



Staff Report to the Agricultural Policy Advisory Commission

Application Number: 04-0292

Applicant: Gregory C. Smith, Architect
Owner: Brian D. Liddicoat
APN: 108-171-49

Date: July 15, 2004
Agenda Item #: 10
Time: 1:30 p.m.

Project Description: Proposal to construct a four bedroom, two-story single-family dwelling. Requires an Agricultural Buffer Determination.

Location: Property located on the west side of Skylark Lane (333 Skylark Lane), approximately 2,000 feet west of the intersection with Corralitos Road in Watsonville.

Permits Required: Agricultural Buffer Setback Determination.

Staff Recommendation:

- Approval of Application 04-0292, based on the attached findings and conditions.
- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.

Exhibits

- | | |
|---|--|
| A. Project plans | E. Assessor's parcel map, Location map |
| B. Findings | F. Zoning map, General Plan map |
| C. Conditions | G. Site photograph |
| D. Categorical Exemption (CEQA determination) | |

Parcel Information

Parcel Size:	7.54 acres
Existing Land Use - Parcel:	Vacant
Existing Land Use - Surrounding:	Single-family residential, Commercial Agriculture
Project Access:	Corralitos Road to Skylark Lane
Planning Area:	Eureka Canyon
Land Use Designation:	R-R (Rural Residential)
Zone District:	RA (Residential Agriculture)
Supervisory District:	Second (District Supervisor: Pirie)

Within Coastal Zone: ☐ Inside ☒ Outside
Appealable to Calif. Coastal Comm. ☐ Yes ☒ No

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Soils: 170, 175, 177 Soquel/Watsonville loams, Tierra Watsonville complex
Fire Hazard: Not a mapped constraint
Slopes: 0 – 50 percent slopes
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: No grading proposed
Tree Removal: No **trees** proposed to be removed
Scenic: Not a mapped resource
Drainage: Existing drainage adequate
Traffic: No significant impact
Roads: Existing roads adequate
Parks: Existing **park** facilities adequate
Archeology: Mapped/no physical evidence on site

Services Information

Inside Urban/Rural Services Line: ☐ Yes ☒ No
Water Supply: Private well, PVWMA
Sewage Disposal: CSA#12, private septic system
Fire District: Pajaro Valley Fire Protection District
Drainage District: Zone 7 flood control/~~water~~ conservation district

Analysis and Discussion

The proposed project is to construct a two story single-family dwelling of approximately 3,274 square feet on a 7.54-acre parcel. Building Permit Application 52286H is in process. The project is located at 333 Skylark Lane in Watsonville. The building site is within 200 feet of Commercial Agricultural land to the southwest. The applicant is requesting a reduction in the 200 foot agricultural buffer setback to about 80 feet from APN 108-171-11.

The subject property is characterized by sloping topography. The parcel is not located within the Urban Services Line and may be characterized as rural agricultural neighborhood. The ~~parcel~~ carries a Rural Residential (R-R) General Plan designation and the implementing zoning is (RA) Residential Agriculture . Commercial Agriculture zoned land is situated within 200 feet at the southwest side of the parcel at Assessor's Parcel Number 108-171-11, the 37-acre Faggioli farm. The farm is engaged in row crop production and grazing. The project site is elevated above the farm operations and ~~an~~ existing evergreen vegetative buffer separates the proposed development from the adjacent farm operation.

A reduced agricultural buffer is recommended due to the fact that the required setback would not allow sufficient building area if the required 200 foot setbacks were maintained from the adjacent Commercial Agriculture zoned property. The subject parcel configuration is divided with a deeded right-of-way that was approved with Lot Line Adjustment #00-0551.

Due to the 250-foot difference in elevation of the project site from the adjacent agricultural operations and the existing dense, native evergreen vegetative barrier, the impact of the proposed residence on existing agricultural activities on the Commercial Agriculture zoned parcel shall not have a negative impact. The applicant shall be required to record a Statement of Acknowledgement regarding the issuance of a county building permit in an area determined by the County of Santa Cruz to be subject to Agricultural-Residential use conflicts.

Recommendation

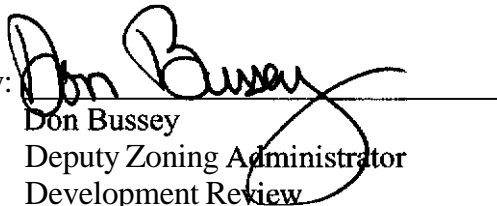
- Staff recommends that your Commission **APPROVE** the Agricultural Buffer Reduction from 200 feet to about 80 feet to the single-family dwelling from the adjacent CA zoned property known as APN 108-171-11, proposed under Application # 04-0292, based on the attached findings and recommended conditions.
- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

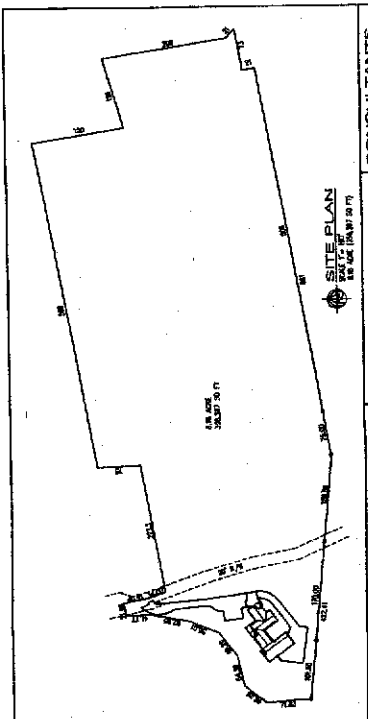
Report Prepared By: Joan Van der Hoeven
Santa Cruz County Planning Department
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Phone Number: (831) 454-5174
E-mail: pln140@co.santa-cruz.ca.us

Report Reviewed By:


Don Bussey
Deputy Zoning Administrator
Development Review

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 FAX (415) 764-7400
 WWW.GREGORYARCHITECT.COM

LIDICAT RESIDENCE
 WATSONVILLE, CA
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 (408) 588-1569



CONSULTANTS

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 WWW.GREGORYARCHITECT.COM

EROSION CONTROL

THE EROSION CONTROL PLAN IS BASED ON THE ASSUMPTION THAT THE SOILS ARE AS SHOWN ON THE GEOTECHNICAL REPORT. THE EROSION CONTROL MEASURES ARE DESIGNED TO PREVENT EROSION OF THE SOILS DURING CONSTRUCTION AND TO STABILIZE THE SOILS AFTER CONSTRUCTION IS COMPLETE. THE EROSION CONTROL MEASURES ARE BASED ON THE FOLLOWING ASSUMPTIONS:

SEWAGE DISPOSAL

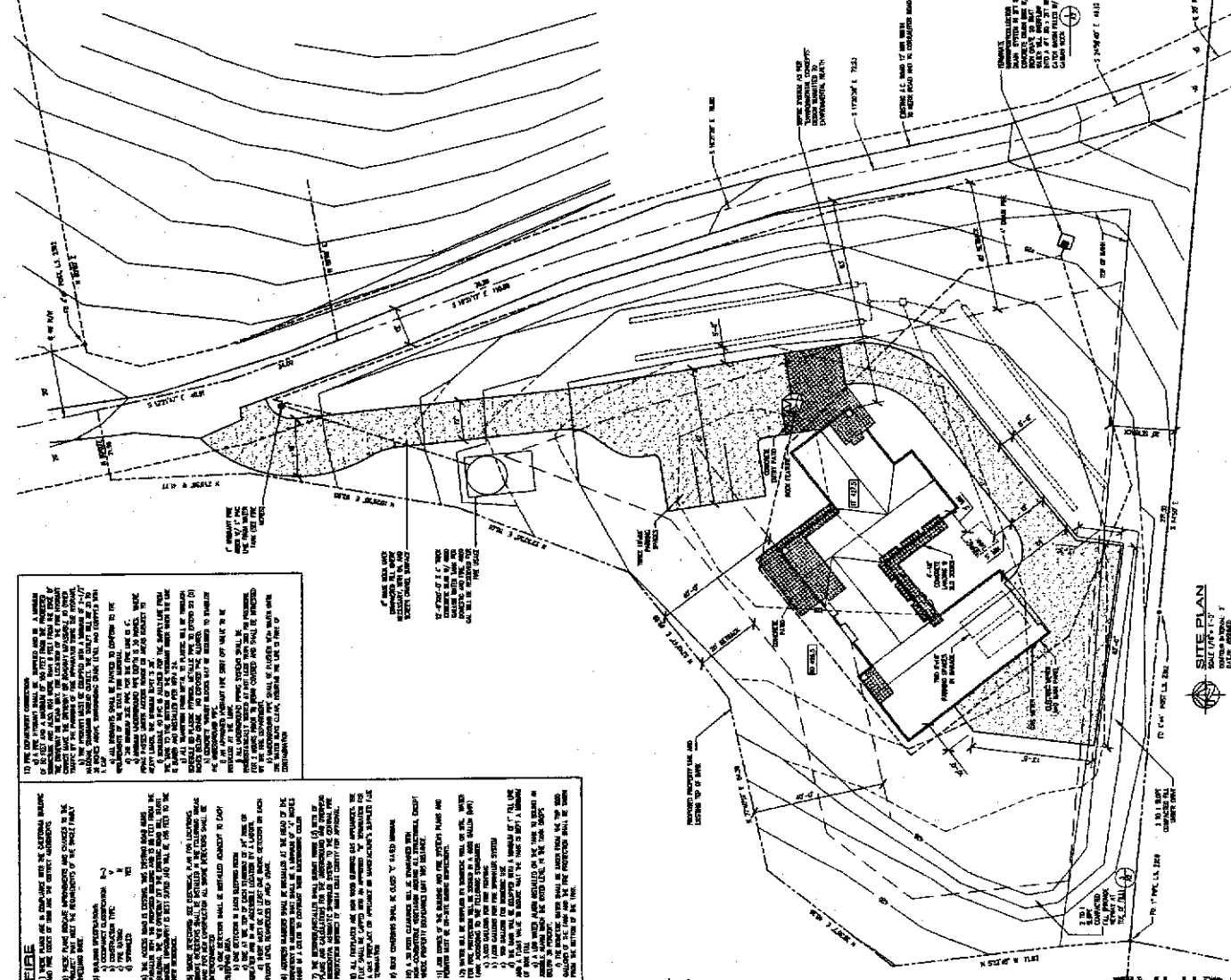
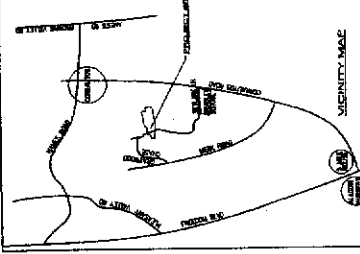
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PROJECT DATA

PROJECT DATA
 PROJECT NO. 100-171-49
 PROJECT NAME: LIDICAT RESIDENCE
 PROJECT LOCATION: WATSONVILLE, CA
 PROJECT OWNER: LIDICAT RESIDENCE
 PROJECT DATE: 10/10/10

SHEET INDEX

SHEET INDEX
 A1 SITE PLAN
 A2 SITE DETAILS
 A3 1st FLOOR PLAN
 A4 2nd FLOOR PLAN
 A5 SECTIONS
 A6 FOUNDATION
 A7 FRAMING
 A8 SHEAR PLAN
 A9 DETAILS
 A10 ELECTRICAL
 A11 MECHANICAL
 A12 TITLE 24 SPECIFICATIONS
 A13 SPECIFICATIONS
 A14

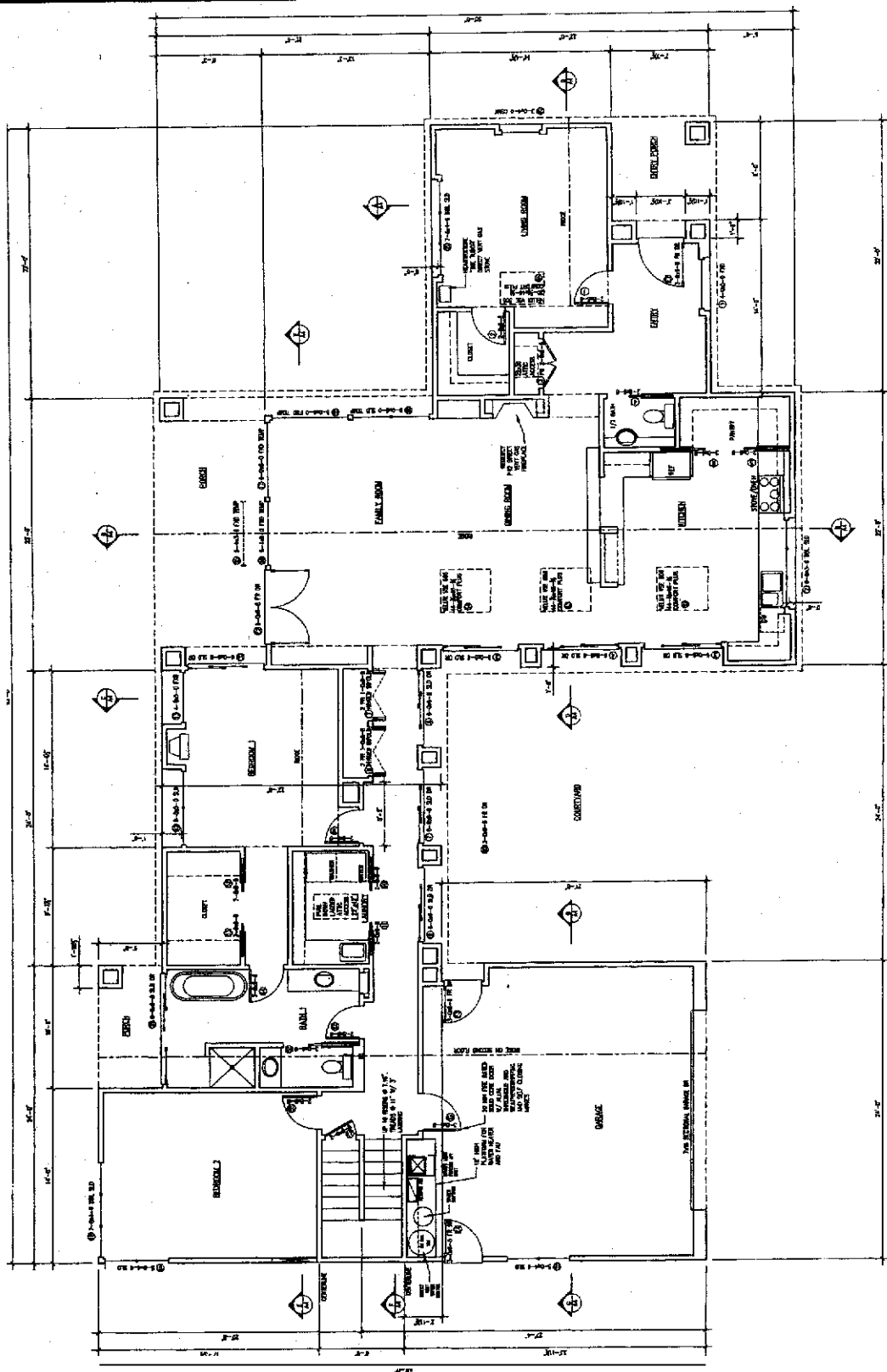


10. THE CONSTRUCTION SCHEDULE
 THE CONSTRUCTION SCHEDULE IS BASED ON THE ASSUMPTION THAT THE CONSTRUCTION WILL BE COMPLETED BY THE DATE SHOWN ON THE CONSTRUCTION SCHEDULE. THE CONSTRUCTION SCHEDULE IS BASED ON THE FOLLOWING ASSUMPTIONS:

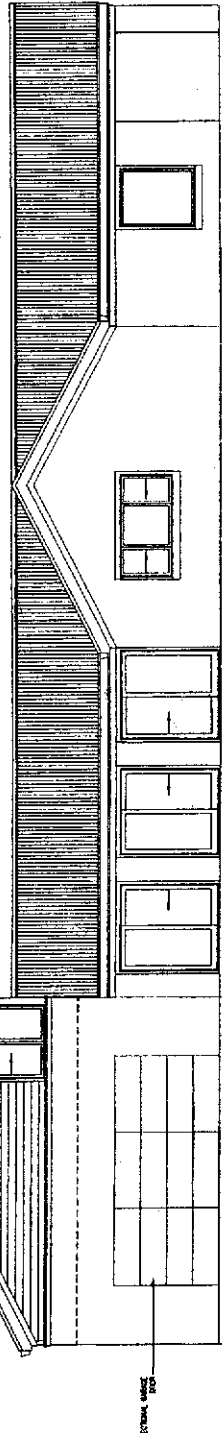
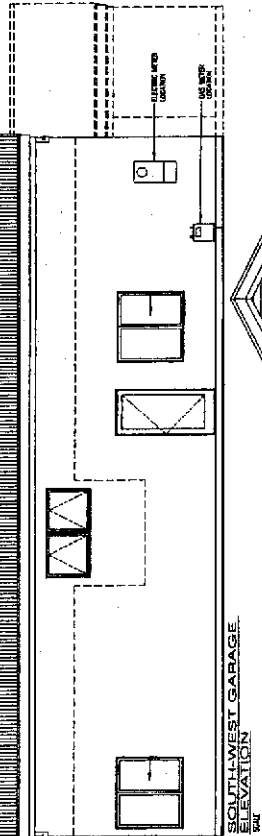
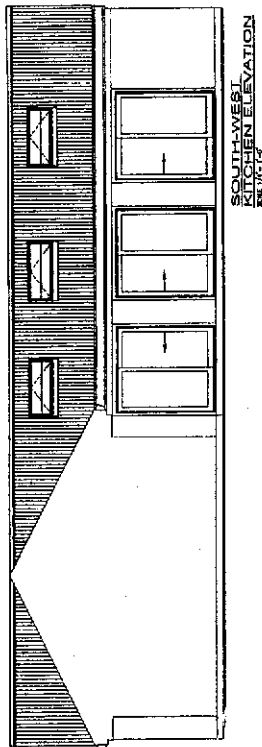
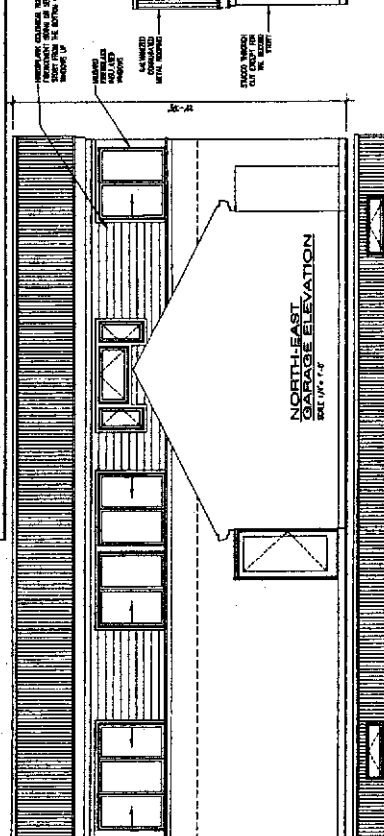
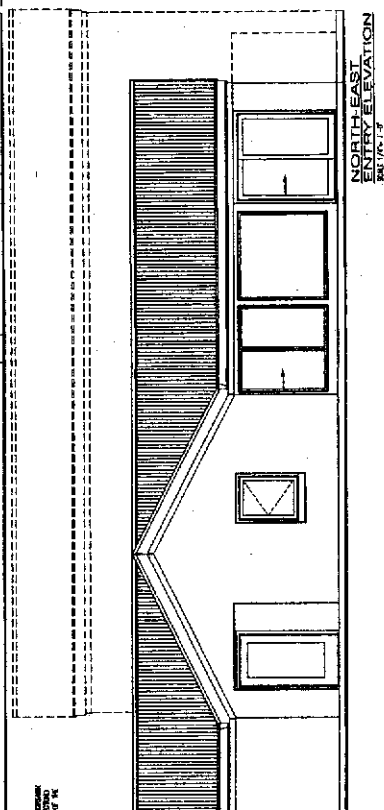
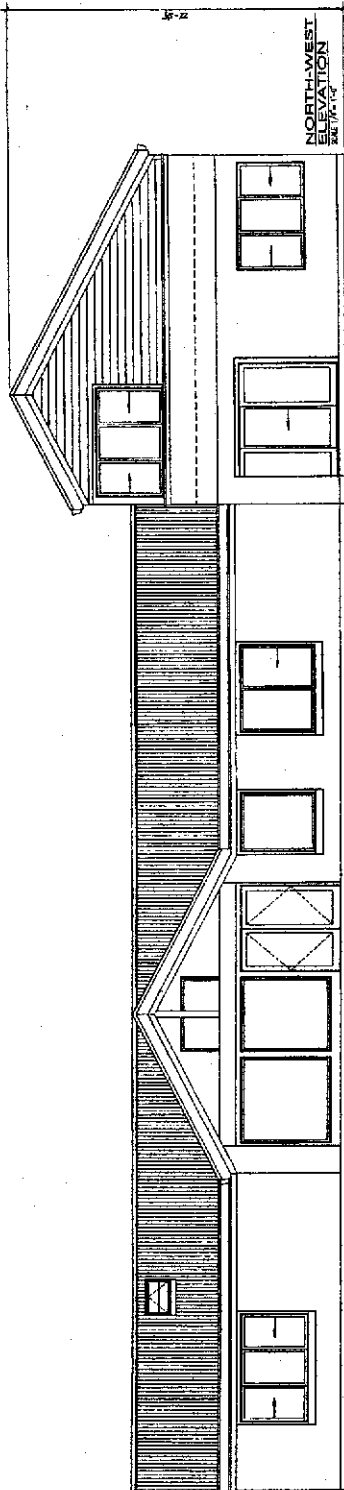
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 3000 45th AVE. SUITE 100
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 (512) 388-5569
 FAX (512) 388-5569
 WWW.GREGORYARCHITECTSMITH.COM
 CONTRACT: PRELIMINARY DESIGN WORK ON THE CONSTRUCTION DOCUMENTS
 CONTRACT: PRELIMINARY DESIGN WORK ON THE CONSTRUCTION DOCUMENTS
 CONTRACT: PRELIMINARY DESIGN WORK ON THE CONSTRUCTION DOCUMENTS

LIDICAT RESIDENCE
 SAN ANTONIO, TEXAS
 (512) 388-5569
 N: 108-171-49
 SHEET NO. A3
 OF 115
 TOTAL NO. 14
 DATE 11/11/11



FIRST FLOOR PLAN
 11/11/11



**Required Findings for Agricultural Buffer Setback Reduction
County Code Section 16.50.095(b)**

1. Significant topographical differences exist between the agricultural and non-agricultural uses which eliminate the need for a 200 foot setback; or

Significant topographical differences exist between the subject parcel and APN 108-171-11, to allow for a reduction in the required 200 foot setback to about 80 feet. The proposed building site is about 250 feet above the elevation of the adjacent Commercial Agriculture zoned parcel, so additional landscaping and solid fences have not been required.

2. Permanent substantial vegetation or other physical barriers exist between **the** agricultural and non-agricultural uses which eliminate the need for a 200 foot buffer setback; or a lesser setback distance is found to be adequate to prevent conflicts between the non-agricultural development and the adjacent agricultural uses, based on the establishment of a physical barrier, unless it is determined that the installation of a barrier will hinder the affected agricultural use more than it would help it, or would create a serious traffic hazard on a public or private right-of-way; and/or some other factor which effectively supplants the 200 foot buffering distance to the greatest degree possible; **or**

The habitable structure is proposed to be set back about 80 feet from the adjacent Commercial Agriculture zoned land. An effective barrier consisting of existing native, evergreen vegetation is adequate to prevent conflicts between the non-agricultural development and the adjacent Commercial Agriculture zoned land of APN 108-171-11. This barrier, as proposed, shall not create a hazard in terms of the vehicular sight distance necessary for safe passage of traffic.

3. The imposition of a 200 foot agricultural buffer setback would preclude building on a parcel of record as of the effective date of this chapter, in which case a lesser buffer setback distance may be permitted, provided that **the** maximum possible setback distance is required, coupled with a requirement for a physical barrier, **or** vegetative screening or other techniques to provide the maximum buffering possible, consistent with the objective of permitting building on a parcel of record.

CONDITIONS OF APPROVAL

Exhibit A: Project Plans by Gregory C. Smith, 4 sheets dated 6/17/04.

- I. **This** permit authorizes an Agricultural Buffer Setback reduction from the proposed residential use to APN (108-171-11). Prior to exercising any rights granted by this permit, including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Complete requirements for obtaining Building Permit **52286H** and any required Grading Permit from the Santa **Cruz** County Building Official.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with Exhibit A on file with the Planning Department. The final plans shall include the following additional information:
 1. A development setback of a minimum of about **80** feet from the proposed single-family dwelling to the adjacent Commercial Agriculture zoned parcel APN 108-171-11.
 - B. The owner shall record a Statement of Acknowledgement, as prepared by the Planning Department, and submit proof of recordation to the Planning Department. The statement of Acknowledgement acknowledges the adjacent agricultural land use and the agricultural buffer setbacks.
- III. All construction shall be performed according to the approved plans for the building permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
 - A. The agricultural buffer setbacks shall be met as verified by the County Building Inspector.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official and/or the County Senior Civil Engineer.
- IV. Operational Conditions
 - A. The vegetative barrier shall be permanently maintained.

- B. All required Agricultural Buffer Setbacks shall be maintained.
- C. In the event that future County inspections **of** the subject property disclose non-compliance with any Conditions **of** this Approval or any violation **of** the County Code, the owner shall pay to the County the full cost **of** such County inspections, up to and including permit revocation.

Minor Variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

PLEASE NOTE: THIS PERMIT EXPIRES TWO YEARS FROM THE EFFECTIVE DATE UNLESS YOU OBTAIN THE REQUIRED PERMITS AND COMMENCE CONSTRUCTION.

Approval Date: 7/15/04

Effective Date: 7/29/04

Expiration Date: 7/29/06

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Agricultural Policy Advisory Commission under the provisions of County Code Chapter 16.50, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 **of** the **Santa Cruz** County Code.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and **has** determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 04-0292

Assessor Parcel Number: 108-171-49

Project Location: 333 Skylark Lane, Watsonville

Project Description: Proposal to construct a two-story single-family dwelling. Requires an Agricultural Buffer Setback Determination

Person or Agency Proposing Project: Gregory C. Smith, Architect

Contact Phone Number: (831)458-1080

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060(c).
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).

Specify type:

E. ☒ **Categorical Exemption**

Specify type: Class 1 – New Construction of small structures (Section 15303)

F. Reasons why the project is exempt:

New Construction of Small Structures

In addition, none of the conditions described in Section 15300.2 apply to this project.

Joan Van der Hoeven
Joan Van der Hoeven, Project Planner

Date: July 5, 2004

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RANCHO DE LOS CORRALITOS
 PAR. SEC. 13, T.11S, R.1E, M.D.B. & M.

Tax Area Code
 69-262

108-17

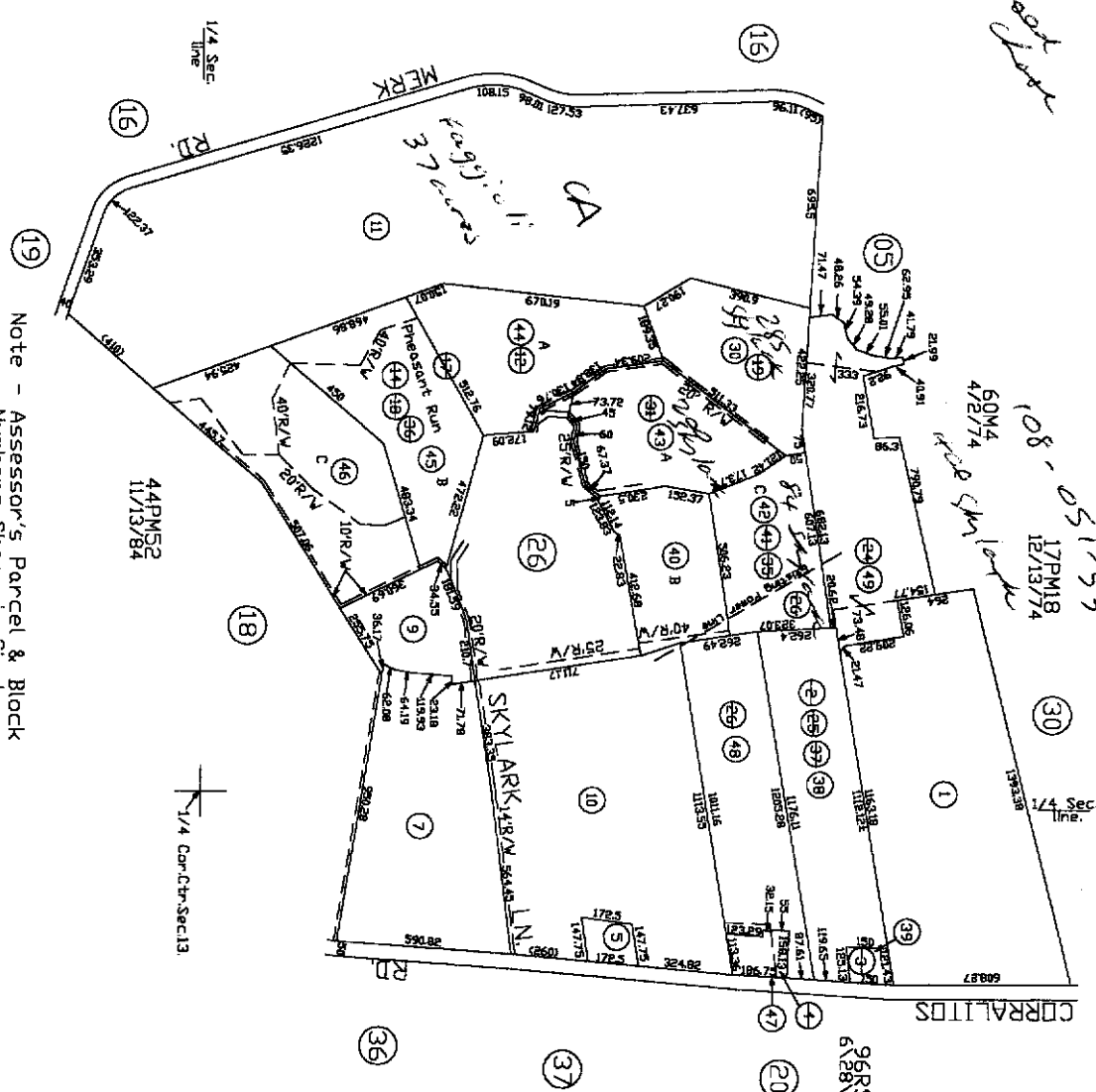
Corralitos

*108-05153
 17PM18
 12/13/74
 60M4
 4/2/74*

Electronically Redrawn 2/6/97 rw
 v 4/9/98 C3 (Tax Consolidation)
 v 8/5/99 C3 (96RS8)
 v 10/10/01 rwn (changed page refs.)
 v 7/15/02 DD (2-0025902 LBA, 1-49 per to pg 05.)

Note - Assessor's Parcel & Block
 Number Shown in Parentheses

Assessor's Map No. 108-17
 County of Santa Cruz, Calif.
 Feb. 1007



Location Map

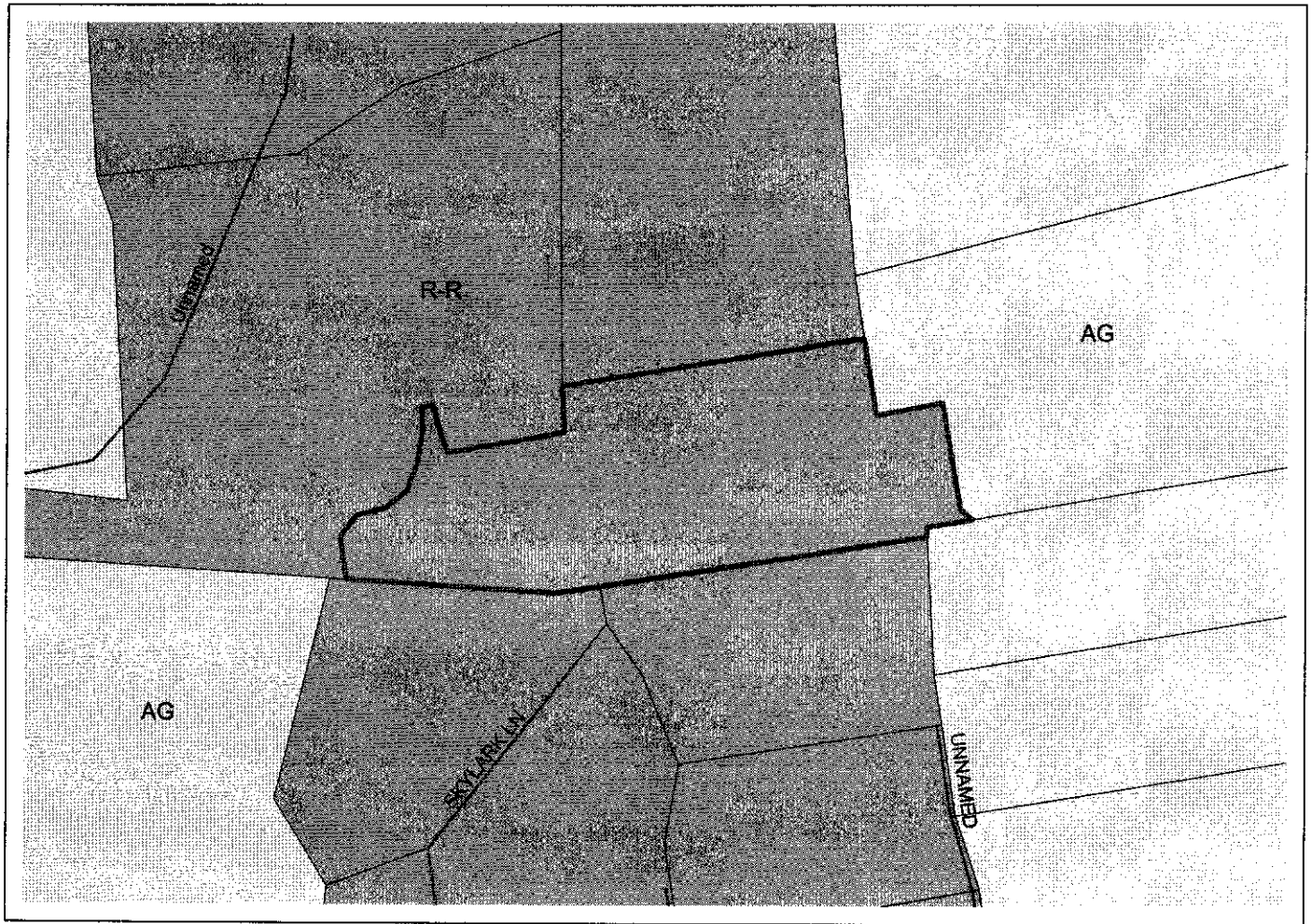


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Map created by Santa Cruz County
Planning Department:
June 2004

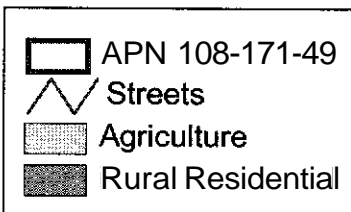


General Plan Map



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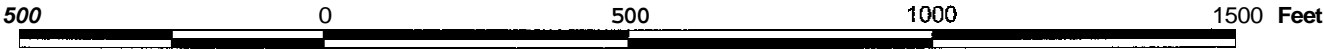
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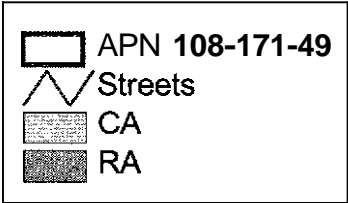
Map created by Santa Cruz County
Planning Department:
June 2004

EXHIBIT F

Zoning Map



Legend



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Planning Department:
June 2004

EXHIBIT F

