedom Field performed at 12 to 16 inches below grade, we collected soil samples at the bottom of the test pits to determine soil moisture contents in order to calculate the field densities. We also collected bulk soil samples from our test pits and performed two laboratory compaction curve tests. The laboratory field data upon which they are based are included in the Appendix of this report as Figures 16, 17 and 18.

Surface and Subsurface Conditions

Based upon our relative compaction testing, we found the near level surface of Freedom Field to be well compacted. The soils tested below 12 inches from surface grade were found to be very loose to well compacted indicating inconsistent moisture conditioning and compaction effort.

The fill soils placed at Freedom Field in 2012 were found to be primarily silty sands with some clays and gravels. The older layer of fill soil encountered below the recent fill soil soils was found to be primarily silty sand.

The native soils beneath Freedom Field were found to be medium dense to very dense, silty to poorly graded sands. These soils appeared to be undisturbed Aromas Sand Formation.

The soils below the proposed future ADA parking area, upslope of the eastern end of Freedom Field, were found to be loose to medium dense silty sands with near surface, seasonal groundwater. These soils appeared to be colluvium.

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The site soils are mapped as Pleistocene Eolian Sand of the Aromas Sand Formation; see the Regional Geologic Map. Figure 3 in the Appendix of this report.

Groundwater

We did not encounter groundwater in our exploratory Borings 1 through 6 drilled to 26.5 feet below grade on 20 December 2012 within the near level footprint of Freedom Field.

We did encounter wet soils from 3 feet below to 21.5 feet below grade at Boring 7 within the proposed future ADA parking area, upslope of the eastern end of the practice field. Upon terminating the boring drilled on 20 December 2012, we capped the borehole. We returned to the site on 4 January 2013 to find groundwater at 3 feet below grade.

It should be noted that groundwater levels may fluctuate due to variations in rainfall or other factors not evident during our investigation.

Regional Seismic Setting

California contains a broad system of strike-slip faults. Some of these faults have the potential to present a seismic hazard to the project site. The most important of these are the San Andreas, San Gregorio and Zayante Faults. These faults are either active or considered potentially active (Working Group on Northern California Earthquake Potential [WGNCEP] 1996).

San Andreas Fault

The proposed project lies about 6 miles southwest of the San Andreas Fault zone. This is a major fault zone of active displacement which extends from the

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Gulf of California to the vicinity of Point Arena, where the fault leaves the California coastline. Between these points, the fault is about 700 miles long. The fault zone is a break or series of breaks along the earth's crust, where shearing movement has taken place. This fault movement is primarily horizontal. The largest historic earthquake in Northern California occurred along the San Andreas Fault on 18 April 1906 ($M_{8.3+}$). The second largest earthquake last century, the 17 October 1989 Loma Prieta earthquake occurred along the Santa Cruz Mountain segment of the San Andreas Fault system.

Although it is uncertain whether the Santa Cruz Mountains segment has a characteristic earthquake independent of great San Andreas Fault earthquakes, the WGNCEP (1996) assumed an "idealized" earthquake of M_w 7.0 with the same right-lateral slip as the 1989 Loma Prieta earthquake, but having an independent segment recurrence interval of 138 years and a multi-segment recurrence interval of 400 years.

Zayante Fault

The Zayante Fault lies west of the San Andreas Fault and trends about 50 miles northwest from the Watsonville lowlands into the Santa Cruz Mountains.

The Zayante Fault is situated about 2 miles northeast of the project site and should be considered potentially active. The WGNCEP (1996) considers it capable of generating a M_w 6.8 earthquake with an effective recurrence interval of 8,800 years.

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San Gregorio Fault

The San Gregorio fault lies about 17 miles west of the project site and skirts the coastline of Santa Cruz County northward from Monterey Bay and trends onshore at Point Año Nuevo.

The WGNCEP (1996) divided the San Gregorio fault into the "San Gregorio" and "San Gregorio, Sur Region" segments. The segmentation boundary is located west of Monterey Bay. The San Gregorio segment is assigned a slip rate that results in a M_w 7.3 earthquake with a recurrence interval of 400 years.

Historical Seismicity

The epicenter of the 17 October 1989 Loma Prieta earthquake is located about 5 miles north-northwest of the project site.

Geologic Hazards

Liquefaction

During an earthquake, seismic waves travel through the earth and vibrate the ground. In cohesionless, granular materials having low relative density (loose to medium dense sands for example), this vibration can disturb the particle framework leading to increased compaction of the material and reduction of pore space between the framework grains. If the sediment is saturated, water occupying the pore spaces resists this compaction and exerts pore pressure that reduces the contact stress between the sediment grains. With continued shaking, transfer of intergranular stress to pore water can generate pore pressures great enough to cause the sediment to lose its strength and change from a solid state to a liquefied state. This mechanical transformation termed liquefaction can cause various kinds of ground failure at or near the ground surface.

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The liquefaction process typically occurs at depths less than 50 feet below the ground surface. Liquefaction can occur at deeper intervals, given the right conditions, however ground manifestations have been found to be relatively minor.

The project site is mapped as having a moderately low potential for liquefaction; see the Regional Liquefaction Map, Figure 4 in the Appendix of this report.

Based on the relatively high blow counts per foot of sampler penetration and the lack of groundwater encountered in our exploratory borings B1 through B6, there is a low potential for liquefaction to occur in the native soils below Freedom Field.

Exploratory boring B7 was drilled to 21.5 feet below existing grade within the proposed future ADA parking area, upslope of the eastern end of Freedom Field. We found wet, loose to medium dense sands. In January 2013 groundwater was at 3 feet below grade. We anticipate the groundwater level below the future ADA parking pad will drop during the summer and fall. A liquefaction analysis of the soils below the future ADA parking pad was beyond the scope of the investigation. Based on our prior experience, there is a high potential for liquefaction to occur below the ADA parking pad and the ADA pathway down to Freedom Field if severe seismic shaking occurs during or after the winter rain season. Liquefaction has the potential to induce settlement of the saturated sands and result in significant damage to the parking pad and pathway pavement sections. If severe seismic shaking occurs during the dry season, we expect there to be some soil densification of the loose sands resulting in settlement and damage of the parking pad area, but to a lesser degree than if the loose sands were saturated.

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To reduce the effects of seismically induced settlement, we recommend the ADA parking pad pavement section be supported by an engineered fill soil mat consisting of moisture conditioned, onsite soils compacted to at least 90 percent relative compaction at least 2 feet thick.

To reduce maintenance of the ADA pathway to Freedom Field, we recommend the pathway pavement section should be supported by at least 12 inches of moisture conditioned onsite soils compacted to at least 90 percent relative compaction.

Total and Differential Settlement

To estimate long term settlement of the Freedom Field sandy fill soils under their weight (no surcharge) as well as to estimate the dry settlement (volumetric compression) of the fill soils during severe seismic shaking, we correlated our insitu Standard Penetration Testing to percent volumetric compression or soil densification..

We utilized the 1993 Simple Settlement Chart by Krinitzsky ($a=0.5g$) as well as the 1972 Seed and Silver Settlement of Dry Sand analysis ($a=0.45$). Both analysis methods correlate Standard Penetration Testing (N_{60}) blows per foot to percent volumetric compression induced by seismic shaking. We estimate the potential settlement of the loose sands to be on the order of 0.5 percent (0.005) of their height

For example, at the southwest end of the playing field with fill soils to 10.5 feet below grade, we estimate the potential total settlement to be approximately 0.6 inches during an earthquake or overtime with no surcharge using a volumetric compression of 0.5 percent.

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With the lateral and vertical variation of soils and soil densities found throughout the Freedom Field uncontrolled fill soils, we cannot accurately estimate differential settlements over a defined distance.

The effects total and differential settlement at the site can be mitigated by compaction of the top 2 feet of existing fill soils to at least 90 percent relative compaction.

Surface Displacement

The potential for surface displacement within the project site due to either earthquake fault rupture or liquefaction lateral spreading is very low.

Building Codes

The proposed project should conform to the following current building codes:

- 2010 California Building Code (CBC); and
- 2010 Green Building Standards Code (CALgreen).

2010 CBC Site Class

In accordance with Section 1613.5.2 of the 2010 California Building Code (CBC), the project site should be assigned the Site Class D.

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DISCUSSIONS, CONCLUSIONS AND RECOMMENDATIONS

Based on the results of our investigation, a stable playing field can be established at Freedom Field provided the recommendations outlined in this report are incorporated into the design of the project Grading and Drainage Plan; and adhered to during the remedial earthwork and drainage improvements construction to mitigate the uncontrolled fill soils. The recommendations outlined in this report will provide a stable playing field surface, minimize settlement of the fill soils under their own weight, reduce the settlement from seismic shaking and stabilize the field slopes to minimize erosion.

We understand no buildings or habitable structures are proposed for Freedom Field.

Based upon our field and laboratory testing, the primary geotechnical concerns at Freedom Field in its existing state are:

- Erosion and shallow slumping of the uncontrolled fill slopes below the west and southwest perimeters of the playing field due to saturation and overland sheet flow;
- Erosion and destabilization of the seasonally saturated slope face above the east perimeter of the field;
- Potential settlement of the uncontrolled fill soils both within the near level playing field area and the slopes below;
- Control of playing field storm water runoff; and
- Control of subsurface seepage along the east perimeter of the playing field to reduce seasonal ponding across the east end of the playing field.

To stabilize the Freedom Field uncontrolled fill soils and the 5 feet high slope

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above the eastern perimeter of the practice field, we recommend the following:

- a. The fill slopes below the western and southwestern perimeters of the practice field should be cut back a minimum of 4 feet from the top to the bottom. The exposed native soil surface at the bottom should be scarified to a depth of 6 inches; moisture conditioned, and compacted to at least 90 percent relative compaction. The project contractor will need to accommodate underground utilities in this area. The excavated soils should be moisture conditioned and replaced in thin, level lifts not exceeding 8 inches in loose thickness; and compacted to at least 90 percent relative compaction to restore the project site slopes. We anticipate it will be necessary to overbuild and then cutback the compacted slopes to achieve at least 90 percent relative compaction at the surface of the finished slopes. Finish slope gradients should be 2:1(H:V) or less steep;
- b. The top 18 inches of the near level practice field soils should be removed and stockpiled on site. The exposed soils of the practice field should be moisture conditioned, and compacted to at least 90 percent relative compaction. The stockpiled soils should be replaced in thin lifts not exceeding 8 inches in loose thickness; moisture conditioned, and compacted to at least 90 percent relative compaction to achieve a minimum 2 feet thick mantle of engineered fill across the practice field;
- c. A curtain drain system should be installed along the eastern perimeter of the practice field to collect seepage from slope above and convey the collected seepage away from the practice field to a suitable detention/retention facility by gravity flow. The curtain drain should consist of a trench excavated at least 2 feet below adjacent grade with the bottom sloped to drain and a perforated pipe with the holes down should placed along the trench bottom. The trench should be backfilled with

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mechanically compacted, Caltrans Permeable Material, Class 1, Type A. The curtain drain system should be designed by the project civil engineer; and

- d. The project site slope above the eastern perimeter of Freedom Field should be cut back a minimum of 4 feet from the top to the bottom. The exposed native soil surface at the bottom should be scarified to a depth of 6 inches; moisture conditioned, and compacted to at least 90 percent relative compaction. The excavated soils should be moisture conditioned and replaced in thin, level lifts not exceeding 8 inches in loose thickness; and compacted to at least 90 percent relative compaction to restore the project site slope. A drainage system consisting of Caltrans Permeable Material Class 1, Type A and perforated pipe should be placed between the engineered fill and native slope to collect and convey seepage away from the engineered fill slope to a suitable detention/retention facility by gravity flow.. We anticipate it will be necessary to overbuild and then cutback the compacted slope to achieve at least 90 percent relative compaction at the surface of the finished slope. Due to the near surface seasonal groundwater present above the east end of Freedom Field, the finish slope gradient should be 3:1(H:V) or less steep.

To increase the bearing capacity of the loose sandy soils encountered within the ADA parking area and reduce the effects of seismically induced settlement, we recommend the ADA parking pad pavement section be supported by engineered fill soil mat consisting of moisture conditioned onsite soils compacted to at least 90 percent relative compaction at least 2 feet thick. When properly moisture conditioned, the onsite soils may be used for engineered fill. The top 12 inches of the 2 feet thick engineered fill soil mat should be compacted to at least 95 percent relative compaction. The soil mat should extend at least 2 feet laterally

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beyond the pavement section perimeters.

To mitigate the loose, near surface soils found above the eastern end of Freedom Field and to reduce maintenance of the ADA pathway to Freedom Field, we recommend the pathway pavement section should be supported by at 12 inches of moisture conditioned onsite soils compacted to at least 90 percent relative compaction. The compacted soil should extend at least 1 foot laterally beyond the pathway pavement section perimeters.

The following recommendations should be used as guidelines for preparing project plans and specifications:

General Project Site Grading

1. The geotechnical engineer should be notified at least four (4) working days prior to any site clearing, grading or foundation excavation so that the work in the field can be coordinated with the grading contractor and arrangements for testing and observation can be made. The recommendations of this report are based on the assumption that the geotechnical engineer will perform the required testing and observation during grading and construction. It is the owner's responsibility to make the necessary arrangements for these required services.
2. Where referenced in this report, Percent Relative Compaction and Optimum Moisture Content shall be based on ASTM Test Designation D1557-current.
3. Areas to be graded should be cleared of all obstructions including loose fill or other unsuitable material. Existing depressions or voids created during site clearing should be backfilled with engineered fill.

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4. Cleared areas should then be stripped of organic-laden topsoil. Stripping depth should be from 2 to 4 inches. Actual depth of stripping should be determined in the field by the geotechnical engineer. Strippings should be wasted off-site or stockpiled for use in landscaped areas if desired.

5. Areas to receive engineered fill should be scarified to a depth of 6 inches, moisture conditioned, and compacted to at least 90 percent relative compaction. Portions of the site may need to be moisture conditioned to achieve suitable moisture content for compaction. These areas may then be brought to design grade with engineered fill.

6. Engineered fill should be placed in thin lifts not exceeding 8 inches in loose thickness; moisture conditioned, and compacted to at least 90 percent relative compaction.

7. We recommend at least one relative compaction test be performed per vertical foot of engineered fill placed per 2,500 square feet of area. Laboratory compaction curve testing should be performed as needed to accurately determine the relative compaction of the remedial earthwork recommended for Freedom Field and the proposed ADA improvements.

8. Project site grading will be most efficiently and economically performed if the site soils are allowed to dry to near or below the optimum moisture content, as determined by laboratory compaction curve testing, before grading operations begin. The near surface fill soils at Freedom Field were found to be primarily silty sands with some clays and gravels. It will be more efficient to moisture condition dry soils to achieve at least 90 percent relative compaction at the project site than to dry the soils during grading operations to achieve minimum compaction.

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9. If grading for the ADA improvements is performed during or shortly after the rainy season, the grading contractor may encounter compaction difficulty, such as pumping or bringing free water to the surface. If compaction cannot be achieved after adjusting the soil moisture content, it may be necessary to over-excavate the subgrade soil and replace it with mechanically compacted angular crushed rock to stabilize the subgrade. We estimate that the depth of overexcavation would be approximately 24 inches under these adverse conditions.

10. The onsite soils generally appear suitable for use as engineered fill when properly moisture conditioned. Import soils utilized as engineered fill at the project site should:

- 1) Be free of wood, organic debris and other deleterious materials;
- 2) Not contain rocks or clods greater than 2.5 inches in any dimension;
- 3) Not contain more than 25 percent of fines passing the #200 sieve;
- 4) Have a Sand Equivalent greater than 18;
- 5) Have a Plasticity Index less than 15;
- 6) Have an R-Value of not less than 30; and
- 7) Be approved by the project geotechnical engineer. Contractor should submit to the geotechnical engineer samples of import material or utility trench backfill for compliance testing a minimum of 4 days before it is delivered.

11. Additional soils will be needed to be imported to establish the playing field surface turf. The composition of the top 6 inches of the practice field soils should be determined by a playing field turf expert. The top 6 inches of the practice field soils should be compacted to between 85 and 90 percent relative compaction to foster root growth or as advised by a playing field turf expert.

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12. We estimate a shrinkage factor of approximately 10 percent of insitu dry unit weight for the loose near surface, sandy soils found below the ADA parking pad area when used in engineered fills compacted to at least 90 percent relative compaction.

13. Following grading, all exposed slopes should be planted with erosion resistant vegetation. The seeds should be watered to promote germination and as needed to promote growth until the winter rainy season. Seeds should be protected from birds and the elements by a layer of straw. Seeds and straw placed on slopes steeper than 20 percent should be covered by staked, erosion control netting.

14. After the earthwork operations have been completed and the geotechnical engineer has finished his observation of the work, no further earthwork operations shall be performed except with the approval of and under the observation of the geotechnical engineer.

Freedom Field Remedial Grading

15. To stabilize the Freedom Field uncontrolled fill soils we recommend the fill slopes below the western and southwestern perimeters of the practice field should be cut back a minimum of 4 feet from the top to the bottom. The exposed native soil surface at the bottom should be scarified to a depth of 6 inches; moisture conditioned, and compacted to at least 90 percent relative compaction. The project contractor will need to accommodate underground utilities in this area. The excavated soils should be moisture conditioned and replaced in thin, level lifts not exceeding 8 inches in loose thickness; and compacted to at least 90 percent relative compaction to restore the project site slopes. We anticipate it will be necessary to overbuild and then cutback the compacted slopes to achieve

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at least 90 percent relative compaction at the surface of the finished slopes. Finish slope gradients should be 2:1(H:V) or less steep.

16. The top 18 inches of the near level practice field soils should be removed and stockpiled on site. The exposed soils of the practice field should be moisture conditioned, and compacted to at least 90 percent relative compaction. The stockpiled soils should be replaced in thin lifts not exceeding 8 inches in loose thickness; moisture conditioned, and compacted to at least 90 percent relative compaction to achieve a minimum 2 feet thick mantle of engineered fill across the practice field.

Freedom Field Accessory Structures Foundations

17. Future accessory structures at Freedom Field such as bleachers should be supported by foundation elements which penetrate the uncontrolled fill soils at depth and achieve bearing within the medium dense to dense, native soils below.

Slope above Eastern Perimeter of Freedom Field Remedial Grading

18. To stabilize the 5 feet high slope above the eastern perimeter of Freedom Field and reduce the volume of groundwater seepage emitting from the slope each winter and spring we recommend the slope should be cut back a minimum of 4 feet from the top to the bottom. The exposed native soil surface at the bottom should be scarified to a depth of 6 inches; moisture conditioned, and compacted to at least 90 percent relative compaction. The excavated soils should be moisture conditioned and replaced in thin, level lifts not exceeding 8 inches in loose thickness; and compacted to at least 90 percent relative compaction to restore the project site slopes. A drainage system consisting of Caltrans Permeable Material Class 1, Type A and perforated pipe should be placed between the engineered fill and native slope to collect and convey

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seepage away from the engineered fill slope to a suitable detention/retention facility by gravity flow. We anticipate it will be necessary to overbuild and then cutback the compacted slope to achieve at least 90 percent relative compaction at the surface of the finished slope. Due to the near surface seasonal groundwater present above the east end of Freedom Field, the finish slope gradient should be 3:1(H:V) or less steep for long term stability.

ADA Parking and the ADA Pathway to Freedom Field

19. To increase the bearing capacity of the loose sandy soils encountered within the ADA parking area and reduce the effects of seismically induced settlement, we recommend the ADA parking pad pavement section be supported by an engineered fill soil mat consisting of moisture conditioned, onsite soils compacted to at least 90 percent relative compaction at least 2 feet thick. When properly moisture conditioned, the onsite soils may be used for engineered fill. The top 12 inches of the 2 feet thick engineered fill soil mat should be compacted to at least 95 percent relative compaction. The soil mat should extend at least 2 feet laterally beyond the pavement section perimeters.

20. To mitigate the loose, near surface soils found above the eastern end of Freedom Field and to reduce maintenance of the ADA pathway to Freedom Field, we recommend the pathway pavement section should be supported by at 12 inches of moisture conditioned onsite soils compacted to at least 90 percent relative compaction. The compacted soil should extend at least 1 foot laterally beyond the pathway pavement section perimeters.

21. Design of the ADA parking pad pavement section and the ADA pathway to Freedom Field pavement section were beyond our designated scope of work. In general, asphaltic concrete and aggregate base should conform to and be placed in accordance with the Caltrans Standard Specifications, latest edition, except

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that the test method for compaction should be determined by ASTM D1557-current.

Site Drainage

22. Thorough control of runoff is essential to the performance of the project. The surface of Freedom Field should be sloped to minimize ponding and to drain to suitable collection facilities as determined by the project civil engineer.

23. Surface drainage should include provisions for positive gradients so that surface runoff is not permitted to flow onto the slope below the perimeter of Freedom Field.

24. A curtain drain system should be installed along the eastern perimeter of Freedom Field to collect seepage from slope above and convey the collected seepage away from the practice field to a suitable detention/retention facility by gravity flow. The curtain drain should consist of a trench excavated at least 2 feet below adjacent grade with the bottom sloped to drain and a perforated pipe with the holes down should be placed along the trench bottom. The trench should be backfilled with mechanically compacted, Caltrans Permeable Material, Class I, Type A. The curtain drain system should be designed by the project civil engineer.

25. The slope face above the east perimeter of Freedom Field will be reconstructed using level lifts of engineered fill. To maintain the integrity of the engineered fill soils, we recommend a drainage system consisting of Caltrans Permeable Material Class 1, Type A and perforated pipe be placed between the engineered fill and the native slope; to collect and convey seepage away from the engineered fill slope to a suitable detention/retention facility by gravity flow.

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Erosion Control

26. Following grading, the slopes below and above the practice field should be planted with erosion resistant vegetation and the vegetation established prior to the winter rainy season. Seeds should be protected from birds and the elements by a layer of straw. Seeds and straw placed on slopes steeper than 20 percent should be covered by staked, erosion control netting.

Plan Review, Construction Observation, and Testing

27. Our firm should be provided the opportunity for a general review of the final project plans prior to construction so that our geotechnical recommendations may be properly interpreted and implemented. If our firm is not accorded the opportunity of making the recommended review, we can assume no responsibility for misinterpretation of our recommendations. We recommend that our office review the project plans prior to submittal to public agencies, to expedite project review. The recommendations presented in this report require our review of final plans and specifications prior to construction and upon our observation and, where necessary, testing of the earthwork and foundation excavations. Observation of project grading and excavations allows anticipated soil conditions to be correlated to those actually encountered in the field during construction.

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LIMITATIONS AND UNIFORMITY OF CONDITIONS

1. The recommendations of this report are based upon the assumption that the soil conditions do not deviate from those disclosed in the borings. If any variations or undesirable conditions are encountered during construction, or if the proposed construction will differ from that planned at the time, our firm should be notified so that supplemental recommendations can be given.
2. This report is issued with the understanding that it is the responsibility of the owner, or his representative, to ensure that the information and recommendations contained herein are called to the attention of the Architects and Engineers for the project and incorporated into the plans, and that the necessary steps are taken to ensure that the Contractors and Subcontractors carry out such recommendations in the field. The conclusions and recommendations contained herein are professional opinions derived in accordance with current standards of professional practice. No other warranty expressed or implied is made.
3. The findings of this report are valid as of the present date. However, changes in the conditions of a property can occur with the passage of time, whether they be due to natural processes or to the works of man, on this or adjacent properties. In addition, changes in applicable or appropriate standards occur whether they result from legislation or the broadening of knowledge. Accordingly, the findings of this report may be invalidated, wholly or partially, by changes outside our control. Therefore, this report should not be relied upon after a period of three years without being reviewed by a geotechnical engineer.

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APPENDIX

Aerial Photo Site Plan – Google Earth

USGS Site Location Map

Regional Geologic Map

Regional Liquefaction Map

Boring Site Plan w/Relative Compaction Tests

Logs of Test Borings

Sieve Analyses Gradation Charts

Compaction Testing Data



PROJECT LOCATION



AERIAL PHOTO SITE PLAN

Existing Freedom Field and Future ADA Parking Area
 Aptos High School, 100 Mariner Way, Aptos APN 040-291-37
 Santa Cruz County, California

SCALE: no scale

Image from Google Earth, dated 6 May 2012

DRAWN BY: JD

DATE: February 2013

REVISED:

JOB NO. SC10423

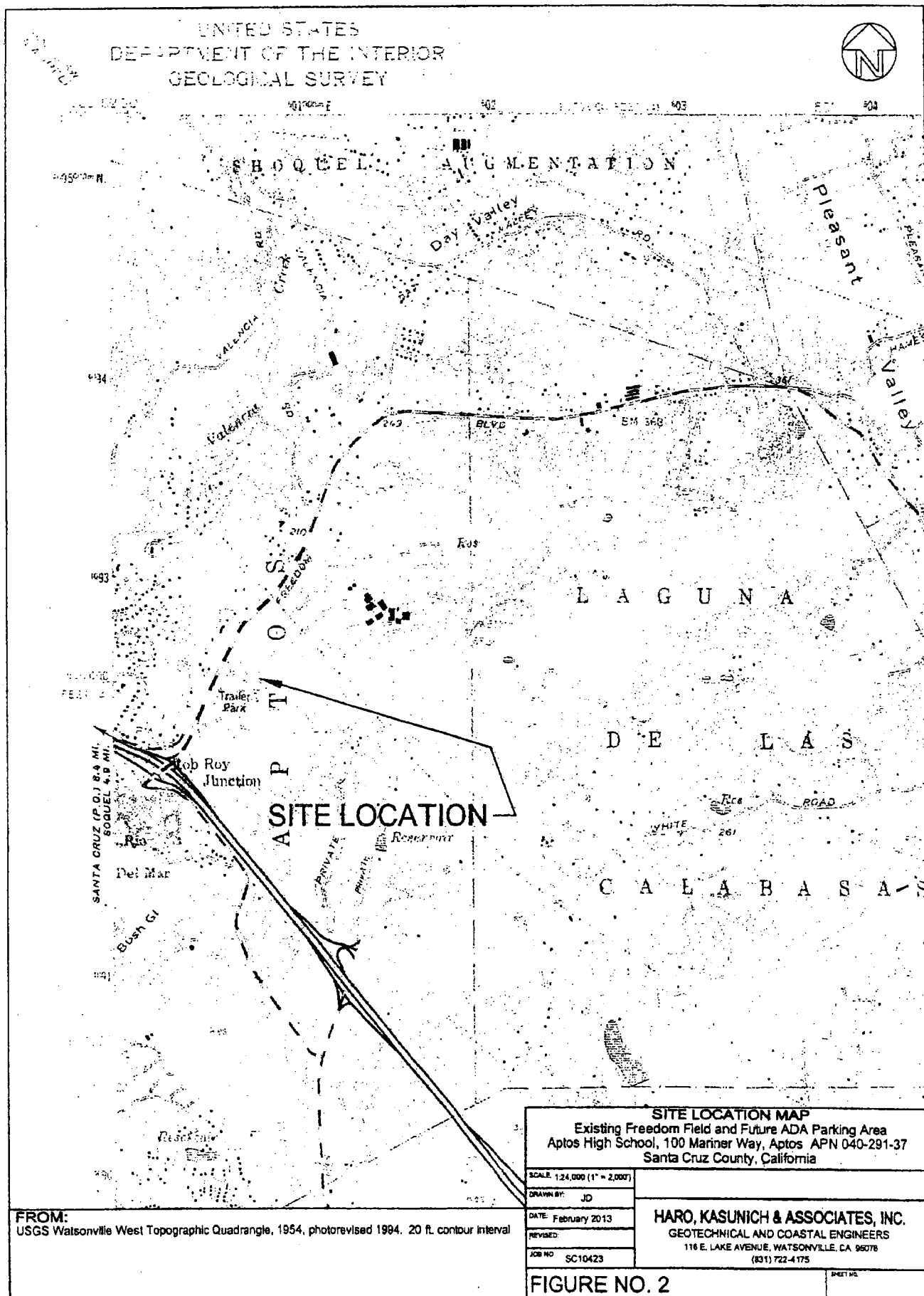
HARO, KASUNICH & ASSOCIATES, INC.
 GEOTECHNICAL AND COASTAL ENGINEERS
 118 E. LAKE AVENUE, WATSONVILLE, CA 95076
 (831) 722-4175

FIGURE NO. 1

SHEET NO.

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EXHIBIT D





KEY:

- Qar** Arroyos Sand, undivided (Pleistocene)—Heterogeneous sequence of mainly eolian and fluvial sand, silt, clay, and gravel. Several angular unconformities present in unit, with older deposits more complexly jointed, folded, and faulted than younger deposits. Total thickness may be more than 800 ft. Locally divided into:
- Qae** Eolian lithofacies—Moderately well sorted eolian sand. Highly variable degree of consolidation owing to differential weathering. May be as much as 200 ft thick without intervening fluvial deposits. Several sequences may be present, separated by paleosols. Upper 10 to 20 ft of each dune sequence is oxidized and relatively indurated, with all primary structures destroyed by weathering. Lower part of each dune sequence below weathering zone may be essentially unconsolidated.
- Qaf** Fluvial lithofacies—Semi-consolidated, heterogeneous, moderately to poorly sorted silt, clay, silt, sand, and gravel. Deposited by meandering and braided streams. Includes beds of relatively well sorted gravel ranging from 10 to 20 ft thick. Clay and silt clay layers, locally as much as 2 ft thick, occur in unit. Locally includes buried soils, high in expansive clays, as much as 14 ft thick.
- Qtc** Continental deposits, undifferentiated (Pleistocene and Pliocene?)—Semi-consolidated, fine-grained, oxidized sand and silt. Generally underlie fluvial lithofacies of Arroyos Sand (Qar). May represent highly weathered eolian deposits formed on Purisima Formation. Thickness approximately 300 ft.
- Qf** Colluvium (Holocene)—Unconsolidated, heterogeneous deposits of moderately to poorly sorted silt, sand, and gravel. Deposited by slope wash and mass movement. Minor fluvial reworking. Locally includes numerous landslide deposits and small alluvial fans. Contacts generally gradational. Locally grades into fluvial deposits. Generally more than 5 ft thick.

SITE LOCATION

FROM:

GEOLOGIC MAP OF SANTA CRUZ COUNTY, CALIFORNIA

Compiled by
Barl E. Brabb

Digital Database Prepared by S. Graham, C. Wentworth, D. Kufong, R. Graymer and J. Blissenbach

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REGIONAL GEOLOGIC MAP

Existing Freedom Field and Future ADA Parking Area
Aptos High School, 100 Manner Way, Aptos APN 040-291-37
Santa Cruz County, California

SCALE: NO SCALE

DRAWN BY: JD

DATE: February 2013

REVISED:

JOB NO: SC10423

HARO, KASUNICH & ASSOCIATES, INC.

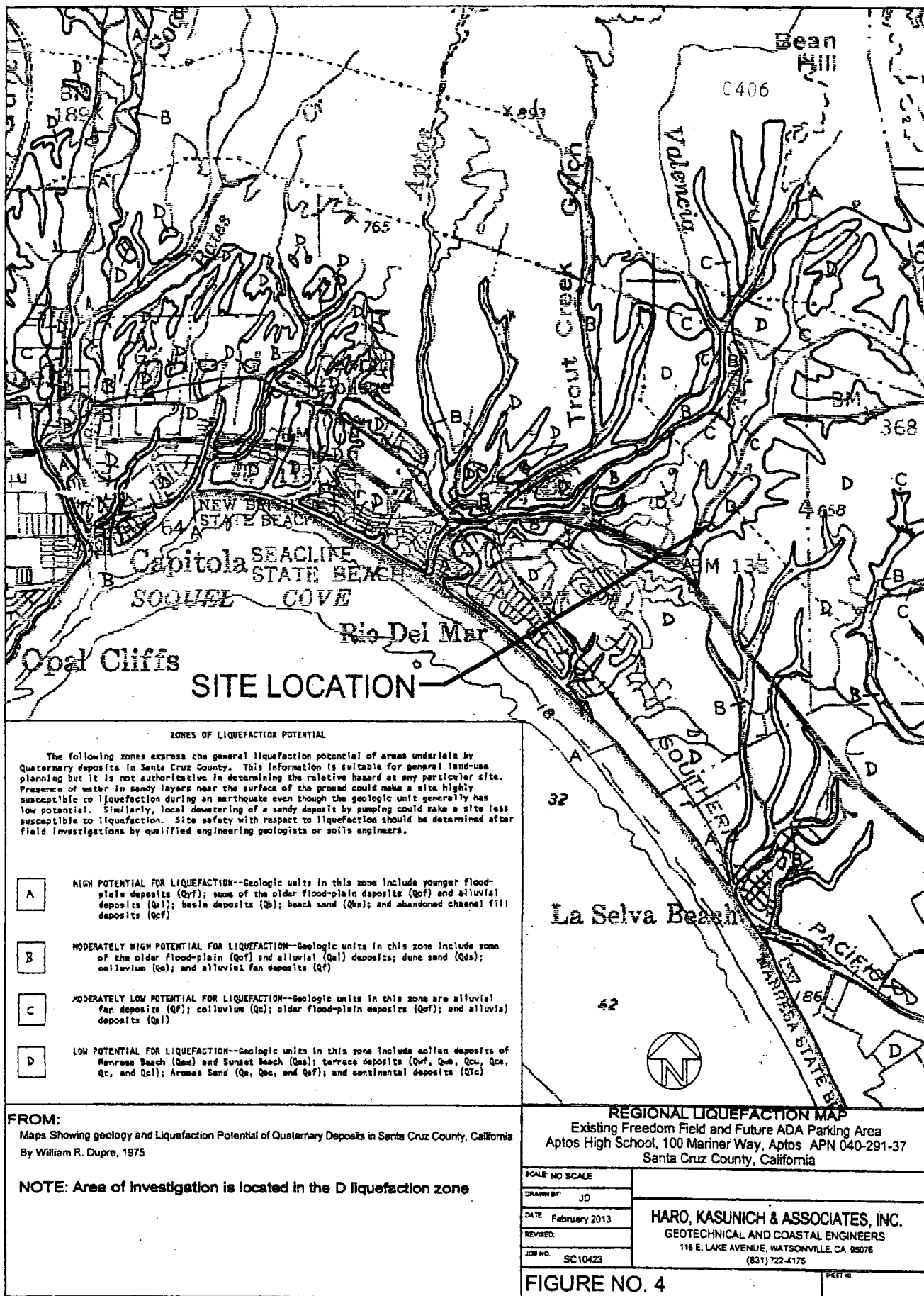
GEOTECHNICAL AND COASTAL ENGINEERS

116 E. LAKE AVENUE, WATSONVILLE, CA 95076

(831) 722-4173

FIGURE NO. 3

SHEET NO.



LEGEND:

- = SOIL BORING LOCATION
 = COMPACTION TESTS LOCATION 20 DEC 2012

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0407

PAGE FROM SLOPE FACE

@ 3FT B.G.
4 JAN 2013

B-7

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF FREEDOM BOULEVARD AS DETERMINED FROM RAILROAD SPIRES FOUND ON THE CENTERLINE OF FREEDOM BOULEVARD NEAR THE ENTRANCE OF APTOS HIGH SCHOOL - N 25°47' E.

BORING & COMPACTION TEST LOCATIONS PLAN
Existing Freedom Field and Future ADA Parking Area
APN 041-291-37
Aptos High School, 100 Mariner Way, Aptos, California

SCALE: 1" = 60'

DRAWN BY: JD

DATE: February 2013

REVISED:

JOB NO. SC10423

topographic plan from Bowman & Williams, dated 29 Nov. 2012

HARO, KASUNICH & ASSOCIATES, INC.
GEOTECHNICAL AND COASTAL ENGINEERS
118 E. LAKE AVENUE, WATSONVILLE, CA 95078
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FIGURE NO. 5

SHEET NO.



Aptos High School Freedom Field

PROJECT NO. SC10423

LOGGED BY RPDATE DRILLED December 20, 2012 BORING DIAMETER 4" SSBORING NO. B-1

Depth, ft.	Sample No. and type	Symbol	SOIL DESCRIPTION	Unified Soil Classification	Blows/foot 350 ft. - lbs.	Qu - ts.f. Penetrometer	Dry Density p.c.f.	Moisture % dry wt.	MISC. LAB RESULTS
0									
1-1 (T)			Brown Silty SAND, moist, loose	SM	9				
1-2 (T)			Grey/black Clayey SAND, moist, loose	SC	6				
1-3 (T)			Grey Silty SAND with bedrock fragments and few fine roots, moist, medium dense	SM	21				
1-4 (T)			Grey Silty SAND, moist, loose to medium dense.		11				
1-5 (T)			Brown Clayey SAND Grey Silty SAND with few bedrock fragments, moist, medium dense	SC	22				
			Base of fill soils	SM					
			Red brown Silty SAND @ 13 feet b.g.						
1-6 (T)			Brown, medium grain SAND, moist, dense	SP	36				
1-7 (T)			Aromas SANDS, moist, very dense		65				
1-8 (T)			Aromas SANDS, moist, very dense	SP	58				
			Boring terminated at 26.5 feet						
35									

HARO, KASUNICH AND ASSOCIATES, INC.

BY: dk

FIGURE NO. 6



Aptos High School Freedom Field

PROJECT NO. SC10423

 LOGGED BY RP DATE DRILLED December 20, 2012 BORING DIAMETER 4" SS BORING NO. B-2

Depth, ft.	Sample No. and type Symbol	SOIL DESCRIPTION	Unified Soil Classification	Blows/foot 360 ft - lbs.	Qu - ts.f. Penetrometer	Dry Density p.c.f.	Moisture % dry wt.	MISC. LAB RESULTS
0								
2-1 (T)		Brown Silty SAND, very moist, loose	SM	7			19	
		Grey Clayey SAND, moist, loose	SC					
2-2 (T)		Olive brown Silty Clayey SAND with few fine Gravels, moist, medium dense	SM	18			19	Sieve Analysis
2-3 (T)		Grey Silty SAND with few Gravels and scattered organics, moist, medium dense		18			15	
		Orange brown Silty SAND, moist, medium dense						
2-4 (T)		Base of fill soils		22			8	
		Rusty, brown, poorly graded SAND, moist, medium dense		35			10	Sieve Analysis
2-5 (T)		Moist, dense						
2-6 (T)		Red brown, medium grain SAND, moist, dense	SP	41			12	
		Boring terminated at 16.5 feet						
35								

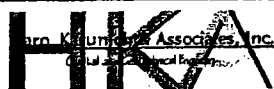
HARO, KASUNICH AND ASSOCIATES, INC.

BY: dk

FIGURE NO. 7

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ERIK D



Aptos High School Freedom Field

PROJECT NO. SC10423

LOGGED BY RP DATE DRILLED December 20, 2012 BORING DIAMETER 4" SS BORING NO. B-3

Depth, ft	Sample No. and type	Symbol	SOIL DESCRIPTION	Unified Soil Classification	Blows/foot 350 ft - lbs.	Qu - t.s.f. Penetrometer	Dry Density p.c.f.	Moisture % dry wt.	MISC. LAB RESULTS
0									
3-1	(T)		Dark brown Silty fine SAND with Bedrock fragments, moist, medium dense	SM	18				
3-2	(T)		Dark brown Silty SAND, moist, medium dense		20				
5			Driller - wood debris @ 4.5 feet		24				
3-3	(T)		Dark brown Silty SAND with few Gravels						
			Base of new fill						
3-4	(T)		Brown slightly SILT, medium grain SAND, moist, medium dense old fill soil layer	SM	14				
10	3-5	(T)	Brown medium grain SAND, moist, medium dense		26				
15	3-6	(T)	Red brown poorly graded SAND, moist, dense	SP	74				
			Boring terminated at 13.5 feet						
15									
20									
25									
30									
35									

HARO, KASUNICH AND ASSOCIATES, INC.

BY: dk

FIGURE NO. 8



Aptos High School Freedom Field

PROJECT NO. SC10423

LOGGED BY RP DATE DRILLED December 20, 2012 BORING DIAMETER 4" SS BORING NO. B-4

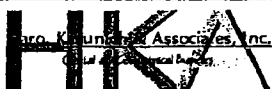
Depth, ft.	Sample No. and type	Symbol	SOIL DESCRIPTION	Unified Soil Classification	Blows/foot 350 ft. - lbs.	Qu - ts.f. Penetrometer	Dry Density p.c.f.	Moisture % dry wt.	MISC. LAB RESULTS
0									
4.1 (T)			Dark brown Silty SAND, moist, medium dense	SM	19			14	
4.2 (T)			Dark grey Silty SAND, moist, loose		10			17	
4.3 (T)			Brown SAND with Clay Clumps, moist, medium dense					9	
			Base of new fill	SM					
4.4 (T)			Brown medium grain SAND, loose to medium dense (old fill)	SM	40			7	
			Red brown, slightly Silty SAND, moist, dense (Native)						
4.5 (T)			Red brown medium grain SAND, moist, dense		51				
			Boring terminated at 13.5 feet						
15									
20									
25									
30									
35									

HARO, KASUNICH AND ASSOCIATES, INC.

BY: dk

FIGURE NO. 9

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Aptos High School Freedom Field

PROJECT NO. SC10423

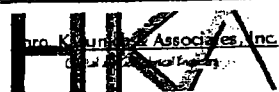
 LOGGED BY RP DATE DRILLED December 20, 2012 BORING DIAMETER 4" SS BORING NO. B-5

Depth, ft.	Sample No. and type	Symbol	SOIL DESCRIPTION	Unified Soil Classification	Blows/foot 350 ft - lbs.	Qu - Ts.f. Penetrometer	Dry Density p.c.f.	Moisture % dry wt.	MISC. LAB RESULTS
0			Brown Silty SAND with angular Gravels	SM					
1	5-1 (T)		Grey Clayey SAND - Base of new fill	SC	13			12	
2			Brown, slight SILT, medium grain SAND, moist, medium dense (old fill)	SM					
3	5-2 (T)		Dark brown Silty Clayey SAND, moist, loose (old fill)		8			17	
4			Base of old fill						
5	5-3 (T)		Red brown medium grain SAND, moist, medium dense (Native)	SM	23			9	
6									
7	5-4 (T)		Red brown medium grain SAND with Clay binder, moist, very dense	SC-SP	73			20	
8									
9			Boring terminated at 9.5 feet						
10									
11									
12									
13									
14									

HARO, KASUNICH AND ASSOCIATES, INC.

BY: dk

FIGURE NO. 10



Aptos High School Freedom Field

PROJECT NO. SC10423

 LOGGED BY RP DATE DRILLED December 20, 2012 BORING DIAMETER 4" SS BORING NO. B-6

Depth, ft.	Sample No. and type	Symbol	SOIL DESCRIPTION	Unified Soil Classification	Blows/foot 360 ft - lbs.	Qu - ts.f. Penetrometer	Dry Density p.c.f.	Moisture % dry wt.	MISC. LAB RESULTS
0			Brown Silty SAND	SM					
1									
2	B-1 (T)		Base of new fill Red brown Silty, medium grain SAND, moist, medium dense (Native - old fill?)	SM	18				
3									
4	B-2 (T)		Red brown SAND, moist, medium dense		22				
5									
6	B-3 (T)		Brown medium grain SAND, medium dense	SP	27				
7									
8									
9	B-4 (T)		Brown medium grain SAND, moist, dense	SP	43				
10			Boring terminated at 9.5 feet						
11									
12									
13									
14									

HARO, KASUNICH AND ASSOCIATES, INC.

BY: dk

FIGURE NO. 11

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EXHIBIT D !



Aptos High School Freedom Field

PROJECT NO. SC10423

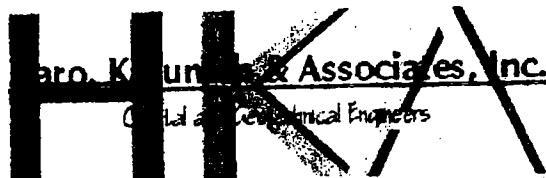
LOGGED BY RPDATE DRILLED December 20, 2012 BORING DIAMETER 4" SSBORING NO. B-7

Depth, ft.	Sample No. and type	Symbol	SOIL DESCRIPTION	Unified Soil Classification	Blows/foot 350 ft - lbs.	Qu - t.s.f. Penetrometer	Dry Density p.c.f.	Moisture % dry wt.	MISC. LAB RESULTS
0									
7-1 (T)			Black, Silty SAND, moist, loose	SM	8				
			3 January 2013		6				
7-2 (T)			Dark brown Silty SAND, wet, loose		6				
5				SC	6				
7-3 (T)			Dark brown Clayey SAND, wet, loose		10				
10				SM	13			18	
7-4 (T)			Brown Clayey SAND, loose, wet						
7-5 (T)			Brown Silty SAND, wet, medium dense						
15					15			19	
7-6 (T)			Dark orange brown Silty SAND with Clay						
			Orange brown Silty SAND with Clay binder, wet, medium dense						
20					16			19	Sieve Analysis
7-7 (T)									
			Boring terminated at 21.5 feet Boring left open & capped 20 Dec 2012 Water @ -3 ft on 4 January 2013 - boring backfilled Water seeping from entire slope face above east end of field						
25									
30									
35									

HARO, KASUNICH AND ASSOCIATES, INC.

BY: dk

FIGURE NO. 12



Sieve Analysis				Project Name: AHS Lwr Exstng Prc. Field	
				File No.: SC 10423	
Moisture Density				Sample No.: 7-7	
Height Of Sample (in) or Enter "Bag"		Bag	Date: January 18, 2013		
Tare No.		183	By: MA		
Gross Wet Weight		414.2	Sample Description:		
Gross Dry Weight		360.4	Orange Brown Silty Sand w/ clay binder		
Tare Weight		71.6			
Net Dry Weight		288.8	Group Symbol:		SM
Weight of Water		53.8	Gravel Content:		3.1%
% Moisture		18.6%	Sand Content:		78.0%
Dry Density		#VALUE!	Fines Content:		18.9%
Sieve	Weight Retained	% Retained	Cumulative Percent		Specs
			Retained	Passing	
1 1/2"	0.0	0.0%	0.0%	100.0%	
1"	0.0	0.0%	0.0%	100.0%	
3/4"	0.0	0.0%	0.0%	100.0%	
1/2"	0.0	0.0%	0.0%	100.0%	
3/8"	6.5	2.3%	2.3%	97.7%	
No. 4	2.5	0.9%	3.1%	96.9%	
No. 8	1.7	0.6%	3.7%	96.3%	
No. 16	1.8	0.6%	4.3%	95.7%	
No. 30	8.5	2.9%	7.3%	92.7%	
No. 50	96.0	33.2%	40.5%	59.5%	
No. 100	95.5	33.1%	73.6%	26.4%	
No. 200	21.8	7.5%	81.1%	18.9%	
Pan	54.2	0.3	18.9%	100.0%	0.0%
Total	288.8	100.0%		100.0%	
Before	288.8		After		
Dry Wt.			Dry Wt.		306.2
Tare			Tare		71.6
			234.6		

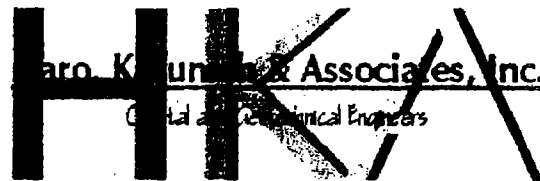
Haro Kasunich and Associates
Geotechnical and Coastal Engineers

Figure No. 13

Test Report Prepared By HKA Lab
1/18/2013

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EXHIBIT D

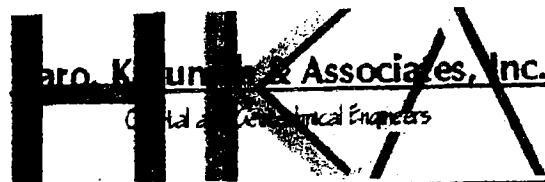


Sieve Analysis				Project Name: AHS Lwr Existing Proc. Field	
Moisture Density				File No.:	SC 10423
Sample No.:				2-5	
Height Of Sample (in) or Enter "Bag"		Bag	Date: January 18, 2013		
Tare No.		201	By: MA		
Gross Wet Weight		354.5	Sample Description:		
Gross Dry Weight		329.4	Rusty Brown Poorly-Graded Sand		
Tare Weight		82.0	Group Symbol: SP		
Net Dry Weight		247.4	Gravel Content: 0.0%		
Weight of Water		25.1	Sand Content: 95.1%		
% Moisture		10.1%	Fines Content: 4.9%		
Dry Density		#VALUE!			
Sieve	Weight Retained	% Retained	Cumulative Percent		Specs
			Retained	Passing	
1 1/2"	0.0	0.0%	0.0%	100.0%	
1"	0.0	0.0%	0.0%	100.0%	
3/4"	0.0	0.0%	0.0%	100.0%	
1/2"	0.0	0.0%	0.0%	100.0%	
3/8"	0.0	0.0%	0.0%	100.0%	
No. 4	0.0	0.0%	0.0%	100.0%	
No. 8	0.0	0.0%	0.0%	100.0%	
No. 16	0.1	0.0%	0.0%	100.0%	
No. 30	38.5	15.6%	15.6%	84.4%	
No. 50	156.2	63.1%	78.7%	21.3%	
No. 100	34.8	14.1%	92.8%	7.2%	
No. 200	5.6	2.3%	95.1%	4.9%	
Pan	12.1	0.1	4.9%	100.0%	0.0%
Total	247.4	100.0%		100.0%	
Before	247.4		After		
Dry Wt.			Dry Wt.	317.3	
Tare			Tare	82	
			235.3		

Haro Kasunich and Associates
Geotechnical and Coastal Engineers

Figure No. 14

Test Report Prepared By HKA Lab
1/18/2013



Sieve Analysis				Project Name: AHS Lwr Exstng Prc. Field	
Moisture Density				File No.: SC 10423	
Height Of Sample (in) or Enter "Bag"				Sample No.: 2-2	
Tare No. 2000				Date: January 18, 2013	
Gross Wet Weight 395.0				By: MA	
Gross Dry Weight 344.8				Sample Description:	
Tare Weight 74.7				Olive Brown Silty Clayey Sand	
Net Dry Weight 270.1				Group Symbol: SC-SM	
Weight of Water 50.2				Gravel Content: 5.7%	
% Moisture 18.6%				Sand Content: 70.0%	
Dry Density #VALUE!				Fines Content: 24.3%	
Sieve	Weight Retained	% Retained	Cumulative Percent		Specs
			Retained	Passing	
1½"	0.0	0.0%	0.0%	100.0%	
1"	0.0	0.0%	0.0%	100.0%	
¾"	0.0	0.0%	0.0%	100.0%	
1/2"	0.0	0.0%	0.0%	100.0%	
3/8"	9.8	3.6%	3.6%	96.4%	
No. 4	5.6	2.1%	5.7%	94.3%	
No. 8	10.0	3.7%	9.4%	90.6%	
No. 16	13.0	4.8%	14.2%	85.8%	
No. 30	13.5	5.0%	19.2%	80.8%	
No. 50	21.3	7.9%	27.1%	72.9%	
No. 100	56.9	21.1%	48.2%	51.8%	
No. 200	74.3	27.5%	75.7%	24.3%	
Pan	65.0	0.7	24.3%	100.0%	0.0%
Total	270.1	100.0%		100.0%	
Before	270.1		After		
Dry Wt.			Dry Wt.	279.8	
Tare			Tare	74.7	
			205.1		

TABLE 1 LABORATORY COMPACTION CURVE RESULTS ASTM D1557-91			
CURVE NUMBER	SOURCE AND SOIL DESCRIPTION	MAXIMUM DRY DENSITY (PCF)	OPTIMUM MOISTURE CONTENT (%)
1	Gray brown Silty SAND with CLAY	124.0	11.0
2	Brown Silty SAND	122.0	11.0

Figure No. 16

Project No. SC10423
8 February 2013

Mr. Gregory Giuffre
Aptos High School Existing Lower Practice Field

TABLE II SUMMARY OF FIELD DENSITY TEST RESULTS							
Test No.	Date of Test	Location	Grade	Moisture Content (%)	Dry Density (pcf)	Relative Compaction (%)	Curve No.
1	12/20/2012	Middle south side near entrance	SG	9.8	116.7	94.1	1
2	12/20/2012	Middle south side near entrance	-16"	16.8**	105.0	84.7	1
3	12/20/2012	Middle	SG	13.2	121.2	97.7	1
4	12/20/2012	Middle	-12"	12.1**	109.8	88.5	1
5	12/20/2012	Middle north side	SG	15.0	112.9	91.0	1
6	12/20/2012	Middle north side	-12"	17.2**	101.6	81.9	1
7	12/20/2012	Northeast corner	SG	11.4	113.4	91.5	1
8	12/20/2012	Northeast corner	-12"	11.1**	107.1	86.4	1
9	12/20/2012	Southeast corner	SG	9.6	119.3	96.2	1
10	12/20/2012	Southeast corner	-12"	10.0**	105.3	84.9	1
11	12/20/2012	Southwest corner	SG	17.6	110.7	90.7	2
12	12/20/2012	Southwest corner	-12"	12.8**	115.2	94.4	2
13	12/20/2012	Middle-west side	SG	18.3	109.2	89.5	2
14	12/20/2012	Middle-west side	-12"	17.2**	108.1	88.6	2
15	12/20/2012	Northwest corner	SG	13.8	114.9	94.2	2
16	12/20/2012	Northwest corner	-12"	20.2**	97.6	80.0	2

Figure No. 17

NOTES

Mr. Gregory Giuffre
Aptos High School Existing Lower Practice Field

Project No. SC10423
8 February 2013

1. The field in-place density tests were performed in accordance with ASTM D6938-07b, Density of Soil In-Place by Nuclear Methods, and the results are expressed as relative compaction based on ASTM D1557-07, Laboratory Compaction Test. The field tests were taken at random, as were the bulk samples for the earth materials encountered during the grading operation.
2. * - Denotes failing test.
3. ** - Compaction Tests Calculated with Adjusted Moistures From Lab.
4. Numbers in remarks section refer to soil type from Table I.
5. N, W, NW, SE, etc. refer to compass directions.
6. Abbreviations:

SG - Subgrade

Figure No. 18



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
 (831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123
 KATHLEEN MOLLOY PREVISICH, PLANNING DIRECTOR

May 11, 2013

Paul Anderson
 Pajaro Valley Unified School District
 294 Green Valley Road
 Watsonville, CA 95076

Subject: Review of Geotechnical Investigation by Haro, Kasunich and Associates, Inc.
Dated February 8, 2013: Project: SC10423
APN 041-291-39, Application #: 131110

Dear Applicant,

The purpose of this letter is to inform you that the Planning Department has accepted the subject report and the following items shall be required:

1. All construction shall comply with the recommendations of the report.
2. Final plans shall reference the report and include a statement that the project shall conform to the report's recommendations.

After building permit issuance the soils engineer *must remain involved with the project* during construction. Please review the *Notice to Permits Holders* (attached). Please note: Electronic copies of all forms required to be completed by the Geotechnical Engineer may be found on our website: www.sccoplanning.com, under "Environmental", "Geology & Soils", "Assistance & Forms".

Our acceptance of the report is limited to its technical content. Other project issues such as zoning, fire safety, septic or sewer approval, etc. may require resolution by other agencies.

Please note that this determination may be appealed within 14 calendar days of the date of service. Additional information regarding the appeals process may be found online at: http://www.sccoplanning.com/html/devrev/plnappeal_bldg.htm

Please call the undersigned at (831) 454-5121 if we can be of any further assistance.

Sincerely,

Carolyn Burke
 Civil Engineer

Cc: Haro, Kasunich and Associates, Inc.

(over)

EXHIBIT D

Attachment 4

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**NOTICE TO PERMIT HOLDERS WHEN A SOILS REPORT HAS BEEN PREPARED,
REVIEWED AND ACCEPTED FOR THE PROJECT**

After issuance of the building permit, the County requires your soils engineer to be involved during construction. Several letters or reports are required to be submitted to the County at various times during construction. They are as follows:

1. **When a project has engineered fills and / or grading**, a letter from your soils engineer must be submitted to the Environmental Planning section of the Planning Department prior to foundations being excavated. This letter must state that the grading has been completed in conformance with the recommendations of the soils report. Compaction reports or a summary thereof must be submitted.
2. **Prior to placing concrete for foundations**, a letter from the soils engineer must be submitted to the building inspector and to Environmental Planning stating that the soils engineer has observed the foundation excavation and that it meets the recommendations of the soils report.
3. **At the completion of construction**, a *Soils (Geotechnical) Engineer Final Inspection Form* from your soils engineer is required to be submitted to Environmental Planning that includes copies of all observations and the tests the soils engineer has made during construction and is stamped and signed, certifying that the project was constructed in conformance with the recommendations of the soils report.

If the *Final Inspection Form* identifies any portions of the project that were not observed by the soils engineer, you may be required to perform destructive testing in order for your permit to obtain a final inspection. The soils engineer then must complete and initial an *Exceptions Addendum Form* that certifies that the features not observed will not pose a life safety risk to occupants



John Gilchrist & Associates
ENVIRONMENTAL CONSULTANTS

BIOLOGIC ASSESSMENT
Aptos High School Soccer Field

Prepared for

Pajaro Valley Unified School District

Prepared by:

John Gilchrist & Associates

March 2013

831.429.4355
FAX 831.425.2305
226 Spring Street
Santa Cruz CA 95060
jga@cruzio.com

BIOLOGIC ASSESSMENT Aptos High School Soccer Field

INTRODUCTION

The Aptos High School Soccer Field was graded in spring and summer, 2012. The graded field site is located along the Mariner Way entrance to the high school, just east of Freedom Blvd. After grading was completed, and prior to final installation of final field improvements, the Santa Cruz County Planning Department County notified the Pajaro Valley Unified School District (District) that a grading permit would be required. The County requested this limited focus biotic review of the site as part of a submittal application for that permit. County staff requested this review include only the soccer field site, not adjacent areas that were not graded for the soccer field such as the existing sedimentation pond on Freedom Blvd. That pond was constructed in 2007-08 to intercept sediment-laden drainage from Aptos High before it reaches the Valencia Lagoon Santa Cruz long-toed salamander breeding pond downstream. It undergoes maintenance that includes annual vegetation removal, as well as removal of sediment and installation of a new sand liner every five years.

EXISTING CONDITIONS

Because the site had already been graded and filled to create a level playing surface, a pre-project field survey to inventory biologic resources was not possible. However, a prior botanic field survey was conducted in March and April 2004 for the Aptos High School Improvement and Modernization project (J. Gilchrist 2004), and this area was reviewed as part of that study. During Modernization project construction, soils excavated from other school construction areas were stockpiled at this site. This occurred during the 2004-07 construction period.

In 2004, vegetation at the site was scattered with large areas of bare ground. Vegetation species observed during the spring 2004 surveys included harding grass (*Phalaris aquatica*), ripgut brome (*Bromus diandrus*), plantain (*Plantago lanceolata*), wild radish (*Raphanus sativus*), rattlesnake grass (*Brisa maxima*), pampas grass (*Cortaderia jubata*), California poppy (*Eschscholzia californica*) and sky lupine (*Lupinus nanus*). All species except the last two are non-native. The plants observed coupled with the large expanses of bare soil at the site indicated an early successional community that had undergone significant disturbance. In the past, off-road vehicle activity had been documented at this site and on the hillside to the north. It is assumed many of the same opportunistic species would have recolonized and have been present in 2012 prior to grading. An aerial photo (Photo 1) shows the site in 2010 prior to grading. Note the largely unvegetated hillslope north of the soccer field.

Due to lack of native vegetation and extensive disturbance preceding the project, the soccer field site was not expected to support large numbers and diversity of wildlife species. Common species adjusted to urban environments, such as skunk, raccoon, possum, would be expected.

SENSITIVE PLANT SPECIES

Sensitive plant species that could occur at the project site, including the larger high school campus and surrounding area, are listed in Table 1. During the March and April 2004 botanic

surveys, habitat conditions at the high school and off site were evaluated for potential occurrence of these species and others that are known from Santa Cruz County. During those spring 2004 field surveys the present project site (soccer field) was also reviewed for occurrence of the species listed in Table 1. None of these species were found, and would not be expected in 2012 prior to grading due to habitat conditions (heavy disturbance, extensive presence of non-native annuals).

Table 1. Target Sensitive Plant Taxa* and Habitat Suitability at Soccer Field Site and Surrounding Environs

Common Name Scientific Name	Federal/State Status**	Habitat Distribution/ Flowering Period	Potential for Occurrence on Project Site
Hooker's Manzanita <i>Arctostaphylos hookeri</i> spp. <i>hookeri</i>	List 1B	Chaparral, coastal scrub, closed-cone coniferous forest, sandy soils, sandy shales, sandstone outcrops, Monterey and Santa Cruz Counties, 85-300m; Nov-March	Low
Monterey ceanothus <i>Ceanothus cuneatus</i> var. <i>rigidus</i>	List 4	Closed-cone pine coniferous forest, coastal scrub, Monterey and San Luis Obispo Cos, extirpated in Santa Cruz Co.; Feb.- Aug.	Low
Monterey spineflower <i>Chorizanthe pungens</i> var. <i>pungens</i>	FT, List 1B	Sandy soils in coastal dunes, chaparral, cismontane woodland, coastal scrub; endemic to Monterey and Santa Cruz counties; Apr. - June	Low on-site; found within ¼ mile of site east of football field
Robust spineflower <i>Chorizanthe robusta</i> var. <i>robusta</i>	FE, List 1B	Cismontane woodland, coastal dunes, coastal scrub, sandy terraces and bluffs or in loose sand, 3-120 m.; May - Sept.	Low on-site; found near Aptos High campus
Coast wallflower <i>Erysimum amplexicaule</i>	List 1B	Maritime chaparral, coastal dunes, coastal scrub, sandy openings. March - May.	Low
Santa Cruz tarplant <i>Holocarpha macradenia</i>	FT, SE, List 1B	Coastal Prairie, valley and foothill grassland, light sandy soil or sandy clay, Santa Cruz and Monterey Counties. June - Oct.	Low
Dudley's lousewort <i>Pedicularis dudleyi</i>	SR, List 1B	Chaparral, No. coast coniferous forest, valley and foothill grassland, deep shady woods, maritime chaparral, extinct in S. Cruz Co. (?), 100-490m April - June	Low
Santa Cruz clover <i>Trifolium buckwestiorum</i>	List 1B	Coastal prairie, broadleaved upland forest, cismontane woodland, 60 - 545 m. April - May	Low

* Species selection based on occurrence in Watsonville West and surrounding USGS Quads, or known occurrence in similar habitat types in Santa Cruz and north Monterey Counties

** Status:

FE	Federally listed as Endangered under federal Endangered Species Act (ESA)
FT	Federally listed as Threatened under ESA
SE	State listed as Endangered under Calif. Endangered Species Act (CESA)
ST	State listed as Threatened under CESA
SR	State listed as Rare under CESA
List 1B	California Native Plant Society (CNPS) - Rare or Endangered in CA and Elsewhere
List 4	CNPS Plants of Limited Distribution

SENSITIVE WILDLIFE SPECIES

Santa Cruz Long-toed Salamander

The Santa Cruz long-toed salamander (*Ambystoma macrodactylum croceum*) (SCLTS) is a federal and state endangered species. It is also a state "fully protected species" which means the state will not allow "species' take". The SCLTS breed in permanent or seasonal ponds, and are known only from southern Santa Cruz and northern Monterey counties. Adults travel in roughly straight lines to breeding sites during fall and early winter rainfall events. Adults deposit eggs on submergent vegetation. Larvae require approximately 3 to 4 months to transform. Transformed juveniles seek terrestrial refuge immediately adjacent to the breeding pond where they will remain until dispersing with the first fall rains. After breeding, adults will return to upland terrestrial refugia, and can travel up to a mile from breeding sites but will generally seek refugia within ½ to ¾ mile from breeding ponds. Prime terrestrial habitat includes rodent burrows, and surface vegetative debris within oak or riparian woodlands and mesic coastal scrub. Grassland, and to some extent open coyote brush scrub and oak savannah habitats, do not provide good terrestrial refugia although adults are known to traverse these areas to reach prime over-summering refuge habitat (Ruth 1989).

Threats to the Santa Cruz long-toed salamander primarily include upland habitat conversion for residential and agricultural development, and exotic aquatic species' predation in breeding ponds. Breeding sites are extremely limited and include about 25 known sites, some of which have been degraded and may no longer support salamander breeding (USFWS 1999). Three known breeding ponds are located within one mile of the soccer field site. These include the Palmer Pond approximately 1/3 mile to the north, the Racehorse Lane Pond about 0.65 mi. to the southeast, and Valencia Lagoon 0.9 mile west. The latter site is probably isolated from the project site by Highway One. Other more distant breeding ponds in the vicinity include the Tucker Pond off Freedom Blvd. and the Millsap Pond near White Road. There is a potential SCLTS could traverse through the project site or surrounding areas while moving to or from breeding sites.

Other Sensitive Species

The federal threatened California red-legged frog (*Rana draytonii*) (CRLF) are known from the Tucker and Millsap Ponds (over 1 mile away), but have not been documented to breed in other ponds closer to the site. Although upland and breeding habitat is not present at the project site, low numbers of CRLF could pass through the site seeking other water bodies. The proposed restoration below for salamanders would also benefit CRLF if they are transiting through. Other sensitive reptile, amphibian and bird species were reviewed for the Aptos High School Modernization project (J. Gilchrist 2004) but were found unlikely to be at or near the High School, including this project site.

Species Consultation

The District has met several times with Mr. Chad Mitcham with the US Fish and Wildlife Service. In turn, Mr. Mitcham contacted Ms. Melissa Farinha representing the California Department of Fish and Wildlife. These agency representatives recommended native vegetation restoration occur at two sites (see recommendations below) along with several smaller requests that the District has fulfilled.

IMPACTS AND RECOMMENDATIONS

Impact—Vegetation

Project grading affected areas devoid of vegetation or sparsely inhabited by non-native grassland species. There was no significant impact to vegetation from grading and fill placement, and therefore, no further recommendations.

Impact—Santa Cruz Long-toed Salamander

A breeding pond was not present in the graded soccer field area. However, SCLTS could traverse through the site or hillside to the north while moving to/ from off-site breeding ponds (C. Mitcham, personal comm. 2012). Use of the soccer field will not affect salamanders as they move during rainy nights when there would be no active use of the fields. In addition, there are no barriers planned that would inhibit movement.

Runoff and drainage from the field will enter the sediment basin at Freedom Blvd. and Mariner Way. Drainage from the field and parking lot will percolate into perforated, subsurface pipes, be conveyed and discharged below the field, where it will percolate into the ground or surface flow into the retention basin. Drainage into the basin is expected to be approximately the same as existed prior to soccer field construction. The sediment load entering the basin should be reduced because the field will be vegetated with grass, as opposed to the expanse of open dirt that existed prior to grading. The developed field and parking areas have no new drop inlets or surface drainage structures that could trap, entrain, and kill migrating SCLTS.

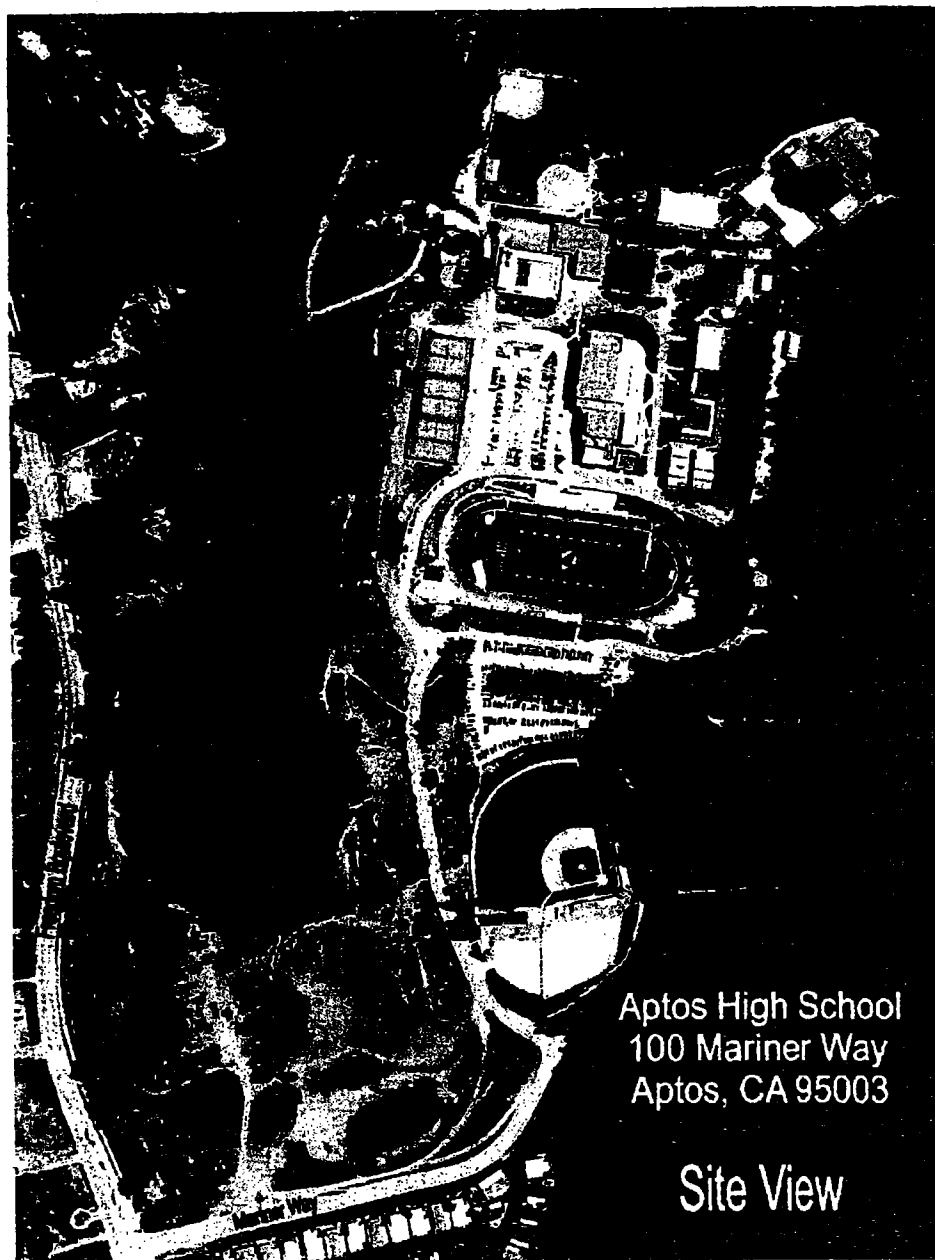
There should be no significant impacts to SCLTS from soccer field construction and operation. Nevertheless, the District and the US Fish and Wildlife Service (USFWS) have agreed to implement the following recommendations.

Recommendations:

1. The District will revegetate a portion of the bare hillslope area north of the soccer field, and an additional area adjacent to the Freedom Blvd. sediment basin (See Photo 2). Revegetation will include removal of all invasive exotic species (green wattle acacia, French broom), site preparation, and revegetation with native grasses and shrubs (hillside), and oak woodland species (sediment basin area). The USFWS anticipates participation in the restoration effort through their School Yard Habitat Program. This is a cooperative habitat restoration and stewardship program that also provides long-term learning opportunities for students. In a collaborative effort, the District and USFWS will prepare a detailed restoration plan for areas noted above.
2. The native revegetation effort in a fenced area southwest of the School's water tanks (Photo 2) will be reviewed and new measures implemented to create an oak woodland in that location. Measures will include removal of all exotic species, including the two mature eucalyptus trees, revegetation with native trees and shrubs per an existing revegetation plan, and installation of a new drip irrigation system. Revegetation measures proposed for this area will be addressed in the proposed native revegetation restoration plan above.

REFERENCES

- Bowman and Williams Consulting Civil Engineers. 2013. Freedom Field Grading Plan. Prepared for PVUSD, February 2013.
- California Natural Diversity Data Base. 2012. State and Federally Threatened Listed Endangered, Threatened, and Rare Plants and Animals of California. Watsonville West and Soquel Quads. Department of Fish and Game, Habitat Conservation Division.
- Hickman, J.C. (Ed.) 1993. The Jepson manual: higher plants of California. University of California Press, Berkeley, CA. 1400 pp.
- John Gilchrist & Associates. 2001a. Draft Biotic Assessment for Cerruti (Millsap) Property, White Road, Aptos, CA
- J. Gilchrist & Associates. 2004. Biotic Assessment – Aptos High School Expansion and Modernization Project. Prepared for Pajaro Valley Unified School District. May 2004.
- J. Gilchrist & Associates. 2009. Aptos High School Revegetation Plan, Aptos, CA. Prepared for PVUSD. July.
- Mitcham, C. US Fish and Wildlife Service. Personal communications, October 23, 2012, January 29, 2013.
- Mori, B.M., Wildlife Biologist. Bryan Mori Biological Consulting Services, Watsonville, CA. Personal communications, October 16 & 23, 2012 .
- Reed, R. 1980 Final Report: The 1979-1980 Study of the Santa Cruz Long-toed Salamander (*Ambystoma macrodactylum croceum*) at Ellicott Slough, Santa Cruz, California.
- Ruth, S.B. 1989. Seascape Uplands Santa Cruz long-toed salamander study. Science Research and Consulting Services. Marina, California. 159 pp.
- Stebbins, R.C. 2003. A field guide to western reptiles and amphibians. Houghton Mifflin Co., Boston, MA.
- US Fish and Wildlife Service. 1999. Santa Cruz long-toed salamander (*Ambystoma macrodactylum croceum*) draft revised recovery plan. Prepared for Region 1 U.S. Fish and Wildlife Service.



Aptos High School
100 Mariner Way
Aptos, CA 95003

Site View

Photo 1. Soccer Field Site (lower left photo) in 2010

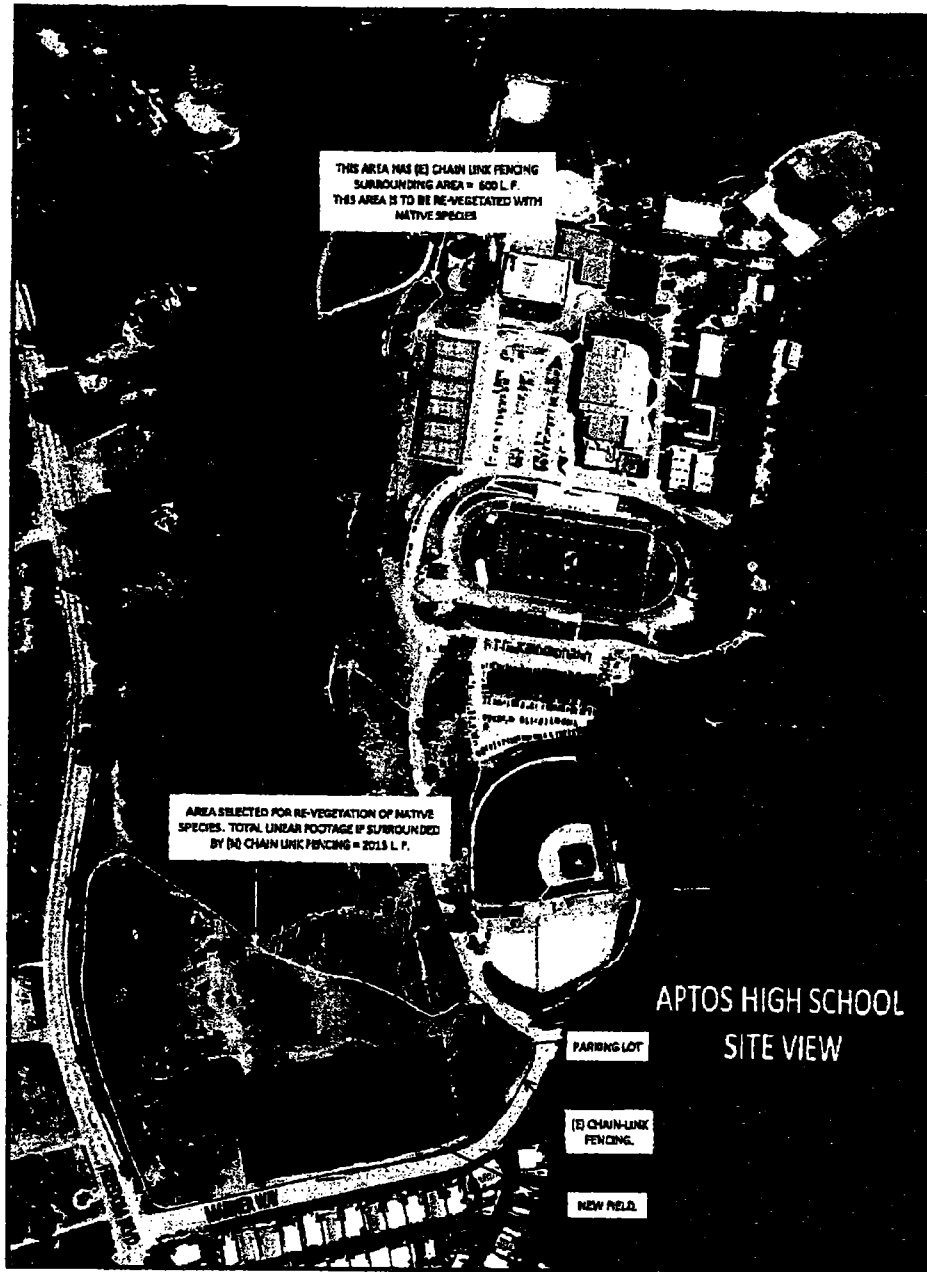


Photo 2. Areas to be revegetated near tennis courts and south campus near Mariner Way and Freedom Blvd.



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
 (831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123
KATHLEEN MOLLOY PREVISICH, PLANNING DIRECTOR

May 17, 2013

Pajaro Valley Unified School District
 294 Green Valley Rd
 Watsonville, CA 95076

APN: 041-291-39
 Situs: Aptos High School
 App #: REV131045

The review of your Biological Assessment by John Gilchrist & Associates, dated March 2013, has been completed. The report was produced in order to assess the potential impacts to sensitive species of animals or plants that would result as a direct impact of the grading associated with the proposed soccer practice field.

After a thorough review of the report submitted, the resources on site, and the previous initial study issued related to these development of the baseball field on the subject campus, the County makes the following findings:

1. Regarding special status plant species, the County concurs with the reports determination that the site of the proposed soccer field does not support special status plants, due to heavy disturbance of the project area.
2. Regarding special status wildlife species, the County concurs with the reports determinations that while both the California red legged frog and the Santa Cruz long-toed salamander may traverse the project area, they would not be impacted as a result of field construction

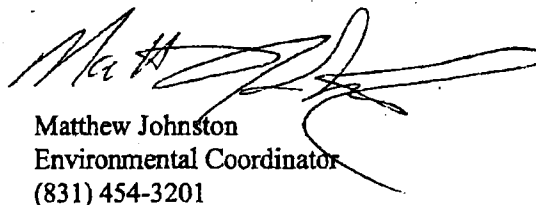
The County also recognizes the presence of oak woodland immediately adjacent to the proposed development. The Assessment makes two recommendations, based upon coordination between the District and the US Fish and Wildlife Service (USFWS), regarding the enhancement of oak woodland in two locations near the proposed development. This enhancement of degraded habitat is in conformance with Santa Cruz County General Plan section 5.1.12, which requires that restoration of degraded sensitive habitat be a condition of approval for development on a parcel where degraded habitat exists, commensurate with the scope of the proposed development. Therefore, the two recommendations offered in the Assessment shall be incorporated into the Grading Permit conditions. In order to ensure the restoration plan is complete and implemented, a third condition shall be that the District provide to the Planning department a commitment from the Pajaro Valley Unified School District Board of Trustees to implement the proposed

EXHIBIT 30
 Attachment C

restoration plan. This commitment must be a resolution made on record and the signed resolution must be submitted prior to the issuance of the Grading Permit. The County understands that the implementation of this restoration plan will be over the course of several years. The plan development is being done in coordination with the USFWS, and implementation will be through an environmental stewardship program that involves and educates Aptos High students.

A copy of this letter has been forwarded to Carolyn Burke, the engineer responsible for issuing the grading permit, for her records. Please call me if you have any questions regarding this letter.

Sincerely,



Matthew Johnston
Environmental Coordinator
(831) 454-3201

Cc: Carolyn Burke

PAJARO VALLEY UNIFIED SCHOOL DISTRICT



Board Agenda Backup

Item No: 9.3

Date: June 12, 2013

Item: Approval Memorandum of Understanding (MOU) with the United States Fish and Wildlife Service (USFWS) and Aptos High School Campus

Overview: In April 2012, the Aptos High School Sports Foundation contacted the PVUSD regarding the feasibility of constructing a practice soccer field on a vacant area along Mariner Way, below the main campus of Aptos High School. This area of the school campus has historically been underutilized and never improved.

The PVUSD contacted the County Planning Department, the County Public Works Department, and the California Department of Education, on behalf of the Sports Foundation, to determine the viability of this proposed project and whether permits or other forms of authorization would be required to move forward. There were no restrictions or requirements placed on the proposed project at that time.

Simultaneously, members of the Foundation were in discussions with the CalTrans general contractor responsible for the Highway 1/Soquel to Morrissey Auxiliary Lane project regarding the disposal of the excess dirt generated during that project. As a result of these discussions, the contractor agreed to transport approximately 12,000 cubic yards of surplus material from the highway project and to perform the necessary fill and grading operations for the proposed project. This construction activity occurred during an approximately 3-week period between May-June 2012.

Upon the completion of the fill and grading operations, a group of Aptos High School neighbors residing on Freedom Boulevard contacted the PVUSD and the County of Santa Cruz Planning Department with complaints about the project scope; its compliance with the requirements of the California Environmental Quality Act (CEQA); and whether it satisfied the Santa Cruz County permitting authority. Upon further review of the State Education Code of Regulations and the County Code, the County concluded that it indeed had the authority to require a grading permit for public school projects and a "Stop Work" notice was issued.

EXHIBIT D

30

Attachment 7

The PVUSD and the County of Santa Cruz then held several meetings in an effort to resolve all issues relating to the scope of the proposed project and the submittal requirements for a grading permit. As a result of these meetings, the County allowed the PVUSD to complete the winterization of the project site and to install perimeter fencing. In addition, the County staff requested that the consulting biologist for the PVUSD document the pre-project site conditions for purposes of developing an environmental baseline for the site and that the biologist reviews the drainage plans for the proposed project. A Biologic Assessment was required by Santa Cruz County to accompany the grading permit request.

Staff researched what we had related to our original CEQA.

A Biological Assessment prepared in 2004 (John Gilchrist and Associates) and incorporated into the environmental documents prepared and certified for the new construction and facility modernization project, established that habitat for endangered animal species and special plant species are not present on the school campus.

The Aptos High School campus is within the vicinity of known habitat of the Federally and State of California listed endangered Santa Cruz long-toed salamander. The species typically live in oak woodlands, except during the rainy winter months when they travel to breed in areas with ponding water, lasting at least 6 months, which support their early life cycle. Oak woodlands border the east and southeast quadrant of the high school campus. The vegetation to the north and west, also contain oak trees but is also heavily forested with Eucalyptus trees and other non-native and invasive vegetation.

The PVUSD contacted Chad Mitcham of the local U.S. Fish and Wildlife Service (USFWS) in the fall of 2012 as an out-reach effort. The California Department of Fish and Wildlife (CDW) staff has authorized Mr. Mitcham to act on its behalf. The District's purpose of the outreach to these agencies is in recognition of the existence of the endangered species habitat and breeding areas in the vicinity of Aptos High School.

District has committed to working with US Fish and Wildlife Service and other partners to develop a comprehensive restoration plan for the area around Freedom Field and the original re-vegetation area by the water tanks on the Aptos High School Campus. When that plan is completed it will be presented to the PVUSD Board for final approval

The re-vegetation plan will create upland refugia and facilitate potential travel routes for the salamander species that may exist in the vicinity of the Aptos High School. In addition, the USFWS has agreed to assist the PVUSD in obtaining grant funding for their environmental stewardship efforts and student education of endangered species habitat. The PVUSD is committing to all elements of these collaborative efforts, to the satisfaction of the USFWS, with the adoption of a Resolution by the Board of Trustees prior the County's issuance of the Grading Permit.

Recommendation: It is recommended that the Board approve the MOU with USFWS for Revegetation Plan for the new Freedom Athletic Field at the Aptos High School Campus.

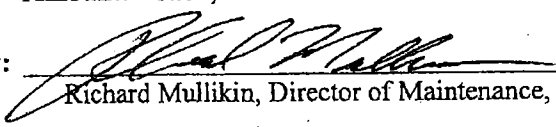
Budget Considerations:

Funding Source: Measure L Bond Funds

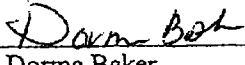
Budgeted: Yes: ☒ No: ☐

Amount: \$100,000.00

Prepared By:


Richard Mullikin, Director of Maintenance, Operations & Facilities

Superintendent's Signature:


Dorma Baker

PAJARO VALLEY UNIFIED SCHOOL DISTRICT



Board Agenda Backup

Item No: 11.2

Date: June 26, 2013

Item: Approval of completion and utilization guidelines for the Aptos High School Freedom Field Project

Overview: On June 10, 2013 district staff held a public hearing to hear community concerns regarding the completion of the Aptos High School Freedom Field project. The hearing was required as part of the grading permit process under the jurisdiction of the County of Santa Cruz Planning Department. Attached are the minutes and notes from that meeting. Issues brought to the attention of district staff fall into the following categories:

Parking: Possible illegal parking on Mariner Way, poor enforcement by the school already, not enough parking near the proposed field

Field use: Limit hours of operation, restrict use, no Sunday use, no amplified sound, seek noise abatement and/or mitigation, no stadium lights (safety lighting ok), garbage abatement

Security/safety: Illegal activity during non-school hours, vandalism, safety of residents and nearby homes resulting from increase in teams/visitors using the field

Environmental and permitting: Field completion should be done according to current permitting and environmental requirements; consideration of local species and water quality impacts

Public notification and communication: District should adhere to a public notification and communication process regarding changes to use; district should strive to be "good neighbor" and place restrictions regarding field use and work cooperatively with local residents impacted by the field

At the completion of the meeting, district staff stated they would take these matters before the Board of Trustees for review and consideration. Staff further suggested that the board could consider possible guidelines regarding field utilization and the adherence of a public notification process when considering possible future changes to Freedom Field's utilization by the school site or district.

EXHIBIT D

The proximity of Freedom Field to nearby residents warrants that the district initiate steps to address community concerns identified above. Remediating neighbor concerns must be balanced with the needs of the school site and athletic community, along with recognition that a large comprehensive school site will, by its nature, generate a level of traffic, noise, and other indirect impacts. Any possible compromise must be appropriately balanced within the realm of these two issue areas.

Staff recommends that the board adopt the following policy guidelines regarding the completion and subsequent utilization of Freedom Field:

1. No stadium or other lighting for evening games/practices shall be installed and/or allowed. Hours of operation shall be during the instructional day and conclude by sunset each evening.
2. No amplified sound or use of bullhorns shall be permitted at any time.
3. No permanent structures are to be erected on the field or adjacent area (portable bathrooms will be allowed).
4. Access to the field will be restricted during nights and non-use. The district will maintain a fence with locking gate(s) around the field with appropriate security lighting for the parking lot and adjacent walkways.
5. Aptos High School will utilize the field solely for practice and P.E. purposes during the instructional day.
6. Community use during evenings and weekends shall be authorized via the district facility use review and permit process. Community members and/or organizations will be required to adhere to these guidelines as a condition of authorization.
7. No parking will be allowed on Mariner Way. Parking for non-school use shall be directed to the upper campus area.
8. School site staff will work with neighbors to identify security issues and maintain appropriate oversight over field use.
9. The district will work with county officials to resurface Mariner Way and install appropriate speed control measure, landscaping, walkways, and safety lighting along the roadway via the Measure L bond project process. The district will install appropriate vegetation to mitigate viewing access into adjacent homes/backyards in the Aptos Pine Mobile Home Park.
10. The district will work with county, state, and federal wildlife officials to address noise abatement, water quality, invasive species removal, and species protection issues.

11. Future changes to these guidelines shall require public notification and hearing with residents within 1,000 feet of the field prior to implementation.

Recommendation: It is recommended that the Board of Trustees approve the project completion and field utilization guidelines enumerated above. The board further recommends that school site and district staff work proactively with nearby residents to address other non-field related issues raised during the project review process.

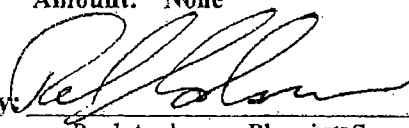
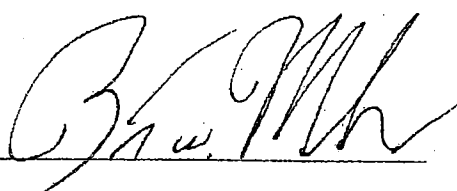
Budget Considerations:

Funding Source: None

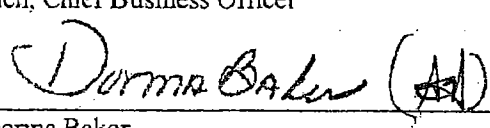
Budgeted: Yes: ☐ No: ☒

Amount: None

Prepared By:


Paul Anderson, Planning Supervisor

Brett W. McFadden, Chief Business Officer

Superintendent's Signature:


Donna Baker



PAJARO VALLEY UNIFIED SCHOOL DISTRICT
 Maintenance, Operations & Facilities Department
 294 Green Valley Road, Watsonville, CA 95076
 Phone: (831) 786-2100 Ext. 2380 Fax: 728-0136

Paul Anderson, Planning Supervisor

Neighborhood Meeting Notes

Topic: Freedom Field Grading Permit Neighborhood Meeting

Date and Time: 7:00 PM June 10, 2013

Location: Aptos High School New Gym 100 Mariner Way, Aptos CA 95003

Attendees:

Santa Cruz County:

The Honorable Zach Friend 2nd District Supervisor, Allyson Violante County Supervisor's Analyst 2nd District

Pajaro Valley Unified School District:

Dorma Baker Superintendent, Brett McFadden Chief Business Officer, Paul Anderson Planning Supervisor, Greg Giuffre Planning Assistant, Theresa Davis Administrative Secretary, Maureen Owen Planning Consultant

Members of the public:

List of those who were sent meeting notices and sign in sheets and summaries attached.

Paul Anderson opened the meeting by welcoming everyone to the meeting and thanking them for coming out to discuss the project. Paul provided the meeting guidelines-Paul will present the project and provide details about the grading process. We requested people who were interested in speaking to submit a card with their name on it to help with record keeping. We ask that only one person speaks at a time, try to limit your input to 3:00 minutes each. The purpose of the meeting is to obtain feedback and document comments. The District will review the comments heard tonight with our respective teams and provide steps to be taken to address areas of concern. For areas of concern we cannot address, staff will provide reasons why.

Paul Anderson described the project overview and timeline for grading the remaining 2,000 cubic yards of soil. The District is not planning on bringing in any additional fill dirt or exporting any fill dirt from the site. Depending on the test results of the existing soil, top soil and other soil amendments will be added to the existing soil to aid in growing the field turf and landscaping. The plans show the District adding an additional 13 parking spaces at the northwest corner of the project site for ADA accessibility as well as an access path from the field and parking lot to the upper campus. There are no plans to install stadium lighting, a sound system or other permanent structures on or around this field at this time. The District is planning on installing safety lighting in the new parking lot and along the walkway path from the new parking lot to the upper campus.

Paul Anderson answered a few project specific questions and then requested public input.

Public input started at approximately 7:15 and continued until approximately 8:30. Notes from each speaker follow this summary.

The areas of concern appeared to fall into four major categories:

- 1) Noise from:
 - a. People on the field playing sports-voices
 - b. Cars with loud stereos
 - c. Public address systems on the field
 - d. Existing public address system on main campus
- 2) Parking Concerns:
 - a. Not enough parking spaces near field
 - b. People will park on Mariner Way
 - c. Illegal parking and general parking enforcement
 - d. Headlights shining into homes as cars leave parking lot
- 3) Lights:
 - a. No stadium lighting; ever
 - b. No electricity at the field for amplified sound
 - c. Existing stadium lights at the Stadium are very strong
 - d. Install more lighting on Mariner Way
- 4) Field Use and Security:
 - a. Limit hours
 - b. No events on Sunday
 - c. Less use on weekends
 - d. Use by local sports on weekends
 - e. Amount of use by adult leagues
 - f. Limitations through facilities use agreements are effective
 - g. Practice during the day not at nights
 - h. Will field be locked when not in use?
 - i. Can the field be used for Life Flight?
 - j. Will field be able to be used without a facilities use agreement?
 - k. Enforcement of field use rules

Other Areas of concern not in the above

- 1) Landscaping:
 - a. Do not cut down the Acacia trees they are blocking the sound
 - b. Landscaping on Mariner Way both sides
- 2) Mariner Way Paving and Sidewalks:
 - a. There is not a side walk from the entry arch to the main campus (this is above the project site)
 - b. Mariner Way is in need of repaving

Adjournment

Pajaro Valley Unified School Districts response to the concerns raised at the meeting:

The areas of concern appeared to fall into four major categories:

1) Noise from:	Possible Solution
a. People on the field playing sports-voices	No direct action – but could restrict use of bullhorns, amplified sound, other activities
b. Cars with loud stereos	Not related to grading- This issue is more of a general issue not related to grading but to use of the field. District will add restrictions to facilities agreement form
c. Public address systems on the field	Not related to grading- No public address system is planned- District will add to Facilities use agreement.
d. Existing public address system on main campus	Not related to grading- This issue is more of a general issue not related to grading but to use of the field. District has sent a note to Casey O'Brian the principle to look into this.
2) Parking Concerns:	Possible Solution
a. Not enough parking spaces near field	Not related to grading- The school has parking on campus. Most field use will be by students already on the campus. If used by outside groups, parking will be explained and directed in the facilities use agreement.
b. People will park on Mariner Way	Not related to grading- The school has parking on campus. Most field use will be by students already on the campus. If used by outside groups, parking will be explained in the facilities use agreement.
c. Illegal parking enforcement	Not related to grading- The school has parking on campus. Most field use will be by students already on the campus. If used by outside groups, parking will be explained in the facilities use agreement.
d. Headlights shining in homes as cars leave parking lot	Not related to grading- The parking lot will be closed prior to darkness
3) Lights:	Possible Solution
a. No Stadium Lights Ever	Not related to grading-The District is not planning on installing lights in the near future. The District has proposed a Board item outlining a formal process for notifying neighbors of future projects and obtaining their input. Board item attached.
b. Electricity at the field for amplified sound	Not related to grading-The District is not planning on installing amplified sound in the near future. The District has proposed a Board item outlining a formal process for notifying neighbors of future projects and obtaining their

	input. Board item attached.
c. Existing stadium lights are very strong	Not related to grading-No action planned
d. Install more lighting on Mariner Way	Not related to grading-The District will work with PG&E to review why existing lights are not working
4) Field Use and Security:	Possible Solution
a. Limit hours b. No events on Sunday c. Less use on weekends d. Use by local sports on weekends e. Adult Leagues f. Limitations through facilities use agreements are effective g. Practice during the day not at nights h. Will field be locked when not in use? i. Can the field be used for Life Flight? j. Will field be able to be used without a facilities use agreement? k. Enforcement of field use rules	Not related to grading-The District will update the facilities use agreement for this field to include rules for parking, amplified noise and hours of use. The field would not be able to be used by non-Aptos High School departments without a facilities use agreement. Groups who do not follow the rules would need to meet stricter guidelines for future use. Some of these stricter guidelines could include requiring private security, custodians, etc...
Other Areas of concern not in the above	
1) Landscaping:	Possible Solution
a. Do not cut down the Acacia tress they are blocking sound	Not related to grading-The District has an agreement with USF&WS and CSF&W Services to remove non-native plants and trees from the area around the field and replant with native species.
b. Landscaping on Mariner Way both sides.	Not related to grading-The District will look into landscaping both sides of Mariner Way.
2) Mariner Way Paving and Sidewalks:	Possible Solution
a. There is not a side walk from the entry arch to the main campus	Not related to grading-The District is in planning stage with adding additional paths from the arch to the main campus.
b. Mariner Way is in need or repaving	Not related to grading-The District is in planning stage with paving Mariner Way from Freedom Road to the Arch.

EXHIBIT D

Actual meeting notes:

Aptos High School –Lower field Community Meeting
6/10/13 – 7:00 PM New Gymnasium

PVUSD Representatives and Consultants

- Dorma Baker - Superintendent
- Brett McFadden – Chief Business Officer
- Paul Andersen – Planning Supervisor
- Gregory Giuffre – Planning Assistant
- Theresa Davis – Administrative Secretary
- Maureen Owens – Owens Hill Consulting

County Representatives

- The Honorable Zach Friend – County Supervisor
- Allyson Violante - County Supervisor's Analyst 2nd District

A – Janice Boardman (attended ahs as well as kids, pro kids
Live in area, cannot leave area, good neighborhood policy, aware of football games, etc, not notified of new sound system (this appears to be the existing public address system), aware of sports schedule
Concerned about the use of field all the time, there should be a limit on hours, no activity on Sundays, 14 spaces? Not enough parking fire dept doesn't have manpower to enforce, how will school enforce parking rules, more parking and better enforcement, no more hanging out, appropriate permits ahead of time, NO LIGHTS EVER.

B – Anne Leslie (7326 Freedom BLVD) across Freedom, lighting concerns, NO LIGHTS EVER, no more meeting to address lights,
Sound – travels, does not want the existing Acacia trees cut down, other trees are slow growing, hears Frisbee golf, hears PE classes and games, can we have Sunday breaks no events, less use on weekends.

Brett – give input to board of trustees; want to see some kind of proposal with parameters, to be a practice field, no lights, resolution that says no lights, would require public comment. Would include restrictions on installing a sound system as well

Casey – Field in general would not be used during the weekdays for PE

Brett – resolutions for a period of time, notifications to neighborhood, local sports on weekends, no sound system or bullhorns, boom boxes, stipulations through facilities

A – Property values!!
Field not a part of school when I bought my house
Will adult leagues play?
Practice field for student only

C – Kip & Melissa (Scott – educators and AHS students, excited by field for kids, students don't get home till late do to everyone trying to use the one existing field, sports are very important to

students, special needs students, part of community, local sports – use the coaches to help enforce the rules, coaches can monitor.

D – Michael Rhodes (22 Eugenia Ave.) Across from field, glad about field, concerned about amount of cars, 13 parking spaces not enough, where will others park, early morning noise and late night noise.

E – Claudia Stevens (taught in public schools, artist, has a studio across street, needs quiet for work, supports students but concerned about noise, parking concerns, Expressed existing concerns with past parking in church parking, fights, broken glass in yards. Has safety concerns. District needs to be empathetic with neighbors

F – Kim Tshantz (7176 Freedom Blvd) kids attended S=AHS, attended HS, donated money & time, Owns Cypress Environmental, participated in other meetings, noise, lighting, parking traffic, security. All issues could be solved by PVUSD being good neighbor. District has not been one in last year, not notified of grading, lots of noise and dust from project in May 2012, Stated in the meeting notification letter already had a meeting in May of 2012, did not know about meeting in May. What was meeting about? Field just practice field but will also be used for other teams, etc. PVUSD needs to be honest, work together. This is more than just a grading project, but much more. Results – go to board, there's other issues and the what we do to resolve issue with people that live in the school district. More important than sports are people's home. County must comply with codes-provision that says adverse environmental affects will be denied.

G – April Barkley (7158 Freedom BLVD) April – across street for 20 years – concerned about sound, possibility of lighting, security. Natividad worker, concerned about injuries from locations close to parks.

H – Alan Barclay (7158 Freedom BLVD) Parking issues, gate for baseball field, can the District use church parking? Noise, lights, electricity at new field? Limitations for use agreements can be effective, concerned about value of homes,

I – Joe Padote (7476 Freedom Blvd.), lives across street, parking, drive way – people park in his driveway, he is good with students, concerned with parking

J – Carole Linder (104 Cherry Blossom Lane) –was a teacher in PVUSD, feels complete distain from PVUSD because she lives in a mobile home park, not a trailer park. She lives in a home not Winnebago. Feels she is treated badly because she is a mobile home park resident. District needs to keep residents informed. People park behind homes on Freedom Blvd. It affects quality of life, completely inadequate parking, insulted by the small amount of parking, have consideration, noise, garbage, can hear Mr. O'Brien's announcements over existing sound system.

K – Brent Chapman (Aptos Sports foundation – non-profit for athletics in Aptos (AHS specifically) Explained the overall plan of the foundation, the foundation is made up of mostly alumni. Wants to assist with relevant issues of noise, parking, etc. and work with neighbors, cleaner, efficient. Understand and appreciate the problems and is glad to be here and hear the issues.

L – Daniel Bronson (70 Cherry Blossom Lane) parking proposed unreasonable and inadequate, impact boundary should not be 300', can hear everything over the existing sound system.
O'Brien –Explained the current sound system is temporary sound system for now and does seem louder

L – Daniel Bronson (70 Cherry Blossom Lane) AHS not efficient with following up on reported problems. He has picked up trash on campus. Does not receive helpful response from PVUSD. There are reckless drivers, vandalism, drug use and break ins. School already attracts problems, people park in the red zone already, there is no enforcement on road – parking in red zone, There are 32 AHS sports events plus other sports groups. The money should be spent on building classrooms instead of sports. The soccer field is regulation size. The new field will need even more enforcement. Value of home concerns, traffic noise is no problem but inconsiderate people with load stereos are worse the school has never addressed the problem even when he submits reports about load music from cars passing on Mariner Way. No sidewalk from Freedom Blvd. to campus....why. 30-40 minutes response time from sheriff, not soon enough, and no one ever caught, Feels only mailing to neighbors in the legal 300' boundary is an end run around neighbors so we don't have to deal with neighbors.

M – Tim Doherty (108 Cherry Blossom Lane) noise no problem, it's a practice field not a play field, more students now, and AHS has done a good job with everything.

N – Very noisy, is hard of hearing but hears the noise from the existing activities, lights are very strong at their home.

M – Tim Doherty – Can the District practice during the day instead of at night,

O – Basil – across street, 28 years ago meeting to propose use of Freedom Field in the past, a skate park, lease for \$1.00 a year, PVUSD paid 800,000.00 for acreage, no planning or thought out project and affecting neighbors, noise, traffic from sports events, find a better use for valuable land, no revenue but lots of costs, trash. Against project because of use. Better use – corporate offices for PVUSD, act like a business, treat as asset and use as a higher use, wasting money or trying to make a buck. Not a playground, will be noise with this project, project done too quickly, no lighting because no one there, Could not hear anyone speak at this meeting because no one used the microphone.

? – appreciates sports, played, no problem with field being there, but no night activities, no lights, etc, be good neighbors and give them all information we have, security must be present, mid-day use only.

A – Janice Boardman - Fire dept stated to her re: Mariner Way, no resources to tow, CHP cannot be there either, AHS would give tickets to people parking in red. Use boulders on the side to prevent parkers.

Claudia – contain the noise?

D – Michael Rhodes - Prevent problems by repaving and re-designate parking on Mariner Way, supports project

Brett – resurface with walking paths and possible security walking

Joe – students walking have to walk on road, need descent walkway

Dan – use to have street lights, disconnected and never put back up, but would support more lighting on Mariner Way to keep people away, stadium lights are problem not security lights
63 Plumosa – land between Mariner way and back of houses, who maintains it? Landscaping would be helpful for more privacy.

Zach Friend stated Mariner Way is not a county maintained road – County is working on a MOU to specify maintenance of Mariner way

Brett – wants to do landscaping both sides of Mariner Way.

Dan – headlights in windows because of turning out of parking lot

63 Plumosa- will field be locked? Used as a park? Brett says no. Who controls keys, AHS custodial controls, keys loaned out per event?

Dan – can the field be used for lifeline helicopters in the past?

Brett – Jim A. – bring to his attention

Kim- Bring in more dirt for a bigger berm for noise blocking, or build a solid wood fence for noise blocking, would address security concerns, solve accessibility issues too.

Restrooms? No permanent structures, portable bathrooms.

Brett –

1. Take a board item at an open meeting
2. Take up an MOU between PVUS & parties
 1. Parking – enforcement directions in terms of in and out, parking needs, use other parking lots, paving baseball field, stipulations for parking there.
 2. Utilization – days of use, hours of use, type of use, facility use permit, no lighting, garbage pick up
 3. Security– patrols, security person, i.e., adult to enforce (ticket) parking behavior, notify fire department
 3. Environmental – noise, water, us fish and wildlife concerns
 4. Neighborhood notification ad communication,

Can memorialize or put a period of time to uphold but board can change on their own.

Board Item should include notification and public meeting stipulations.

June 26th board Meeting – Freedom Filed on agenda? Need to check agenda on website, or Paul will email.

EXHIBIT D

NOTICE OF EXEMPTION

CEQA Form D

To: ___ Office of Planning and Research
PO Box, 3044, Room.212
Sacramento, CA 95812-3044

From: Pajaro Valley Unified School District
294 Green Valley Road
Watsonville, CA 95076

___ Santa Cruz County Clerk
701 Ocean Street
Santa Cruz, CA 95060

Project Title: Aptos High School New Athletic Field

Project Location: (Specific) 100 Mariner Way, Aptos CA

Project Location (City): Aptos CA 95003

Description of Project: The project consists of the construction of a new athletic practice field on the campus of an existing high school. The project involves the import of 15,000 yards of imported soils, grading of a $\pm 200,000$ square foot area, and the installation of irrigation and turf. The project also includes the placement of two (2) disabled parking places in conformance with the California Education Code and Department of the State Architect accessibility standards.

Name of Public Agency Approving Project: Pajaro Valley Unified School District

Name of Person or Agency Carrying out Project: Pajaro Valley School District

Exempt Status (Check One)

- ___ Ministerial Sec. 21080(b)(1);15268:
___ Declared Emergency (Sec. 21080 (b)(3);15269(a):
___ Emergency Project (Sec. 21080(b)(4);15269(b)(c):
___ Statutory Exemption: State code number
☒ **Categorical Exemption: Class 14 Sec.15314**

Reasons why project is exempt: The project meets the criteria of a Class 14 Categorical Exemption, *Minor Additions to Schools*. The project is a minor addition of a sports practice field to the existing athletic facilities within the school campus grounds of Aptos High School. The project does not increase the original student capacity by more than 25% or ten classrooms.

Brett McFadden

831-728-8160 ext. 2531

Lead Agency Contact Person:

Telephone/Extension

B. W. McFadden

Chief Business Officer

5/25/12

Signature /Title

Date

☒ **Signed by Lead Agency**

Date Received for filing at OPR: _____

___ **Signed by Applicant**

California Home

0448

Thursday, July 25, 2013



GPR Home > CEQAnet Home > CEQAnet Query > Search Results > Document Description

Aptos High School New Athletic Field**SCH Number:** 2012058304**Document Type:** NOE - Notice of Exemption**Project Lead Agency:** Pajaro Valley Unified School District**Project Description**

The project consists of the construction of a new athletic practice field on the campus of an existing high school. The project involves the import of 15,000 yards of imported soils, grading of a +/- 200,000 square foot area, and the installation of irrigation and turf. The project also includes the placement of two (2) disabled parking places in conformance with the California Education Code and Department of the State Architect accessibility standards.

Contact Information

Primary Contact:
Brett McFadden
Pajaro Valley Unified School District
831 728 8160 x2531
294 Green Valley Road
Watsonville, CA 95076

Project Location

County:
City:
Region:
Cross Streets:
Latitude/Longitude:
Parcel No:
Township:
Range:
Section:
Base:
Other Location Info: 100 Mariner Way, Aptos CA.

Exempt Status

- ☐ Ministerial
☐ Declared Emergency
☐ Emergency Project
☒ Categorical Exemption
☐ Statutory Exemption

Type, Section or Code Number S:15314**Reasons for Exemption**

Minor Addition to Schools.

Date Received: 5/29/2012[CEQAnet HOME](#) | [NEW SEARCH](#)

EXHIBIT D



JOHN J. PRESLEIGH
DIRECTOR OF PUBLIC WORKS

County of Santa Cruz

DEPARTMENT OF PUBLIC WORKS PARKS, OPEN SPACE, AND CULTURAL SERVICES DIVISION

979 17TH AVENUE, SANTA CRUZ, CA 95062
(831) 454-7901 FAX: (831) 454-7940 TDD: (831) 454-7978

July 11, 2013

CASEY O'BRIAN, PRINCIPAL
APTOS HIGH SCHOOL
100 Mariner Way
Aptos, CA 95003

SUBJECT: APTOS HIGH SCHOOL SOCCER FIELD

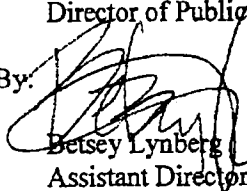
The Planning Department is in receipt of application no. 131110 to recognize the transport of fill in order to grade and fill a new soccer field and 12 parking spaces at Aptos High School in the RA-D zone district. The "D" designation is a Park Site Combining District and denotes those parcels which have been designated by the County General Plan to be acquired for development for future park facilities. The proposed soccer field will provide for an interim recreational use on the property, and as such, staff does not intend to trigger the park site review process in County Code 13.10.418 by taking this forward to the Parks and Recreation Commission. The "D" designation will remain on the property allowing for future consideration for park site acquisition and appropriate recreational development.

Should you have any questions, please contact Betsey Lynberg, Assistant Public Works Director - Parks Division at 454-7901.

Yours truly,

JOHN J. PRESLEIGH
Director of Public Works

By:


Betsey Lynberg
Assistant Director of Public Works
Parks, Open Space and Cultural Services Division

BAL:mh

Copy to: Kathy Previsich, Director, Planning Department ✓

Aptos Soccer Field2.doc

ASSESSOR PARCEL MAP
APTOS HIGH
100 MARINER WAY, APTOS
APN 041-291-39

FOR TAX PURPOSES ONLY

PUR. APPLS RANCH
SEC. 16, T.13, R.1E, M.D.B. 8

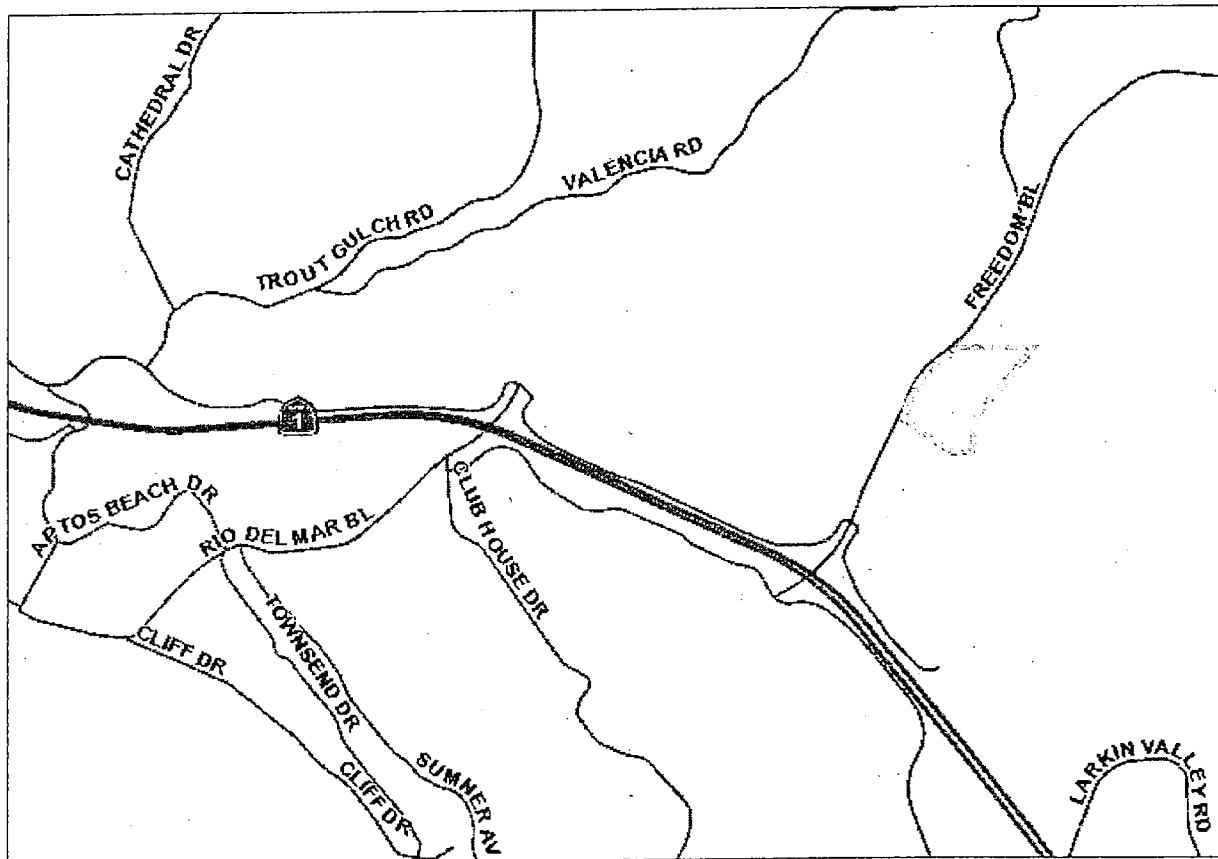
Tax Area Code	41-29
69-108 69-141	
69-210 69-211 69-272	

Note - Assessor's Parcel & Block
Numbers Shown in Series.

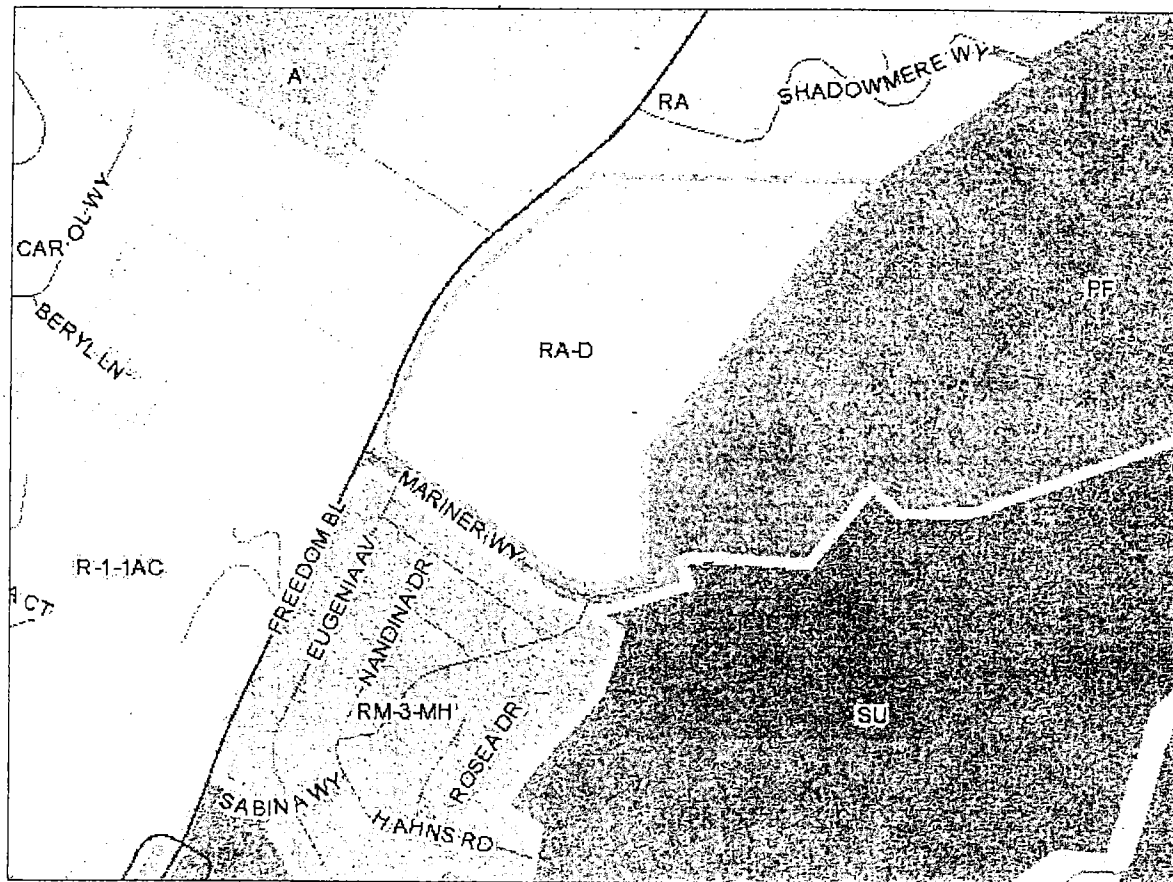
Assessor's Map No. 41-29
County of Santa Cruz, Calif
Jan. 1999

0450

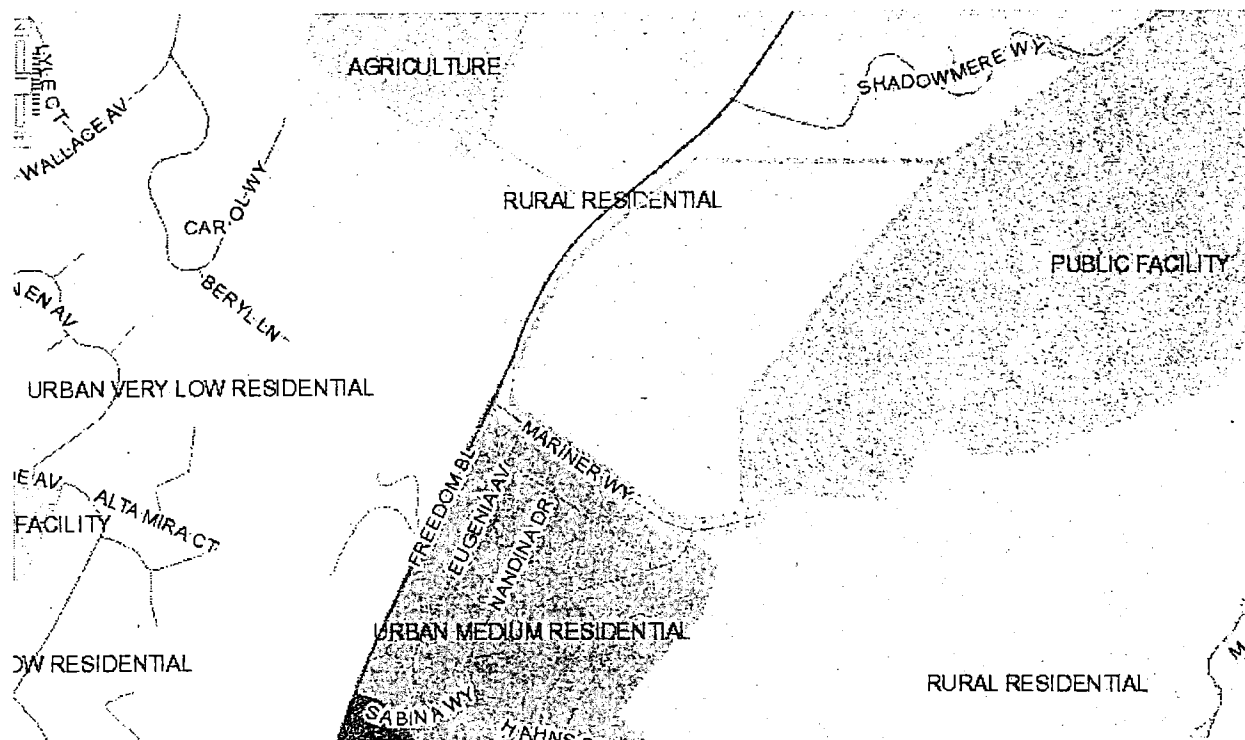
VICINITY MAP
APTOS HIGH
100 MARINER WAY, APTOS
APN 041-291-39



MAP OF ZONING DISTRICTS
APTOS HIGH
100 MARINER WAY, APTOS
APN 041-291-39



MAP OF GENERAL PLAN DESIGNATIONS
APTOS HIGH
100 MARINER WAY, APTOS
APN 041-291-39





County of Santa Cruz

0454

DEPARTMENT OF PUBLIC WORKS PARKS, OPEN SPACE, AND CULTURAL SERVICES DIVISION

979 17TH AVENUE, SANTA CRUZ, CA 95062

(831) 454-7901 FAX: (831) 454-7940 TDD: (831) 454-7978

JOHN J. PRESLEIGH
DIRECTOR OF PUBLIC WORKS

July 11, 2013

CASEY O'BRIAN, PRINCIPAL
APTOS HIGH SCHOOL
100 Mariner Way
Aptos, CA 95003

SUBJECT: APTOS HIGH SCHOOL SOCCER FIELD

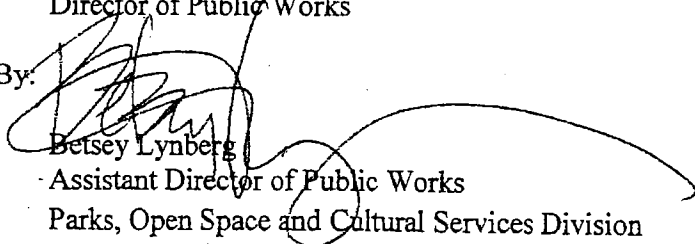
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Should you have any questions, please contact Betsey Lynberg, Assistant Public Works Director - Parks Division at 454-7901.

Yours truly,

JOHN J. PRESLEIGH
Director of Public Works

By:


Betsey Lynberg
Assistant Director of Public Works
Parks, Open Space and Cultural Services Division

BAL:mh

Copy to: Kathy Previsich, Director, Planning Department ✓

Aptos Soccer Field2.doc

EXHIBIT F

MEMORANDUM

0455

Date: August 26, 2013
To: Santa Cruz County Planning Commission
From: Carolyn Burke, Civil Engineer
Re: **Planning Commission Agenda 8/28/13, Item #8 Aptos High Athletic Field
Supplemental Information**

Please find attached supplemental information for the staff report prepared for the Aptos High Athletic Field, included on the August 28, 2013 Agenda, Item No. 8. The supplemental information includes corrections, responses to comments received after the submission of the Planning Commission Staff Report and additional correspondence, as follows:

- Initial Study Corrections and Clarifications
 - Initial Study Project Description
 - Negative Declaration Cover Sheet
 - Attachment: Revised Negative Declaration Cover Sheet
- Response to Comments Received during Initial Study Circulation
 - MBUAPCD letter dated 8/20/13
 - Paul Binding, Mosquito and Vector Control email dated 8/20/13
 - Cherie Bobbe email dated 8/12/13
 - Attachment: Email from Ralph Bracamonte, Central Water District, District Manager, dated 8/26/13
 - Melissa Farinha, CDFW email dated 8/22/13
 - Melissa Farinha, CDFW email dated 8/23/13
 - Cypress Environmental and Land Use Planning letter dated 8/21/13
 - Attachment: Email from Chad Mitcham, USFWS dated 8/22/13
- Additional Correspondence
 - Cypress Environmental and Land Use Planning letter dated 6/18/12
 - Cypress Environmental and Land Use Planning letter dated 3/20/13
 - Peter Carr email dated 8/24/13

Initial Study Corrections and Clarifications

Initial Study Project Description

0457

The Initial Study and Planning Commission Staff Report Detailed Project Descriptions include an informational description of the proposed native vegetation restoration efforts to be undertaken as a collaborative effort between USFWS and PVUSD. The restoration locations identified are areas of the campus unrelated to the proposed grading project that would benefit from restoration efforts and are not impact mitigation measures (see attached email from Chad Mitcham, USFWS, 8/22/13 in Response to Comments from Kim Tshantz). As the referenced restoration plan is a separate, voluntary venture between PVUSD and USFWS it should not be included in the Initial Study and Planning Commission Staff Report Detailed Project Descriptions.

Negative Declaration Cover Sheet

The Negative Declaration Cover Sheet included with the Initial Study errantly includes reference to a "Mitigated Negative Declaration" in the body of the text. This error was isolated to the cover sheet, and not repeated anywhere in the Initial Study or supporting documentation. A revised cover sheet is included here as an attachment.



COUNTY OF SANTA CRUZ

0458

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123

KATHLEEN MOLLOY PREVISICH, PLANNING DIRECTOR

<http://www.sccoplanning.com/>

NEGATIVE DECLARATION

Project: Aptos High School Athletic Field

APN(S): 041-291-39

Project Description: Proposal to place approximately 19,000 cubic yards of soil to create an athletic field on the campus of Aptos High School. The project includes the installation of drainage facilities, irrigation, turf and paving for an ADA accessible parking area.

Project Location: The proposed project is located near the entrance to Aptos High School at the intersection of Freedom Boulevard and Mariner Way (approximately 0.4 miles North of the Hwy 1, Freedom Boulevard exit).

Owner: Pajaro Valley Unified School District

Applicant: Pajaro Valley Unified School District

Staff Planner: Carolyn Burke, (831) 454-5121, pln416@co.santa-cruz.ca.us

This project will be considered at a public hearing by the Santa Cruz County Planning Commission on August 28, 2013 in the Board of Supervisors Chambers, 701 Ocean Street, Room 525, Santa Cruz, CA 95060

California Environmental Quality Act Negative Declaration Findings:

Find, that this Negative Declaration reflects the decision-making body's independent judgment and analysis, and; that the decision-making body has reviewed and considered the information contained in this Negative Declaration and the comments received during the public review period, and; on the basis of the whole record before the decision-making body (including this Negative Declaration) that there is no substantial evidence that the project will have a significant effect on the environment. The expected environmental impacts of the project are documented in the attached Initial Study on file with the County of Santa Cruz Clerk of the Board located at 701 Ocean Street, 5th Floor, Santa Cruz, California.

Review Period Ends: August 22, 2013

Note: This Document is considered Draft until it is Adopted by the Appropriate County of Santa Cruz Decision-Making Body

Date: 8/23/13


TODD SEXAUER, Environmental Coordinator
(831) 454-3201

Response to Comments Received during Initial Study Circulation



MBUAPCD

Monterey Bay Unified Air Pollution Control District
Serving Monterey, San Benito, and Santa Cruz Counties

0450

24580 Silver Cloud Court
Monterey, CA 93940

PHONE: (831) 647-9411 • FAX: (831) 647-8501

August 20, 2013

Carolyn Burke, Civil Engineer
County of Santa Cruz, Planning Department
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
Email: pln416@co.santa-cruz.ca.us

Re: Negative Declaration for the Aptos High School Athletic Field

Dear Ms. Burke:

Thank you for providing the Monterey Bay Unified Air Pollution Control District (Air District) the opportunity to comment on the above-referenced document. The Air District has reviewed the document and has the following comment:

Air Quality (Section K)

The discussion under K.1 on page 26 should include the approximate number of daily acres to be graded during construction of the athletic field. The project description indicates a grading permit is needed for the project and that approximately 200,000 square foot area will be graded. Please provide an estimate of the maximum daily acres to be graded for comparison to the Air District's 2.2 acre/day level of construction activity that may result in potentially significant impacts from construction generated PM₁₀ emissions.

Please let me know if you have any questions. I can be reached at (831) 647-9418 ext. 227 or aclymo@mbuapcd.org.

Best Regards,

Amy Clymo
Supervising Air Quality Planner

cc: David Frisbey, MBUAPCD Air Quality Planner

"The discussion under K.1 on page 26 should include the approximate number of daily acres to be graded during construction of the athletic field. The project description indicates a grading permit is needed for the project and that approximately 200,000 square foot area will be graded. Please provide an estimate for the maximum daily acres to be graded for comparison to the Air District's 2.2 acre/day level of construction activity that may result in potentially significant impacts from construction generated PM₁₀ emissions."

Response to MBUAPCD Comment (letter dated August 20, 2013)

The bulk of the proposed grading activities are already complete. Remaining activities include the re-working of existing soils on the playing field, parking area and embankment to achieve final grades and compaction values. Due to the nature of the remaining work, the grading operations will be undertaken in discrete sections. The largest continuous area to be graded will be the playing field, which is approximately 71,250 square feet (1.64 acres). Grading for smaller areas of improvement such as the embankments, parking and path areas will be undertaken separately. As such, the work proposed will fall below the Air District's 2.2 acre/day level of construction activity that may result in potentially significant impacts from construction generated PM₁₀ emissions.

Carolyn Burke

From: Paul Binding
Sent: Tuesday, August 20, 2013 11:49 AM
To: Carolyn Burke
Cc: MaryLou Nicoletti; Steven Driscoll
Subject: Aptos HS Athletic Field

0462

Carolyn,

Thank you for the opportunity to comment on the Aptos HS Athletic Field neg dec.

Our mosquito control program uses integrated methods to manage mosquito breeding and the threat of mosquito-borne diseases. Reduction of breeding sources is the best, long-term method and the most ecologically sound. Retention basins such as exists in the project area are prone to breeding mosquitoes when water stands among decaying vegetation for longer than one week. We find that detention/retention features sometimes lose their percolation properties as they silt up with organic material. Furthermore, Cattails and tules that normally assist in drawing down standing water can become too dense and thatch, creating decay, adding nutrients that provide food and mosquito habitat and inhibiting effectiveness of mosquito larvicides. For this reason, occasional vegetation maintenance by the landowner is usually necessary. Access for this purpose should be part of the design, and all parts of the retention feature should be within the 30 foot swath width of granule applicators.

The CA Health and Safety Code assigns responsibility for mosquito prevention to the landowner, in this case PVUSD. The landowner should contact our office for consultation and advice regarding drainage maintenance scheduling.

Thank you,

Paul Binding, Manager
Santa Cruz County Mosquito and Vector Control
(831)454-2590
<http://www.agdept.com/AgriculturalCommissioner/MosquitoAbatementVectorControl.aspx>

Thank you for the opportunity to comment on the Aptos HS Athletic Field neg dec. Our mosquito control program uses integrated methods to manage mosquito breeding and the threat of mosquito-borne diseases. Reduction of breeding sources is the best, long-term method and the most ecologically sound. Retention basins such as exists in the project area are prone to breeding mosquitoes when water stands among decaying vegetation for longer than one week. We find that detention/retention features sometimes lose their percolation properties as they silt up with organic material. Furthermore, Cattails and tules that normally assist in drawing down standing water can become too dense and thatch, creating decay, adding nutrients that provide food and mosquito habitat and inhibiting effectiveness of mosquito larvicides. For this reason, occasional vegetation maintenance by the landowner is usually necessary. Access for this purpose should be part of the design, and all parts of the retention feature should be within the 30 foot swath width of granule applicators.

The CA Health and Safety Code assigns responsibility for mosquito prevention to the landowner, in this case PVUSD. The landowner should contact our office for consultation and advice regarding drainage maintenance scheduling.

Response to Comment from Paul Binding, Santa Cruz County Mosquito and Vector Control

While maintenance of the existing retention basin is not within the scope of this project, this comment was forwarded to PVUSD staff for review and distribution to appropriate parties.

Carolyn Burke

From: Kathy Previsich
Sent: Monday, August 12, 2013 6:25 PM
To: Kent Edler; Matt Johnston; Carolyn Burke; Todd Sexauer
Subject: Fwd: Planning Agenda

0464

FYI

Begin forwarded message:

From: Zach Friend <BDS022@co.santa-cruz.ca.us>
Date: August 12, 2013, 6:02:45 PM PDT
To: Kathy Previsich <PLN001@co.santa-cruz.ca.us>
Subject: Fwd: Planning Agenda

Kathy-

FYI

Zach

Begin forwarded message:

From: Cherie Bobbe <cbobbe@me.com>
Date: August 12, 2013, 5:56:20 PM PDT
To: John Ricker <ENV012@co.santa-cruz.ca.us>
Cc: Zach Friend <BDS022@co.santa-cruz.ca.us>, John Leopold
<John.Leopold@co.santa-cruz.ca.us>
Subject: Planning Agenda

<http://sccounty01.co.santa-cruz.ca.us/planning/plnmeetings/ASP/Display/ASPX/DisplayAgenda.aspx?MeetingDate=8/28/2013&MeetingType=1>

Good evening Gentlemen,

The planning commission's likely approval of a new sports field in Aptos is quite disturbing. This will be a very large and very new usage of water out of our tapped aquifers. There appear to be no plans for a cistern system, recycled water, greywater or a catchment system. I hope you will try to intercede. I have sent an email about it to the Conservation Director at Soquel Water, and also to the Soquel water board as a whole.

Thank you,
Cherie

Cherie Bobbe Landscape Design

Comment from Cherie Bobbe via email August 12, 2013

The planning commission's likely approval of a new sports field in Aptos is quite disturbing. This will be a very large and very new usage of water out of our tapped aquifers. There appear to be no plans for a cistern system, recycled water, greywater or a catchment system. I hope you will try to intercede. I have sent an email about it to the Conservation Director at Soquel Water, and also to the Soquel water board as a whole.

Response to Comment from Cherie Bobbe via email August 12, 2013

The proposed field incorporates multiple Best Management Practices (BMPs) to maximize groundwater recharge. Specifically the project proposes virtually no impervious surfaces, incorporating pervious gravel paver surfacing for the parking area. The swales used to capture field runoff are pervious with retention trenches beneath them to allow percolation. Overflow from these retention trenches enters into a 195 lineal foot retention trench at the west end of the field to allow further percolation of runoff. Department of Public Works (DPW) Stormwater Management staff have reviewed calculations for pre and post-development groundwater recharge rates to ensure that they meet County Stormwater Design Criteria for maintenance of groundwater recharge rates. The plans were reviewed by the Central Water District and they confirmed that "it does not appear that any groundwater recharge problems will be created by this project." (see attached email from Ralph Bracamonte, District Manager Central Water District, dated 8/26/13).

Irrigation water for the proposed field will be provided by two existing wells on the Aptos High School campus. PVUSD does monitor their campus water usage and have recently undertaken several voluntary projects to increase their water efficiency, including the replacement of the natural turf surfacing of their existing football field with artificial turf as well as the repair/replacement of their existing aging water tanks (currently underway).

Carolyn Burke

From: Central Water District [cenwtr@yahoo.com]
Sent: Monday, August 26, 2013 2:00 PM
To: Carolyn Burke
Subject: RE: Response to Central Water District Comment

0466

Carolyn,

As I mentioned during our telephone conversation the primary concern of the Central Water District is preserving and protecting the groundwater recharge area and I greatly appreciate that you forwarded me the site plan. After talking with you and reviewing the site plan I want to let you know that it does not appear that any groundwater recharge problems will be created by this project.

Thanks again,
Ralph Bracamonte

From: Carolyn Burke [mailto:PLN416@co.santa-cruz.ca.us]
Sent: Monday, August 26, 2013 12:02 PM
To: 'Central Water District'
Subject: RE: Response to Central Water District Comment

Absolutely – please find the site plan (Sheet 1.0) attached. I also can provide a full set of plans in .pdf form if you wish (it is just a very large document). Please let me know if this information is sufficient for your needs.

Thanks, Carolyn

From: Central Water District [mailto:cenwtr@yahoo.com]
Sent: Monday, August 26, 2013 11:01 AM
To: Carolyn Burke
Subject: RE: Response to Central Water District Comment

Carolyn,

Thanks for that information. I would like to see the site plan showing the location of the athletic field in relationship to the ADA parking. Is that something that I can get via email?

Thanks,
Ralph

From: Carolyn Burke [mailto:PLN416@co.santa-cruz.ca.us]
Sent: Monday, August 26, 2013 10:37 AM
To: 'cenwtr@yahoo.com'
Subject: Response to Central Water District Comment

Hi Ralph,

Thank you for speaking with me this morning regarding the proposed Aptos High field project. In response to your question regarding the proposed parking area surfacing, I would like to confirm that surfacing will consist of gravel

pavers. I have attached two plan sheets, Sheet C1.1 (plan view) and Sheet C3.0 (detail shown as 4/C3.0) that provide more specifics.

0467

As we discussed this morning the proposed field is within the primary groundwater recharge area for the district, but you do not foresee problems with this as there are no significant impervious surfaces being proposed. Also, there are no additional permits or approvals required by your agency since the field will use water from Aptos High wells. The efficiency of their overall water system has been notably improved by recent repairs to existing tanks.

I realize Central Water District has not submitted written comments for the project at this time. Please let me know if the talking points I outlined above are accurate, and feel free to add any additional comments or revisions you would like to be part of the official record.

Thank you for your time.

Sincerely,

Carolyn Burke
Civil Engineer
County of Santa Cruz, Environmental Planning
(831) 454-5121

Carolyn Burke

From: Bernice Romero
Sent: Friday, August 23, 2013 8:24 AM
To: Carolyn Burke; Matt Johnston; Todd Sexauer
Subject: FW: Aptos High School Athletic Field

0468

FYI.

Bernice Romero

Executive Secretary
Santa Cruz County Planning Department
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-3137

From: Farinha, Melissa@Wildlife [<mailto:Melissa.Farinha@wildlife.ca.gov>]
Sent: Thursday, August 22, 2013 4:41 PM
To: Bernice Romero; Agriculture Department/Darlene Din; Amy Clymo; Angela Aitken, SCMetro Transit; Betty Cost; Central Fire Protection District/Jeanette; Chris Berry; Walters, Chris@CALFIRE; Ciro Aguirre, SCMetro Transit; Comm. Dev. Dept. City of Watsonville; Commissions; District Manager/SLV Water District; Grace Blakeslee; Jacob Jones; Jonathan Wittwer; Linette Almond; Mary Bannister/PVWMA; Farinha, Melissa@Wildlife; Monterey Bay Unified Air Pollution Control District; Pat McCormick/LAFCO; Patricia Matachek; Paul Binding; PVWMA; Renee Shepherd; Ron Powers; Sherry Reiker; SLV Water District; Steve Gettel; Craig, Susan@Coastal; Vince Cheap; Vince Cheap; Watsonville Planning/luz Martinez
Cc: Kim Tschantz (kimt@cypressenv.com)
Subject: RE: Aptos High School Athletic Field

Dear Ms. Romero,
CDFW has reviewed the Negative Declaration for the Aptos High School Athletic Field (Application # 131110) and has the following comments.

CDFW has never consulted with the Pajaro Valley Unified School District on this project nor has it concurred that the project will not result in an impact to special status species. Please correct the document to reflect this.

Thank You,

Melissa A. Farinha
California Department of Fish and Wildlife
Environmental Scientist - Santa Cruz County
7329 Silverado Trail
Napa, CA 94558

From: Bernice Romero [<mailto:PLN816@co.santa-cruz.ca.us>]
Sent: Monday, August 05, 2013 2:09 PM
To: Agriculture Department/Darlene Din; Amy Clymo; Angela Aitken, SCMetro Transit; Betty Cost; Central Fire Protection District/Jeanette; Chris Berry; Chris Walters/County Deputy Fire Marshal; Ciro Aguirre, SCMetro Transit; Comm. Dev. Dept. City of Watsonville; Commissions; District Manager/SLV Water District; Grace Blakeslee; Jacob Jones; Jonathan Wittwer; Linette Almond; Mary Bannister/PVWMA; Farinha, Melissa@Wildlife; Monterey Bay Unified Air Pollution Control District; Pat McCormick/LAFCO; Patricia Matachek; Paul Binding; PVWMA; Renee Shepherd; Ron Powers; Sherry Reiker; SLV Water District; Steve Gettel; Susan Craig; Vince Cheap; Vince Cheap; Watsonville Planning/luz Martinez
Cc: Kim Tschantz (kimt@cypressenv.com)
Subject: Aptos High School Athletic Field

CDFW has never consulted with the Pajaro Valley Unified School District on this project nor has it concurred that the project will not result in an impact to special status species. Please correct the document to reflect this.

Response to Comment from Melissa Farinha, CDFW via email dated August 22, 2013

The Initial Study stated that both CDFW and USFWS were consulted on the proposed project, but it should be clarified that CDFW asked USFWS to be consulted with on further actions and would let USFWS take the lead on guiding remediation efforts (Matt Johnston communication with Melissa Farinha, CDFW, 8/23/13). USFWS subsequently made the determination that the area that was graded was not considered Santa Cruz Long-Toed Salamander habitat.

While the voluntary habitat restoration undertaken by PVUSD is not part of the subject project (see Initial Study Corrections), PVUSD has been informed that CDFW must be conferred with on development of the associated native plant restoration plans.

Carolyn Burke

From: Todd Sexauer
Sent: Friday, August 23, 2013 2:22 PM
To: Carolyn Burke
Subject: FW: Negative Declarations

0470

Carolyn,

Here is another comment from Melissa Farinha of CDFW on the IS/MND for the Aptos High School Athletic Field. We will go ahead and make the correction to the Negative Declaration document.

Todd

From: Farinha, Melissa@Wildlife [<mailto:Melissa.Farinha@wildlife.ca.gov>]
Sent: Friday, August 23, 2013 11:47 AM
To: Todd Sexauer
Subject: Negative Declarations

Dear Todd,

Can you help me understand why "Mitigated Negative Declaration" keeps coming up in the Negative Declarations?

Much Appreciated,

Melissa A. Farinha
California Department of Fish and Wildlife
Environmental Scientist - Santa Cruz County
7329 Silverado Trail
Napa, CA 94558

Comment from Melissa Farinha, CDFW via email dated August 23, 2013

Can you help me understand why "Mitigated Negative Declaration" keeps coming up with the Negative Declaration?

Response to Comment from Melissa Farinha, CDFW via email dated August 23, 2013

The cover sheet for the Negative Declaration mistakenly uses the term "mitigated negative declaration" in the text. This sheet has been updated and included in the Initial Study Corrections section of the Staff Report Supplemental Information packet.

CYPRESS ENVIRONMENTAL AND LAND USE PLANNING

P.O. BOX 1844

APTOS CALIFORNIA

Email: kimt@cypressenv.com

August 21, 2013

Todd Sexauer and Matt Johnston, Environmental Coordinators
County of Santa Cruz Planning Department
County Governmental Center
701 Ocean Street, 4th floor
Santa Cruz, CA 95060

SUBJECT: Comments on the Initial Study Prepared for the Aptos High School Grading and Sports Field Project; Application 131110: A.P.N. 41-291-39

Dear Messrs. Sexauer and Johnston,

I have reviewed the Initial Study prepared for the project referenced above and have the following comments.

Page 2; Paragraph 3

Under the heading of Other Agencies that Must Issue Approvals or Permits, the entry is shown as "none". This is not correct. The Office of the State Architect must review and approve handicapped parking for the project. In addition, this project has generated consultation between the Pajaro Valley Unified School District (PVUSD) and the U. S. Fish and Wildlife Service (USFWS) and the California Department of Fish and Wildlife (CDFW) to enter into an MOU for a biotic restoration plan to mitigate for potential impacts to federally listed migratory amphibians.¹ The MOU and its pending restoration plan are part of the whole project as defined by CEQA. USFWS and CDFW should be included as other agencies that must issue approvals since they will have regulatory oversight of the restoration plan. This Initial Study should be provided to these three agencies for review and comment through the State Clearinghouse.

Page 3; Paragraph 1 (Background Information)

The Existing Conditions; Vegetation category fails to include the wetland habitat that occurs on the site. While the wetland was originally created as a drainage basin, over several years it has been colonized with emergent wetland plant species and numerous amphibians and water birds use this biotic feature. (Refer to photo of wetland marked as Exhibit A). It is the existence of this wetland that USFWS and CDFW believe may attract migratory amphibians. Wetland habitats are considered protected sensitive habitats by the California Fish and Game Code and Chapters 16.30 and 16.32 of the Santa Cruz County Code.

Environmental Planning and Analysis, Land Use Consulting and Permitting

¹ Telephone conversation with Chad Mitchell, USFWS, March 14, 2013

Page 3; Paragraph 2 (Background Information)

The listing of Environmental Resources and Constraints fails to identify the wetland habitat described above. While County Planning's Resource and Constraints maps may not have mapped this area as a biologically sensitive habitat, routine site inspection would show otherwise. The Resource and Constraints maps are a tool to assist in environmental analyses, but are not the final determinant of site conditions.

Page 3; Paragraph 3 (Background Information)

Under "Services", the School District is incorrectly identified as "Aptos High". The school district is Pajaro Valley Unified School District. Under "Water Supply", the project site and the adjoining Aptos High School campus are within the Central Water District. This Initial Study should be provided to this agency for their review and comment.

Page 4; Paragraph 6 (Environmental Setting)

This section fails to discuss the wetland habitat that occurs at the detention basin area of the site. Refer to my comment regarding Page 3; Paragraph 2 above.

Page 5; Paragraph 2 (Environmental Setting)

The reason there is a potential for threatened amphibian species to migrate across the field site is due to its location between a known breeding location on Shadowmere Way for these species and the wetland habitat described in the preceding comment. This is another factor showing why the wetland should be described as a sensitive habitat.

Page 7; Paragraph 2 (Detailed Project Description)

The statement "no area of stadium-type lighting is proposed for the field and therefore activities would be concluded by late afternoon" is incorrect. The lack of field lighting will allow field games and practices to occur until the evening hours of 8:00-9:00 P.M. in summer months and 7:00 P.M. during certain autumn and spring months. The effects of evening use of the field should be discussed in the Initial Study.

The following statement that "the existing baseball field parking lot would be available for parking needs beyond that which could be accommodated by the proposed ADA accessible parking area" is unsupported by any facts in the document. I have observed baseball games on weekends with its parking lot filled to capacity with vehicles. Clearly, the baseball lot would only be available when the baseball field is also not in use, but under the current project description, there is no way to prevent simultaneous use of the fields. This lack of understanding the parking dilemma has led to a faulty parking analysis that is discussed in a later comment below.

Page 12 and 13; Item B.4

It should be noted that the groundwater recharge elements of the project drainage plan are a result of this project going through the permit process. The original project, which commenced before a Grading Permit application was made, did not have the features described in this section of the Initial Study to mitigate for groundwater recharge impacts from the placement of 13,000 cubic

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Page 3

yards of fill material.

Page 14; Item B.8

Same comment as discussed for Page 12 and 13 above.

Page 14; Item C.2

Just because a site is not mapped as containing a biologically sensitive habitat does not always mean no such habitat occurs on the site. Refer to the comment for Page 3; Paragraph 2 above and Exhibit A.

Page 15; Item C.3

The discussion under this section is limited to findings pertaining to special status State or federal species. However, this item of the Initial Study Checklist pertains to "any native resident migratory fish or wildlife species". As stated in preceding comments, the proximate wetland habitat is used regularly by amphibian and water bird species. I and other residents in the neighborhood have observed multiple mallard ducks in the pond and the cacophonous croaking of tree frogs on successive nights during the rainy season. The effects on these species use of the wetland habitat from increased human use of the nearby field should be discussed in the Initial Study. A noise and visual barrier between the field of play and the wetland habitat could mitigate impacts to wildlife use of the wetland. Refer to comment for Page 25; item J.3 below.

Page 16; Item C.4

This comment wrongly identifies the project site as being located in an urban area. On the high school side of Freedom Blvd., the County's Urban Services Line (USL) ends at the south edge of Mariner Way. On the opposite (west) side of Freedom Blvd, the USL ends a few feet north of the Mariner Way intersection. The Aptos Pines Mobile Home Park is within the USL, but the project site, Aptos High School campus and most rural residential properties on the west side of Freedom Blvd. are located beyond the USL and do not have most urban services. Properties on the west side of Freedom Blvd. that are within the USL are designated by the General Plan as "Rural Residential" land use and zoned "RA", so they too are essentially rural properties.

Street lighting on this segment of Freedom Blvd. is limited to its intersections with Soquel Drive and Mariner Way. The proposed lighting described by Planning staff in this section of the Initial Study would not generate a substantial change in the nighttime environment *if* it is designed as true pedestrian-oriented lighting that shines downward rather than outward on to other nearby properties. In addition, pedestrian lighting is placed on standards not exceeding two-feet in height. However, the project plans do not provide any lighting details. Therefore, the description of lighting in this section of the Initial Study is not substantiated by any facts. Absent any plans that show "low impact" lighting, this section of the Initial Study needs to provide performance standards to ensure future lighting will actually be "low impact" and not generate glares on nearby dwellings on the opposite side of Mariner Way. The conclusion for this issue needs to be changed in the Initial Study to "Less than Significant with Mitigation Incorporated" and a mitigation measure, such as performance standards for this lighting, needs to be included.

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Page 19; Item F.3

Several mature acacia trees are proposed to be removed as part of the biotic restoration plan PVUSD plans to implement on the site. While the plan includes replacing these non-native trees with coast live oak (*Quercus agrifolia*), these native species are characterized as being extremely slow growing compared to other tree species. Therefore, there will be a long period of time between removal of the existing tree canopy at the western portion and the growth of a moderate new tree canopy. The plan restoration plan is a result of PVUSD's discussions with USFWS and is being implemented to mitigate for any potential impacts to listed migratory amphibian species, including the Santa Cruz Long-Toed salamander (*Ambystoma macrodactylum croceum*), which may migrate to and from the wetland located between the proposed field and Freedom Blvd. The restoration plan element of this project needs to be discussed throughout the Initial Study where appropriate.

Page 19; Item F.4

There is no evidence in the project plans attached to the Initial Study that the proposed lighting will be the "low impact" type described in this comment. Refer to the comment regarding item C.4 above.

Page 22; Item I.1

The description of field use differs significantly from what PVUSD administrative staff has told representatives of Rob Roy Neighbors. We have been told the field will be used as follows:

- During each school day for physical education classes (weather permitting);
- Directly after the school day for high school team practices;
- After the school day (weekdays) for other organized sports, including adult soccer and rugby teams, when not in conflict with high school team practices (e.g. after 5:00 p.m.);
- Each Saturday and Sunday during the spring and autumn youth soccer seasons for Aptos Soccer Club team games; and
- At other times it could be rented out to other organized teams, including adult teams for games.²

This represents a more intense use of a playing field than occurs at other sports fields at school or public park facilities throughout the County. If the proposed field usage has recently been reduced from what was articulated by PVUSD, the Initial Study should provide evidence of the reduced use (e.g. PVUSD Board resolution, etc.). Absent such evidence, a CEQA traffic analysis must be done under the "worst case" (highest possible use) situation. As such, the current discussion for this item is inadequate and inconsistent with CEQA.

Page 23; Item I.5

The discussion of parking is inadequate. Project plans show the parking area for the proposed new field will be limited to 2 handicapped accessible spaces and 11 other parking spaces. This number

² Description from Brent McFadden, PVUSD Assistant Superintendent during a meeting with 10 representatives of PVUSD administration and Aptos Sports Foundation and 4 members of Rob Roy Neighbors at Aptos High School conference room, June 28, 2012.

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of spaces will not provide parking for even 25% of the projected field users. The discussion claims field users can always park in the nearby unpaved parking lot at the high school baseball field. But this illogical reasoning assumes the baseball lot will always be vacant and waiting to be used by players and spectators of the proposed field. Everyone who has visited the Aptos High campus knows differently. The baseball lot is used frequently on weekdays and weekends to accommodate players and spectators using the baseball field, who are not limited to the Aptos High School baseball team. In addition, this discussion also illogically assumes users and spectators of the proposed field will just drive up to the main campus, located 0.5 mile from the field and either park near the football field (1,375 ft. from the proposed field parking lot) or the performing arts hall (2,669 feet) and walk down to the proposed field. It is unrealistic to assume this will occur, especially with youth sports leagues and their parents and grandparents. According to Willie Yahiro, President of the PVUSD Board of Trustees, "we can't expect people to drive and park all the way up on campus and then walk down to the field from there."³

The Initial Study conclusion that the parking impact will be a "Less than Significant Impact" is incorrect. This impact is currently a "Potentially Significant Impact" and will remain so unless PVUSD or the County can formulate an effective mitigation measure to adequately solve the future parking problem generated by use of this new facility.

Page 24; Item J.1

The characterization of both construction phase noise and noise generated by long-term use are both inadequate and include false assumptions. The analysis under this item J.1 states the noise increase from field use would not be substantial. However, this statement is not substantiated with any facts or evidence and therefore cannot be used in a CEQA document.

Page 25; Item J.3

The Initial Study uses a noise study for a park master plan in Nipomo (San Luis Obispo County) to conclude that noise from three simultaneously played soccer games generates "54 Leq dBA at a distance of 100 feet from the center of the field". One wonders why the Initial Study preparers used a noise study from Nipomo, California when they could have used noise studies prepared for park projects in Santa Cruz County. The data from the Nipomo study differs dramatically from the data provided by EIRs prepared for park projects in Santa Cruz County. The EIR prepared for the O'Neill Ranch Park in Soquel states the average noise level generated by soccer games is 55 dBA at 200 feet from the center line of the field with maximum noise at 60 dBA (emphasis mine)⁴. The EIR prepared for Polo Grounds Regional Park in Aptos states soccer field play would generate noise at 63-70 dBA to dwellings located about 75-100 feet from the field. Sports whistles would generate 64-65 dBA.⁵ While this information comes from EIRs that were

³ PVUSD Board of Trustees meeting, Watsonville, June 26, 2013

⁴ O'Neill Ranch EIR prepared by Brady and Associates, 1995. Certified by the Board of Supervisors in 1995. Noise impacts from playing fields discussed in EIR are based on measurements from Illingworth and Rodkin Acoustical Consultants.

⁵ Polo Grounds Regional Park Draft EIR, prepared by Leonard Charles Associates, July 1991. Noise impacts from playing fields discussed in EIR are based on measurements from Illingworth and Rodkin Acoustical Consultants.

prepared in 1991 and 1995, acoustical methods to measure noise impacts have not changed since these times.

In addition to using the noise standards of County General Plan for significance criteria to determine if an impact is significant, the O'Neill Ranch EIR also specified an increase in noise beyond the existing ambient level of 10 dBA or more as another significance criteria to determine substantial impacts. This is common practice in CEQA documents and is based on community response studies that have determined a noise increase of 10 dBA beyond ambient levels typically results in widespread complaints. The setting of the O'Neill Ranch has many similarities to that of the proposed Aptos High School field in that a soccer field without stadium lights and spectator seating was proposed proximate to the rear yards of existing residential lots with dwellings. The O'Neill Ranch EIR concluded that the new field would generate noise exceeding the ambient level by 10–15 dBA. The mitigation to address this significant impact was to either: a) construct a 6-foot high earth berm between the field and the residential lots or b) construct a 6-foot high solid wood fence with minimum thickness of $\frac{3}{4}$ inch, along the rear yard of the residential lots. One or both of these mitigative techniques should be used at the Aptos High field to solve the future noise impacts from the uses of the field.

The second paragraph of this analysis states that the existing 5-foot high fence along the residential rear yard property lines facing Mariner Way will provide “a further incremental reduction in the field noise level”. A casual inspection of the site would show that this statement is not accurate. The grading for the field has altered the topography of the site to elevate most of the field area higher than the existing 5-foot high fence. In fact, the southwest corner of the field is elevated 11–12 feet higher than the previous grade resulting in the majority of the field *surface* being at a higher elevation than the top of the existing fence!⁶ To attenuate noise, barriers must be placed between the noise generator and the receptor on both the horizontal plane and the vertical plane. The existing 5-foot high fence at the mobile home park will not and cannot reduce any field noise. The only way to provide a barrier between the field and the mobile home park dwellings in the vertical plane is to construct a 6-foot high earth berm and/or solid wood fence at the surface of the field. There is sufficient spatial area to construct a berm at the west end of the field at a 2:1 slope (and possibly a 3:1 slope) without encroaching in the 100-foot setback from the proximate wetland. Such a berm would reduce field noise to all dwellings in the mobile home park along Eugenia Avenue and dwellings on Freedom Blvd. Because most of the field is already constructed, there is not sufficient spatial area to construct an earth berm at the field surface parallel to Mariner Way; but a 6-foot high fence could be constructed that would attenuate noise impacts to the remainder of Aptos Pines Mobile Home Park.

Page 26; Item J.4

The analysis states construction noise will not be significant because it would be temporary. This statement is contrary to the conclusions of a myriad of CEQA documents pertaining to

⁶ One example of this elevation difference was provided by Carol Linder's oral comments at the PVUSD sponsored neighborhood meeting on June 10, 2013. She stated that people standing on the field could see in her bedroom window.

Comments on the Initial Study Prepared for the Aptos High School Grading/Sports Field Project
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Page 7

construction-phase impacts, including those prepared by the County of Santa Cruz. Having personally experienced the construction noise during initial grading for the field in May 2011, I know it was a significant alteration of the ambient environment. Put in lay terms, the construction noise was reminiscent of excavation operations at the Buena Vista landfill. Neighbors expect more of this noise when grading resumes in the future to complete the field unless mitigation measures to attenuate construction noise are included in the Grading Permit. While construction-phase noise cannot be avoided, most CEQA documents prescribe a list of best management practices to minimize noise impacts, including limiting work hours to 8:00 A.M. to 4:00/5:00 P.M. on weekdays. There is no reason why this Initial Study cannot do the same. In fact, policy 6.9.7 of the County General Plan "requires mitigation of construction noise as a condition of future project approvals".

The Initial Study provides no real evidence to support repeated conclusions that noise impacts are "Less than Significant" for items J.1, J.3 and J.4. These conclusions need to be changed to "Potentially Significant Impact" unless mitigations are formulated in each of the three noise-related items to solve noise impacts to the surrounding neighborhood. In that case, the conclusion would be "Less than Significant with Mitigation Incorporated". While the County's permitting authority is limited to noise impacts related to J.4, the Initial Study can and should prescribe mitigation measures to fully address significant noise impacts related to J.1 and J.3 so PVUSD can consider these mitigation measures when the School Board discusses this project again in the near future.

Pages 26 & 27; Item K.1

During the initial grading that occurred in May 2011 residents on the opposite side of Freedom Blvd. received significant amounts of dust on their properties, especially in the afternoons due to the prevailing on-shore winds. Large volumes of mud were also tracked on Freedom Blvd. by construction vehicles.⁷ The project proponent has already demonstrated that it does not employ correct dust control practices on its own. Surrounding residents have had to suffer the impacts. One of the purposes of a Grading Permit is to specify best management (or other) practices to alleviate the problems that occurred in May 2011. This portion of the Initial Study has failed to do this. Remember this project is the largest land alteration project that has occurred under the jurisdiction of the County of Santa Cruz County in several years. The conclusion that dust impacts are "Less than Significant" for item K.1 is not supported by any evidence. This conclusion should be changed to "Less than Significant with Mitigation Incorporated" and mitigation measures need to be specified.

Page 33, Mandatory Finding of Significance 1

The Initial Study has not evaluated the effects of use of the field proximate to a wetland habitat used by amphibians and water fowl. Unless mitigation measures are recommended under item C.3 to protect wildlife use of the wetland, this item would be a "Potentially Significant Impact".

⁷ In, at least, one instance during May 2011, County Public Works had to take necessary enforcement action to order the construction crew to clean up the roadway and initiate better dirt tracking/mud control practices.

Comments on the Initial Study Prepared for the Aptos High School Grading/Sports Field Project
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Page 34, Mandatory Finding of Significance 3

The Initial Study has erroneously made a finding of "Less than Significant" for the project's impact on humans. As discussed above in several comments, the project will generate impacts and potential impacts to surrounding residents during both the construction-phase and the post-construction phase of the project. The Initial Study should be revised to acknowledge these impacts and prescribe mitigation measures that effectively reduce impacts to insignificant levels.

Conclusion

The Initial Study is too flawed to provide a comprehensive and effective analysis. In some instances it fails to acknowledge impacts. In other instances, impacts are identified as "Less than Significant" when they should be identified as generating significant or potentially significant impacts. As a result, mitigation measures that could minimize or avoid impacts as required by CEQA are not included in the analysis. In several instances the Initial Study makes conclusions that the project will not have any significant effects without providing supporting evidence for such conclusions. In other instances, discussions include incorrect information about the physical characteristics and/or regulatory mapping site and its vicinity. The document needs to be revised to correct inaccurate information and needs to better identify impacts and potential impacts to surrounding residents.

The Initial Study does not identify other agencies that have review and approval authority over elements of the project. The document should be sent these agencies in accordance with CEQA's transmittal and distribution procedure through the State Clearinghouse. The Initial Study was only circulated for a 21-day period, rather than the required 30-day review and comment period.

While it is understood that the County's permitting authority is limited to a Grading Permit for this project, its authority to prepare a CEQA document for the project is not limited in the same way. Actually, CEQA requires Initial Studies and EIRs to evaluate the *whole* project regardless of which agency has permitting authority. The document should be revised to incorporate this requirement of CEQA more seriously.

Sincerely,

Kim Tschantz

Kim Tschantz, MSP, CEP

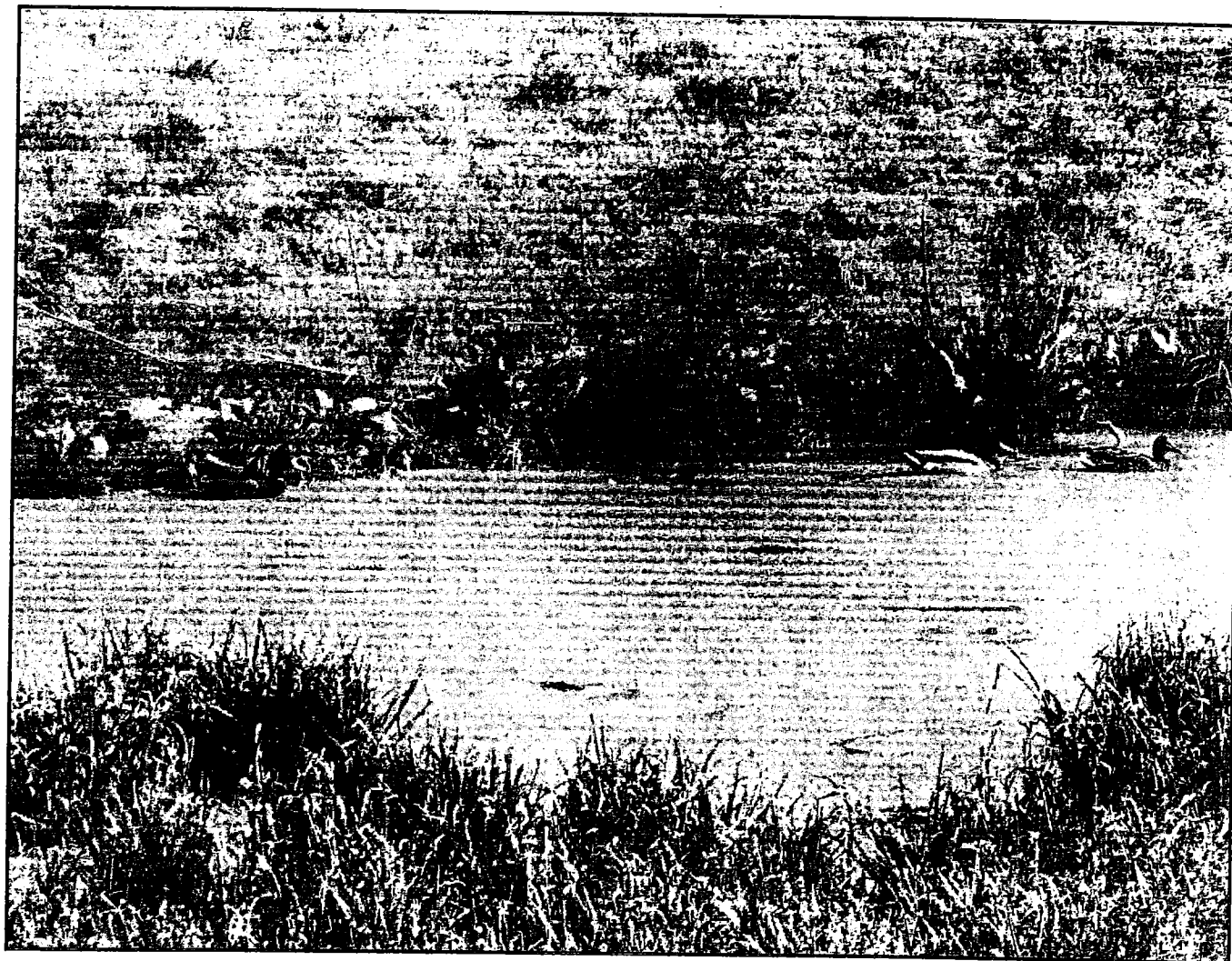
Exhibits: Exhibit A – Photographs of the wetland at the west end of the project property.

cc: Supervisor Zach Friend
 Planning Commissioner Casey Hemard
 Claudia Stevens
 Alan and April Barclay
 Adam Kelley
 Frank and Malee Rosales

Comments on the Initial Study Prepared for the Aptos High School Grading/Sports Field Project
August 21, 2013
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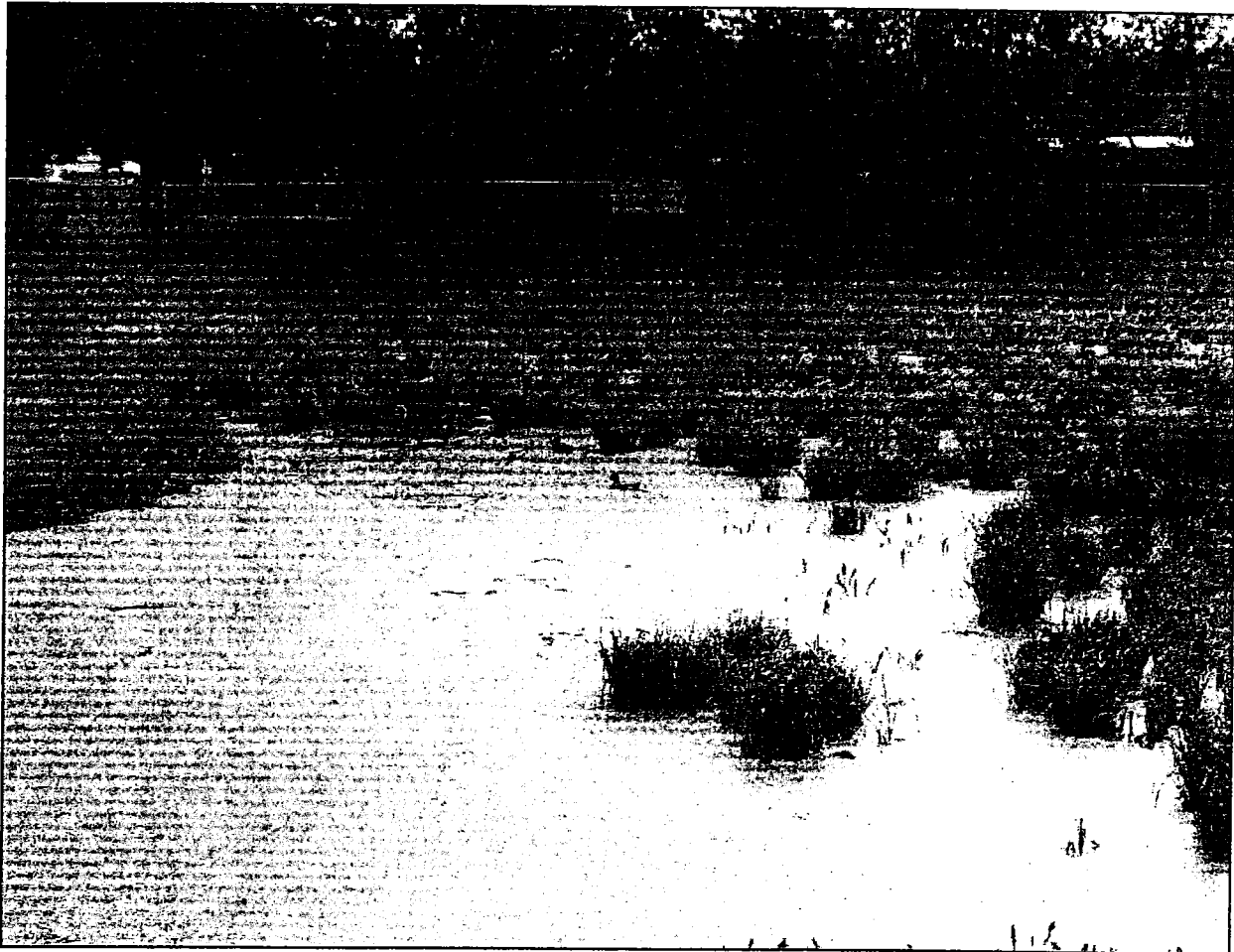
Paul and Kim McLeod
Ann Leslie
Andy Poston
Basil and Carmen Brunner
Joe Padota
Dan Bronson
Dave and Patty Marsh
Janice Boardman
Michael De Martini
George and Ceci Myers
Michael Rhodes
Judy and Lee Willis
Maxine Adams
Penny Draper
Joyce Conklin
Samantha Olden
Lee Miller
Lana Bennett
Don Piexoto
Bernabe Carranco
Shannon Purl

Exhibit A
Page 1 of 2



Close-up of four Mallard ducks using wetland pond at project site - May 3, 2013

Exhibit A
Page 2 of 2



More distant view of Mallard ducks using wetland pond at project site - May 3, 2013

Comment #1

Page 2; Paragraph 3

Under the heading of Other Agencies that Must Issue Approvals or Permits, the entry is shown as “none”. This is not correct. The Office of the State Architect must review and approve handicapped parking for the project. In addition, this project has generated consultation between the Pajaro Valley Unified School District (PVUSD) and the U. S. Fish and Wildlife Service (USFWS) and the California Department of Fish and Wildlife (CDFW) to enter into an MOU for a biotic restoration plan to mitigate for potential impacts to federally listed migratory amphibians.¹ The MOU and its pending restoration plan are part of the whole project as defined by CEQA. USFWS and CDFW should be included as other agencies that must issue approvals since they will have regulatory oversight of the restoration plan. This Initial Study should be provided to these three agencies for review and comment through the State Clearinghouse.

Response to Comment #1

The Department of the State Architect (DSA) does not have discretionary authority over the proposed improvements. Construction of the field itself was authorized by the Pajaro Valley Unified School District, the grading of which falls under the regulatory authority of the County of Santa Cruz. Most grading permits are ministerial (like building permits) but due to the amount of material involved in this project, County Code requires a discretionary approval for this grading. While certain aspects of the project, such as handicapped accessible parking, may be reviewed by the DSA these features are being reviewed for compliance with ministerial code requirements. DSA acts in a similar capacity to that of the building department when they review building permit plans submitted after discretionary approval for compliance with local and state building codes. The Initial Study is not deficient in not listing the future DSA review, but this comment and response clarifies the situation.

*The Pajaro Valley Unified School District has had an ongoing relationship with the U.S. Fish and Wildlife Service (USFWS) and the California Department of Fish and Wildlife (CDFW) due to their known proximity to identified habitat of the Santa Cruz long-toed salamander. After having worked with these agencies on larger improvement projects, they voluntarily reached out to them to discuss the proposed grading project. CDFW asked USFWS to be **consulted** with on further actions and would let USFWS take the lead on guiding remediation efforts, during which PVUSD and USFWS identified unrelated areas of the campus that would benefit from restoration efforts and agreed upon a collaborative approach that would provide an educational benefit to the students. Neither USFWS nor CDFW have required a permit for the proposed grading and the referenced restoration plan is a separate, voluntary venture between PVUSD and USFWS (see attached email from Chad Mitcham, USFWS, 8/22/13).*

Comment #2

Page 3; Paragraph 1 (Background Information)

The Existing Conditions; Vegetation category fails to include the wetland habitat that occurs on the site. While the wetland was originally created as a drainage basin, over several years it has been colonized with emergent wetland plant species and numerous amphibians and water birds use this biotic feature. (Refer to photo of wetland marked as Exhibit A). It is the existence of this wetland that USFWS and CDFW believe may attract migratory amphibians. Wetland habitats are considered protected sensitive habitats by the California Fish and Game Code and Chapters 16.30 and 16.32 of the Santa Cruz County Code.

Response to Comment #2

The retention basin was installed as part of a school improvement and modernization project between 2004 – 2007. The basin is maintained per a plan put in place at the time of construction which includes the removal of vegetation on an annual basis to maintain its function as a drainage facility, and as such is not considered to be an established wetland. USFWS and CDFW are aware of the ongoing maintenance of the retention basin.

Comment #3

Page 3; Paragraph 2 (Background Information)

The listing of Environmental Resources and Constraints fails to identify the wetland habitat described above. While County Planning's Resource and Constraints maps may not have mapped this area as a biologically sensitive habitat, routine site inspection would show otherwise. The Resource and Constraints maps are a tool to assist in environmental analyses, but are not the final determinant of site conditions.

Response to Comment #3

Please see our Response to Comment #2 for analysis of the existing retention basin. We performed multiple site inspections and carefully considered the assessment of USFWS staff as well as the conclusions of the Biotic Report prepared by John Gilchrist dated March 2013 (Initial Study attachment 5) prior to making our determination regarding the potential presence of biologically sensitive habitat in the area of proposed grading.

Comment #4

Page 3; Paragraph 3 (Background Information)

Under "Services", the School District is incorrectly identified as "Aptos High". The school district is Pajaro Valley Unified School District. Under "Water Supply", the project site and the adjoining Aptos High School campus are within the Central Water District. This Initial Study should be provided to this agency for their review and comment.

Response to Comment #4

Typing error noted; the school district designation should be corrected to read "Pajaro Valley Unified School District".

The "Water Supply" entry is intended to identify the agency responsible for providing water for the subject project. The field water needs will be served by two private wells on the Aptos High campus. No "will serve" agreement or other approval is required from the Central Water District for the proposed improvements.

The plans were reviewed by the Central Water District and they confirmed that "it does not appear that any groundwater recharge problems will be created by this project." (see email from Ralph Bracamonte, District Manager Central Water District, dated 8/26/13 as an attachment to our Response to Comment from Cherie Bobbe).

Comment #5

Page 4; Paragraph 6 (Environmental Setting)

This section fails to discuss the wetland habitat that occurs at the detention basin area of the site. Refer to my comment regarding Page 3; Paragraph 2 above.

Response to Comment #5

Please refer to our Response to Comment #2, above.

Comment #6

Page 5; Paragraph 2 (Environmental Setting)

The reason there is a potential for threatened amphibian species to migrate across the field site is due to its location between a known breeding location on Shadowmere Way for these species and the wetland habitat described in the preceding comment. This is another factor showing why the wetland should be described as a sensitive habitat.

Response to Comment #6

Please refer to Response to Comment #2, above and attached email from Chad Mitcham, USFWS, 8/22/13 that confirms the proposed area to be disturbed is not considered Santa Cruz Long-Toed Salamander habitat. The Biotic Report (John Gilchrist, March 2013, Included as Initial Study Attachment 5) concluded that because SCLTS move during rainy nights (when there would be no active use of the fields) and there are no planned barriers included in the design that might prohibit SCLTS movement, there would be no significant impacts to SCLTS from the field construction and operation.

Comment #7

Page 7; Paragraph 2 (Detailed Project Description)

The statement “no area of stadium-type lighting is proposed for the field and therefore activities would be concluded by late afternoon” is incorrect. The lack of field lighting will allow field games and practices to occur until the evening hours of 8:00–9:00 P.M. in summer months and 7:00 P.M. during certain autumn and spring months. The effects of evening use of the field should be discussed in the Initial Study.

The following statement that “the existing baseball field parking lot would be available for parking needs beyond that which could be accommodated by the proposed ADA accessible parking area” is unsupported by any facts in the document. I have observed baseball games on weekends with its parking lot filled to capacity with vehicles. Clearly, the baseball lot would only be available when the baseball field is also not in use, but under the current project description, there is no way to prevent simultaneous use of the fields. This lack of understanding the parking dilemma has led to a faulty parking analysis that is discussed in a later comment below.

Response to Comment #7

The operational guidelines set forth by the PVUSD MOU dated 6/26/13 and listed as Attachment 8 of the initial study state that the hours of operation will conclude by sunset each evening. These operational guidelines apply regardless of the time the field is used. While it is true that sunset times can vary by several hours throughout the year, our analysis of potential impacts was

performed under this assumption. The analysis of potential noise impacts is based on the General Plan guidelines, which define "daytime" as 7:00 a.m. to 10:00 p.m.

The discussion under Initial Study Section I.5 states "Any additional parking spaces required to meet the incremental increase in demand would be accommodated by the use of several parking lots at the adjacent baseball field and on the Aptos High campus, all of which would have ample spaces available on weekends and while school is not in session." This is also reflected in the operational guidelines adopted in the PVUSD MOU mentioned above, which states "Parking for non-school use shall be directed to the upper campus area." (see Response to Comment #16, below, for further discussion). Non-school use of the field would be managed by the school permitting process; refer to the operational guidelines adopted by PVUSD.

Comment #8

Page 12 and 13; Item B.4

It should be noted that the groundwater recharge elements of the project drainage plan are a result of this project going through the permit process. The original project, which commenced before a Grading Permit application was made, did not have the features described in this section of the Initial Study to mitigate for groundwater recharge impacts from the placement of 13,000 cubic yards of fill material.

Response to Comment #8

The project considered here is as described on the project plans, included as Attachment 2 of the Initial Study.

Comment #9

Page 14; Item B.8

Same comment as discussed for Page 12 and 13 above.

Response to Comment #9

Please refer to Response to Comment #8, above.

Comment #10

Page 14; Item C.2

Just because a site is not mapped as containing a biologically sensitive habitat does not always mean no such habitat occurs on the site. Refer to the comment for Page 3; Paragraph 2 above and Exhibit A.

Response to Comment #10

Please refer to Response to Comment #3, above.

Comment #11

Page 15; Item C.3

The discussion under this section is limited to findings pertaining to special status State or federal species. However, this item of the Initial Study Checklist pertains to "any native resident migratory

fish or wildlife species". As stated in preceding comments, the proximate wetland habitat is used regularly by amphibian and water bird species. I and other residents in the neighborhood have observed multiple mallard ducks in the pond and the cacophonous croaking of tree frogs on successive nights during the rainy season. The effects on these species use of the wetland habitat from increased human use of the nearby field should be discussed in the Initial Study. A noise and visual barrier between the field of play and the wetland habitat could mitigate impacts to wildlife use of the wetland. Refer to comment for Page 25; item J.3 below.

Response to Comment #11

The complete text of Initial Study Checklist Item C.3 asks if the project will "Interfere substantially with the movement of any native resident or migratory fish or wildlife species, or with established native resident or migratory wildlife corridors, or impede the use of native or wildlife nursery sites". Due to the continued maintenance of the retention basin, it is not considered an "established" wetland nor a wildlife nursery site. Please see Response to Comment #2 for further discussion.

This checklist item focuses specifically on the potential for the project to impact "the movement of" native or migratory fish or wildlife species. The Biotic Report prepared by John Gilchrist dated March 2013 (Initial Study attachment 5) indicates that "Common species adjusted to urban environments, such as skunk, raccoon, possum, would be expected" in the area to be disturbed by installation of the proposed field. Because these species are adjusted to urban environments, it is not expected that this disturbance would significantly affect their ability to navigate the terrain. Our discussion primarily focused on Santa Cruz Long-Toed Salamander (SCLTS) as they were identified as having the potential to traverse the disturbed area. The Biotic Report concluded that because SCLTS move during rainy nights (when there would be no active use of the fields) and there are no planned barriers included in the design that might prohibit SCLTS movement, there would be no significant impacts to SCLTS from the field construction and operation.

It should be noted that the "mitigative techniques" offered in the commenter's discussion for Page 25, Item J.3 include a continuous 6-foot high solid wood fence along the southern and western perimeter of the field; it is unclear how these features would assist the movement of wildlife species; such a fence would actually appear to serve as a barrier inhibiting movement of species (especially SCLTS).

Comment #12

Page 16; Item C.4

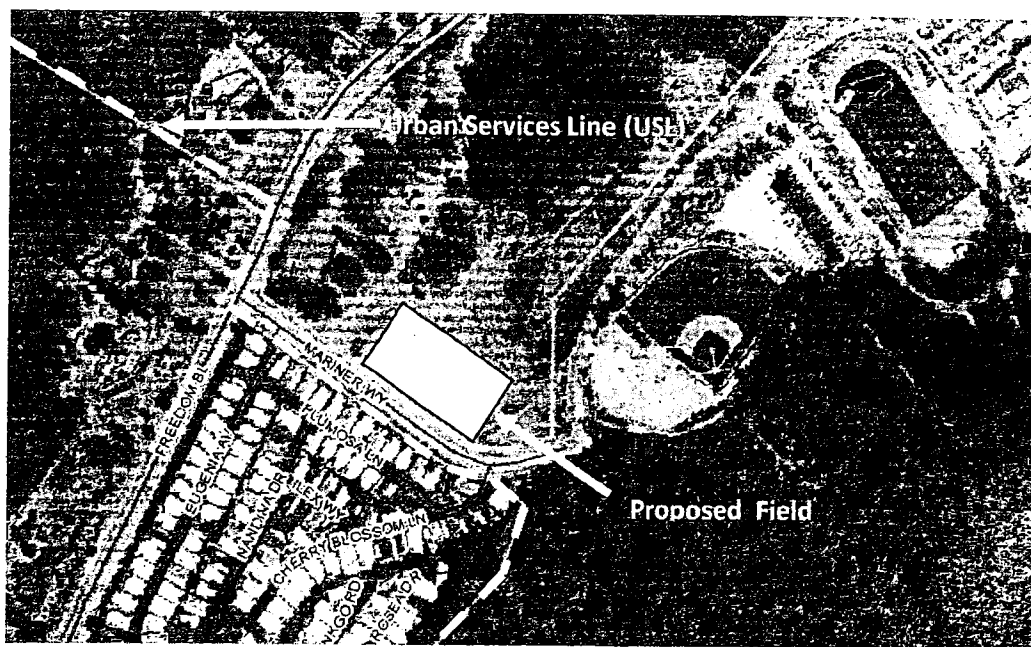
This comment wrongly identifies the project site as being located in an urban area. On the high school side of Freedom Blvd., the County's Urban Services Line (USL) ends at the south edge of Mariner Way. On the opposite (west) side of Freedom Blvd, the USL ends a few feet north of the Mariner Way intersection. The Aptos Pines Mobile Home Park is within the USL, but the project site, Aptos High School campus and most rural residential properties on the west side of Freedom Blvd. are located beyond the USL and do not have most urban services. Properties on the west side of Freedom Blvd. that are within the USL are designated by the General Plan as "Rural Residential" land use and zoned "RA", so they too are essentially rural properties.

Street lighting on this segment of Freedom Blvd. is limited to its intersections with Soquel Drive and Mariner Way. The proposed lighting described by Planning staff in this section of the Initial Study would not generate a substantial change in the nighttime environment if it is designed as true

pedestrian-oriented lighting that shines downward rather than outward on to other nearby properties. In addition, pedestrian lighting is placed on standards not exceeding two-feet in height. However, the project plans do not provide any lighting details. Therefore, the description of lighting in this section of the Initial Study is not substantiated by any facts. Absent any plans that show “low impact” lighting, this section of the Initial Study needs to provide performance standards to ensure future lighting will actually be “low impact” and not generate glares on nearby dwellings on the opposite side of Mariner Way. The conclusion for this issue needs to be changed in the Initial Study to “Less than Significant with Mitigation Incorporated” and a mitigation measure, such as performance standards for this lighting, needs to be included.

Response to Comment #12

The discussion under Initial Study Item C.4 states that the subject property is located in an “urbanized area and is surrounded by existing residential development that currently generates nighttime lighting”. Although no statement was made regarding the location of the proposed field within or outside the urban services line, a map showing the location of this delineation is provided for reference here:



Urban Services Line (USL) Delineation Map

The site is located just north of Aptos Pines Mobile Home Park, which is comprised of high density residential housing with associated outdoor and security lighting fixtures similar to that being proposed for the athletic field. During the neighborhood meeting held 6/10/13 (meeting minutes provided as part of Initial Study Attachment 8) it was noted that Mariner Way used to have street lights, and there was voiced support for these lights to be reinstalled for security purposes.

The field is located downslope of the Aptos High Campus, which also maintains outdoor and security lighting as well as stadium-type lighting for the existing football field. Per the operational guidelines

outlined in the MOU adopted by PVUSD (Initial Study Attachment 8) the lighting proposed for the field is limited, stating “no stadium or other lighting for evening games/practices shall be installed and/or allowed”, and that in response to neighbor security concerns PVUSD will install “appropriate security lighting for the parking lot and adjacent walkways”. The resulting lighting plan for the proposed athletic field would be minimal; per verbal communications with PVUSD staff lighting will consist of an overhead motion-sensitive security light and bollard path lighting. As noted here, this lighting is similar in nature to existing light sources.

Comment #13

Page 19; Item F.3

Several mature acacia trees are proposed to be removed as part of the biotic restoration plan PVUSD plans to implement on the site. While the plan includes replacing these non-native trees with coast live oak (*Quercus agrifolia*), these native species are characterized as being extremely slow growing compared to other tree species. Therefore, there will be a long period of time between removal of the existing tree canopy at the western portion and the growth of a moderate new tree canopy. The plan restoration plan is a result of PVUSD’s discussions with USFWS and is being implemented to mitigate for any potential impacts to listed migratory amphibian species, including the Santa Cruz Long-Toed salamander (*Ambystoma macrodactylum croceum*), which may migrate to and from the wetland located between the proposed field and Freedom Blvd. The restoration plan element of this project needs to be discussed throughout the Initial Study where appropriate.

Response to Comment #13

As stated in our response to Comment #1, neither USFWS nor CDFW have required a permit for the proposed grading and the referenced restoration plan is a separate, voluntary venture between PVUSD and USFWS not a mitigation for potential impacts to listed species. As such, that effort is not considered part of the proposed project.

Comment #14

Page 19; Item F.4

There is no evidence in the project plans attached to the Initial Study that the proposed lighting will be the “low impact” type described in this comment. Refer to the comment regarding item C.4 above.

Response to Comment #14

Please see Response to Comment #12.

Comment #15

Page 22; Item I.1

The description of field use differs significantly from what PVUSD administrative staff has told representatives of Rob Roy Neighbors. We have been told the field will be used as follows:
During each school day for physical education classes (weather permitting);
Directly after the school day for high school team practices;

After the school day (weekdays) for other organized sports, including adult soccer and rugby teams, when not in conflict with high school team practices (e.g. after 5:00 p.m.);

Each Saturday and Sunday during the spring and autumn youth soccer seasons for Aptos Soccer Club team games; and

At other times it could be rented out to other organized teams, including adult teams for games.

This represents a more intense use of a playing field than occurs at other sports fields at school or public park facilities throughout the County. If the proposed field usage has recently been reduced from what was articulated by PVUSD, the Initial Study should provide evidence of the reduced use (e.g. PVUSD Board resolution, etc.). Absent such evidence, a CEQA traffic analysis must be done under the “worst case” (highest possible use) situation. As such, the current discussion for this item is inadequate and inconsistent with CEQA.

Response to Comment #15

The description of the proposed field use provided by the commenter (above) is consistent with the use guidelines adopted by the PVUSD in an MOU included as Initial Study Attachment 8, which include the following:

- *Aptos High School would utilize the field solely for practice and P.E. purposes during the instructional day.*
- *Community use during evenings and weekends shall be authorized via the district facility use review and permit process. Community members and/or organizations would be required to adhere to these guidelines as a condition of authorization.*
- *No stadium or other lighting for evening games/practices shall be installed and/or allowed. Hours of operation shall be during the instructional day and conclude by sunset each evening.*

The project would not generate any increase in traffic on weekdays (during the instructional day) throughout the school year, as only the existing student body would be using the field. Similarly, after school practices would not generate any additional inbound trips, as the students would already be on campus.

A typical soccer team generally consists of approximately 15 players plus coaches. For practices, the projected maximum number of participants would most likely be 17-20, and games would yield twice this number or approximately 35-40 participants. If each participant drove separately, this would result in a 40-trip increase on evenings or weekends. The nature of club sport games and practices lends itself to a higher level of participation in carpool and ridesharing programs, and a conservative 25% carpooling participation estimate would reduce this number to only 30-trips. This estimate is in line with that of the Polo Grounds Regional Park EIR, which estimated 25-40 participants per game, and a maximum afternoon trip generation of 30.

In addition to various events and sports practices already held after school hours, the existing traffic generation is most heavily influenced by football and baseball games which attract large numbers of spectators that watch from bleacher seating. The proposed soccer field does not include provisions for bleacher seating or any significant sideline viewing areas for spectators, limiting the overall number of trips generated by field use. Given the level of traffic generated by existing school uses, the timing of non-school use of the proposed field, and the relatively low number of trips generated, the proposed athletic field would constitute a less than significant increase.

Comment #16

Page 23; Item I.5

The discussion of parking is inadequate. Project plans show the parking area for the proposed new field will be limited to 2 handicapped accessible spaces and 11 other parking spaces. This number of spaces will not provide parking for even 25% of the projected field users. The discussion claims field users can always park in the nearby unpaved parking lot at the high school baseball field. But this illogical reasoning assumes the baseball lot will always be vacant and waiting to be used by players and spectators of the proposed field. Everyone who has visited the Aptos High campus knows differently. The baseball lot is used frequently on weekdays and weekends to accommodate players and spectators using the baseball field, who are not limited to the Aptos High School baseball team. In addition, this discussion also illogically assumes users and spectators of the proposed field will just drive up to the main campus, located 0.5 mile from the field and either park near the football field (1,375 ft. from the proposed field parking lot) or the performing arts hall (2,669 feet) and walk down to the proposed field. It is unrealistic to assume this will occur, especially with youth sports leagues and their parents and grandparents. According to Willie Yahiro, President of the PVUSD Board of Trustees, "we can't expect people to drive and park all the way up on campus and then walk down to the field from there."

The Initial Study conclusion that the parking impact will be a "Less than Significant Impact" is incorrect. This impact is currently a "Potentially Significant Impact" and will remain so unless PVUSD or the County can formulate an effective mitigation measure to adequately solve the future parking problem generated by use of this new facility.

Response to Comment #16

The discussion under Initial Study Section I.5 states "Any additional parking spaces required to meet the incremental increase in demand would be accommodated by the use of several parking lots at the adjacent baseball field and on the Aptos High campus, all of which would have ample spaces available on weekends and while school is not in session." This is also reflected in the operational guidelines adopted in the PVUSD MOU mentioned above, which states "Parking for non-school use shall be directed to the upper campus area." Our response to Comment #15 estimates the maximum number of trips generated by a game to be approximately 30. Of those trips, a percentage will be drop-off only, and will not require a parking space. Review of the Polo Grounds Regional Park EIR shows that trip generation for the soccer field included 30 inbound trips and 10 outbound, or a 33% drop-off rate. Using these figures, the proposed soccer field would be estimated to require a

maximum of 20 parking spaces. While the proposed field project provides 13 spaces, there is ample room in the remainder of the campus lots to accommodate an additional 9 spaces.

The commenter provides speculation regarding the probability of field users to abide by the guidelines set forth in the PVUSD MOU referenced in the previous paragraph. This MOU clearly states that "No parking would be allowed on Mariner Way.", and that "Community use during evenings and weekends shall be authorized via the district facility use review and permit process. Community members and/or organizations would be required to adhere to these guidelines as a condition of authorization." Groups who would like to use the field would be required to sign a Facilities Use Agreement binding them to these guidelines and authorizing PVUSD to prohibit future agreements with the group if they do not adhere to these guidelines. Although people always have the option of breaking the rules, the consequences set forth by PVUSD effectively culls offenders from the list of groups eligible to use the field.

Comment #17

Page 24; Item J.1

The characterization of both construction phase noise and noise generated by long-term use are both inadequate and include false assumptions. The analysis under this item J.1 states the noise increase from field use would not be substantial. However, this statement is not substantiated with any facts or evidence and therefore cannot be used in a CEQA document.

Response to Comment #17

County Code Section 8.30.101.A states that "No persons shall, between the hours of 10:00 p.m. and 8:00 a.m., make, cause, suffer, or permit to be made any offensive noise. "Offensive noise" is described in County Code Section 8.13.101.B as "any noise which is loud, boisterous, irritating, penetrating, or unusual, or that is unreasonably distracting in any other manner such that it is likely to disturb people of ordinary sensitivities in the vicinity of such noise, and includes, but is not limited to, noise made by an individual alone or by a group of people engaged in any business, meeting, gathering, game, dance, or amusement, or by any appliance, contrivance, device, structure, construction, ride, machine, implement, instrument or vehicle."

PVUSD has agreed that construction will take place between the hours of 8:00 a.m. and 5:00 p.m. which is a regular condition for grading permits issued in residential areas. The remaining grading is estimated to take several weeks to complete and therefore the noise generated by construction may be considered temporary in nature and will not constitute "A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project", as noted on Initial Study Section J.1 referenced above.

Per the MOU adopted by PVUSD outlining operational guidelines for the field (Initial Study Attachment 8), the field hours of operation will fall within the 8:00 a.m. to 10:00 p.m. A comprehensive discussion of the potential impacts of noise generation due to field use is provided in our response to Comment #18, below. Our finding remains that use of the athletic field will not constitute a substantial permanent increase in ambient noise levels.

Comment #18

Page 25; Item J.3

The Initial Study uses a noise study for a park master plan in Nipomo (San Luis Obispo County) to conclude that noise from three simultaneously played soccer games generates "54 Leq dBA at a distance of 100 feet from the center of the field". One wonders why the Initial Study preparers used a noise study from Nipomo, California when they could have used noise studies prepared for park projects in Santa Cruz County. The data from the Nipomo study differs dramatically from the data provided by EIRs prepared for park projects in Santa Cruz County. The EIR prepared for the O'Neill Ranch Park in Soquel states the average noise level generated by soccer games is 55 dBA at 200 feet from the center line of the field with maximum noise at 60 dBA (emphasis mine)⁴. The EIR prepared for Polo Grounds Regional Park in Aptos states soccer field play would generate noise at 63–70 dBA to dwellings located about 75–100 feet from the field. Sports whistles would generate 64–65 dBA.⁵ While this information comes from EIRs that were prepared in 1991 and 1995, acoustical methods to measure noise impacts have not changed since these times.

In addition to using the noise standards of County General Plan for significance criteria to determine if an impact is significant, the O'Neill Ranch EIR also specified an increase in noise beyond the existing ambient level of 10 dBA or more as another significance criteria to determine substantial impacts. This is common practice in CEQA documents and is based on community response studies that have determined a noise increase of 10 dBA beyond ambient levels typically results in widespread complaints. The setting of the O'Neill Ranch has many similarities to that of the proposed Aptos High School field in that a soccer field without stadium lights and spectator seating was proposed proximate to the rear yards of existing residential lots with dwellings. The O'Neill Ranch EIR concluded that the new field would generate noise exceeding the ambient level by 10–15 dBA. The mitigation to address this significant impact was to either: a) construct a 6-foot high earth berm between the field and the residential lots or b) construct a 6-foot high solid wood fence with minimum thickness of ¾ inch, along the rear yard of the residential lots. One or both of these mitigative techniques should be used at the Aptos High field to solve the future noise impacts from the uses of the field.

The second paragraph of this analysis states that the existing 5-foot high fence along the residential rear yard property lines facing Mariner Way will provide "a further incremental reduction in the field noise level". A casual inspection of the site would show that this statement is not accurate. The grading for the field has altered the topography of the site to elevate most of the field area higher than the existing 5-foot high fence. In fact, the southwest corner of the field is elevated 11–12 feet higher than the previous grade resulting in the majority of the field *surface* being at a higher elevation than the top of the existing fence.⁶ To attenuate noise, barriers must be placed between the noise generator and the receptor on both the horizontal plane and the vertical plane. The existing 5-foot high fence at the mobile home park will not and cannot reduce any field noise. The only way to provide a barrier between the field and the mobile home park dwellings in the vertical plane is to construct a 6-foot high earth berm and/or solid wood fence at the surface of the field. There is sufficient spatial area to construct a berm at the west end of the field at a 2:1 slope (and possibly a 3:1 slope) without encroaching in the 100-foot setback from the proximate wetland. Such a berm would reduce field noise to all dwellings in the mobile home park along Eugenia Avenue and dwellings on Freedom Blvd. Because most of the field is already constructed, there is not sufficient spatial area to construct an earth berm at the field surface parallel to Mariner Way; but a 6-foot

high fence could be constructed that would attenuate noise impacts to the remainder of Aptos Pines Mobile Home Park.

Response to Comment #18

While preparing the Aptos High Field Initial Study, we reviewed both the O'Neill Ranch and Polo Grounds Regional Park EIR documents with respect to the noise studies presented therein. Although the commenter references these as the noise studies contained in these EIRs "prepared for park projects in Santa Cruz County" none of the sound data used to estimate noise generation was gathered in Santa Cruz County, and it is unclear where the data was gathered and under what circumstances. Both reports use data gathered by Illingworth and Rodkin, Inc. The O'Neill Ranch Park EIR states that the noise estimates were made from "measurements of noise generated by softball games, youth soccer leagues and little league baseball at a number of facilities". It does not state how many spectators were in attendance, whether amplified sound and/or bullhorns were used, etc. Similarly the Polo Grounds Regional Park EIR states that the noise levels used in their analysis were "measured by Illingworth and Rodkin, Inc. at other recreational areas in northern California". Once again, no qualifiers were provided regarding the circumstances under which the noise samples were taken.

As stated in the MOU adopted by PVUSD regarding operational guidelines for the field, no bullhorns or amplified sound shall be permitted on the field at any time. The referenced noise study conducted in Nipomo, California is based on measurements from a multi-game youth soccer tournament and specifically noted "There was no amplified sound at any of the games". (Nipomo Community Park Master Plan EIR, Nipomo, California – Noise Study Report, p.6) The measurements were also taken while three games were being played at the same time, which offers a conservative estimate of the potential noise generation of one soccer game.

The Nipomo Park Master Plan EIR noise study also noted that "most of the noise measured for the games resulted from the crowd cheering during exciting plays. Very little noise is actually generated by participants or action on the field." The proposed soccer field does not include provisions for bleacher seating or any significant sideline viewing areas for spectators, limiting the number of cheering fans that may contribute to noise levels.

The commenter notes that the O'Neill Ranch "also specified an increase in noise beyond the existing ambient level of 10 dBA or more as another significance criteria to determine substantial impacts" and that the EIR found that the new field would generate noise exceeding the ambient level by 10–15 dBA. While the commenter asserts that the setting of the O'Neill Ranch has many similarities to that of the proposed Aptos High School field making this conclusion applicable to both, there are several factors that influence the existing ambient noise level used as the baseline for determining the potential for a substantial impact and that vary significantly between the two projects.

The O'Neill Ranch Park EIR ambient noise measurements used for determining the potential noise impact of the proposed soccer fields were taken at locations between 1100 -1350 feet from the

nearest significant roadway, Soquel San Jose Road, and the EIR notes that “Noise from distant traffic dominated the noise environment”. Contrastingly, the nearest sensitive noise receptors to the proposed Aptos High School field (the residents of Aptos Pines Mobile Home Park) are located at most 800 feet from the centerline of Freedom Boulevard and only 37 feet from the centerline of Mariner Way. An exhibit prepared for the 1994 General Plan measured Aptos Planning Area Noise Levels and found that Freedom Boulevard had an L_{eq} of 73 dBA at a distance of 50 feet from the centerline, which equates to approximately 49 dBA at 800 feet. In addition to the ambient noise level generated by Freedom Boulevard traffic, traffic traveling along Mariner Way also contributes to the ambient noise level at the property line of Aptos Pines residence. Per the discussion outlined in the discussion under Initial Study Section J.3, the motorized traffic along Mariner Way could be expected to generate a noise level between 63-70 dBA at the northern property lines of the Aptos Pines residents. The cited soccer field noise generation value of 48 dBA (see Initial Study Section J.3 and previous discussion in this response) falls well below the existing ambient noise levels and does not meet the 10 dBA threshold for increase in ambient noise levels.

Given that the noise generation levels for the proposed field are shown to fall within the range set forth in the General Plan, mention of the existing wooden fence was not meant to identify a mitigation measure but simply to state that its presence may offer a further incremental reduction in noise levels.

Comment #19

Page 26; Item J.4

The analysis states construction noise will not be significant because it would be temporary. This statement is contrary to the conclusions of a myriad of CEQA documents pertaining to construction-phase impacts, including those prepared by the County of Santa Cruz. Having personally experienced the construction noise during initial grading for the field in May 2011, I know it was a significant alteration of the ambient environment. Put in lay terms, the construction noise was reminiscent of excavation operations at the Buena Vista landfill. Neighbors expect more of this noise when grading resumes in the future to complete the field unless mitigation measures to attenuate construction noise are included in the Grading Permit. While construction-phase noise cannot be avoided, most CEQA documents prescribe a list of best management practices to minimize noise impacts, including limiting work hours to 8:00 A.M. to 4:00/5:00 P.M. on weekdays. There is no reason why this Initial Study cannot do the same. In fact, policy 6.9.7 of the County General Plan “requires mitigation of construction noise as a condition of future project approvals”. The Initial Study provides no real evidence to support repeated conclusions that noise impacts are “Less than Significant” for items J.1, J.3 and J.4. These conclusions need to be changed to “Potentially Significant Impact” unless mitigations are formulated in each of the three noise-related items to solve noise impacts to the surrounding neighborhood. In that case, the conclusion would be “Less than Significant with Mitigation Incorporated”. While the County’s permitting authority is limited to noise impacts related to J.4, the Initial Study can and should prescribe mitigation measures to fully address significant noise impacts related to J.1 and J.3 so PVUSD can consider these mitigation measures when the School Board discusses this project again in the near future.

Response to Comment #19

Please see Response to Comment #17.

Comment #20

Pages 26 & 27; Item K.1

During the initial grading that occurred in May 2011 residents on the opposite side of Freedom Blvd. received significant amounts of dust on their properties, especially in the afternoons due to the prevailing on-shore winds. Large volumes of mud were also tracked on Freedom Blvd. by construction vehicles.⁷ The project proponent has already demonstrated that it does not employ correct dust control practices on its own. Surrounding residents have had to suffer the impacts. One of the purposes of a Grading Permit is to specify best management (or other) practices to alleviate the problems that occurred in May 2011. This portion of the Initial Study has failed to do this. Remember this project is the largest land alteration project that has occurred under the jurisdiction of the County of Santa Cruz County in several years. The conclusion that dust impacts are “Less than Significant” for item K.1 is not supported by any evidence. This conclusion should be changed to “Less than Significant with Mitigation Incorporated” and mitigation measures need to be specified.

Response to Comment #20

The project plans (Initial Study Attachment 1) include a Stormwater Pollution Control Plan as required by County Code Section 7.79.100 (Best Management Practices (BMPs) for Construction Activities). The plan specifically includes stabilized construction entrances/exits to limit soil tracking onto the roadway, designated stockpile areas that can be covered or watered as necessary to prevent dust generation, and silt fences to prevent soil migration beyond the limits of the disturbed area. It is also important to note that all necessary soil for the grading operation exists on-site. The remaining work necessary to complete the project consists of re-working of these existing site soils to achieve final grades.

Because the project will disturb more than one acre, a Stormwater Pollution Prevention Plan (SWPPP) will be prepared and filed with the State Water Resources Control Board (SWRCB) in accordance with their Construction General Permit requirements. This plan requires further oversight and regular inspection of stormwater pollution compliance measures by certified professionals authorized by the SWRCB to perform such inspections.

Finally, as noted in Initial Study Section K.1, standard Monterey Bay Unified Air Pollution Control District (MBUAPCS) dust control best management practices, such as periodic watering, would be implemented during construction. These measures are mandatory compliance measures enforced by MBUAPCS.

The erosion control and air quality BMPs listed above are compulsory for compliance with County and State codes and therefore are not listed as mitigations. The conclusion for Initial Study Section K.1 remains “less than significant”.

Comment #21

Page 33, Mandatory Finding of Significance 1

The Initial Study has not evaluated the effects of use of the field proximate to a wetland habitat used by amphibians and water fowl. Unless mitigation measures are recommended under item C.3 to protect wildlife use of the wetland, this item would be a “Potentially Significant Impact”.

Response to Comment #21

Please refer to Response to Comment #2 for discussion regarding the retention basin.

Comment #22

Page 34, Mandatory Finding of Significance 3

The Initial Study has erroneously made a finding of "Less than Significant" for the project's impact on humans. As discussed above in several comments, the project will generate impacts and potential impacts to surrounding residents during both the construction-phase and the post-construction phase of the project. The Initial Study should be revised to acknowledge these impacts and prescribe mitigation measures that effectively reduce impacts to insignificant levels.

Response to Comment #22

For the reasons outlined in our Initial Study and further clarified in our responses to comments, above, we maintain that the "less than significant" finding is correct.

Carolyn Burke

From: Matt Johnston
Sent: Friday, August 23, 2013 4:01 PM
To: Carolyn Burke
Subject: FW: Aptos

0498

For your file

From: Mitcham, Chad [mailto:chad_mitcham@fws.gov]
Sent: Thursday, August 22, 2013 11:38 AM
To: Matt Johnston
Cc: Carolyn Burke
Subject: Re: Aptos

Matt,

The area that was graded was not considered SCLTS habitat based on the fact that it was highly disturbed with no over summering habitat. Although this was the case I approached the Pajaro Valley School District to discuss the potential for habitat restoration on the property as it is the range of SCLTS. The District agreed to collaborate with the Service's Schoolyard Habitat Program which is currently being explored. The District passed a board resolution agreeing to this and I believe set aside funding to accomplish this goal. The restoration would focus on the area around the sediment basin adjacent to Freedom Road. This area could one day be restored to SCLTS optimal habitat by the removal of invasive species (primarily Acacia) and replaced with oak woodland. Let me know if you need any more information. Thanks.

Chad

Additional Correspondence

Zent-FYI
(Matt may also want a copy?)

0500

CYPRESS ENVIRONMENTAL AND LAND USE PLANNING

**P.O. BOX 1844
APTOS CALIFORNIA**

Email: kimt@cypressenv.com

June 18, 2012

Kathy Previsich, Planning Director
County of Santa Cruz
701 Ocean Street, 4th floor
Santa Cruz, CA 95060

SUBJECT: Permitting and Environmental Review for the Aptos High School Grading and Sports Field Project (A.P.N. 41-291-39)

Dear Ms. Previsich,

I am pleased to know from Supervisor Pirie that County Counsel and County Planning have reconsidered the legal permitting requirements for the grading/sports field project adjacent to the Aptos High School campus and have informed the Pajaro Valley Unified School District of the necessity of their applying for a Grading Permit for their project. The construction of the project includes about 15,000 cubic yards of soil importation and grading.¹ The purpose of this letter is two-fold:

1. To inform you that, on behalf of the neighborhood, I have formally appealed the PVUSD staff's determination that this project is exempt from Environmental Review (Exhibit A); and
2. To request the County notify all neighbors listed on the petition presented to the PVUSD Board (Exhibit B) of any opportunities for public input regarding the Grading Permit application and its associated reviews, including Environmental Review.

As you know, the California Environmental Quality Act (CEQA) allows public agencies seeking permits from other agencies the option of conducting appropriate Environmental Review themselves and submitting their CEQA documents to the permitting agency; or they may choose to have the agency responsible for the permitting conduct the CEQA analysis. If the School District decides to retain lead agency status and conduct Environmental Review, we hope they will do so by first granting my appeal to rescind their exemption from CEQA and follow this action by hiring a qualified consultant to prepare the correct CEQA analysis of the project. Alternatively, if PVUSD agrees to give lead agency responsibility to the County, then the letter in Exhibit A can be used by County Planning staff for scoping purposes.

¹ Source: Stormwater Pollution Prevent Plan for Aptos High School Stockpile. prepared by Montgomery and Associates, dated April 30, 2012, page 10.

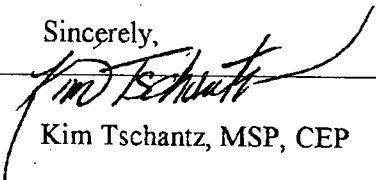
Environmental Planning and Analysis, Land Use Consulting and Permitting

Permitting and Environmental Review for Aptos High School Grading/Sports Field Project
June 18, 2012
Page 2

On behalf of the signatory neighbors on Exhibit B, I am urging the County to assume lead agency responsibility under CEQA. We believe the public will be better served if the County conducts Environmental Review on this project. We further request that Environmental Review be conducted on the whole project as required by Sections 15003 (h) and 15378 of the CEQA Guidelines. Therefore, the CEQA analysis would include both the construction phase and post-construction (long-term use) phase of the project.

In closing, let me point out that none of the neighbors I have talked to have stated an opposition to grading at or athletic use of the project property *per se*, but rather they are concerned that the project will generate significant impacts as it is currently being carried out and designed. We look forward to having the impacts, including those identified in Exhibit A, mitigated, as well as participating in the permit process to the extent it is allowed by law. I would appreciate being notified when PVUSD submits their application.

Sincerely,



Kim Tschantz, MSP, CEP

Attachments: Exhibit A – Letter dated, June 13, 2012 appealing PVUSD Notice of Exemption
Exhibit B – Petition of Freedom Blvd. Neighbors to the PVUSD Board

cc: Supervisor Ellen Pirie
Claudia Stevens
Anthony and Natasha Montana
Alan and April Barclay
Adam Kelley
Frank and Malee Rosales
Jeremy and Mary Nie
Margaret Olich
Paul and Kim McLeod
Caryn St. Germain
Mike and Ann Del Rosario
Andy Poston
Basil and Carmen Brunner
Joc Padota

CYPRESS ENVIRONMENTAL AND LAND USE PLANNING
P.O. BOX 1844
APTOS CALIFORNIA
Email: kimt@cypressenv.com

June 13, 2012

Leslie DeRose, President and Members of the Board of Trustees
Pajaro Valley Unified School District
292 Green Valley Road
Watsonville, CA 95076

SUBJECT: Aptos High School Grading and Sports Field Project - Appeal of Exemption

Members of the Board of Trustees,

On behalf of several residents of the Pajaro Valley Unified School District, I am appealing the School District staff determination that the Grading/Sports Field Project adjacent to Aptos High School campus is exempt from Environmental Review as required by the California Environmental Quality Act (CEQA). Such an appeal to your Board is authorized under Section 15061(e) of the CEQA Guidelines. This letter discusses why the PVUSD Notice of Exemption issued by your staff on May 25, 2012 for this project (Exhibit A) is not in compliance with CEQA and what your Board can do to legally remedy this problem.

According to Section 15061(b) of the CEQA Guidelines, a project cannot be exempt from CEQA if there is a "possibility that the activity in question may have a significant effect on the environment". Further, Section 15300.2(c) states none of CEQA's allowable Categorical Exemptions shall be used for any project if "there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances".

During May and June 2012 residents living on Freedom Blvd. near the project site have contacted School District staff and have spoken at your Board meeting of May 30, 2012 regarding the various negative environmental effects of the construction and future use of this project. These impacts include:

1. Excessive increase of noise and dust from excavation equipment and grading operations to transport about 20,000 cubic yards of earth to the site and construct a sports field;
2. Excessive increase of long-term noise to the neighborhood from the proposed conversion of a vacant parcel in the "RA" (Residential-Agricultural) zoning district to a sports field use where regular high school sports practice and other sporting events will occur;
3. Potential excessive generation of glare and illumination to the neighborhood from the

Environmental Planning and Analysis, Land Use Consulting and Permitting

Appeal of CEQA Notice of Exemption for Aptos High School Grading/Sports Field Project
June 13, 2012
Page 2

possible future implementation of night-time play lighting or security lighting at the sports field;

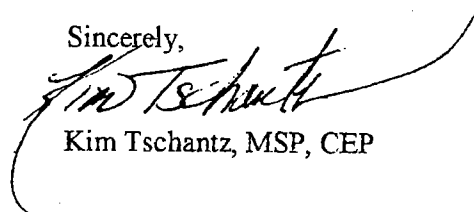
4. Potential loss of aquifer recharge by the covering of a mapped groundwater recharge area with over 20,000 cubic yards of earth material that has a different soil composition than the native soil at the site;
5. Potential endangerment of wildlife and water quality in the adjacent recharge pond generated by runoff from the future application of chemical fertilizers that will be used on the sports field turf¹;
6. Increase in traffic along the segment of Freedom Blvd near the project site and its associated intersections generated by converting a vacant parcel to a new intensive use that was not anticipated in when recent circulation upgrades were implemented to address the 2005-07 expansion of Aptos High School²; and
7. Potential land use conflicts with other properties in the vicinity.

These impacts and potential impacts make it clear that an Initial Study must be prepared, as specified by Section 15063 of the CEQA Guidelines, to determine if an Environmental Impact Report (EIR) needs to be prepared for this project or if a Mitigated Negative Declaration is appropriate. Either type of analysis should provide a thorough discussion of environmental impacts and the methods by which these impacts can be mitigated.

I therefore, request your Board rescind the staff determination (Exhibit A) and replace it with a new determination that an Initial Study for the grading/sports field project be prepared followed by either preparation of the appropriate document—either an EIR or Mitigated Negative Declaration.

We look forward to participating in the Environmental Review process to the extent it is allowed by law. Please notify me of any Board meetings where this issue is placed on the agenda and when the public review period commences for the CEQA document that is prepared for this project.

Sincerely,



Kim Tschantz, MSP, CEP

Attachments: Exhibit A – PVUSD Notice of Exemption

¹ The "stormwater pond" constructed to mitigate for additional storm runoff for the 2005-07 expansion of Aptos High

Appeal of CEQA Notice of Exemption for Aptos High School Grading/Sports Field Project
June 13, 2012
Page 3

School has also become a biotic habitat for frog and waterfowl species (personal observation). The Initial Study prepared for the high school expansion (Owens Hill Consulting and Coastplans, May 2004) states that the endangered Santa Cruz Long-toed salamander (*Ambystoma macrodactylum croceum*) is known to occur in the Freedom Blvd. vicinity near the high school. This same Initial Study discusses the potential for the threatened California Red-legged frog (*Rana aurora draytonii*) to inhabit the area. The stormwater pond is potential habitat for this species.

² The project described in the Initial Study prepared for the high school expansion (Owens Hill Consulting and Coastplans, May 2004) did not include the new sports field and therefore did not assess traffic impacts that could be generated by this new use.

cc: Supervisor Ellen Pirie
Norma Baker, PVUSD Superintendent
Kathy Previsich, County Planning Director
Central Coast Regional Water Quality Control Board
Claudia Stevens
Anthony and Natasha Montana
Alan and April Barclay
Adam Kelley

Frank and Malee Rosales
Jeremy and Mary Nie
Margaret Olich
Paul and Kim McLeod
Caryn St. Germain
Mike and Ann Del Rosario
Andy Poston
Basil and Carmen Brunner
Joe Padota

NOTICE OF EXEMPTION

CEQA Form D

To: Office of Planning and Research
PO Box, 3044, Room.212
Sacramento, CA 95812-3044

From: Pajaro Valley Unified School District
294 Green Valley Road
Watsonville, CA 95076

Santa Cruz County Clerk
701 Ocean Street
Santa Cruz, CA 95060

Project Title: Aptos High School New Athletic Field

Project Location: (Specific) 100 Mariner Way, Aptos CA

Project Location (City): Aptos CA 95003

Description of Project: The project consists of the construction of a new athletic practice field on the campus of an existing high school. The project involves the import of 15,000 yards of imported soils, grading of a ±200,000 square foot area, and the installation of irrigation and turf.. The project also includes the placement of two (2) disabled parking places in conformance with the California Education Code and Department of the State Architect accessibility standards.

Name of Public Agency Approving Project: Pajaro Valley Unified School District

Name of Person or Agency Carrying out Project: Pajaro Valley School District

Exempt Status (Check One)

- ☐ Ministerial Sec. 21080(b)(1);15268):
☐ Declared Emergency (Sec. 21080 (b)(3);15269(a):
☐ Emergency Project (Sec. 21080(b)(4);15269(b)(c):
☐ Statutory Exemption: State code number
☒ **Categorical Exemption:** Class 14 Sec.15314

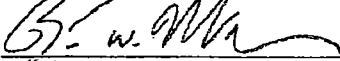
Reasons why project is exempt: The project meets the criteria of a Class 14 Categorical Exemption, *Minor Additions to Schools*. The project is a minor addition of a sports practice field to the existing athletic facilities within the school campus grounds of Aptos High School. The project does not increase the original student capacity by more than 25% or ten classrooms.

Brett McFadden

831-728-8160 ext 2531

Lead-Agency Contact Person:

Telephone/Extension


Signature/Title

Chief Business Officer

5/25/12
Date

☒ **Signed by Lead Agency**

Date Received for filing at OPR: _____

☐ **Signed by Applicant**

Petition to the Board of Trustees of the Pajaro Valley Unified School District

For Appropriate Environmental Review and Mitigation of Environmental Impacts
for the Construction of and Use of a New Athletic Field on 10 acres of
A.P.N 41-291-39 adjacent to the Aptos High School campus.

We the undersigned, residents of the Pajaro Valley Unified School District urge the PVUSD to conduct Environmental Review, as required by the California Environmental Act, on the 20,000 cubic yard grading project/athletic field project and to implement mitigations to all negative effects of that project on the environment and the surrounding neighborhood and to include neighborhood residents in meetings and communications about the project.

Name and Signature: Joseph Pedota [Signature]

Address: 7476 Freedom Blvd., Aptos CA 95003

Name and Signature: Kim Tschantz [Signature]

Address: 7176 Freedom Blvd., Aptos, CA 95003

Name and Signature: Caryn St. Germain [Signature]

Address: 7100 Freedom Blvd., Aptos, CA 95003

Name and Signature: KIMBERLY MCLEOD [Signature]

Address: 7100 FREEDOM BLVD. APTOS, CA 95003

Name and Signature: Paul McLeod [Signature]


Address: 7100 FREEDOM BLVD. APTOS, CA 95003

Name and Signature: _____

Petition to the Board of Trustees of the Pajaro Valley Unified School District

**For Appropriate Environmental Review and Mitigation of Environmental Impacts
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Name and Signature: CLAUDIA STEVENS 


Address: 9196 FREEDOM BLVD APTOS, CA 95003

Name and Signature: Carmen Brunner - CARMEN BRUNNER

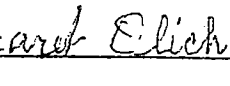
Address: 7350 Freedom Blvd; Aptos, CA 95003

Name and Signature: Basil Brunner BASIL BRUNNER

Address: 7350 Freedom Blvd Aptos CA 95003

Name and Signature: VEREMY NIE 

Address: 7050 FREEDOM BLVD. APTOS, CA 95003

Name and Signature: MARGARET OLICH 

Address: 7050A Freedom Blvd. Aptos Ca 95003

Name and Signature: _____

Petition to the Board of Trustees of the Pajaro Valley Unified School District

**For Appropriate Environmental Review and Mitigation of Environmental Impacts
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Name and Signature: APRIL BARCLAY April Barclay

Address: 7158 Freedom Blvd Aptos, CA 95003

Name and Signature: ALAN B. BARCLAY Alan B. Barclay

Address: 7158 Freedom Blvd Aptos, CA 95003

Name and Signature: Adam Kelley Adam Kelley

Address: 7158 Freedom Blvd, Aptos, Ca, 95003

Name and Signature: ANTHONY & NATASHA MONTANA

Address: 7130 FREEDOM BLVD APTOS, CA 95003

Name and Signature: Natasha Montana Natasha Montana

Address: 7130 Freedom Blvd Aptos Ca 95003

Name and Signature: _____

Petition to the Board of Trustees of the Pajaro Valley Unified School District

**For Appropriate Environmental Review and Mitigation of Environmental Impacts
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Name and Signature: MARY NIE Mary Nie

Address: 7050 FREEDOM BLVD, APTOS

Name and Signature: FRANK ROSALES Frank Rosales

Address: 7100 FREEDOM BLVD, APTOS

Name and Signature: MARIE ROSALES Marie Rosales

Address: 7100 FREEDOM BLVD, APTOS

Name and Signature: Andrew Poston Andrew Poston

Address: 7326 Freedom Blvd. Aptos, CA 95003

Name and Signature: _____

Address: _____

0510

CYPRESS ENVIRONMENTAL AND LAND USE PLANNING

P.O. BOX 1844

APTOS CALIFORNIA

(831) 685-1007 kimt@cypressenv.com

March 20, 2013

Zach Friend, Supervisor-District 2
Board of Supervisors
County of Santa Cruz
701 Ocean Street, 5th floor
Santa Cruz, CA 95060

Subject: Grading and Proposed Sports Field at Aptos High School on APN 41-291-39

Dear Supervisor Friend,

On behalf of the Rob Roy Neighbors, I want to thank you for meeting with myself and some of the Neighbors on March 1, 2013. Due to our time constraint at the meeting, I thought it would be useful to reiterate of the concerns of the Rob Roy Neighbors and to ask for your assistance in resolving some issues.

As you may remember, the primary concerns expressed at the meeting regarding the proposed field are:

- The School District's lack of notifying neighbors or meeting with nearby residents regarding the project;
- Excessive construction noise and dust generation during grading operations that went beyond the project site;
- Long-term excessive noise from the regular daily use of the future field on both weekdays and weekends throughout the year;
- Long-term increase in traffic and inadequate provision for on-site parking; and
- The possibility of stadium-like nighttime lighting.

While each of the issues listed above are all significant concerns to nearby residents, the impact of new long-term noise generation is the greatest concern. During the June 28, 2012 meeting we had with School District staff and Aptos Sport Foundations representatives, we were told the future field is planned to be used for high school P. E. classes each weekday afternoon (weather permitting) until the end of the school day and then it would be used by organized sports until dusk. Each Saturday and Sunday during the spring and autumn, the field is planned to be used during the entire day for game play by Aptos Soccer Club teams. On other weekends it would be rented out to adult sports teams. We believe this proposed use frequency exceeds what occurs at other school or park sports fields in the County.

Environmental Planning and Analysis, Land Use Consulting and Permitting



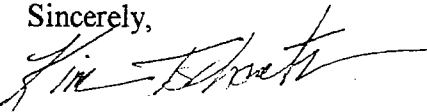
Since our meeting, another act of trespass inside the fenced and gated area and vandalism occurred at the site on March 9, which was reported to the County Sheriff. Some of the Rob Roy Neighbors are becoming concerned that this site, within view of arterial roadway traffic and located away from any campus supervision, may become an attractive nuisance for criminal activity. Similar, to the possibility of future field lighting, the potential for increased crime resulting from this project are two significant community impacts that probably won't be addressed through Environmental Review of this project due to the scope of CEQA. Yet, these are two issue of grave concern to some of your constituents and we hope you can work with us and the School District to resolve them.

As you know, the Rob Roy Neighbors do not oppose the sports field project as long as it can effectively mitigate the impacts it will generate to the environment and the surrounding residents. Towards that goal, we seek your office's assistance to:

- Have County staff notify us as soon as a Grading application has been submitted for this project;
- Ensure the project will undergo thorough Environmental Review by County staff;
- Help us explore viable security ideas to minimize crime at the site by putting us in contact with the appropriate person in the County Sheriff's Office to discuss this issue;
- Negotiate an agreement with the School District that the proposed use be designed in manner that minimizes criminal activity potential without major illumination; and
- Negotiate an agreement with the School District that night lighting for nighttime use of the future field will not be installed at any time in the future.

Unfortunately, the School District officials have not been entirely open to discussing these issues with us. While we will keep trying to foster dialogue with the School District, we need your support to help resolve these issues. Thank you for your interest in this matter.

Sincerely,



Kim Tschantz, MSP, CEP

cc: Kathy Previsich, Planning Director
Alan and April Barclay
Frank and Malee Rosales
Jeremy and Mary Nie
Paul and Kim McLeod
Ann Leslie
Andy Poston
Basil and Carmen Brunner
Joe Padota
Claudia Stevens
Dan Bronson

Carolyn Burke

From: Peter Carr [petercarr64@gmail.com]
Sent: Saturday, August 24, 2013 3:57 PM
To: Carolyn Burke
Subject: Public Hearing for Aptos High School Sports Field

0512

To: Santa Cruz County Planning Commission

As a local resident I am pleased that the permit process is proceeding on the new sports field. It can be a real asset to the Aptos community.

In your review please take into consideration the effects that this facility will have on the immediate neighbors, particularly noise impacts. Being a good neighbor should be in everyone's interest. I hope the new field will be a project that we all can feel good about in the future. That is what you will be deciding.

Thank you for your consideration,

Peter Carr

Additions to the Staff Report for the Planning Commission

Item 8: 131110

Late Correspondence

CYPRESS ENVIRONMENTAL AND LAND USE PLANNING

P.O. BOX 1844

APTOS CALIFORNIA

Email: kimt@cypressenv.com

0514

August 28, 2013

Planning Commission
County of Santa Cruz
701 Ocean Street, 4th floor
Santa Cruz, CA 95060

SUBJECT: Permitting and Environmental Review for the Aptos High School Grading and Sports Field Project (APN 41-291-39)

Members of the Planning Commission,

On behalf of Rob Roy Neighbors, I am requesting your Commission make the following changes to the Planning staff recommendation on the Aptos High Field/Grading project

Grading Permit Conditions

Recommend the Board of Supervisors add conditions or modify staff recommended conditions as follows:

- Modify Condition IV. B to disallow grading to occur on weekends in compliance with Section 16.20.080.(k) of the Grading Ordinance.
- ~~Add~~ a condition to disallow grading during the rainy season (October 15–April 15) in compliance with Section 16.20.080(o) of the Grading Ordinance unless a Winter Operations Approval with special erosion control standards is granted.
- Add a condition to require all sediment, including tracked mud, to be contained on-site in compliance with General Plan Policy 6.3.8
- Add a condition specifying continual dust control each day of grading to minimize airborne dust leaving the site.

Grading Project Design

Recommend the Board of Supervisors direct the applicant to redesign the project to include a 6-foot high earth berm at the west end of the field and a 6-foot high solid wood fence paralleling Mariner Way to mitigate noise, privacy and security impacts to homes on Freedom Blvd. and within Aptos Pines Mobile Home Park (Authorization: County Grading Ordinance Sec. 16.20.080 9(c)1(ii) – Denial of grading approval if the proposed grading plan for the development does not comply with Santa Cruz County Code)

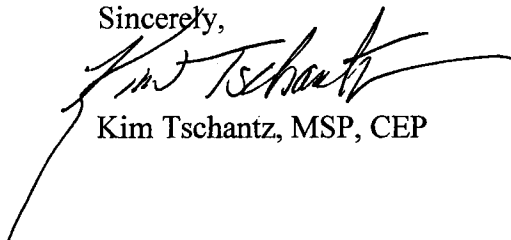
Environmental Planning and Analysis, Land Use Consulting and Permitting

CEQA Initial Study

Recommend that the Board of Supervisors Not certify the pending CEQA document until it is revised as follows:

- Require the Initial Study be revised to identify all impacts, potential impacts and corresponding mitigation measures in both the construction phase (Phase 2) and the post-construction phase of the project to address the issues in the areas of construction dust, construction noise, long-term noise, parking, traffic. These issues are addressed in more detail in my letter to Planning staff dated August 21, 2013.
- Require the Initial Study to be re-circulated for a 30-day period through the State Clearinghouse as required by CEQA for projects where a State agency has any permitting or formal review authority.

Sincerely,

A handwritten signature in black ink, appearing to read "Kim Tschantz", with a long horizontal flourish extending to the right.

Kim Tschantz, MSP, CEP

August 27, 2013

0516

To:
Santa Cruz County Planning Commission
701 Ocean St.
Santa Cruz CA 95060

From:
Daniel Bronson
PO Box 782
Aptos CA 95001

Subject: Application # 131110
Aptos High School / PVUSD Soccer Field Development Project and Grading

Planning Commission Members,

1. The PVUSD and the Aptos Sports Foundation and RGW Construction Inc. last year imported more than 15,000 cubic yards of soil without compliance with federal environmental requirements, state laws including CEQA and County Code environmental requirements.
2. The County issued a Notice of Violation on the project related to grading.
3. The immediate and actual impacts on local residents, wildlife, vegetation, water quality, natural water courses, siltation, drainage, erosion, construction noise and dust from the grading, are clearly evident to any unbiased observer.
4. As a resident and property owner affected by and witness to these effects I can state that any reports of little or no impacts from this project have no rational or factual basis and are false on their face.
5. Also PVUSD staff and Aptos Sports Foundation claims of being misled by an error on the part of county staff do not relieve them of liability for violations of state or federal law. Any person, agency or community organization exercising ordinary prudence and due diligence would reasonably have had legal counsel verify statutory requirements and compliance standards. Ignorance of the law is no excuse.
6. PVUSD staff continues to falsely claim that it legally Noticed neighboring property owners and held a Public Hearing in 2012 prior to the start of the massive earthmoving project in that year prior to it being Red Tagged.
7. As a neighbor living less than 100 feet from the development project I can state that I was never sent a notice by the PVUSD of any meeting about that project in 2012. And others of my neighbors have confirmed to me that they also never received any notice in 2012 of that Public Hearing that PVUSD claims to have Noticed and held at AHS.
8. Long term and/or permanent impacts on the environment, animal species, noise levels, crime, Sheriffs Office and CHP law enforcement workload, private property values and parking have not been addressed in more than a cursory fashion by any public agency to date. The PVUSD says it is working

with neighbors but continually reserves the right to change any conditions agreed upon at any time.
This lack of a reliable

9. A mere desire by the PVUSD or the Aptos Sports Foundation or any county or state officials to proceed with this or any other project without adequate or reasonable consideration of impacts would not relieve those agencies of liability. Actions by public agencies unsupported by adequate information could be evidence of an arbitrary, capricious, biased or prejudiced decision making process.

0517

9. Current information available on the web states that the Santa Cruz Long Toed Salamander (*Ambystoma macrodactylum croceum*) is designated as an endangered species by both the State of California and the federal government ///

/// Further disturbance of its limited habitat could lead to this species' extinction.

10. From <http://scplweb.santacruzpl.org/ref/endang/ambys.shtml>

EXTRACT from U.S. Fish and Wildlife Service Report "Santa Cruz Long-toed Salamander (*Ambystoma macrodactylum croceum*): Draft Revised Recovery Plan." Portland, Oregon: The Service, 1999

"This salamander inhabits temporary ponds for breeding and adjacent upland scrub and woodland areas during the nonbreeding season. These ponds and adjacent scrub and woodland habitats are restricted naturally to relatively few areas along the central coast of California. Direct habitat loss due to agriculture, urbanization, and road construction is the main cause for this salamander's decline. Other known threats include pollution, siltation, and declining water quality in breeding ponds due to nearby development and agricultural activities; loss of nonbreeding habitat and food resources due to the spread of exotic plants; predation by introduced fishes, bullfrogs, and tiger salamanders; and parasites."

"The Santa Cruz long-toed salamander spends a substantial portion of its life underground in small mammal burrows. Examples of the small mammal burrows include mice (*Peromyscus* spp.), California voles (*Microtus californicus*), Botta pocket gophers (*Thomomys bottae*), and California moles (*Scapanus latimanus*)."

"The disjunct distribution of the subpopulations has made the Santa Cruz long-toed salamander especially susceptible to population declines resulting from both human-associated and natural factors. The factors include habitat loss and degradation, collection, predation by introduced and native organisms, infestations of parasites, geologic processes, and weather conditions. In Santa Cruz County, the primary threats have been road construction and urbanization."

11. Construction of this field and any compaction of it's' soils may logically result in a significant loss of squirrel and/or gopher burrows which are shelter for salamanders. And destructive effects of displaced populations of gophers already have been noted by neighboring property owners as an immediate result of the fill and compaction undertaken by the PVUSD and Aptos Sports Foundation in 2012.

The resultant loss of burrow habitat within this area can reasonably be expected to affect the salamander population negatively. Non-native grasses maintained artificially on a playing field are analogous to agricultural activity in some ways. Amphibians are especially sensitive to chemical

fertilizers and herbicides and other pollutants. Fertilizers, herbicides and other chemicals are used to maintain sports fields.

0518

12. From observations I have made over the past 8 years I estimate that during each fall and spring month when AHS is open for school there are approximately 1000 violations of California Vehicle Code Section 27007 (amplified sound from vehicles) on Mariner Way (a county road formerly known as Cottage Rd) each month. During cold winter months and inclement weather the rate falls to about half of that. The amplified bass noise is especially obnoxious and penetrates homes and has started as early as 515am am and as late as 1130pm.

Most of these 1000 incidents monthly are transient as vehicles pass to and from Aptos High School. Most of those vehicles pass by in a minute or two. Establishment of parking areas or activities that result in illegal parking are very likely to create noise violations and violations related to illegally blocking a fire lane for longer periods of time. Problems with these parking and noise violations can reasonably be expected to result in a significantly greater number of calls for service from the Sheriffs Office and the California Highway Patrol.

13. The AHS campus is already greatly overdeveloped. Parking is generally inadequate and poorly distributed for many of the current uses which the PVUSD allows. There are currently more than 40 different team and sports activities on the campus during the years and more are proposed each year.

Intensive uses are proposed for the field being considered. Local parking is inadequate and parking farther up the campus is unlikely to be convenient enough to be utilized effectively. Problems associated with the proposed activities can reasonably be expected to occur daily.

14. Extended periods of intense 7 days-a-week use for combined school activities and weekend adult league soccer and lacrosse games are proposed. This will affect the peace and quiet and invade the lives of hundreds of people with homes nearby. Effects on home values are unpredictable. A net negative effect will amount to a taking of property. Recent legal trends have recognized temporary as well as permanent situations as takings under certain conditions.

If the school district profits from league use fees over and above the cost of the field maintenance then additional proof of a motive for takings and a transfer of value from local homeowners may be evidenced.

Conclusion

Since the PVUSD is unwilling to put in place reasonable and permanent conditions on the use of this property to protect the public interest within the project area I ask that the Planning Commission put in place substantial conditions and requirements within its' authority that address the concerns raised in this letter and the others you receive and consider.

Sincerely,
Daniel Bronson

Elizabeth Hayward

From: Kathy Previsich
Sent: Tuesday, August 27, 2013 2:24 PM
To: Carolyn Burke; Christopher Cheleden; Kent Edler; Elizabeth Hayward; Ken Hart; Steven Guiney
Subject: Fwd: ATHLETIC FIELD / APTOS

0519

Begin forwarded message:

From: Zach Friend <BDS022@co.santa-cruz.ca.us>
Date: August 27, 2013, 2:20:52 PM PDT
To: Kathy Previsich <PLN001@co.santa-cruz.ca.us>
Subject: FW: ATHLETIC FIELD / APTOS

From: Claudia Stevens [<mailto:stevens.studios@elgatito.com>]
Sent: Tuesday, August 27, 2013 1:11 PM
To: Zach Friend
Subject: ATHLETIC FIELD / APTOS

DEAR Zach Friend,

APTOS ATHLETIC FIELD:

I am a long time neighbor of Aptos High School and in favor of the sports field being built. I am glad my son had practice fields to run in while he was growing up and very much want to see the sports field successfully built.

However, it must be done with consideration to the neighbors.
This field is being built right ALONG Freedom Blvd. This is a rural/residential neighborhood.

There are homes across the street AND directly next to the field and from my understanding is also the largest grading project under the county's authority in the past two decades.

Games and practices will be starting at 8:00 am SATURDAYS AND SUNDAYS and continue to dark,
SEVEN DAYS / WEEK.

When new school boards come in they can 'erase' everything the previous school board decided and agreed upon regarding this athletic field. This field will bring revenue for Aptos High. There is conflict of interest and distortion of facts for the agendas of a big organization.

The neighbors and home owners sincerely need to be protected by the county.

All along we have been in favor of this project. Yet time after again, we have been made

to look like we are trying to stop the field; unnecessarily alarming the public and diverting attention to the real issues at hand. This threatens to destroy our little chance to collaborate on a solution. Which brings me to the next point:

0520

NOISE.

1. Games and practices, starting at 8:00 am Saturdays and Sundays and continue to dark,
2. SEVEN DAYS / WEEK
3. An athletic field of this size with homes across the street AND DIRECTLY NEXT to the field.
4. From my understanding, the largest grading project under the county's authority in the past two decades will MOST DEFINITELY CREATE NOISE.

A SIMPLE SOLUTION THAT WOULD GO A LONG WAY IN SOLVING THIS IS DOING SOMETHING ABOUT THE NOISE.

There is nothing that will solve the issue, but at least doing SOMETHING (aside from using whistles and not blow horns) is in order:

An earth and berm with trees would muffle the sound and a wall along the mobile home park.

There are THREE sources for FREE DIRT:

1. Pajaro River Flood Control Project
2. Two huge 101 interchange projects in North Monterey County

OUR HOME CENTERS ARE WHERE WE GATHER OURSELVES FOR WELL BEING.

Some of us have lived here and

are homeowners for over thirty-five years. WE WERE HERE BEFORE THE FIELD PROPERTY WAS PURCHASED

BY THE HIGH SCHOOL. We deserve to be considered in this process.

Thank you for taking the time to consider us.

Sincerely,

Claudia Stevens
7176 Freedom Blvd
Cabrillo College
Instructor
831 688-7980

From: de martini mike [michaeldemartini@sbcglobal.net]
Sent: Tuesday, August 27, 2013 8:31 AM
To: Carolyn Burke
Cc: Zach Friend
Subject: Proposed Mariner Way Athletic Field

0521

As a member of the Rob Roy Neighbors, I would like to express to you my concerns pertaining to the proposed Mariner Way Athletic Field in Aptos.

While I support the concept of having an additional sports field at Aptos High School for the students to use, I believe that the planned field at the intersection of Freedom Blvd and Mariner Way is ill conceived and not well thought out.

First, as a resident of the Aptos Pine Mobile Home Park, I would ask that at least one day a week, either a Saturday or Sunday, the field not be used. The ambient noise and traffic from the games would in essence destroy any chance of relative peace and quiet, which is why most of the residents moved here for in the first place (well before the High School ever considered purchasing the field). Seven days a week of constant noise and traffic would not be reasonable.

Unresolved problems with the proposed field:

1. Parking: There is no current workable plan for parking for weekend games. The organization putting together the proposed field say that there is parking up the street by the baseball field. Currently, there is only 14 spaces provided at the baseball field, which is a long way from the proposed field. And those spaces are usually used by people playing baseball on weekends. Also, in the game of soccer, there are 11 people on each team, not considering coaches, friends, family, etc. Even if all 14 spaces at the far off baseball field were open, there would not be near enough parking to handle a game in the lower field. And common sense will tell you that people are not going to want to park far away from the soccer field and walk down with all their supplies to the new field. In fact, we have pictures of the proponents of the new field actually parking on Mariner Way themselves, instead of parking up above. If they refuse to park above, why would they think others would? The fact is that people will want and try to park on Mariner Way. It is illegal to park on Mariner Way. If people parked on Mariner Way, there would no emergency access to the High School. **Solution:** I suggest that a reasonable and workable solution to this be to make Mariner Way a "tow away zone", with proper signage and notification installed, and a company established to monitor and enforce it.

2. Noise and privacy: As a person professionally well versed in sound dosimetry. I will tell you that unless some type of sound barrier is installed at the proposed field. the

ambient noise from the games will be intolerable to the surrounding neighborhood. Currently, there is no plan to do so. **Solution:** Due to the field being improperly installed, the field will have to be "re-graded". In the process, a number of feet of soil will have to be removed. While having to regrade the field is unfortunate, it would provide an opportunity to use some of the soil to construct a soil sound barrier. This would help reduce ambient sound for the surrounding neighborhood. It would also provide for some privacy for the residents of houses along Mariner Way. Currently, anyone can directly look into their bedrooms if they are on the proposed field area.

0522

3. Times for games: I propose that if there are going to be games during a weekend day, or weekends, that the starting time for games not start before 10 a.m. My understanding is that at least one of the coaches agrees with that concept. And to never have games at night; never have adult games; never have night lights; and never to have amplified sound.

Once again, in concept. the Rob Roy Neighbors have no problem with the proposed field. We recognize and support that sports is an important option for a healthy child's upbringing. We just want this field to be done correctly and also provide our long established neighborhood a way to have a reasonable peace, privacy and safety.

Thank you for your consideration.

Michael DeMartini

Elizabeth Hayward

From: Kathy Previsich
Sent: Tuesday, August 27, 2013 10:24 AM
To: Elizabeth Hayward; Ken Hart; Carolyn Burke; Kent Edler; Steven Guiney
Cc: Christopher Cheleden
Subject: FW:
Attachments: bos.docx; ATT00001.htm

0523

Another comment letter

From: Zach Friend
Sent: Tuesday, August 27, 2013 10:17 AM
To: Kathy Previsich
Subject: Fwd:

FYI

Begin forwarded message:

From: "Barclay, April V." <BarclayAV@natividad.com>
Date: August 27, 2013, 10:11:33 AM PDT
To: Carolyn Burke <PLN416@co.santa-cruz.ca.us>, Zach Friend <BDS022@co.santa-cruz.ca.us>

Dear Ms. Burke and Supervisor Friend,

Please include this letter in the material for the Planning Commission meeting tomorrow, August 28, 2013. I would really like to attend, but am unable to be away from my work at the hospital. I appreciate your taking our concerns into consideration. We will be living with this for a long time in our neighborhood.

April Barclay, CLS, MT (ASCP)
Microbiology Senior Scientist
Natividad Medical Center
831 772 7663

Santa Cruz County Board of Supervisors

August 26, 2013

Santa Cruz County Planning Commission

Dear Board Members;

I have lived at 7158 Freedom Blvd. since December 1996. I work as a microbiologist at Natividad Hospital in Salinas. My husband Alan and I have been concerned about the sports field being built at Aptos High since last year when the initial monumental moving of dirt took place.

Along with the other members of our neighborhood group, the Rob Roy Neighborhood association, we have attended many meeting, hosted several meetings and tried to stay abreast of all developments. We would be attending today's meeting, but because of work obligations, that is impossible. Please hear our concerns.

Our primary concerns:

- Noise: We fear that the constant use of the field will create a large noise problem. Regardless of what is being said now, we have been told that this field will not only be used for school practice, but be rented to local sports groups on weekends, summer, and holidays.
- Lighting: We have been told that there are no plans for huge lights for evening play, but would like to have this in writing.
- Parking: There is no provision for parking except for a tiny lot. The idea that people will really hike up to the upper parking lots is absurd. They will park along both sides of Mariner way.
- Safety: After seeing the crime pattern first hand for over 20 years in Salinas, I know that parks and sports fields are a huge magnet for after dark crime. IE Closter Park in Salinas. Fencing, guards, cameras, or something must be done at the new sports field. There is too easy freeway access to this field to not attract gang activity from both directions.

Please take all of this into consideration when you decide the final fate of this project.

April Barclay

barclayav@natividad.com

831-688-7656

Carolyn Burke

From: Kathy Previsich
Sent: Tuesday, August 27, 2013 2:24 PM
To: Carolyn Burke; Christopher Cheleden; Kent Edler; Elizabeth Hayward; Ken Hart; Steven Guiney
Subject: Fwd: ATHLETIC FIELD / APTOS

0525

Begin forwarded message:

From: Zach Friend <BDS022@co.santa-cruz.ca.us>
Date: August 27, 2013, 2:20:52 PM PDT
To: Kathy Previsich <PLN001@co.santa-cruz.ca.us>
Subject: FW: ATHLETIC FIELD / APTOS

From: Claudia Stevens [mailto:stevens.studios@elgatito.com]
Sent: Tuesday, August 27, 2013 1:11 PM
To: Zach Friend
Subject: ATHLETIC FIELD / APTOS

DEAR Zach Friend,

APTOS ATHLETIC FIELD:

I am a long time neighbor of Aptos High School and in favor of the sports field being built. I am glad my son had practice fields to run in while he was growing up and very much want to see the sports field successfully built.

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SEVEN DAYS / WEEK.

When new school boards come in they can 'erase' everything the previous school board decided and agreed upon regarding this athletic field. This field will bring revenue for Aptos High. There is conflict of interest and distortion of facts for the agendas of a big organization.

The neighbors and home owners sincerely need to be protected by the county.

All along we have been in favor of this project. Yet time after again, we have been made

to look like we are trying to stop the field; unnecessarily alarming the public and diverting attention to the real issues at hand. This threatens to destroy our little chance to collaborate on a solution. Which brings me to the next point:

0526

NOISE.

1. Games and practices, starting at 8:00 am Saturdays and Sundays and continue to dark,
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2. Two huge 101 interchange projects in North Monterey County

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Some of us have lived here and
are homeowners for over thirty-five years. WE WERE HERE BEFORE THE FIELD
PROPERTY WAS PURCHASED
BY THE HIGH SCHOOL. We deserve to be considered in this process.

Thank you for taking the time to consider us.

Sincerely,

Claudia Stevens
7176 Freedom Blvd
Cabrillo College
Instructor
831 688-7980

Elizabeth Hayward

From: PLNAgendaMail@co.santa-cruz.ca.us
Sent: Tuesday, August 27, 2013 12:28 PM
To: PLN AgendaMail
Subject: Agenda Comments

0527

Meeting Type : Planning Commission

Meeting Date : 8/28/2013

Item Number : 8.00

Name : shannon purl

Email : mahinapurl@yahoo.com

Address : 71 cherry blossom lane
apotos, ca 95003

Phone : 8316883729

Comments :

I'm a resident of the Aptos Pines community. My home is within 100 yds. of the proposed soccer field project bordering Mariner Way at the base of AHS.

Having lived in this community for thirty yrs. I'm concerned about the increase noise a soccer field with its entourage of players, spectators, cars, et c. will bring to our neighborhood seven days a week.

yes, that's 7 days a week- early morning till late evening especially on weekends. I feel this will be a disruption of the ambient environment we now experience.

There are, of course, solutions that can be implemented, such as, a sound berm, to mitigate noise pollution. Please take these concerns into consideration when reviewing this project.

Thank you,
Shannon Purl

Elizabeth Hayward

From: PLNAgendaMail@co.santa-cruz.ca.us
Sent: Tuesday, August 27, 2013 3:51 PM
To: PLN AgendaMail
Subject: Agenda Comments

0528

Meeting Type : Planning Commission

Meeting Date : 8/28/2013

Item Number : 8.10

Name : Janice boardman

Email : realtorjaniceb@gmail.com

Address : 117 ginkgo Rd
Aptos CA 9+5003

Phone : 831-818-0339

Comments :

Hello,

I would like to make a few comments and suggestions regarding the soccer field at Aptos High School

I have several concerns:

Parking is one of my issues. Without having an environmental study and or use permit the plans show only 14 parking spaces 2-ADA. Most projects would not be approved without proper parking.

Teams and guests would be over 40 people. If there is a baseball game and that parking area is full where do they park? At the top of the High school campus? I don't think anyone will park & walk all the way down. If they do I suspect there will be a huge line in the driveway while drivers drop off people and their stuff for the game. At the last meeting I asked the district flat out is there any area to enlarge the parking area? They said no! I had been waiting to hear yes we have added 20 more spaces. I was shocked and have been trying to work with them to resolve some of the issues and crowd control. To find out NO extra PARKING AVAILABLE IS SHOCKING. Who will manage all these cars and prevent parking in the red or across Freedom Blvd (those neighbors don't want parking on their land) sheriff and fire Dept will not come and tow or ticket. We have a picture of school officials illegally parking in the red when they want to look at the field. I FEEL THE RULE the sports teams need to follow SHOULD BE:

NO SOCCER GAMES AND BASEBALL GAMES or PRACTICE ON SAME DAY.

ADD NO PARKING SIGNS ALONG MARINER WAY AND FREEDOM BLVD, repaint the red lines.

PUT BOULDERS ALONG MARINER WAY TO PREVENT PARKING IN THE RED.

CREATE A DROP OFF LANE.

ALSO INCLUDE IN THE AHS FIELD USE FORM PERMIT FOR THE TEAM BREAKING THE RULE REVOKED FOR 1 MONTH. NOT A FINANCIAL PENALTY THAT'S APPEALING TO PAY FOR THE PARKING SPACE. AHS TO HIRE FIRST ALARM TO BE PRESENT ON CAMPUS WHILE GAMES/PRACTICE ARE GOING.

In closing I want to mention when I purchased my home there was no plan for the field. The school forced the field on us. It was not there when I purchase my home. I feel the school and sports foundation is doing everything they can to push this field thru with out going thru all the right channels. We have a right to peace and quiet. It is absurd they would run that field 24/7 till dusk. When will the field get watered, mowed, rest? The sports foundation wants to rent the field to adults for the money in their pocket while we the neighbors suffer. What do you do on your Sunday? I like to rest and enjoy the sound of nature not screaming adults

Elizabeth Hayward

From: PLNAgendaMail@co.santa-cruz.ca.us
Sent: Tuesday, August 27, 2013 4:49 PM
To: PLN AgendaMail
Subject: Agenda Comments

0529

Meeting Type : Planning Commission

Meeting Date : 8/28/2013

Item Number : 8.00

Name : Michael Rhodes

Email : [mic22rho@gmail.com](mailto:mrc22rho@gmail.com)

Address : 22 Eugenia Avenue
Aptos, CA 95003

Phone : 8316110100

Comments :

I am concerned that this project does not adequately address the need for additional parking. I live immediately next to this field. My quality of life will be adversely affected if people park right next to my home, on a strip of land where parking is not allowed but will occur if no other parking is available. Spectators for the events will be very disinclined to walk the long distance up and down from the Aptos High parking. There is no parking available on Freedom Blvd. The project will create a need for more parking but the plans do not adequately address this need.

Elizabeth Hayward

From: PLNAgendaMail@co.santa-cruz.ca.us
Sent: Monday, August 26, 2013 10:55 PM
To: PLN AgendaMail
Subject: Agenda Comments

0530

Meeting Type : Planning Commission

Meeting Date : 8/28/2013

Item Number : 8.00

Name : Judy Willis

Email : judywillis8@yahoo.com

Address : 69 Plumosa lane
Aptos CA 95003

Phone : Not Supplied

Comments :

to the planning commission

I really did not appreciate the way the situation regarding the soccer field at Aptos High. You dumped all that dirt from the highway project that is full of herbicides, weed killer. The dust was really bad. I am concerned about the way things are being approached. I feel you should also have a useage permit. I am not against the field being built. I have concerns about the noise as well as parking situation.

Santa Cruz County Planning Commission

RE: Proposed Field Development at Freedom Blvd and Mariner Way

I am a homeowner on Plumosa Lane, parallel to Mariner Way in Aptos. I have lived here since 2002 and have enjoyed the quiet, community environment of Aptos Pines and Rob Roy environs. I and many others in our park have sent their children to Aptos High and understand the benefits of adding to the school facilities. We have lived through multiple large construction projects at the school, experienced intermittent intrusions of noise and traffic during school session, but this comes with living near a school and is tolerable. We appreciate the dedication to education that the school district has, and encourage beneficial improvements. The concept of a practice field for students sounds in line.

However, there was no communication about the start of this project from the school or district even as the dirt from the freeway excavation started arriving next door. It seemed to come out of nowhere, with no formal planning or permits, announcement or oversight. It was noisy and dusty and caused concern with an apparent contamination reported in the soil. I understand now that this was done incorrectly and will need to be redone, with another round of disturbance to neighbors.

The most current documentation sent out shows an agenda much different from what we were originally made to believe. It has gone from creating a practice soccer field to be used during school hours by students, to allowing the field to be rented out 7 days a week to various groups. This has been done without any concern for the disturbance or safety of neighbors in all parts of the Rob Roy area.

It would seem the ultimate use of that which is graded and permitted must somehow factor in to consideration, even though school districts seem immune from their use being approved in planning, and as such, I wish to request that the project be scaled back to its original intent as a practice field for the students to be used between 9 am and dusk and that weekends be reserved for in league games only, with Sunday being a quiet day. With no sound berm planned, even this much change will alter the tranquility we experience currently. //

We have a variety of residents both in this all age park and in the general Rob Roy locale that will be negatively affected if this field is used 7 days a week as the district scope creep now intends. This project should not be a revenue raiser for a district flush with money at the expense of the property values of the neighboring 160+ taxpaying homes.

I think that the full impact of this projected use needs consideration, the scope harnessed as initially documented and returned to the original intention of a daytime practice field, not as a widely used recreation area, with no adjacent parking to accommodate out of town, out of the area people and unclear oversight. I would also ask that you require of this project similar standards to that of others in the county with regard to planning, permits and their associated uses so that the many nearby families be spared the drastic change in environment and conditions.

Thank you for your time in considering this information.

Sincerely,

Sharon Gross
75 Plumosa Lane
Aptos

Laura Guerrero

From: Neal Coonerty
Sent: Wednesday, September 04, 2013 12:07 PM
To: Laura Guerrero
Subject: FW: Aptos High Field

0532

On Tuesday's agenda

From: MICHAEL RHODES [<mailto:mrc22rho@gmail.com>]
Sent: Tuesday, September 03, 2013 7:56 PM
To: Neal Coonerty
Subject: Aptos High Field

Dear Supervisor Coonerty:

This email has to do with the Pajaro Valley Unified School District's plan to complete the new athletic field near Aptos High School on Mariner Drive, which is an item on your agenda for the September 10 hearing. I am not opposed to this project, but I do have concerns about some of the impacts it will have on the adjacent homes. I live directly across Mariner Drive just across from this field in Aptos Pines Mobile Home Park. I am confident that the problems I and other homeowner's are concerned about can be successfully mitigated if the PVUSD addresses them properly.

My biggest concern with this project is that there is not adequate parking. (I will let others discuss other related issues and focus only on parking.) The field is to be used by both the school AND outside community groups for events such as soccer games. These often draw a large crowd of spectators and the only parking available would be near the high school's main campus, which is up a fairly steep hill about 1/4 mile away. Unless measures are taken to prevent parking on Mariner Drive and on this small strip of land just off Mariner Drive, right next to my home, it would seem quite likely many spectators will park more conveniently in these areas rather than walk a long, steep hill. If PVUSD could ensure that "No Parking" signs are in place, add appropriate barriers such as a chain where appropriate, and enforce the no-parking-zone with the consequence of towing or ticketing, this problem would be solved.

My greatest fear is that the PVUSD will decide to create (or just allow) a parking area right outside my home on a small strip of land just off Mariner Drive. My home is immediately adjacent to this strip of land and if parking were allowed here I would continually be disturbed by the noise of cars using this. My quality of my life and property value would suffer substantially. It is unclear to me who actually owns that strip of land. I urge the Board of Supervisors to direct the PVUSD to ensure that the south side of Mariner Drive, and areas just off Mariner Drive next to our homes, NOT be used for parking, either de facto parking (because it would be convenient to use) or officially sanctioned parking.

Sincerely,
Michael Rhodes
22 Eugenia Avenue
Aptos, CA 95003
(831)661-0100

CYPRESS ENVIRONMENTAL AND LAND USE PLANNING
P.O. BOX 1844
APTOS CALIFORNIA

(831) 685-10078 kimt@cypressenv.com

September 5, 2013

Board of Supervisors
County of Santa Cruz
701 Ocean Street, 5th floor
Santa Cruz, CA 95060

SUBJECT: Grading Permit and CEQA Initial Study for the Aptos High School Grading and Sports Field Project (A.P.N. 41-291-39) Applicant: Pajaro Valley Unified School District (PVUSD)

Dear Members of the Board,

Introduction

I represent a group of local residents, Rob Roy Neighbors, who live near the proposed sports field near Aptos High School campus and are extremely concerned about neighborhood impacts from construction and use of the proposed field. The Neighbors, who are residents living in Aptos Pines Mobile Home Park (APMHP) and the segment of Freedom Blvd. near the high school, support the idea of a field at the intersection of Freedom Blvd. and Mariner Way as long as it can be designed to solve impacts to the surrounding area. While we have worked with PVUSD to achieve solutions to some impacts, the most significant impacts—noise and lack of adequate parking remain unresolved. There are also unresolved privacy and security impacts to some neighbors.

We have been urging the PVUSD to include a 6-foot earth berm and a connecting 6-foot solid wood fence on two sides of the field during their Phase 2 grading. (See Exhibit A). These noise barriers would attenuate future noise impacts from constant field use which is planned until dusk 7 days/week. While acoustical studies have shown these types of noise barriers are effective in substantially diminishing sound from sports fields, PVUSD staff have been unwilling to consider this measure to mitigate play field noise to nearby dwellings.

We have also requested both PVUSD and County Planning staff address the dire shortage of parking currently provided by the project. There are only 13 parking spaces proposed for the field, even though it will host youth soccer games and adult team games in the late weekday afternoons and evenings and day long on weekends. While there is a baseball field parking lot nearby, that lot is already heavily used by high school and other league baseball teams. The Planning Commission considered the project on August 28, but didn't have the time afforded most projects of this magnitude to resolve several problems.

Environmental Planning and Analysis, Land Use Consulting and Permitting

30

August 28 Planning Commission Hearing

Several problems occurred at the Planning Commission meeting, which we believe, resulted in their hasty action on the project. Due to scheduling problems for the Board chambers on August 28, the Planning Commission's public hearing was extremely truncated. The Commission and staff could not enter the chambers on time. The meeting did not begin until 10:00 A.M. and had to be concluded before 12:30 P.M. because another body had scheduled use of the chambers at that time. The majority of the intervening time was taken by another public hearing item which preceded the sports field project. Once the sport field project was heard, it did not appear as the Commission members had the time they needed to fully consider the pending Grading Permit and its associated Initial Study prepared pursuant to the California Environmental Quality Act (CEQA). In fact, even though we raised several issues about the validity of the Initial Study, Commission members engaged in very little discussion on that topic.

The Commission appeared concerned about potential illegal parking problems on Mariner Way due to the inadequate parking provided by the project. While the applicant agreed that posting Mariner Way as a "tow-away" zone would be useful to address some of the parking impact, no action was taken to require implementation of a "tow-away" zone on Mariner Way, the access to the project site.

The Commission provided time at the close of the public hearing for the applicant to return to the podium for a rebuttal and closing statements. Unfortunately, a representative of Rob Roy Neighbors was not afforded the same opportunity, and therefore, we could not rebut several misrepresentations and misleading statements made by the PVUSD representative. These statements are discussed below.

Inaccurate or Misleading Statements Made by PVUSD

The Commission asked the applicant if PVUSD could build an earth berm and fence requested by Rob Roy Neighbors. The applicant replied "no" because a berm and fence would create a barrier to Santa Cruz Long-toed salamander (SCLTS) migration; create a graffiti problem and make it impossible to have visual access to the field for security purposes. Had Rob Roy Neighbors been provided the opportunity to rebut these statements, we would have said:

1. The claim that SCLTS cannot migrate over a 6-foot earth berm is not true. These amphibious species frequently travel long distances over hilly terrain to reach aquatic areas for breeding.¹
2. The claim that a 6-foot fence located along the south edge of the field, as proposed by Rob Roy Neighbors, would inhibit SCLTS migration is incorrect. If this fencing included a 4-inch opening between grade and the bottom of the fence, it would inhibit amphibious

¹ Pers. com. with Mark Allaback, Biosearch Wildlife Surveys, Aug, 22 and Sept. 3, 2013

migration.²

3. The claim that a 6-foot fence would just create a graffiti problem is a statement that focuses on problems rather than solutions. Caltrans and other agencies plant vines to climb up the sides of sound walls and other vertical barriers to avoid graffiti problems. There is no reason PVUSD cannot do the same. Phase 2 grading is planned to include the installation of a turf irrigation system. This system could easily include irrigation facilities to serve new vine plantings along a fence.
4. The claim that the proposed berm and fence will disallow visual access to the site misrepresents the site conditions for the project. Placement of noise barriers at the west and south edges of the field will still provide a large open area along the entire east edge of the site next to the entrance arch to the campus visual access. (Refer to Exhibit A). It is the east end of the site facing campus which is the logical vantage point for surveillance of the field and where vehicles will enter and exit the small parking lot.

We believe it is important to focus on solutions to noise and privacy impacts to nearby residences rather than making statements to refute solutions out of hand.

Privacy, Security and Noise Impacts to Nearby Dwellings

The Phase 1 grading that occurred in May 2012 artificially elevated much of the site 11 feet higher than native grade. (Exhibits B and C). This has resulted allowing a person standing at the south edge of the field to look over an existing 5-foot fence along the north edge of APMHP and look into the rear yards of several dwellings located 75 feet from the field. (Exhibit D). In some cases people on the field will even be able to look into bedroom windows of dwellings in the mobile home park (Exhibit E). *Why should we now in 2013 have projects that make homeowners less safe and decrease their privacy?* The 6-foot berm and fencing discussed above could solve this privacy and security problem.

When discussing this problem with PVUSD staff, their answer was that they could plant landscaping along APMHP's 5-foot fence. However, this idea does not provide any visual screening for 8–10 years when newly planted trees would grow tall enough to block views from the field.

As discussed above, it is this grading design that compromises privacy and security of nearby dwellings, as well as failing to minimize a new source of noise. The County Grading Ordinance (County Code Chapter 16.20) gives you the authority to remedy this problem. Code Section 16.20.080(c) includes a requirement that projects shall be denied if "the proposed grading plan for the development contemplated does not comply with the requirements of the Santa Cruz County Code". The current plan does not comply with the following sections of the County Zoning Ordinance:

² Pers. com. with M. Allaback. A letter from Biosearch will be provided prior to Sept 10, 2013

1. Sec. 13.10.321(2) - To preserve areas for primarily residential uses in locations protected from the incompatible effects of non-residential uses;
2. Sec. 13.10.321(5) - To ensure adequate light, air privacy, solar access and open space for each dwelling unit; and
3. Sec. 13.10.321(9) - To protect residential properties from nuisances, such as noise, vibration, illumination, glare, heat, unsightliness, odors, dust, dirt, smoke.... (emphasis mine)

Section 16.20.080(c) of the Ordinance also includes a requirement to deny projects where “the design of the proposed site is not consistent with the applicable general and specific plans adopted pursuant to chapters 13.01 and 13.03 of the Santa Cruz County Code”. As currently designed, the project is not consistent with General Plan Policy Objective 6.9a. The text of the policy is “to promote land uses which are compatible with each other and with the future noise environment. Prevent new noise sources from increasing the existing noise levels above acceptable standards and eliminate or reduce noise from existing objectionable noise sources.”³

Rather than denying the project, we believe a redesign of the field to include the requested earth berm and fencing, located as shown on Exhibit A, will address noise, privacy and security impacts to nearby dwellings; and only then can the project meet the County Code sections and General Plan policy discussed above. In addition, the project should include stronger actions to ensure field users won't park illegally and inappropriately on Mariner Way, Freedom Blvd. and environs would solve much of the parking impact from the project.

CEQA Initial Study

I submitted a letter dated August 21, 2013 to Planning staff that discussed various problems with the CEQA Initial Study prepared for the project, including non-compliance with certain provision of CEQA. If preparation of the Initial Study for this project had accurately identified impacts and potential impacts of the project, the problems discussed above could have been analyzed with recommended solutions. The Initial Study's lack of identifying any impacts or mitigation measures only serves to exacerbate the problems that will result for this project if not redesigned to mitigate noise and parking problems. Revising the Initial Study to comply with CEQA and to discuss project impacts, will be important towards the County including mitigation measures in the Grading Permit and PVUSD implementing mitigation measures for the long-term use of the field.

³ The average noise level generated by soccer games is 55 dBA at 200 feet from center line of field with maximum noise at 60 dBA . Source:, O'Neill Ranch Park EIR, prepared, Brady and Associates for the County of Santa Cruz, 1995. Noise from soccer field play would generate noise at 63–70 dBA to dwellings located about 75-100 feet from the field. Source: Polo Grounds Regional Park EIR, prepared by Leonard Charles and Associates for the County of Santa Cruz, 1991. General Plan noise standard for residential uses is noise not to exceed 60 dBA without “noise reduction requirements needed”. Source: General Plan policy 6.9.1. Dwellings are located 75 feet from the proposed field.

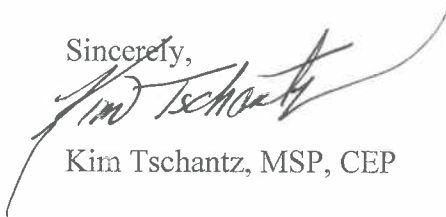
Conclusion

We urge your Board to take the following actions:

1. Direct Planning staff to revise the Initial Study for this project to identify all impacts and potential impacts of the project and re-circulate it according to the requirements of the California Environmental Quality Act;
2. Direct applicant, PVUSD, to redesign the project to include a 6-foot high earth berm at a 2:1 or 3:1 slope adjacent to the west end of the future field and a permanent 6-foot high solid wood fence along the south edge of the field at the same elevation as the field as shown on Exhibit A;
3. Direct County Public Works and PVUSD to post Mariner Way as a "tow-away" zone for parked vehicles and demonstrate how vehicle removal within the "tow-away" zone will be implemented;
4. Direct applicant, PVUSD, to post the project parking lot to inform users that parking on both Mariner Way and Freedom Blvd. is not permitted and illegal and to explain where other legal parking is located at the high school campus;
5. Direct applicant, PVUSD, to include impediments to illegal parking on the strip of land between Mariner Way and APMHP, such as mounding and/or large boulders where such barriers to not exist;
6. Specify that items 2-5 be completed prior to use of the field commences; and
7. Postpone final approval of the Grading Permit and the CEQA document for this project until the Initial Study has been revised and the project grading plans have been revised as discussed above.

In our view, your consideration of this project is not a question of should a sports field be built, but rather, how to minimize the impacts of the field on the local residents who live just a few feet away from the field site in their domiciles that they call home. Solutions to problems are doable. We hope the Board of Supervisors can resolve the current dilemma facing the neighborhood.

Sincerely,



Kim Tschantz, MSP, CEP

Exhibits: A – Locations of earth berm and fence as proposed by Rob Roy Neighbors
B – Photograph of level field surface from Phase 1 grading in relation to APMHP
C – Photograph of 11-ft. high fill slope from Phase 1 grading
D – Photograph the elevated field and its view of a nearby rear yard
E – Photograph of the view of the elevated field from a nearby bedroom window

cc: Rob Roy Neighbors membership
Kathy Previsich, Planning Director

EXHIBIT A

Locations of Earth Berm and Fence as Proposed by Rob Roy Neighbors



43 dwellings are located southwest of the proposed field within this general area.



A 6-ft. high vegetated berm will shield the section of the Aptos Pines Mobile Home Park southwest of the field and properties on Freedom Blvd from sports field noise.

A 6-ft. solid fence will shield the remaining 128 dwellings in APMHP from field noise.

EXHIBIT B

Photograph of Level Field Surface from Phase 1 Grading in Relation to APMHP



EXHIBIT C

Photograph of 11-ft. High Fill Slope from Phase 1 Grading



This fill slope is located 75 feet from rear yards in APMHP

EXHIBIT D

Photograph the Elevated Field and its View of a Nearby Rear Yard



People on the future field will be able to view rear yards and patios behind an existing 5-ft. fence at the north edge of the APMHP as shown in this photograph.

EXHIBIT E

Photograph of the View of the Elevated Field from a Nearby Bedroom Window



People on the future field will be able to view inside dwellings at the north edge of the APMHP as shown in this photograph.

David M. Marsh

September 6, 2013

RE: Application# 131110 Aptos High School Athletic Field

Dear Board of Supervisors:

I am writing to express my concerns about the proposed "Athletic Practice Field" on Mariner Way across from the Aptos Pines Park.

We have lived at Aptos Pines for almost 24 years. When we moved in we understood and accepted the daily noise from school traffic and activities. This impacted not only our home but also the access of entering and leaving the front entrance of our neighborhood. These activities consist of traffic noise, vehicle exhaust pollution, and the ever present "boom box bass" of passing cars, trucks, and school buses on Mariner Way. In addition we can sit in our home and listen to the amplified play-by-play of the sports activities on the "existing athletic fields". These fields are approximately 600-700 feet from our home.

In 24 years we have been good neighbors and have not complained about any of the school related activities. We believe in and support a good well-rounded education for our youth including sports activities.

However the proposed location of the new athletic field subjects us to an entirely different environment of noise, traffic, parking, and safety issues 100 feet from our living room windows.

The School District Maintenance Director keeps referring to the proposed field as a "practice field" for the school athletic teams (quote in the Santa Cruz Sentinel). I believe the quote is at best erroneous and at worst deliberately misleading. If this was true and the field was to be used solely for practice by the school teams on school days we would have no problem with installation of this field. However, the information we are receiving from various individuals and School Board members is that this field will actually be open to use by the public and may also be "rented" out to adult and youth sports activities on weekends.

We have been criticized by some as "not caring about our kids." I believe that just the opposite has been true. We at Aptos Pines, as a neighborhood, have willingly supported our youth's educational activities despite regular inconveniences to our community.

I am interested in how the negative environmental impact study was determined? What and how was the baseline determined for the additional noise, traffic, privacy, and safety concerns this project will subject us too? On school days the difference may be negligible but for Saturdays and Sundays the impact will be much greater.

Parking is already a problem at the existing athletic fields with Mariner Way being used as a parking lot during sports activities. The proposed parking for the new field is completely inadequate. The only way

Handwritten signature/initials

David M. Marsh

it would even have a chance of working is if there were never any activities occurring at the proposed and existing fields at the same time. The idea that people are going to park up on the main campus and walk to the proposed field is unrealistic at best. If this project is built I would strongly recommend that Mariner Way be posted as a No Parking/ Tow Away Zone with red curbs up to the main entrance to the school, and that residents be allowed to call in anonymously to report illegally parked vehicles. This would at least help to control parking behind our houses along Mariner Way. In addition some type of landscaping barriers such as decorative boulders could be placed along Mariner Way to prevent illegal parking.

Safety has also been discussed with various officials and I have yet to hear of any plan which would include any required Official Enforcement during activities. It has been said that First Alarm could be used to patrol and check for illegal parking but just how often are they going to be onsite? The Sherriff's Department is already stretched too thin and could only respond for emergencies. Thus my request that residents be allowed to call for enforcement.

Privacy is also an issue for many homeowners in the Aptos Pines neighborhood. The lower end of the field has been graded to a level about 8-10 feet higher than the existing homes across Mariner Way. This allows viewing directly into the windows of residents homes. This is a problem both when there are organized activities and when the field is not in use; giving individuals the opportunity to "case" people's yards and homes.

In summary, we support the proposed field if it used during school days as a practice field for school athletes. We would that the field not be used for other activities on Saturdays and Sundays. If the proposed field is to be open to public use on other days we believe several "mitigation" measures should be taken to lessen the impact on the existing neighborhood residents.

These would include the following:

1. Posting Mariner Way as a No Parking/Tow Away Zone with red curbs up to the main entrance to the school.
2. Allow residents to call in anonymously for parking enforcement along Mariner Way.
3. Installation of decorative boulders landscaping along the Aptos Pines side of Mariner Way to prevent parking.
4. Some type of "sound barrier" such as fencing or a berm along the Mariner Way side of the Athletic Field.
5. Restricting the beginning and ending times grading and construction.
6. Include dust and debris control during the grading activities.
7. One day each weekend of no organized activities on the proposed field.

Respectfully submitted,

David M. Marsh

Patricia Stokke

From: Dave Heinevetter <DHeinevetter@ridefox.com>

Date: September 6, 2013, 2:02:49 PM PDT

To: Zach Friend <BDS022@co.santa-cruz.ca.us>

Subject: Aptos High School

To whom it may concern,

It has come to my attention that the development of the new grass field at Aptos High School is being postponed and threatened to be stopped by a few people who have issues with it.

I am writing you to let you know that I completely support the development of this field and can not understand anyone who would stand in its way!

Is it not the responsibility of a community to support their youth in the pursuit of safe and healthy activity and provide them with a place to do this? So, why would we want to shut down the development of more of this kind of area?

The High School fields benefit kids of all ages, they are used by all of the local youth programs.

I wonder are the same people that are trying to shut this down the same people that complain about today's youth and the things that they are into?

If kids don't have programs to participate in and places to do them, they are going to find those other things to do. Often not what we would like them to be doing.

So, again how is it such a bad idea to build a grass field for kids to play on?

Please help us in supporting the development of this new grass field at Aptos High School

Thank you,
Dave Heinevetter



Alicia Murillo

From: cdbbosmail@co.santa-cruz.ca.us
Sent: Monday, September 09, 2013 12:20 AM
To: CBD BOSMAIL
Subject: Agenda Comments

Meeting Date : 9/10/2013

Item Number : 30

Name : Ceci Myers

Email : cecigmyers@pacbell.net

Address : 63 Plumosa Lane
Aptos, CA 95003

Phone : 831-685-1705

Comments :

Santa Cruz County Supervisors,

As a neighbor to the APHS Soccer field, I want to make it clear that my opposition is not to a practice field for Aptos High students, but to the Adult Soccer leagues that will be using the field on the weekends.

It has been proposed that on the weekends there will "Adult Soccer Leagues" using the field from Morning until Night, possibly (5) five 90 minute games per day. Adult games bring new elements to the field. There will be local players, out of town players, coaches, family and friends and lots of traffic noise less than 10 feet from our back fence, porta potties. I believe the noise on the weekends will leave us with no peace except after dark.

I live directly across from center field and my deck and bedroom are only 60 feet away from the edge of the field. There are two items that as a neighbor I am asking you to take into consideration.

One, is noise. I am asking for some kind of sound abatement on Freedom Blvd and Mariner Way, a fence or sound berm. For me it will not only be soccer field noise, it will also be my dogs barking at players that they think are in their back yard and my husband complaining about the noise.

Second, is privacy. I feel there will be a lack of privacy in my home. Players will be able to see us on our deck, backyard and possibly see into my bedroom window. I am asking for foliage to be planted along the Aptos Pines fence on Mariner Way to serve as a privacy screen.

This is not much to ask of Aptos High School and the Aptos Sports Foundation as they are asking me to give up my Privacy and the Peace and Quiet I enjoy now by placing a soccer field 60 feet from home, which will be in use from morning until night, seven days a week.

Thank you for your consideration,
Sincerely,

Ceci Myers
63 Plumosa Lane
Aptos, CA

RESOLUTION NO. _____

On the motion of Supervisor _____
 duly seconded by Supervisor _____
 the following Resolution is adopted:

BOARD OF SUPERVISORS RESOLUTION ADOPTING THE NEGATIVE DECLARATION
 AND APPROVING PRELIMINARY GRADING PERMIT APPLICATION 131110

WHEREAS, the Planning Commission held a public hearing on August 28, 2013 to consider Application No. 131110, and took action to adopt a resolution recommending to the Board of Supervisors that it adopt a Negative Declaration and approve a proposed Preliminary Grading Permit for the placement of 19,000 cubic yards of soil to create an athletic field on the campus of Aptos High School;

WHEREAS, the Board of Supervisors has held a public hearing on this September 10, 2013 date to consider Application No. 131110, for the purpose of making a determination regarding the proposed adoption of a Negative Declaration and approval of a proposed Preliminary Grading Permit for the placement of 19,000 cubic yards of soil to create the athletic field; and

WHEREAS, the design of the proposed athletic field is consistent with applicable general and specific plans adopted pursuant to Chapters 13.01 and 13.03 of the Santa Cruz County Code; and

WHEREAS, the proposed grading plan for the development has been reviewed by Environmental Planning and the Department of Public Works Stormwater Management section and is found to comply with applicable requirements of the Santa Cruz County Code; and

WHEREAS, the project will not cause excessive or unnecessary disturbance of the site; and

WHEREAS, review of the grading plans, hazard mapping and supporting geotechnical investigation for the project have shown that the work proposed would not be hazardous by reason of flood, geological hazard, or unstable soils; be liable to endanger other properties or result in the deposition of debris on any public way, property, or drainage course; or otherwise create a hazard; and

WHEREAS, an Initial Study prepared for the project found that the work proposed would not create any unavoidable or significant adverse environmental impacts; and that no mitigation measures were required to be adopted to ensure that impacts of the project were less than significant; and

WHEREAS, the proposed grading is not for creation of a building site and does not lie within a riparian corridor or 100-year floodplain.

NOW, THEREFORE, BE IT RESOLVED AND ORDERED, that Board of Supervisors hereby adopts the Negative Declaration and approves Preliminary Grading Permit Application No. 131110 based on the following findings and with the attached conditions (Attachment 1).

1. The Project that was the subject of environmental review includes but is not limited to the following components:

Alicia Murillo

From: Zach Friend
Sent: Friday, September 06, 2013 4:37 PM
To: COB Staff
Subject: Fwd: AHS Utility Filed

Begin forwarded message:

From: darren houser <realtordarren@yahoo.com>
Date: September 6, 2013, 1:58:33 PM PDT
To: Neal Coonerty <BDS031@co.santa-cruz.ca.us>, Zach Friend <BDS022@co.santa-cruz.ca.us>, Bruce McPherson <BDS051@co.santa-cruz.ca.us>, Greg Caput <BDS041@co.santa-cruz.ca.us>, John Leopold <John.Leopold@co.santa-cruz.ca.us>
Subject: AHS Utility Filed
Reply-To: darren houser <realtordarren@yahoo.com>

Santa Cruz Board of Supervisors

Re: AHS Utility Soccer Field

As a soccer coach with Aptos Soccer Club I have been fortunate to have coached over 100 children from my community. Along their way to adulthood there were (are) many opportunities for a path which may have not been in their best interest. Drugs, alcohol, teen pregnancy and self mutilation are unfortunately well known in our little county of Santa Cruz.

It has been my personal experience through the Aptos Soccer Club, Excel Soccer Club and the Santa Cruz County Breakers that our student athletes are far more likely to embrace a healthy path to adulthood when involved with youth sports.

But our field space is limited which prohibits many youth sports from expanding. Soccer, La Crosse, and Flag football are currently in competition with each other over field space within the county. Additional field space which will have limited club use six months of the year is well warranted as we help shape the next generation on their path to adulthood.

Darren Houser,
Aptos Tide U11G Coach
Recreational Coach Coordinator ASC

Aptos Resident

Alicia Murillo

From: Zach Friend
Sent: Friday, September 06, 2013 4:37 PM
To: COB Staff
Subject: Fwd: Application# 131110 - Aptos High School Athletic Field
Attachments: AthleticFieldSupervisorsHearing.docx; ATT00001.htm

Begin forwarded message:

From: David Marsh <marsh99@comcast.net>
Date: September 6, 2013, 12:44:41 PM PDT
To: Zach Friend <BDS022@co.santa-cruz.ca.us>
Subject: Application# 131110 - Aptos High School Athletic Field

Dear Supervisor Friend,

Attached are our concerns and comments pertaining to the scheduled September 10, 2013 hearing for the above application.

Respectfully,
David M. Marsh
Patricia Stokke
99 Cherry Blossom Lane
Aptos, CA 95003

David M. Marsh

September 6, 2013

RE: Application# 131110 Aptos High School Athletic Field

Dear Board of Supervisors:

I am writing to express my concerns about the proposed "Athletic Practice Field" on Mariner Way across from the Aptos Pines Park.

We have lived at Aptos Pines for almost 24 years. When we moved in we understood and accepted the daily noise from school traffic and activities. This impacted not only our home but also the access of entering and leaving the front entrance of our neighborhood. These activities consist of traffic noise, vehicle exhaust pollution, and the ever present "boom box bass" of passing cars, trucks, and school buses on Mariner Way. In addition we can sit in our home and listen to the amplified play-by-play of the sports activities on the "existing athletic fields". These fields are approximately 600-700 feet from our home.

In 24 years we have been good neighbors and have not complained about any of the school related activities. We believe in and support a good well-rounded education for our youth including sports activities.

However the proposed location of the new athletic field subjects us to an entirely different environment of noise, traffic, parking, and safety issues 100 feet from our living room windows.

The School District Maintenance Director keeps referring to the proposed field as a "practice field" for the school athletic teams (quote in the Santa Cruz Sentinel). I believe the quote is at best erroneous and at worst deliberately misleading. If this was true and the field was to be used solely for practice by the school teams on school days we would have no problem with installation of this field. However, the information we are receiving from various individuals and School Board members is that this field will actually be open to use by the public and may also be "rented" out to adult and youth sports activities on weekends.

We have been criticized by some as "not caring about our kids." I believe that just the opposite has been true. We at Aptos Pines, as a neighborhood, have willingly supported our youth's educational activities despite regular inconveniences to our community.

I am interested in how the negative environmental impact study was determined? What and how was the baseline determined for the additional noise, traffic, privacy, and safety concerns this project will subject us too? On school days the difference may be negligible but for Saturdays and Sundays the impact will be much greater.

Parking is already a problem at the existing athletic fields with Mariner Way being used as a parking lot during sports activities. The proposed parking for the new field is completely inadequate. The only way

David M. Marsh

it would even have a chance of working is if there were never any activities occurring at the proposed and existing fields at the same time. The idea that people are going to park up on the main campus and walk to the proposed field is unrealistic at best. If this project is built I would strongly recommend that Mariner Way be posted as a No Parking/ Tow Away Zone with red curbs up to the main entrance to the school, and that residents be allowed to call in anonymously to report illegally parked vehicles. This would at least help to control parking behind our houses along Mariner Way. In addition some type of landscaping barriers such as decorative boulders could be placed along Mariner Way to prevent illegal parking.

Safety has also been discussed with various officials and I have yet to hear of any plan which would include any required Official Enforcement during activities. It has been said that First Alarm could be used to patrol and check for illegal parking but just how often are they going to be onsite? The Sherriff's Department is already stretched too thin and could only respond for emergencies. Thus my request that residents be allowed to call for enforcement.

Privacy is also an issue for many homeowners in the Aptos Pines neighborhood. The lower end of the field has been graded to a level about 8-10 feet higher than the existing homes across Mariner Way. This allows viewing directly into the windows of residents homes. This is a problem both when there are organized activities and when the field is not in use; giving individuals the opportunity to "case" people's yards and homes.

In summary, we support the proposed field if it used during school days as a practice field for school athletes. We would that the field not be used for other activities on Saturdays and Sundays. If the proposed field is to be open to public use on other days we believe several "mitigation" measures should be taken to lessen the impact on the existing neighborhood residents.

These would include the following:

1. Posting Mariner Way as a No Parking/Tow Away Zone with red curbs up to the main entrance to the school.
2. Allow residents to call in anonymously for parking enforcement along Mariner Way.
3. Installation of decorative boulders landscaping along the Aptos Pines side of Mariner Way to prevent parking.
4. Some type of "sound barrier" such as fencing or a berm along the Mariner Way side of the Athletic Field.
5. Restricting the beginning and ending times grading and construction.
6. Include dust and debris control during the grading activities.
7. One day each weekend of no organized activities on the proposed field.

Respectfully submitted,

David M. Marsh

Patricia Stokke

David M. Marsh

Alicia Murillo

From: Zach Friend
Sent: Sunday, September 08, 2013 7:49 PM
To: COB Staff
Subject: Fwd: Aptos H S grass field

Begin forwarded message:

From: Christina Miller <chagard11@gmail.com>
Date: September 8, 2013, 7:39:09 PM PDT
To: Zach Friend <BDS022@co.santa-cruz.ca.us>
Subject: Aptos H S grass field

Dear Mr. Friend,

I strongly support the completion of any field, pool or other facility Aptos High School needs to be a safe and sound educational institution that is enjoyed by the entire community.

I have appreciated all that Aptos High School has provided for my two children. I expected the school to have a strong academic program. I am impressed and positively surprised by all the dedicated coaches and team building efforts my children have experienced in water polo, basket ball, track and field, baseball and swimming. This dedication to build a community of strong, healthy, responsible and respectful young people needs proper facilities.

Christina H. Miller

Alicia Murillo

From: Zach Friend
Sent: Saturday, September 07, 2013 10:51 PM
To: COB Staff
Subject: Fwd: Aptos High Field Project

Begin forwarded message:

From: Daniel Sampson <dsampson5@yahoo.com>
Date: September 7, 2013, 9:43:50 PM PDT
To: Neal Coonerty <BDS031@co.santa-cruz.ca.us>, Zach Friend <BDS022@co.santa-cruz.ca.us>, Bruce McPherson <BDS051@co.santa-cruz.ca.us>, Greg Caput <BDS041@co.santa-cruz.ca.us>, John Leopold <John.Leopold@co.santa-cruz.ca.us>
Subject: Aptos High Field Project
Reply-To: Daniel Sampson <dsampson5@yahoo.com>

Hello County Supervisors,

I have been an Aptos Resident for 25 years, and a resident of Santa Cruz County for all but two of the past 35 years. My wife and children were born and raised in Aptos, and they all attend or attended Aptos High. I am writing to express my support for the new grass playing field at the entrance to Aptos High School. Santa Cruz County is remarkably short on playing fields, and there is very little space to develop new ones. Our children need places where they can engage in healthy activities like organized sports. It is for the good of the community as a whole that I urge you to support the development of this field. I have heard the neighbors complaints, and I have seen the mitigation measures offered by the PVUSD. It seems very clear that only one side in this "controversy" is making any attempt to compromise and is looking out for other than their own interests.

This project will be a major upgrade to a rather unsightly entrance of a distinguished school in our community. Because there will be no lights, activities at this field will only take place when other noise sources, such as the traffic on Freedom Blvd., are far more dominant. There are many families living adjacent to the Polo Fields in Aptos, where similar activities take place at similar hours. The ones that I know cherish the proximity of that resource to their homes. None of them complain of noise, and parking mitigation measures made there have been very successful at addressing neighbor complaints.

Please don't let the voices of a few stop the actions of the majority who are trying to serve the greater good.

Thank you for your support.

Daniel Sampson
La Selva Beach, CA

Alicia Murillo

From: Zach Friend
Sent: Sunday, September 08, 2013 3:31 PM
To: COB Staff
Subject: FW: Aptos High School field

From: Scott Russo [russo_scott@att.net]
Sent: Sunday, September 08, 2013 2:30 PM
To: Neal Coonerty; Zach Friend; Bruce McPherson; Greg Caput; John Leopold
Subject: Aptos High School field

To Whom It May Concern,

I am writing this letter concerning the development of the field on the lower part of the Aptos High School campus. I have been deeply involved with flag football in the Watsonville and Aptos areas for the last 10 years. I was an original board member for the Watsonville NFL Flag Football League and was the sole person in charge of the Aptos division of that league before the creation of the Central Coast Flag Football League. After two years of running Watsonville and Aptos divisions of the Watsonville NFL Flag Football League, I organized a group to start the Central Coast Flag Football League (CCFL). We have been in existence now for 4 years and have been fortunate enough to share the Aptos High School football field with the Aptos Youth Soccer Organization (AYSO) for our Sunday games. However, the use of the AHS football field as well as the procurement of practice fields for our league is always a challenge as there simply is not enough field space to accommodate both our league (average 300 participants and 30 teams) and the Aptos Youth Soccer Organization. The development of this field would be a huge step in alleviating these challenges.

After having attended some community meetings on the topic, it is my understanding that there is some opposition to the development of this field from the residents of the mobile home park that is next to the field in question. In the last meeting that I attended, the major issues that were brought up by the residents were the fact that the noise from the field would be bothersome and that the parking issue would be uncontrollable.

As a founder of two different leagues, I am intimately aware of the challenges of running a large sporting organization while also being committed to community concerns. While on the board for the Watsonville NFL Flag Football League, we had the same concerns voiced from the neighbors around Ann Soldo Elementary School and with the residents around New Brighton Middle School. With the CCFL, we spent a season playing games at Valencia Elementary School and, again, had to deal with parking and noise issues. In all three situations, our league was able to come up with a compromise that both benefitted the kids that we serve and appeased the neighbors around the community fields. I am confident that this can also happen in this situation.

As a coach of both boys' and girls' flag football at Aptos Junior High and as the head coach of the Aptos High School freshman football team, I can tell you that the benefits of our league and of the AYSO, have far reaching effects beyond just our league seasons. At Aptos Junior High School we get on average 70 boys and 40 girls that try out for flag football. My current freshman football team has 65 boys. Of these numbers approximately 70% have played flag football either in our league or some other local league. I know the same can be said for the soccer programs at the junior high and high school as well.

Kids that are involved in after school activities such as these have been shown to not only do better in school but also to be better community partners. As an example, the CCFL uses

local high school students as referees, several of whom choose to participate for community service credits in lieu of pay. This year we also have some recent graduates of Aptos High School and former players in the CCFL volunteering their time to coach our teams. The league is a community in every sense of the word.

Team sports teach so much more than just the sport. They teach skills and abilities that can be transferred to the classroom and the workplace such as teamwork, competitiveness, and perseverance to name a few. Every sport has to start with a venue on which to play. This field project will ensure that our leagues are able to stay solvent and provide the youth of our area with a productive, healthy and fun activity that will not only increase their physical and emotional growth but will also enable them to have success in their later school years and throughout life. It is my belief that the challenges of noise and parking are small obstacles to overcome when compared to the benefits that this field can provide to our youth.

Sincerely,

Scott Russo

Central Coast Flag Football Representative and Board Member Coach Aptos Junior High School
Flag Football Head Coach Aptos High School Freshman Football

Alicia Murillo

From: Zach Friend
Sent: Friday, September 06, 2013 4:36 PM
To: COB Staff
Subject: Fwd: Aptos playnig field

Begin forwarded message:

From: "Davis, Daniel" <Daniel.Davis@cbnocal.com>
Date: September 6, 2013, 3:58:10 PM PDT
To: Zach Friend <BDS022@co.santa-cruz.ca.us>
Subject: FW: Aptos playnig field

Hello Zach,

I am an Aptos resident for the 25 years. I am forwarding this email that I though would reach you through Patrick but bounced back to me. I must have miss addressed. Anyhow I hope you get this as I am sure that there are lots of Aptos residents who feel much the same about the field.

Thanks,
Dan

Dan Davis
Coldwell Banker
Direct line 831-662-6529
DRE # 01036100

From: Davis, Daniel
Sent: Fri 9/6/2013 3:55 PM
To: bdso23@co.santa-cruz.ca.us
Subject: Aptos playnig field

Hello Patrick,

I am Dan Davis, a local realtor, with Coldwell Banker in Aptos. I have followed the issue about the field under development at the entrance to Aptos High School.

A little of my background and interest in the issue: I have lived in the Day Valley area for the past 25 years. My son and daughter graduated from Aptos High a few years ago. My wife and I were very glad that both our children participated in the high school sports program as well as local little league and pony baseball and county soccer. We feel sports programs are obviously a healthy outlet in many ways for our young people and also a very positive way to interact with the community at large. I recall that there was always a shortage of fields. The younger high school baseball team practiced in the lower parking lot and juggling football and soccer field needs was an ongoing conflict.

I was delighted to see the creative idea of using the dirt coming out of the huge road project for developing the field. It seemed like such a win-win at the time. It was a huge savings in time, \$\$\$ and energy for the road project as well as for the field development. I recall numerous fund raisers and parent "help" days to help Aptos High make improvements to various sports facilities over the years as

the Pajaro School District never seemed to be able to pay for much. We have since learned that the dirt transfer and field development overlooked some of the permit process. It seems now that it was a fortuitous oversight as some local opposition might have put a stop to what I see as a good thing for our community. It is getting too hard to accomplish anything.

We can be glad the high school was built a long time ago as it would seem that some Aptos neighbors would object to having a school nearby. The high school traffic can be quite inconvenient when trying to get somewhere on Freedom Blvd in the morning but that is a small thing in the scheme of things compared to all the great things the school provides in addition to educating our Aptos young people.

I just want to say that I think there are a lot of people who think the fields are a great addition to our community. I would think that field usage can be done in such a way to address at least some of the field opponents' complaints.

Sincerely,
Dan Davis

Dan Davis
Coldwell Banker
Direct line 831-662-6529
DRE # 01036100

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Alicia Murillo

From: Zach Friend
Sent: Friday, September 06, 2013 7:36 PM
To: COB Staff
Subject: Fwd: Aptos Soccer Field

Begin forwarded message:

From: Charles Bailey <charles.bailey@cityofwatsonville.org>
Date: September 6, 2013, 6:01:07 PM PDT
To: Neal Coonerty <BDS031@co.santa-cruz.ca.us>, Bruce McPherson <BDS051@co.santa-cruz.ca.us>, Greg Caput <BDS041@co.santa-cruz.ca.us>, John Leopold <John.Leopold@co.santa-cruz.ca.us>, Zach Friend <BDS022@co.santa-cruz.ca.us>
Subject: Aptos Soccer Field

Dear Board of Supervisors-

I am sending you this e-mail in support of the proposed Soccer field at Aptos High School. I have been involved with Soccer in this County for over 40 years as a player, coach, parent, and former Santa Cruz County Youth Soccer League board member.

This County desperately needs more sports fields. The addition of sports fields in this County has not kept up with the demand. It is a shame to see the opposition to the field project at Aptos High. The Aptos High Sport Foundation and the Aptos Soccer Club have put a lot of effort into this project and PVUSD is ready to finish it.

Two years ago, I was the director of the Santa Cruz Classic Soccer Tournament. We had 108 teams playing 188 games over one weekend. We had to use 9 different venues including UCSC. UCSC is very reluctant to let the youth leagues use there fields. My biggest challenge as the director was finding enough fields. We need more fields!!!

I have heard what the opponents have said about the proposed Aptos High field. Traffic will not effect them, the noise will be minimal.....for the most part some whistles on the weekends. I hope you will consider my comments and vote to get this needed field finished.

Sincerely,

Charles Bailey

Alicia Murillo

From: Zach Friend
Sent: Saturday, September 07, 2013 4:06 PM
To: COB Staff
Subject: Fwd: Aptos Soccer Fields

Begin forwarded message:

From: Rose Marie McNair <realrose@norcalbroker.com>
Date: September 7, 2013, 4:05:29 PM PDT
To: Zach Friend <BDS022@co.santa-cruz.ca.us>
Cc: Neal Coonerty <BDS031@co.santa-cruz.ca.us>, John Leopold <John.Leopold@co.santa-cruz.ca.us>, 'Bruce McPherson' <bruce.mcperson@co.santa-cruz.ca.us>, Greg Caput <BDS041@co.santa-cruz.ca.us>
Subject: Aptos Soccer Fields

Mr. Friend and Honorable Supervisors,

I am a REALTOR® watching the arrested development of a playing field for children. Those who oppose the playing fields talk about noise, dust, and improper adherence to environmental obligations. I fear that logic has gone astray. The road is paved with good intentions, which, now simply caused havoc at great cost to our community, and sadly, in this case, is a grave loss to our children.

Issue #1: We try to protect endangered species of every shape and kind, but this time, the endangered species is our youth. What does this really mean to our endangered, precious children? Playing soccer or outdoor games is too loud and too noisy. What is the alternative to the outdoor exercise, organized competition, and gifts of friendship and memories that last a lifetime? The answer is plaguing America now—too much time with electronic devices, watching television, playing video games, resulting in health problems. The children are endangered...We've gone too far.

Issue #2: I understand the concerns of residential neighbors who think that there will be too much noise, and dust. Aptos Pines is next to a high-school, which has areas of land designed for improvements and playing fields. Special rules are set forth to deal with hours of use, lighting, and other mitigations. Yes, there will be the sounds of children playing for nominal times of the day. As to dust, there are mitigations and plantings that can alleviate dust, and actually benefit the area and the environment. In Scotts Valley, Skypark is adjacent to many single family homes and is a family oriented, park that the community enjoys and helps both children, and business activities thrive. In Victorian times, it was said that children should be seen, but not heard...now, are we asking that they also NOT be seen OR heard?

Issue#3: Somehow, a step was skipped, with a good idea to save money by using already available fill and free labor, because the laws on the books were not

strictly followed... Instead, layers and layers of rules, made with good intentions, have stifled honest development, and free enterprise. I've said it before and I'll say it again: The laws we make are done with the stroke of a pen, and with that same pen...they can be changed to benefit a community, to make sure that the future of America is healthy in mind and spirit. At the same time, this field/park will be a benefit to a neighborhood who, in the end, supported the ultimate triumph of healthy, happy children. I believe these neighbors will have secured, not only the value of their property, but the value gained when children are no longer endangered, rather, they are nurtured by a caring community. They are the future.

Please expedite the completion of the field, so that our children can thrive.

Sincerely,
Rose Marie McNair



Rose Marie McNair, Broker
McNair Real Properties
1715-42nd Ave. "B"
Capitola, CA 95010
(831) 476 2102 Ofc (831) 212 4906 Cell
(831) 476 2209 Fax realrose@norcalbroker.com
PMN, SRES, ePro, Ecobroker, MBA
CA DRE Lic # 00547533

Pajaro Valley AOR 2011 President

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Alicia Murillo

From: Zach Friend
Sent: Monday, September 09, 2013 7:48 AM
To: COB Staff
Subject: FW: Aptos Sports Field

From: Danny Braga [danbraga@att.net]
Sent: Sunday, September 08, 2013 11:17 PM
To: Zach Friend
Subject: Aptos Sports Field

Dear Supervisor Friend,

I am writing to you in support of the practice field that is "in process/ in limbo" at Aptos High School.

I am a 66 year resident of Santa Cruz County, with 40 years in Aptos. Our 2 sons graduated from Aptos High School, the last in 1990. Yet, I remain a member and Director of the Aptos Sports Foundation which financially assists with the sports programs at the school. In cooperation with the PVUSD, we have attempted to provide the students and the community with a desperately needed field. The neighbors in the area had objections to the project and we met with them many months ago. The main message received was that they felt that the noise level would be increased and would invade their homes. To a person, each expressed a general agreement that the field would be a good thing. However, since that time, some or all have initiated every available source of stoppage of this project, be it planning, environmental, traffic, etc.

To test the noise argument, on several occasions, I have stopped my car by the side of the road on Freedom Blvd near the entrance to Aptos High. I have turned off the engine and rolled down the windows to see what kind of road noise currently exists. Between Freedom Blvd and Highway 1, the noise level is already significant. It appears most of the neighbors have surrounded their homes with high vegetation/trees to combat this. I can't imagine the sounds of coaches' whistles on this field will be heard above the traffic noise.

As the Supervisor representing this district, I urge you to join me in support of the field for the greater good of the community. Please feel free to contact me at this email address for any questions.

Best Regards,

Danny Braga

Alicia Murillo

From: Zach Friend
Sent: Friday, September 06, 2013 5:13 PM
To: COB Staff
Subject: Fwd: In support of proposal to develop soccer field at Aptos High School
Attachments: Support of Aptos High Soccer Field.docx; ATT00001.htm

Begin forwarded message:

From: Eric Whitfield <ewhitfield73@gmail.com>
Date: September 6, 2013, 5:06:16 PM PDT
To: Zach Friend <BDS022@co.santa-cruz.ca.us>
Subject: In support of proposal to develop soccer field at Aptos High School

Dear Mr. Zach Friend:

As a resident of Aptos and father of two kids, one of which actively plays soccer for the Aptos Youth Soccer Club, I am in support of developing the proposed soccer field at Aptos High School.

I've included a letter to express my stance in support of the soccer field and appreciate your consideration.

Best Regards,

Eric Whitfield

Santa Cruz Board of Supervisors

Re: Aptos High School Soccer Field

I've been a resident of Santa Cruz County for over 10 years and have resided in the city of Aptos for the past 3 years. A major consideration for moving to Aptos was to allow for my two kids to attend Aptos schools within the PVUSD and reside in a small town environment conducive to positive influences like youth sports and outdoor activity programs.

We live on Day Valley Rd. within close proximity to all Aptos schools, particularly Aptos High School and pass by the area where the new soccer field is being proposed on a daily basis. Allowing for development of a soccer field in that location to provide the expansion of youth sports within the community would be a welcomed addition.

My son plays soccer for the Aptos Youth Soccer Club and we've noticed a positive influence in his behavior, driven by the passion to play in a competitive team sport which also offers healthy interaction with peers within the community. As a parent in the community, I support the proposition to develop a soccer field that serves to not only allow a place to play youth sports but, offers an outlet for youths to embrace a healthy environment and play a positive role within the community.

Eric Whitfield

Aptos Resident

Alicia Murillo

From: Zach Friend
Sent: Friday, September 06, 2013 4:41 PM
To: COB Staff
Subject: Fwd: Please support the Aptos field

Begin forwarded message:

From: Jennifer Silver-Herman <jennifersilverherman@gmail.com>
Date: September 6, 2013, 4:39:40 PM PDT
To: Zach Friend <BDS022@co.santa-cruz.ca.us>
Subject: Please support the Aptos field

Dear Mr. Friend,

I live in Aptos, near the proposed sports field and I can tell you that this is a very needed recreation area for our county's children. My son plays soccer and we often have to share a field with 3 other teams during practice and games. I also think organized sports are critical for older children to stay healthy and stay out of trouble. Please do anything you can to help this field become a reality.

Thank you,

Jennifer Silver-Herman
Parent & Field supporter

Alicia Murillo

From: Zach Friend
Sent: Sunday, September 08, 2013 11:08 AM
To: COB Staff
Subject: Fwd: Please Support the Aptos High School Soccer Field

Begin forwarded message:

From: Erin Andres <erinbri80@yahoo.com>
Date: September 7, 2013, 11:57:45 PM PDT
To: Zach Friend <BDS022@co.santa-cruz.ca.us>
Subject: Please Support the Aptos High School Soccer Field
Reply-To: Erin Andres <erinbri80@yahoo.com>

Dear Mr. Friend,

We talk about obesity, drug abuse, violence, academic failure, and troubled relationships... a few of the many challenges our children and teens will face growing up in this county. We must defend programs and facilities that serve our kids, giving them safe places to develop and overcome challenges like these. I know first-hand the positive impact of soccer and the value of soccer fields on which to play. As a community, we need to stand together in support and celebration of the soccer field to be built on the site at Aptos High School.

>

> I grew up on soccer fields. They gave me a place to belong. They were my playground and classroom, where kind coaches were my mentors, teammates became life-long friends, and even rivals were treated with respect. Soccer taught me to care for others, to care about a goal, to work together towards that goal, and to be resilient in defeat. Soccer taught me to care about my body: to keep it healthy and fit, to fuel it with nutritious foods, and to refuse drugs and other harmful habits. This is not just about a plot of grass or a place to kick a ball- this field is an opportunity to make a positive difference in the lives and futures of our children and our community.

>

> It is one of the most important gifts to provide children a safe environment to build positive and healthy habits, strong relationships, and valuable self worth that will serve them and others the rest of their lives. Please join me and my community in support of the field construction.

> Thank you,

>

> Erin Whitfield, Aptos

30

Alicia Murillo

From: Zach Friend
Sent: Friday, September 06, 2013 4:35 PM
To: COB Staff
Subject: Fwd: This is for the kids.

Begin forwarded message:

From: Paul Bailey <pbailey@baileyproperties.com>
Date: September 6, 2013, 3:41:05 PM PDT
To: 'Brett McFadden' <brettwmcfadden@gmail.com>, Neal Coonerty <BDS031@co.santa-cruz.ca.us>, Zach Friend <BDS022@co.santa-cruz.ca.us>, Zach Friend <BDS022@co.santa-cruz.ca.us>, Bruce McPherson <BDS051@co.santa-cruz.ca.us>, Greg Caput <BDS041@co.santa-cruz.ca.us>, John Leopold <John.Leopold@co.santa-cruz.ca.us>
Subject: This is for the kids.

To whom it may concern

I am writing regarding the new utility sports field at Aptos High School. I am Aptos alumni (class of 1970), a parent, a local businessman, and Chairperson of the Aptos Sports Foundation (ASF). ASF is the organization that arranged for the field dirt to be installed at the site and raised money from within the Aptos community to help complete the utility field. The community of Aptos and the High School desperately need this field. There are 800 kids at Aptos High school that participate in the after school athletic programs. There just is not enough practice space. A better school will make for a better community.

A point that I want to make is that the money and effort to improve the field and projects like this at Aptos High School come from the community through donations to the Aptos Sports Foundation. The Sports Foundation represents the communities interests. The \$60,000 ASF has set aside for this project came from moms and dads, parents of students, alumni and the businesses in Aptos.

The second point is that I think there are two issues being pushed into one conversation to fog the practice field issue by the opposition. The points being made by the opposition regarding the practice field are being vocalized emotionally to distract from the planning issues. Facts can be quietly debated by two neighbors and solved through compromise. The problems being used as leverage by the opposition to stop the project are "good neighbor" problems. At a meeting regarding the practice field the Pajaro Valley School District Board of Trustees voted to support the field, and sent the issue back to Aptos High School and the local neighbors to work out a "good neighbor" solution. I have been at these meetings and they were very well organized. The neighbors and others interested parties received packages from PVUSD with directions and an agenda. Every one wishing to speak was listened to politely. There are planning issues with the site that the County of Santa Cruz has been working through with PVUSD. I have been impressed with how both parties have worked together to find workable solutions to the planning issues. Now if two neighbors can do the same, we will build a field for the kids. The opposition to the utility field apparently gets no traction with planning facts. .

This project has exposed areas where Aptos High School needs to improve and be a good neighbor. I have been in several meetings where I hear the School District listening and trying to look for reasonable solutions. The district and the site administrators get it. The opposition to the sports utility field has

been consistently about 5 local residents at the meetings making their points, don't get it. The one gentleman who seems to be organizing the opposition of the practice field keeps the group message focused on emotional negative neighbor issues and not looking for solutions. His path to a compromise solution starts with "you are not listening". In my business I am involved in good neighbor issues often. Typically, if both parties will listen and are looking for a solution, they will find it.

I support the completion of the utility field and applaud the work of both the Pajaro Valley School District and Santa Cruz County Planning to deliver a much needed field. I repeat, better schools help build a better community for all of us. This is for the kids.

Thank you
Paul Bailey

From: McFadden, Brett [mailto:Brett_McFadden@pvusd.net]
Sent: Friday, September 06, 2013 1:35 PM
To: O'Brien, Casey; 'Paul Bailey'; Dorfman, Mark
Subject: FW: Application# 131110 - Aptos High School Athletic Field

FYI.. this is similar to what the board of supervisors are getting.

Brett

From: Kathy Previsich [<mailto:PLN001@co.santa-cruz.ca.us>]
Sent: Friday, September 06, 2013 1:01 PM
To: Carolyn Burke; Tess Fitzgerald; Kent Edler; McFadden, Brett
Cc: Zach Friend; Zach Friend
Subject: FW: Application# 131110 - Aptos High School Athletic Field

Hello:

Attached is a public comment letter regarding the application on the Board's Tuesday agenda. I am forwarding it to key people involved with the project, but will assume that Tess/County Clerk's office will distribute as appropriate for letters from the public regarding Board public hearings.

Thanks,

Kathy

From: David Marsh [<mailto:marsh99@comcast.net>]
Sent: Friday, September 06, 2013 12:54 PM
To: Kathy Previsich
Subject: Application# 131110 - Aptos High School Athletic Field

Dear Ms. Previsich,

Attached are our comments and concerns pertaining to the scheduled September 10, 2013 hearing for the above application.

Respectfully,
David M. Marsh
Patricia Stokke

99 Cherry Blossom Lane
Aptos, CA 95003

Alicia Murillo

From: Zach Friend
Sent: Monday, September 09, 2013 7:50 AM
To: COB Staff
Subject: FW: Aptos High School field

From: Denise C Russo [denirus@sbcglobal.net]
Sent: Sunday, September 08, 2013 11:12 PM
To: Neal Coonerty; Zach Friend; Bruce McPherson; Greg Caput; John Leopold
Subject: Re: Aptos High School field

Dear Gentlemen,

For the past year I have watched the development, and lack thereof, of the sports field at the lower end of Aptos High School. When the project first broke ground, I was very excited to see that the community was stepping up to help the youth in our county. You see, I have been involved as a coach in both the local soccer and flag football leagues. I also coach these same sports at AJHS where we are in the unique position of having a girls flag football team. In addition, I have been on the Central Coast Flag Football League Board and one of my duties in this position was to help secure practice and game-day fields.

In these positions, I have had first hand experience with how we have a need for more field space, to meet the activity needs of the children in our community. For the flag football league, we are often overcrowded on the limited field space that we get and have had to consider turning players away from the league due to lack of practice and game fields. For the girls school flag football, we have had to turn down their request to continue with this sport in high school, primarily because of a lack of practice space. These are young women who are being denied an opportunity to participate in sport due to a lack of field.

During my non-volunteer hours, I work as an educator of nutrition and physical exercise. As a professor at Cabrillo College, I lecture my students continuously on the importance of not just eating well, but on "play." I prefer the term play to exercise as it has a positive spin on keeping our bodies moving. As noted in this study, "findings suggest that increasing physical fitness in overweight children and adolescents may have many positive effects on health, including lower body fat levels." (1) Furthermore, another study supports that physical activity and sport team participation benefits students academic achievement, concluding that, "regardless of whether academic success was related to the physical activity itself or to participation on sports teams, findings indicated positive associations between physical activity involvement and academic achievement among students." (2) There has been research looking into the developing of habits or behavior modification and it all supports that these are easier at a young age vs in adulthood. In other words, the benefit to having our youth develop the habit of "play" during this formative years has multiple, positive benefits that are more likely to stay with them into adulthood.

Clearly, literature and common sense dictate that keeping children active, on both the recreational and high school level, has widespread community benefits. Most importantly, it helps them to develop the habits to stay physically active, promoting long-term health, and it could very possibly help them with their academic success, reducing the burden on our economic model, as well. I understand that the addition of the field might add a level of discomfort to the local residences bordering Aptos High School. I have every belief that the administration at the high school, and the local rec leagues, will work with the neighbors to minimize any disruptions. The local elementary schools, often bordered by a neighborhood as is the case with Valencia and Rio Del Mar school, allow their fields to be used after school

and on weekends as a venue for these same rec leagues. I believe we have a model to make this work and the the benefit to our youth and our future is to great to pass up.

Thank you for your consideration into this matter. I hope that the right choices will be made to protect the health and welfare of our future leaders.

Denise C. Russo, MS RD CGEI

Professor Cabrillo College: Nutrition

Professor West Valley College: Nutrition Past-president Rio Del Mar School Parent Alliance
Past-president Rio Del Mar School Site Council Past-secretary Central Coast Flag Football
Volunteer Coach: AJHS (soccer and flag football), International Games (Rio Del Mar School),
Girls On The Run (Rio Del Mar School), Aptos Soccer, Central Coast Flag Football Group
Exercise Director, Seascape Sports Club

1. Physical activity, physical fitness, and overweight in children and adolescents: evidence from epidemiologic studies.

Endocrinol Nutr.<<http://www.ncbi.nlm.nih.gov/pubmed/23419502#>> 2013 Feb 15. pii: S1575-0922(13)00005-3. doi: 10.1016/j.endonu.2012.10.006. [Epub ahead of print]
<http://www.ncbi.nlm.nih.gov/pubmed/23419502>

2. Physical activity and sports team participation: associations with academic outcomes in middle school and high school students.

J Sch Health.<<http://www.ncbi.nlm.nih.gov/pubmed/20051088#>> 2010 Jan;80(1):31-7. doi: 10.1111/j.1746-1561.2009.00454.x. Fox CK<http://www.ncbi.nlm.nih.gov/pubmed?term=Fox%20CK%5BAuthor%5D&cauthor=true&cauthor_uid=20051088>, Barr-Anderson D<http://www.ncbi.nlm.nih.gov/pubmed?term=Barr-Anderson%20D%5BAuthor%5D&cauthor=true&cauthor_uid=20051088>, Neumark-Sztainer D<http://www.ncbi.nlm.nih.gov/pubmed?term=Neumark-Sztainer%20D%5BAuthor%5D&cauthor=true&cauthor_uid=20051088>, Wall M<http://www.ncbi.nlm.nih.gov/pubmed?term=Wall%20M%5BAuthor%5D&cauthor=true&cauthor_uid=20051088>. <http://www.ncbi.nlm.nih.gov/pubmed/20051088>

Rena Petri

From: Zach Friend
Sent: Monday, September 09, 2013 7:50 AM
To: COB Staff
Subject: FW: Aptos High School field

From: Denise C Russo [denirus@sbcglobal.net]
Sent: Sunday, September 08, 2013 11:12 PM
To: Neal Coonerty; Zach Friend; Bruce McPherson; Greg Caput; John Leopold
Subject: Re: Aptos High School field

Dear Gentlemen,

For the past year I have watched the development, and lack thereof, of the sports field at the lower end of Aptos High School. When the project first broke ground, I was very excited to see that the community was stepping up to help the youth in our county. You see, I have been involved as a coach in both the local soccer and flag football leagues. I also coach these same sports at AJHS where we are in the unique position of having a girls flag football team. In addition, I have been on the Central Coast Flag Football League Board and one of my duties in this position was to help secure practice and game-day fields.

In these positions, I have had first hand experience with how we have a need for more field space, to meet the activity needs of the children in our community. For the flag football league, we are often overcrowded on the limited field space that we get and have had to consider turning players away from the league due to lack of practice and game fields. For the girls school flag football, we have had to turn down their request to continue with this sport in high school, primarily because of a lack of practice space. These are young women who are being denied an opportunity to participate in sport due to a lack of field.

During my non-volunteer hours, I work as an educator of nutrition and physical exercise. As a professor at Cabrillo College, I lecture my students continuously on the importance of not just eating well, but on "play." I prefer the term play to exercise as it has a positive spin on keeping our bodies moving. As noted in this study, "findings suggest that increasing physical fitness in overweight children and adolescents may have many positive effects on health, including lower body fat levels." (1) Furthermore, another study supports that physical activity and sport team participation benefits students academic achievement, concluding that, "regardless of whether academic success was related to the physical activity itself or to participation on sports teams, findings indicated positive associations between physical activity involvement and academic achievement among students." (2) There has been research looking into the developing of habits or behavior modification and it all supports that these are easier at a young age vs in adulthood. In other words, the benefit to having our youth develop the habit of "play" during this formative years has multiple, positive benefits that are more likely to stay with them into adulthood.

Clearly, literature and common sense dictate that keeping children active, on both the recreational and high school level, has widespread community benefits. Most importantly, it helps them to develop the habits to stay physically active, promoting long-term health, and it could very possibly help them with their academic success, reducing the burden on our economic model, as well. I understand that the addition of the field might add a level of discomfort to the local residences bordering Aptos High School. I have every belief that the administration at the high school, and the local rec leagues, will work with the neighbors to minimize any disruptions. The local elementary schools, often bordered by a neighborhood as is the case with Valencia and Rio Del Mar school, allow their fields to be used after school

and on weekends as a venue for these same rec leagues. I believe we have a model to make this work and the the benefit to our youth and our future is to great to pass up.

Thank you for your consideration into this matter. I hope that the right choices will be made to protect the health and welfare of our future leaders.

Denise C. Russo, MS RD CGEI

Professor Cabrillo College: Nutrition

Professor West Valley College: Nutrition Past-president Rio Del Mar School Parent Alliance
Past-president Rio Del Mar School Site Council Past-secretary Central Coast Flag Football
Volunteer Coach: AJHS (soccer and flag football), International Games (Rio Del Mar School),
Girls On The Run (Rio Del Mar School), Aptos Soccer, Central Coast Flag Football Group
Exercise Director, Seascape Sports Club

1. Physical activity, physical fitness, and overweight in children and adolescents: evidence from epidemiologic studies.

Endocrinol Nutr.<<http://www.ncbi.nlm.nih.gov/pubmed/23419502#>> 2013 Feb 15. pii: S1575-0922(13)00005-3. doi: 10.1016/j.endonu.2012.10.006. [Epub ahead of print]
<http://www.ncbi.nlm.nih.gov/pubmed/23419502>

2. Physical activity and sports team participation: associations with academic outcomes in middle school and high school students.

J Sch Health.<<http://www.ncbi.nlm.nih.gov/pubmed/20051088#>> 2010 Jan;80(1):31-7. doi: 10.1111/j.1746-1561.2009.00454.x. Fox
CK<http://www.ncbi.nlm.nih.gov/pubmed?term=Fox%20CK%5BAuthor%5D&cauthor=true&cauthor_uid=20051088>, Barr-Anderson D<http://www.ncbi.nlm.nih.gov/pubmed?term=Barr-Anderson%20D%5BAuthor%5D&cauthor=true&cauthor_uid=20051088>, Neumark-Sztainer
D<http://www.ncbi.nlm.nih.gov/pubmed?term=Neumark-Sztainer%20D%5BAuthor%5D&cauthor=true&cauthor_uid=20051088>, Wall
M<http://www.ncbi.nlm.nih.gov/pubmed?term=Wall%20M%5BAuthor%5D&cauthor=true&cauthor_uid=20051088>. <http://www.ncbi.nlm.nih.gov/pubmed/20051088>

Rena Petri

From: Zach Friend
Sent: Monday, September 09, 2013 7:48 AM
To: COB Staff
Subject: FW: Aptos Sports Field

From: Danny Braga [danbraga@att.net]
Sent: Sunday, September 08, 2013 11:17 PM
To: Zach Friend
Subject: Aptos Sports Field

Dear Supervisor Friend,

I am writing to you in support of the practice field that is "in process/ in limbo" at Aptos High School.

I am a 66 year resident of Santa Cruz County, with 40 years in Aptos. Our 2 sons graduated from Aptos High School, the last in 1990. Yet, I remain a member and Director of the Aptos Sports Foundation which financially assists with the sports programs at the school. In cooperation with the PVUSD, we have attempted to provide the students and the community with a desperately needed field. The neighbors in the area had objections to the project and we met with them many months ago. The main message received was that they felt that the noise level would be increased and would invade their homes. To a person, each expressed a general agreement that the field would be a good thing. However, since that time, some or all have initiated every available source of stoppage of this project, be it planning, environmental, traffic, etc.

To test the noise argument, on several occasions, I have stopped my car by the side of the road on Freedom Blvd near the entrance to Aptos High. I have turned off the engine and rolled down the windows to see what kind of road noise currently exists. Between Freedom Blvd and Highway 1, the noise level is already significant. It appears most of the neighbors have surrounded their homes with high vegetation/trees to combat this. I can't imagine the sounds of coaches' whistles on this field will be heard above the traffic noise.

As the Supervisor representing this district, I urge you to join me in support of the field for the greater good of the community. Please feel free to contact me at this email address for any questions.

Best Regards,

Danny Braga

9-10-13
30

Alicia Murillo

From: Zach Friend
Sent: Monday, September 09, 2013 1:26 PM
To: COB Staff
Subject: FW: Aptos High new field

-----Original Message-----

From: Greg Crandall [<mailto:gregcrandall@mac.com>]
Sent: Monday, September 09, 2013 12:15 PM
To: Zach Friend
Subject: Aptos High new field

Dear Mr. Friend,

I am a parent and have lived in Aptos for 24 years sending all six of my kids through the school system. My youngest is a Senior at Aptos high and on the varsity baseball team. The lack of practice fields at the high school is very disappointing. There is only a gravel lot for the JV and Freshman baseball teams to practice on and the lot is smaller than a little league field because of lack of available land. There is a practice field that was started at the entrance to the high school last year and it was stopped by a few local neighbors. This field is needed by many sports and would also be available to the community as the other fields are at Aptos High.

Over 60% of all Aptos high students participate in after school activities and athletics. I don't have the exact number but it is significant. Sports provides valuable experience for our youth and keeps them involved in worthwhile activities. We need this extra playing field. Please approve it's final construction so that more of our kids can have a safe place to practice and play sports.

Regards,

Greg Crandall
198 Via Trinita
Aptos, CA 95003
831-688-5337

Rena Petri

From: Zach Friend
Sent: Monday, September 09, 2013 10:28 AM
To: COB Staff
Subject: Fwd: re cost/benefit analysis

Begin forwarded message:

From: "Dorfman, Mark" <Mark_Dorfman@pvusd.net>
Date: September 9, 2013, 8:53:02 AM PDT
To: Neal Coonerty <BDS031@co.santa-cruz.ca.us>, Zach Friend <BDS022@co.santa-cruz.ca.us>, "bruce.mcpherson@co.sant-cruz.ca.us" <bruce.mcpherson@co.sant-cruz.ca.us>, Greg Caput <BDS041@co.santa-cruz.ca.us>, ",ca.us" <john.leopold@co.santa-cruz>
Subject: re cost/benefit analysis

Dear Supervisors,

My name is Mark Dorfman. I am the Athletic Director at Aptos HS. I am very much in favor of the new field at Aptos High School.

I was trained as an attorney. I graduated from UC Berkeley's Boalt Hall School of Law. One of the key elements I learned in my Torts class, my Business Law class, and several others, was the importance of a cost/benefit analysis.

There are two sides to the new field ledger. On the one side, there are 15-20 folks or more who oppose the new field because of the added noise (note: there will be no lights and no amplified sound system). Aptos HS opened in 1969. To me, it is an audacious demand that people, who voluntarily moved next to a high school, want an athletic field on the high school campus to be scuttled. What did they think we'd do on that field? Grow wheat? If they were determined to live in a silent neighborhood, they should not have moved-in next to a high school.

On the other side of the ledger are hundreds and hundreds of AHS students who desperately need an additional grass field. As our campus currently exists, we only have one field large enough for football, soccer and lacrosse to safely practice on. One field! And because we only have one field, during the winter soccer season, two of our soccer teams do not start practice until 7:00 pm. During the overlap with football it's worse, our soccer teams do not start practice until 8:00 pm. Ditto for lacrosse, their teams start practice after dark because the track team is practicing after school (lacrosse balls and runners do not mix well), and during the overlap with soccer, they cannot start until 8:00 pm.

I'm not talking about one or two kids, not even ten or twenty. I'm talking about 150-200 plus high school students who have to practice late at night...every night...every season...every year. This puts stress on their grades, their studies, their sleep, their health, and on their parents.

In addition, on the weekends, hundreds of youth converge on our single field for flag football and youth soccer. In order to squeeze everyone in, we have three flag football games going at the same time.

Please examine the ledger. On one side, you have 15-20 or so folks, who voluntarily moved next to a high school. On the other side, you have 300-400 high school students and community youth who need an additional field. Many of the 15-20 detractors have lived in the area for a while (and some have complained about the high school, and to the high school, for years, this is just the latest in a long line of anti-high school causes for some of them). However, every year, a new batch of high school students and community youth suffer for a lack of field space. In one year, the ledger might weigh 20 detractors vs. 400 supporters. Add in the parents of these kids, and that number swells to 700-800. The next year, it grows to 20 vs. 900-1000 (some kids graduate, more take their places). In five years, the ledger probably expands to 20 vs. 1700-1800 or more. Ten years, 20 vs. 2700-2800.

Or, looking at it a different way, 15-20 voters vs. 2700-2800 voters.

What is the cost/benefit analysis? 20 people, who moved next to the high school, subjected to more noise (the sound of kids playing!) vs. 300-400 kids a year who would like to practice at a reasonable hour, on a safe field, and get home before dark.

Thanks for your time.....Mark

P.S. We are all in favor of noise abatement measures, planting trees, shrubs, limiting hours, etc. We want to be good neighbors, but we don't want 15-20 folks scuttling a field that will benefit hundreds and hundreds of kids every year.

Alicia Murillo

From: Zach Friend
Sent: Monday, September 09, 2013 12:55 PM
To: COB Staff
Subject: Fwd: Sept. 10 Mtg. - Agenda Item 30 (Replacement Attachment)
Attachments: Aptos Field- Rob Roy Ltr to BS 9-9-13.pdf; ATT00001.htm

Begin forwarded message:

From: Kim Tschantz <kimt@cypressenv.com>
Date: September 9, 2013, 12:22:33 PM PDT
To: Zach Friend <BDS022@co.santa-cruz.ca.us>
Subject: Sept. 10 Mtg. - Agenda Item 30 (Replacement Attachment)

Please replace the attachment sent to you at 11:46 with the replacement attachment.

Dear Board Member,

Please include the attached 3-page document in your materials for the Aptos High School Grading/Sports Field project.

Thank you,

Kim Tschantz, MSP, CEP
Cypress Environmental and Land Use Planning
P. O. Box 1844
Aptos, CA 95001
(831) 685-1007
kimt@cypressenv.com
www.cypressenv.com

CYPRESS ENVIRONMENTAL AND LAND USE PLANNING

P.O. BOX 1844

APTOS CALIFORNIA

(831) 685-10078 kimt@cypressenv.com

September 9, 2013

Board of Supervisors
County of Santa Cruz
701 Ocean Street, 5th floor
Santa Cruz, CA 95060

SUBJECT: Grading Permit and CEQA Initial Study for the Aptos High School Grading and Sports Field Project (A.P.N. 41-291-39) Applicant: Pajaro Valley Unified School District (PVUSD)

Dear Members of the Board,

Introduction

This letter serves as an addendum to my letter to you, on behalf of Rob Roy Neighbors, dated September 5, 2013. Footnote 2 of that letter states that you will be provided with a letter from Biosearch Associates prior to September 10. A letter from Biosearch is attached. As explained in the attached letter authored by respected wildlife biologist, Mark Allaback, a 6-foot earth berm will not create any barriers to amphibian migration as claimed the PVUSD representative at the Planning Commission hearing on this matter. Further, the Biosearch letter also explains that solid fencing will not create a migration barrier if a 4-inch opening occurs between grade and the bottom of the fence.

CEQA Initial Study

I have read Planning's responses to my August 21, 2013 comment letter on the Initial Study. Our position remains that the Initial Study was improperly prepared because it does not identify significant effects that need mitigation as required by Section 15064 of the CEQA Guidelines.¹

Correction of Typographical Errors

My September 5 letter contained two typographic errors that are now corrected below. Strike-outs denote deleted wording and bold text notes new added wording.

¹ Sec. 15064 (c) "In determining whether an effect will be adverse or beneficial, the Lead Agency shall consider the views held by members of the public in all areas affected as expressed in the whole record before the lead agency".
Sec. 15064 (d) "In evaluating the significance of the environmental effect of a project, the Lead Agency shall consider direct physical changes in the environment which may be caused by the project and reasonably foreseeable indirect physical changes in the environment which may be caused by the project."
Sec. 15065 (f) "The decision as to whether a project may have one or more significant effects shall be based on substantial evidence in the record of the lead agency."

Environmental Planning and Analysis, Land Use Consulting and Permitting

- Page 2, Paragraph 6: If this fencing included a 4-inch opening between grade and the bottom of the fence, it would **not** inhibit amphibious migration.
- Page 5, Paragraph 1: Direct Planning staff to revise the Initial Study for this project to ~~identity~~ **identify** all impacts and potential impacts of the project and re-circulate it according to the requirements of the California Environmental Quality Act;

In addition to faxing this letter to the Clerk of the Board, I have also emailed it to each Board member to facilitate reading the attached letter from Biosearch Associates.

Sincerely,

Kim Tschantz

Kim Tschantz, MSP, CEP

Exhibit: Letter from Biosearch Associates, dated September 7, 2013

cc: Rob Roy Neighbors membership
Kathy Previsich, Planning Director

BIOSEARCH
ASSOCIATES

PO Box 1220
Santa Cruz, CA 95061
(831) 662-3938

- Environmental Consulting
- Endangered Species Surveys

Kim Tschantz, MSP, CEP
Cypress Environmental and Land Use Planning
P. O. Box 1844
Aptos, CA 95001

7 September 2013

Subject: Barriers to Above-Ground Movements of Santa Cruz Long-toed Salamanders, Aptos High School Field Project

Dear Mr. Tschantz,

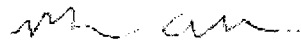
As requested, I am writing to comment on barriers to above-ground movements that may affect Santa Cruz long-toed salamanders (SCLTS; *Ambystoma macrodactylum croceum*), if the species is present in proximity to the Aptos High School Field Project located near the intersection of Mariner Way and Freedom Boulevard in south Santa Cruz County. If SCLTS are not currently present, they may be attracted to the area in the future, since the nearby detention basin appears to provide potential breeding habitat. An earthen berm and fence have been proposed, both as a noise barrier and to screen the field from Freedom Boulevard and the nearby neighborhood across Mariner Way. The earthen berm would be situated between the field and detention basin.

An earthen berm is not expected to affect the movements of SCLTS, assuming it is sloped on both sides. SCLTS, which live in upland areas up to 0.6 miles or more from lotic breeding habitats, are adapted to negotiating uneven topography, including steep slopes, during migration and dispersal. There are numerous examples of SCLTS and a similar species, California tiger salamander (*Ambystoma californiense*), readily accessing man-made impoundments constructed using earthen berms, some of which are quite steep. I have captured both species at the top of earthen berms, while conducting population studies at various locations over the past 15 years.

However, the movements of SCLTS and various other small animals may be negatively affected if extensive barriers are installed at and below grade. Individuals could also be exposed to desiccation and predation. SCLTS can't negotiate extensive retaining walls, standard sidewalk curbs and other manmade structures. Habitat fragmentation occurs throughout the species' limited range primarily due to dense housing, Highway 1 and commercial agriculture. If a fence is installed along Mariner Way, it should be elevated a minimum of four inches above grade, to allow free movements of SCLTS, if present, and other small animals. SCLTS, which move above ground at night during rain events, freely cross grasslands and other open areas to reach appropriate scrub and oak woodland upland.

I recommend that the proposed field minimize the introduction of barriers to movements of SCLTS. A solid wood fence along the south edge of the field paralleling Mariner Way would not create a barrier to migration, if the fence was designed with a 4-inch opening between the ground surface and the bottom of the fence. In addition, the earthen berm surrounding Aptos High School lands, particularly the cut slope above the proposed field, should be restored to oak woodland and coastal scrub to provide potential SCLTS upland and reduce erosion. Please contact me if you have questions or require additional information.

Sincerely,



Mark Allsback
Wildlife Biologist

Alicia Murillo

From: Zach Friend
Sent: Monday, September 09, 2013 1:26 PM
To: COB Staff
Subject: FW: Aptos High new field

-----Original Message-----

From: Greg Crandall [<mailto:gregcrandall@mac.com>]
Sent: Monday, September 09, 2013 12:15 PM
To: Zach Friend
Subject: Aptos High new field

Dear Mr. Friend,

I am a parent and have lived in Aptos for 24 years sending all six of my kids through the school system. My youngest is a Senior at Aptos high and on the varsity baseball team. The lack of practice fields at the high school is very disappointing. There is only a gravel lot for the JV and Freshman baseball teams to practice on and the lot is smaller than a little league field because of lack of available land. There is a practice field that was started at the entrance to the high school last year and it was stopped by a few local neighbors. This field is needed by many sports and would also be available to the community as the other fields are at Aptos High.

Over 60% of all Aptos high students participate in after school activities and athletics. I don't have the exact number but it is significant. Sports provides valuable experience for our youth and keeps them involved in worthwhile activities. We need this extra playing field. Please approve it's final construction so that more of our kids can have a safe place to practice and play sports.

Regards,

Greg Crandall
198 Via Trinita
Aptos, CA 95003
831-688-5337

Rena Petri

From: Zach Friend
Sent: Monday, September 09, 2013 10:28 AM
To: COB Staff
Subject: Fwd: re cost/benefit analysis

Begin forwarded message:

From: "Dorfman, Mark" <Mark_Dorfman@pvusd.net>
Date: September 9, 2013, 8:53:02 AM PDT
To: Neal Coonerty <BDS031@co.santa-cruz.ca.us>, Zach Friend <BDS022@co.santa-cruz.ca.us>, "bruce.mcpherson@co.sant-cruz.ca.us" <bruce.mcpherson@co.sant-cruz.ca.us>, Greg Caput <BDS041@co.santa-cruz.ca.us>, ",ca.us" <john.leopold@co.santa-cruz>
Subject: re cost/benefit analysis

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Sent: Monday, September 09, 2013 12:55 PM
To: COB Staff
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Dear Board Member,

Please include the attached 3-page document in your materials for the Aptos High School Grading/Sports Field project.

Thank you,

Kim Tschantz, MSP, CEP
Cypress Environmental and Land Use Planning
P. O. Box 1844
Aptos, CA 95001
(831) 685-1007
kimt@cypressenv.com
www.cypressenv.com

CYPRESS ENVIRONMENTAL AND LAND USE PLANNING

P.O. BOX 1844

APTOS CALIFORNIA

(831) 685-10078 kimt@cypressenv.com

September 9, 2013

Board of Supervisors
County of Santa Cruz
701 Ocean Street, 5th floor
Santa Cruz, CA 95060

SUBJECT: Grading Permit and CEQA Initial Study for the Aptos High School Grading and Sports Field Project (A.P.N. 41-291-39) Applicant: Pajaro Valley Unified School District (PVUSD)

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Environmental Planning and Analysis, Land Use Consulting and Permitting

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Sincerely,

Kim Tschantz

Kim Tschantz, MSP, CEP

Exhibit: Letter from Biosearch Associates, dated September 7, 2013

cc: Rob Roy Neighbors membership
Kathy Previsich, Planning Director

BIOSEARCH
ASSOCIATES

PO Box 1220
Santa Cruz, CA 95061
(831) 662-3938

- Environmental Consulting
- Endangered Species Surveys

Kim Tschantz, MSP, CEP
Cypress Environmental and Land Use Planning
P. O. Box 1844
Aptos, CA 95001

7 September 2013

Subject: Barriers to Above-Ground Movements of Santa Cruz Long-toed Salamanders, Aptos High School Field Project

Dear Mr. Tschantz,

As requested, I am writing to comment on barriers to above-ground movements that may affect Santa Cruz long-toed salamanders (SCLTS; *Ambystoma macrodactylum croceum*), if the species is present in proximity to the Aptos High School Field Project located near the intersection of Mariner Way and Freedom Boulevard in south Santa Cruz County. If SCLTS are not currently present, they may be attracted to the area in the future, since the nearby detention basin appears to provide potential breeding habitat. An earthen berm and fence have been proposed, both as a noise barrier and to screen the field from Freedom Boulevard and the nearby neighborhood across Mariner Way. The earthen berm would be situated between the field and detention basin.

An earthen berm is not expected to affect the movements of SCLTS, assuming it is sloped on both sides. SCLTS, which live in upland areas up to 0.6 miles or more from lotic breeding habitats, are adapted to negotiating uneven topography, including steep slopes, during migration and dispersal. There are numerous examples of SCLTS and a similar species, California tiger salamander (*Ambystoma californiense*), readily accessing man-made impoundments constructed using earthen berms, some of which are quite steep. I have captured both species at the top of earthen berms, while conducting population studies at various locations over the past 15 years.

However, the movements of SCLTS and various other small animals may be negatively affected if extensive barriers are installed at and below grade. Individuals could also be exposed to desiccation and predation. SCLTS can't negotiate extensive retaining walls, standard sidewalk curbs and other manmade structures. Habitat fragmentation occurs throughout the species' limited range primarily due to dense housing, Highway 1 and commercial agriculture. If a fence is installed along Mariner Way, it should be elevated a minimum of four inches above grade, to allow free movements of SCLTS, if present, and other small animals. SCLTS, which move above ground at night during rain events, freely cross grasslands and other open areas to reach appropriate scrub and oak woodland upland.

I recommend that the proposed field minimize the introduction of barriers to movements of SCLTS. A solid wood fence along the south edge of the field paralleling Mariner Way would not create a barrier to migration, if the fence was designed with a 4-inch opening between the ground surface and the bottom of the fence. In addition, the earthen berm surrounding Aptos High School lands, particularly the cut slope above the proposed field, should be restored to oak woodland and coastal scrub to provide potential SCLTS upland and reduce erosion. Please contact me if you have questions or require additional information.

Sincerely,



Mark Allsback
Wildlife Biologist

Alicia Murillo

From: Zach Friend
Sent: Monday, September 09, 2013 6:10 PM
To: COB Staff
Subject: Fwd: Letter - Agenda Item 30 - Application 3111010 - AHS Development
Attachments: Letter to BOS Re AHS Field Development .doc; ATT00001.htm

Begin forwarded message:

From: dan bronson <danbronson@sbcglobal.net>
Date: September 9, 2013, 5:26:17 PM PDT
To: Zach Friend <BDS022@co.santa-cruz.ca.us>, Bruce McPherson <BDS051@co.santa-cruz.ca.us>, Greg Caput <BDS041@co.santa-cruz.ca.us>, Neal Coonerty <BDS031@co.santa-cruz.ca.us>, John Leopold <John.Leopold@co.santa-cruz.ca.us>
Subject: Letter - Agenda Item 30 - Application 3111010 - AHS Development
Reply-To: dan bronson <danbronson@sbcglobal.net>

Letter Submitted For the Board of Supervisors meeting Sept 10, 2013

Thank you

September 8, 2013

To:

Santa Cruz County Board of Supervisors
701 Ocean St.
Santa Cruz CA 95060

From:

Daniel Bronson
PO Box 782
Aptos CA 95001

Subject: BOS Meeting Sept 10, 2013 - Agenda Item 30 – Public Hearing – Application # 131110
A Landfill and Drainage Development Project at Aptos School

1. The Board of Supervisors is the last administrative remedy available to the neighbors, other citizens and interested parties to correct numerous public process, CEQA, County Code and due process violations committed by the Aptos Sports Foundation, the Pajaro Valley Unified School District, the Santa Cruz County Planning Department and the Santa Cruz County Planning Commission.
2. Even the title of the Project Application on your Agenda is misleading and false on it's' face;
 - The 19,000 cubic yards of fill is already in place and has been for a year.
 - Your permission to place it there is not being asked. It has already been done.
 - You are being asked to rubber stamp the unlawful acts of others.
3. The Project was issued a Notice of Violation (aka Red Tag) in 2012 because it did not comply with County codes and regulations and various other shortcomings.
4. The Santa Cruz County Planning Department now says that its' original go ahead without Permits was a simple oversight. **However 19,000 cubic yards of fill** and the noise and dust and the disturbance and the affects on sensitive habitat are not simple. These consequences are serious and the violations are real. 19,000 cubic yards of dirt and impacts on the lives of 500 people and 50 species of animals is hard to sweep under the rug. The Aptos Sports Foundation, the Pajaro Valley Unified School District, the Santa Cruz County Planning Department and the Santa Cruz County Planning Commission want you to take responsibility for this.
5. The Project is located in an environmentally sensitive area impacting many species of plant and animal life and is immediately adjacent to the known habitat of an endangered species under the authority of the US Fish and Wildlife Service. The Project thus may potentially affect the survival of the endangered species and therefore by law falls within the authority and requirements of the California Environmental Quality Act (CEQA).
6. The PVUSD staff and Brett McFadden claims it mailed Public Notice to affected neighbors and held a Public Hearings in 2012 before the 19,000 yards of fill arrived in May 2012. **This is simply false and a very public lie.** Over 150 neighbors of AHS – all homeowners like myself - never received any Notice of Public Hearings about the development project from the PVUSD in 2012 and were never given an opportunity to participate in the planning of or public consideration of the project or its' impacts before it began.

30

7. The project is not simply a practice field for the school and physical education. It will be used by area adult and youth leagues extensively and for 7 days a week for portions of the year. Is the school district motivated by this as money making venture and looking to profit from fees from the leagues?
8. There are almost no mitigation measures provided for wildlife, parking, noise, privacy, crime, dust and drainage / water pollution impacts that will affect the school environment and the neighborhood. The potential budget impacts on the county Sheriffs Office alone are considerable.
9. This clear lack of rational planning by the PVUSD despite reasonable and fair requests for mitigation measures by those within the projects impact zone makes this proposal fall into the category of arbitrary and capricious acts by the public agencies and officials involved so far. One illustration of the lack of rational planning at the AHS campus can be found in the fact that in the 43 years the campus has been open there has not yet been provided a safe pedestrian walkway on and off campus for the students or the public.
10. The Santa Cruz County Planning Commission gave this application little thought and almost no consideration and handed it off to you. They fumbled it. It is now in your hands.
10. There are already over 40 team sports activities on the AHS campus and the campus is grossly overdeveloped with athletic facilities because of this. I support schools and education but this non-academic project is poor public policy and presents new problems for the community if not modified.
11. In addition future County and PVUSD legal costs may be a considerable waste of public monies. Please act on the situation before you reasonably and rationally and lawfully.

As an affected neighbor of Aptos High School for 14 years I request that the Board of Supervisors deny this application as presently written and require that this project be submitted properly and lawfully through the state CEQA process

and

I also request that before providing any approval to move ahead that you require inclusion of all reasonable mitigation measures for each of the direct and potential impacts identified above and any others that may be found.

Sincerely
Daniel Bronson



Alicia Murillo

From: Zach Friend
Sent: Tuesday, September 10, 2013 6:24 AM
To: COB Staff
Subject: Fwd: New grass field at AHS

Begin forwarded message:

From: Lisa Curran <lisapc68@hotmail.com>
Date: September 9, 2013, 10:26:44 PM PDT
To: Neal Coonerty <BDS031@co.santa-cruz.ca.us>, Zach Friend <BDS022@co.santa-cruz.ca.us>, Greg Caput <BDS041@co.santa-cruz.ca.us>, Bruce McPherson <BDS051@co.santa-cruz.ca.us>, John Leopold <John.Leopold@co.santa-cruz.ca.us>
Subject: New grass field at AHS

To whom it may concern,

I am writing to express my support towards the new field. I know there are concerns by the neighbors that live near by, however, I honestly believe the high school, ASC & other potential users of the field are making a huge effort to mitigate these concerns. There are too many good reasons to have another venue for the local kids & students to be active in to list here. To let this project die would be a shame.

Thanks for listening.

-Lisa Curran
Aptos Soccer Club parent, coach & board member

Alicia Murillo

From: Zach Friend
Sent: Monday, September 09, 2013 9:37 PM
To: COB Staff
Subject: Fwd: New field at Aptos High

Begin forwarded message:

From: Jason Boudreault <jason.j.boudreault@gmail.com>
Date: September 9, 2013, 8:36:14 PM PDT
To: Zach Friend <BDS022@co.santa-cruz.ca.us>, Neal Coonerty <BDS031@co.santa-cruz.ca.us>, Greg Caput <BDS041@co.santa-cruz.ca.us>, John Leopold <John.Leopold@co.santa-cruz.ca.us>, Bruce McPherson <BDS051@co.santa-cruz.ca.us>
Subject: New field at Aptos High

To whom it may concern,

As a coach and parent in Aptos Soccer Club I want to express my support for the new grass field at Aptos high school. With the size of our club and the need for more practice and game locations this is critical need for the children who reside and participate in our club. I know that these games and practices would only add to our community. It would be a great disservice to reject this plan.

Jason Boudreault

—
Sent from Mailbox for iPad

From: darren houser <realtordarren@yahoo.com>

Date: September 6, 2013, 1:58:33 PM PDT

To: Neal Coonerty <BDS031@co.santa-cruz.ca.us>, Zach Friend <BDS022@co.santa-cruz.ca.us>, Bruce McPherson <BDS051@co.santa-cruz.ca.us>, Greg Caput <BDS041@co.santa-cruz.ca.us>, John Leopold <John.Leopold@co.santa-cruz.ca.us>

Subject: AHS Utility Filed

Reply-To: darren houser <realtordarren@yahoo.com>

Santa Cruz Board of Supervisors

Re: AHS Utility Soccer Field

As a soccer coach with Aptos Soccer Club I have been fortunate to have coached over 100 children from my community. Along their way to adulthood there were (are) many opportunities for a path which may have not been in their best interest. Drugs, alcohol, teen pregnancy and self mutilation are unfortunately well known in our little county of Santa Cruz.

It has been my personal experience through the Aptos Soccer Club, Excel Soccer Club and the Santa Cruz County Breakers that our student athletes are far more likely to embrace a healthy path to adulthood when involved with youth sports.

But our field space is limited which prohibits many youth sports from expanding. Soccer, La Crosse, and Flag football are currently in competition with each other over field space within the county. Additional field space which will have limited club use six months of the year is well warranted as we help shape the next generation on their path to adulthood.

Darren Houser,
Aptos Tide U11G Coach
Recreational Coach Coordinator ASC
Aptos Resident