



Staff Report to the Agricultural Policy Advisory Commission

Application Number: **06-0666**

Applicant: Miguel Jimenez
Owner: Miguel Jimenez
APN: 110-261-04

Agenda Date: May 15, 2008
Agenda Item #: 7
Time: After 1:30 p.m.

Project Description: Proposal to construct a single family dwelling and second unit. Requires an Agricultural Buffer Determination.

Location: Property located on the northwest side of Webb Road approximately 200 feet northeast of the Casserly Road intersection.

Permits Required: Agricultural Buffer Setback Reduction

Staff Recommendation:

- Approval of Application 06-0666, based on the attached findings and conditions.

Exhibits

- | | |
|------------------------------|------------------------------|
| A. Project plans | F. Zoning map |
| B. Findings | G. Comments & Correspondence |
| C. Conditions | H. Reduced Plan Set |
| D. Assessor's parcel map | |
| E. Agricultural Resource Map | |

Parcel Information

Parcel Size:	80,654 square feet
Existing Land Use - Parcel:	Vacant parcel
Existing Land Use - Surrounding:	Agriculture & Single Family Residences
Project Access:	Via Webb Road
Planning Area:	Salsipuedes
Land Use Designation:	AG (Agriculture)
Zone District:	RA (Residential Agriculture)
Supervisory District:	4 th (District Supervisor: Tony Campos)
Within Coastal Zone:	<input type="checkbox"/> Inside <input checked="" type="checkbox"/> Outside
Appealable to Calif. Coastal Comm.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Environmental Information

Geologic Hazards:	Not mapped/no physical evidence on site
Soils:	Not a mapped constraint
Fire Hazard:	Not a mapped constraint; within State Responsibility Area
Slopes:	Parcel is flat and slopes gently down to the northwest.
Env. Sen. Habitat:	Not mapped/no physical evidence on site
Grading:	Preliminary grading approval required
Tree Removal:	No trees proposed for removal
Scenic:	Not a mapped resource
Drainage:	Earth swales and piped runoff to detention system
Archeology:	Archaeological reconnaissance found no evident cultural resources at the site.

Services Information

Inside Urban/Rural Services Line:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Water Supply:	Private	
Sewage Disposal:	Septic	
Fire District:	Pajaro Valley Fire District	
Drainage District:	Zone 7	

Analysis and Discussion

The proposed project is to construct a two story single-family dwelling of approximately 6,815 square feet with a detached garage of approximately 989 square feet, a carport of approximately 487 square feet and an approximately 1,726 square foot second unit on an 80,654 square foot (1.9 acres) parcel. The project is located on the northwest side of Webb Road about 200 feet northeast of the Casserly Road intersection. The building site is within 200 feet of Agricultural Resource land to the north, west, and southeast. The applicant is requesting a reduction in the 200 foot agricultural buffer setback to 20 feet from APN 110-261-03 and to about 120 feet from APN 110-063-15.

The subject property is characterized by flat topography that slopes gently down to the northwest. The parcel is not located within the Urban or Rural Services Line and may be characterized as rural. The parcel carries an Agriculture (AG) General Plan designation and the implementing zoning is (RA) Residential Agriculture. This parcel is not Agricultural Resource designated land. Agricultural Resource land is situated within 200 feet of the proposed structures on the southeast side of the parcel at Assessor's Parcel Number 110-063-15 and on the west side of the parcel at Assessor's Parcel Number 110-261-03. Webb Road creates an additional buffer from parcel 110-063-15, the width of which is included in the agricultural setback determination. The property maintains a 200-foot setback from the Agricultural Resource land to the north and is further buffered by a natural creek which is located along the north property line of the subject parcel.

The subject parcel would not allow sufficient building area if the required 200 foot setbacks were maintained from the adjacent Agricultural Resource lands due to the odd shaped lot therefore, a reduced agricultural buffer setback is recommended. The applicant is proposing to surround the property with a six foot tall, solid, stucco wall with trees planted along the interior of the wall to

reduce the impact of agricultural activities on the proposed residential use, and therefore, to protect the agricultural interests on the Agricultural Resource Land. As a condition of approval, the applicant shall be required to record a Statement of Acknowledgement regarding the issuance of a county building permit in an area determined by the County of Santa Cruz to be subject to Agricultural-Residential use conflicts.

This project also requires a Residential Development Permit for the 6-foot wall proposed within the required 40-foot front yard setback and Preliminary Grading Approval.

Recommendation

- Staff recommends that your Commission **APPROVE** the Agricultural Buffer Reduction from the 200 foot agricultural buffer setback to 20 feet from APN 110-261-03 and to about 120 feet from APN 110-063-15.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

Report Prepared By: Samantha Haschert
Santa Cruz County Planning Department
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Santa Cruz CA 95060
Phone Number: (831) 454-3214
E-mail: samantha.haschert@co.santa-cruz.ca.us

Report Reviewed By: Paia Levine
Principal Planner
Development Review

**Required Findings for Agricultural Buffer Setback Reduction
County Code Section 16.50.095(d)**

The Agricultural Policy Advisory Commission (APAC) must find that one of the following findings exists:

1. Significant topographic differences exist between the agricultural and non-agricultural uses which eliminates or minimizes the need for a two hundred (200) foot agricultural buffer setback; or
2. Permanent substantial vegetation (such as, a Riparian Corridor or Woodland protected by the County's Riparian Corridor or Sensitive Habitat Ordinances) or other physical barriers exist between the agricultural and non-agricultural uses which eliminate or minimize the need for a two hundred (200) foot agricultural buffer setback; or
3. A lesser setback distance is found to be adequate to prevent conflicts between the non-agricultural development and the adjacent agricultural development and the adjacent agricultural land, based on the establishment of a physical barrier (unless it is determined that the installation of a barrier will hinder the affected agricultural use more than it would help it, or would create a serious traffic hazard on a public or private right-of-way) or the existence of some other factor which effectively supplants the need for a two hundred (200) foot agricultural buffer setback.

Structures are proposed to be set back 20 feet (from APN 110-261-03) & 120 feet (from APN 110-063-15) from the adjacent Agricultural Resource land. An effective physical barrier consisting of a six foot tall stucco wall enhanced with trees planted along the interior side of the wall will be adequate to prevent conflicts between the non-agricultural development and the adjacent Agricultural Resource land of APN 110-261-03 & 110-063-15. The location of the required barrier will not create a hazard in terms of the vehicular sight distance necessary for safe passage of traffic.

4. The imposition of a two hundred (200) foot agricultural buffer setback would preclude building on a parcel of record as of the effective date of this chapter, in which case a lesser buffer setback distance may be permitted, provided that the maximum possible setback distance is required, coupled with a requirement for a physical barrier (e.g., solid fencing and/or vegetative screening) to provide the maximum buffering possible, consistent with the objective of permitting building on a parcel of record.

**Required Findings for Agricultural Buffer Setback Reduction
County Code Section 16.50.095(e)**

- (e) In the event that an agricultural buffer setback reduction is proposed and the proposed non-agricultural development is located on Type 1, Type 2 or Type 3 commercial agricultural land, the non-agricultural development shall be sited so as to minimize possible conflicts between the agricultural land use located on the subject parcel; and the non-agricultural development shall be located so as to remove as little land as possible from production or potential production.

This finding is not required because the subject parcel is not zoned Commercial Agriculture nor is it a designated Agricultural Resource Land.

Conditions of Approval

- I. This permit authorizes an Agricultural Buffer Setback reduction from the proposed residential use to APN's 110-261-03 and 110-063-15. Prior to exercising any rights granted by this permit, including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Discretionary Permit from the Santa Cruz County Planning Department for the six foot wall located within the front yard setback and for Preliminary Grading Review.
 - C. Obtain a Building Permit and Grading Permit from the Santa Cruz County Building Official.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. Any changes from the approved Exhibit "A" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A development setback of a minimum of 20 feet from the single-family dwelling to APN 110-261-03 and a minimum of 120' feet APN 110-063-15.
 2. Final plans shall show the location of the vegetative buffering barrier, which shall be composed of drought tolerant shrubbery, and the 6-foot wall used for the purpose of buffering adjacent agricultural land. The shrubs utilized shall attain a minimum height of six feet upon maturity. Species type, plant sizes and spacing shall be indicated on the final plans for review and approval by Planning Department staff.
 - B. The owner shall record a Statement of Acknowledgement, as prepared by the Planning Department, and submit proof of recordation to the Planning Department. The Statement of Acknowledgement acknowledges the adjacent agricultural land use and the agricultural buffer setbacks.
- III. All construction shall be performed according to the approved plans for the building permit. Prior to final building inspection, the applicant/owner must meet the following

conditions:

- A. The agricultural buffer setbacks shall be met as verified by the County Building Inspector.
- B. The required vegetative and physical barrier shall be installed as shown on the approved Exhibit A. The applicant/owner shall contact the Project Planner a minimum of three working days in advance to schedule an inspection to verify that the required barriers have been installed as approved.
- C. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official and/or the County Senior Civil Engineer.

IV. Operational Conditions

- A. The vegetative and physical barrier shall be permanently maintained.
- B. All required Agricultural Buffer Setbacks shall be maintained.
- C. In the event that future County inspections of the subject property disclose non-compliance with any Conditions of this Approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, up to and including permit revocation.

V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.

- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and

2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

Minor Variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires two years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Agricultural Policy Advisory Commission under the provisions of County Code Chapter 16.50, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code.

FOR TAX PURPOSES ONLY

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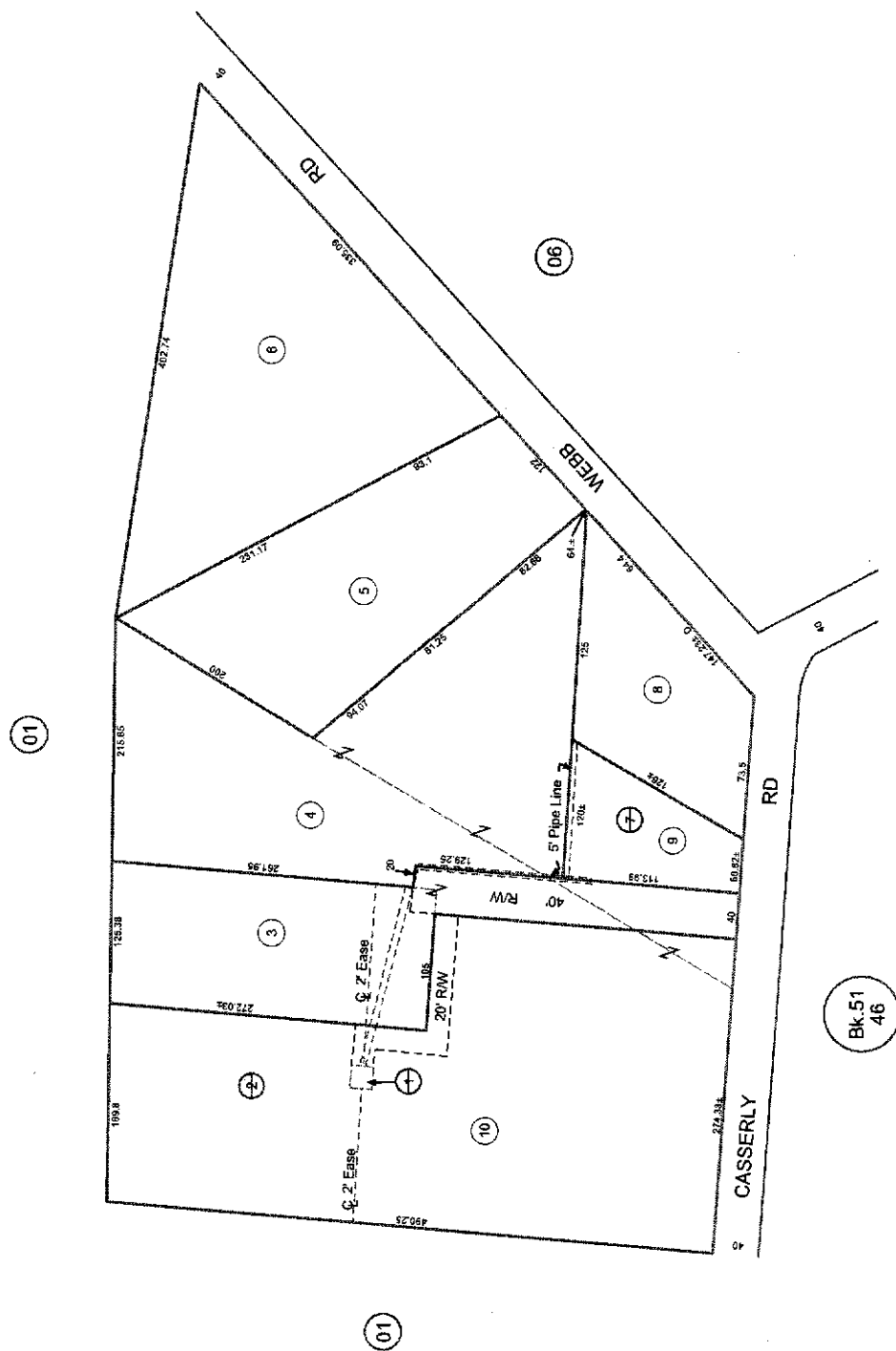
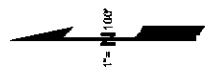
SALSIPUEDES RANCHO

POR. SEC. 22, T. 11S., R. 2E., M.D.B. & M.

Tax Area Code

69-258

110-26



Assessor's Map No. 110-26
County of Santa Cruz, Calif.
Sept. 1997

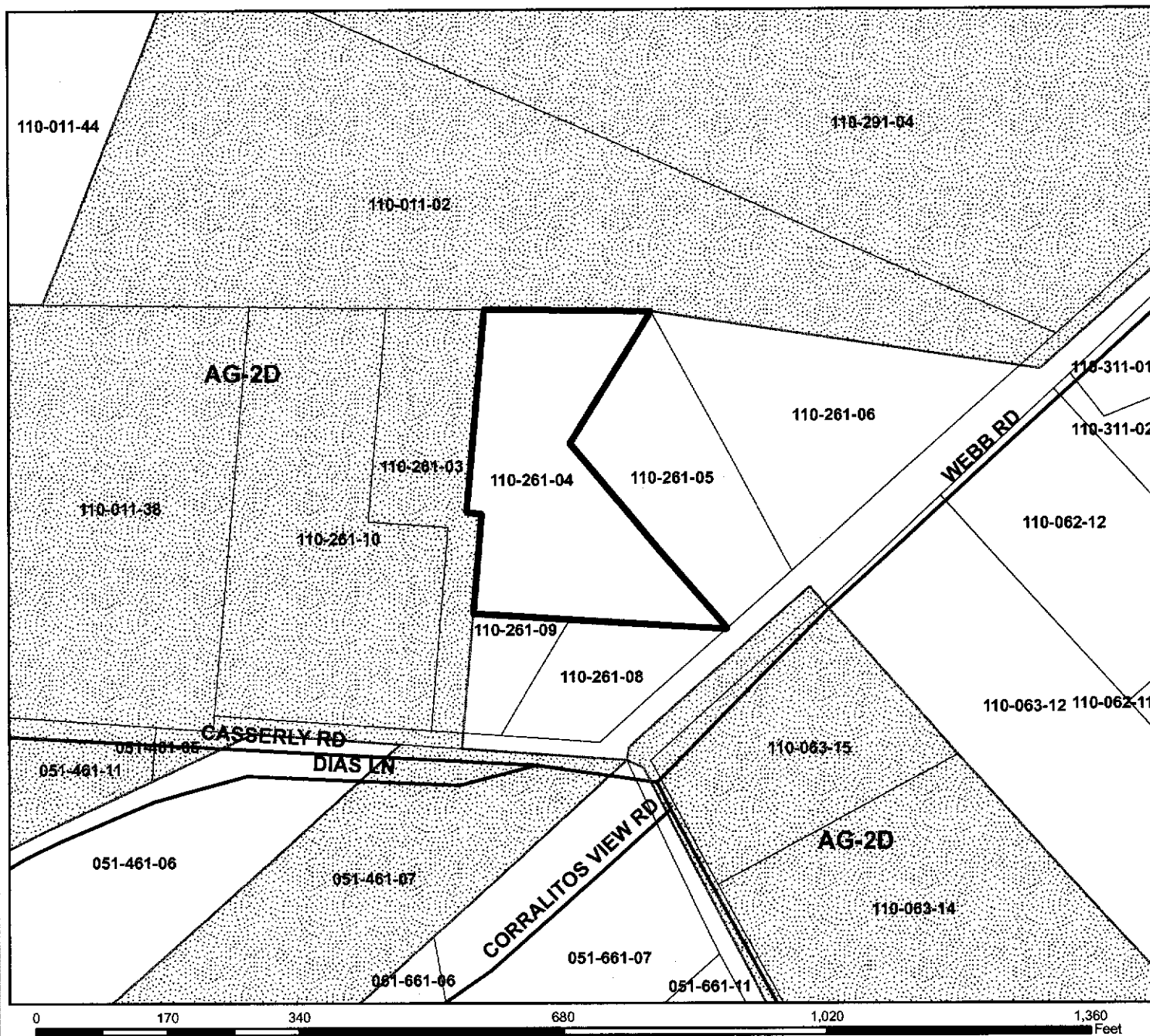
Note - Assessor's Parcel & Block
Numbers Shown in Circles.

EXHIBIT 9





Electronically drawn 9/28/97 KSA
Rev 4/9/98 CB (from consolidation)
Rev 10/15/01 (mm changed page refs)
Rev 11/4/03 CB (Cor to 1-03 in error)
Rev 6/10/06 CB (Removed Well Easement R/W from 1-05)

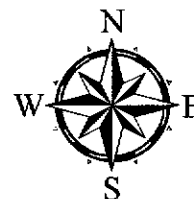


Agricultural Resource Map



LEGEND

-  APN: 110-261-04
-  Assessors Parcels
-  Streets
-  AG-2D

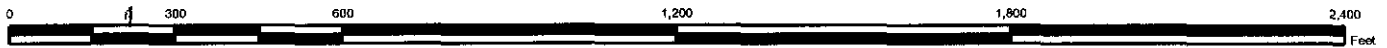
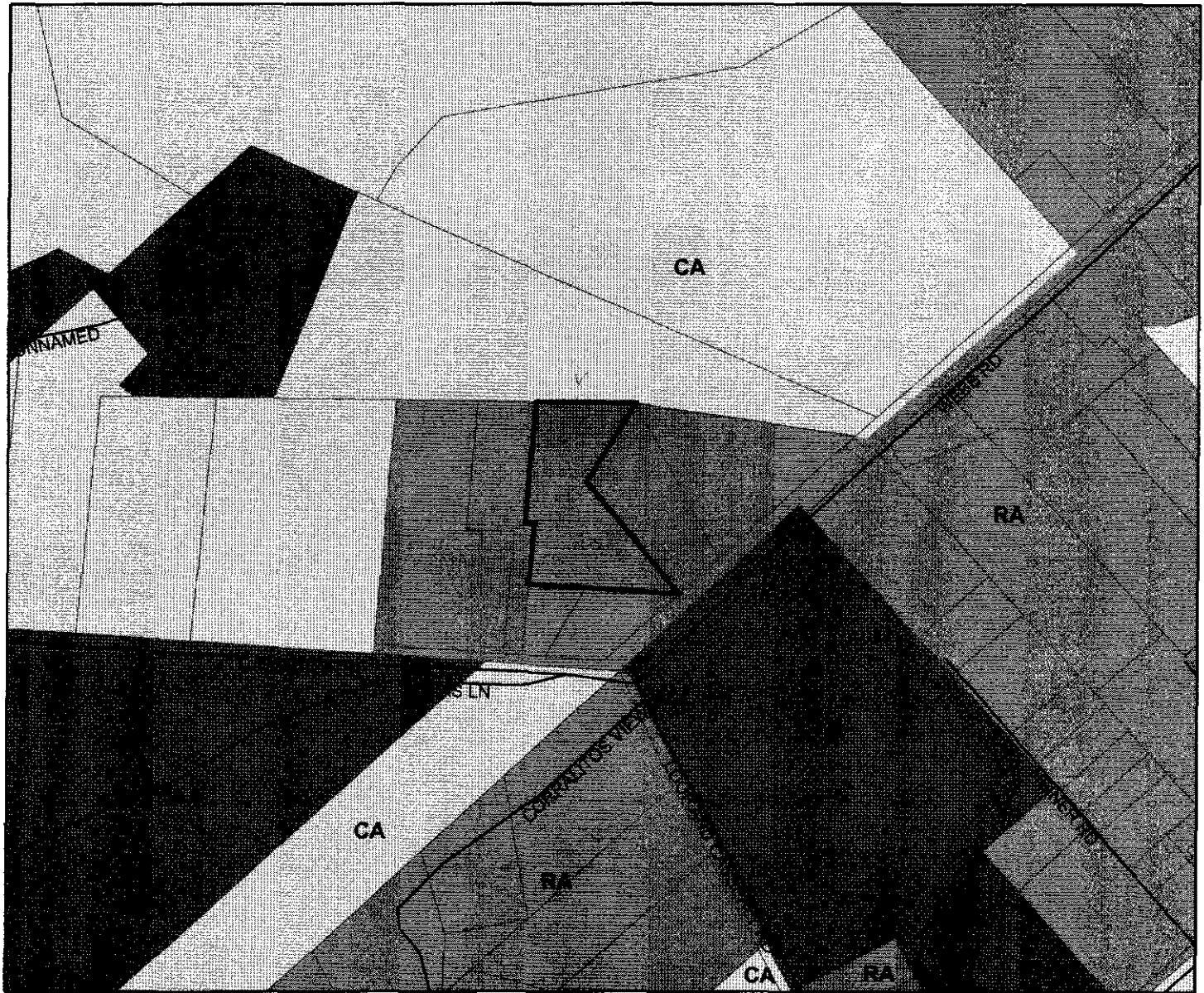


Map Created by
County of Santa Cruz
Planning Department
April 2008







EXHIBIT E

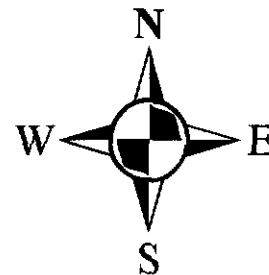


Zoning Map



Legend

-  APN 110-261-04
-  Assessors Parcels
-  Streets
-  AGRICULTURE RESIDENTIAL (RA)
-  AGRICULTURE COMMERCIAL (CA)
-  AGRICULTURE (A)



Map Created by
County of Santa Cruz
Planning Department
December 2006

EXHIBIT H

C O U N T Y O F S A N T A C R U Z
DISCRETIONARY APPLICATION COMMENTS

Project Planner: Samantha Haschert
Application No.: 06-0666
APN: 110-261-04

Date: April 29, 2008
Time: 14:05:46
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Environmental Planning Completeness Comments

===== REVIEW ON JANUARY 3, 2007 BY KENT M EDLER =====

Following are Completeness Comments:

1. A soils report is required to be submitted.
2. The plans must include the following grading information:
 - a) Proposed contours
 - b) Grading quantities (cut, fill and overexcavation / recompaction)
 - c) Pad elevations for the proposed residence and 2nd unit
 - d) Grading x-sections that run from property line to property line.
 - e) Show "limits of grading".

(Please note all fill slopes must be setback 3' from the property line).

===== UPDATED ON MAY 4, 2007 BY KENT M EDLER =====

Updated Completeness comments with respect to grading and soils:

1. The soils report has been reviewed and accepted.
2. Previous comment 1(d) from my January 3, 2007 comments was not addressed. Please submit grading x-sections.
3. New comment based upon new information shown on the plans. It appears that a retaining wall will be needed along the southern property line south of the driveway to the second unit. The proposed contours do not daylight in these locations and therefore the grades as shown will not work without a retaining wall. Please revise the plans to clearly show how the grades will work in this location.

===== UPDATED ON OCTOBER 15, 2007 BY KENT M EDLER =====

Updated completeness comments:

1. The grading plans are still deficient. Not all of the proposed contours are shown, the over-excavation / recompaction quantities are not indicated, cross-sections don't match plan view, etc.

===== UPDATED ON MARCH 24, 2008 BY KENT M EDLER ===== The application is complete for Env. Planning issues.

Environmental Planning Miscellaneous Comments

===== REVIEW ON JANUARY 3, 2007 BY KENT M EDLER =====

Following are Compliance Issues:

EXHIBIT G

Discretionary Comments - Continued

Project Planner: Samantha Haschert
Application No.: 06-0666
APN: 110-261-04

Date: April 29, 2008
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Page: 2

1. The driveways should be 12' wide. They are currently shown as 16'.
2. A fire truck turnaround will be required for the driveway to the 2nd unit.

Following are Permit Conditions / Other Comments:

1. Permit Condition: A plan review letter from the soils engineer will be required prior to building / grading permit issuance.
2. Permit Condition: An erosion control plan must be submitted prior to building / grading permit issuance.
3. Grading plans must meet County's Grading Plan Requirements. See the website for more info: <http://www.sccoplanning.com/brochures/grading.htm>
===== UPDATED ON MAY 4, 2007 BY KENT M EDLER =====

Updated Compliance comments with respect to grading and soils:

1. The driveways are still shown to be 16' wide. The driveways must be reduced to 12' for Environmental Planning to support approval of this application.
===== UPDATED ON MARCH 24, 2008 BY KENT M EDLER ===== No compliance issues remaining for Env. Planning.

Permit Conditions:

1. Permit Condition: A plan review letter from the soils engineer will be required prior to building / grading permit issuance.
2. Permit Condition: An erosion control plan must be submitted prior to building / grading permit issuance.

Project Review Completeness Comments

===== REVIEW ON DECEMBER 26, 2006 BY JOAN VAN DER HOEVEN =====
Proposed single-family dwelling exceeds the 7,000 square foot size limit and requires large dwelling review. The project is not consistent with adjacent rural development in terms of size and materials. Provide a landscape plan showing proposed fencing and vegetative screening from adjacent properties.

Project Review Miscellaneous Comments

===== REVIEW ON DECEMBER 26, 2006 BY JOAN VAN DER HOEVEN =====
Record an Agricultural Statement of Acknowledgement.

Dpw Drainage Completeness Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== UPDATED ON APRIL 23, 2007 BY CARISA R DURAN =====
===== UPDATED ON MAY 8, 2007 BY CARISA R DURAN ===== 2ND ROUTING - 5/8/07

EXHIBIT G

Discretionary Comments - Continued

Project Planner: Samantha Haschert
Application No.: 06-0666
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Revised civil drawing sheets C1 and C2 dated 3/30/07 was received. (Please note: It is not necessary to resubmit sheets C1 and C2 dated 3/15/06 as these are no longer applicable to the proposed project.)

Plans cannot be accepted as submitted for completion:

- Review no. 1, items 1 through 5 have not be addressed. Please submit.
- Review no. 1, item 6 is closed.

Calculations dated 3/1/2007:

7) Values to calculate runoff need to be applicable to the area of development. Please refer to the CDC. This is available online if needed at <http://www.dpw.co.santa-cruz.ca.us/> under the link titled "Design Criteria" with an additional information link titled "Storm Water Support".

8) The area being considered in the calculations must be delineated and appropriate runoff coefficient, C, values used. Show determination of weighted C value.

9) Is the system designed in these calculations intended to deal with the increase in runoff due to the development? Please clarify.

10) Sizing of proposed structures for detention or retention must be based on site specific values and runoff to be captured established. Please see CDC for guidance. Please note, utilizing only detention to meet mitigation requirements for increases in runoff is only allowed if other measures are not feasible. If detention is the only method available to meet pre-development requirements, please submit reasons of infeasibility for review.

Until further information is submitted addressing the above comments, a thorough review of this application cannot be completed. Once submitted, additional items may need to be addressed before the application can be deemed complete.

===== UPDATED ON OCTOBER 25, 2007 BY LOUISE B DION =====

Previous comments from 1st and 2nd review have not been addressed. For some reason comments from 1st review (01/05/07) are not available on ALUS. I am reproducing comments #1-5 below for your reference. At the time these comments were made the sheet C-1 indicated surface runoff being collected and discharged into a rip-rap rock area. Sheet C-1 of the recent submittal indicates that the runoff will be directed into a detention basin. However, the previous comments #1-5 still apply and must be addressd.

COMMENTS #1-5 from 1st SUBMITTAL REVIEW by CRD

1) Projects are required to maintain predevelopment rates where feasible. Mitigating measures should be used on-site to limit increases in post-development runoff leaving the site. Best Management Practices should be employed within the development to meet this goal as much as possible. Such measures include limiting impervious areas, using pervious or semi-pervious pavements, runoff surface spreading, discharging runoff from impervious areas into landscaping, retention facilities, etc. Please demonstrate that this requirement is being met and account for the affects in storm-

EXHIBIT C

Discretionary Comments - Continued

Project Planner: Samantha Haschert
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water calculations. For example, storm drain lines are proposed to be routed to a rock rip-rap area. Is this intended to meet pre-development rates in post-development for the project?

2) Extensive impervious surfaces are proposed by this project. New development is required to limit such coverage to minimize post-development runoff. Consider limiting proposed impervious surfaces and/or using pervious or semi-pervious type surfaces.

3) The proposed drainage design proposes to collect and route runoff to a single dispersion point from two different drainage paths. This is considered a diversion of the natural drainage pattern. Information substantiating the diversion must be submitted for review. If the diversion is found to be allowable in this design an assessment of the path to be diverted to must be submitted. Off-site information must be included but is not limited to increase runoff to be routed, path description, facilities, erosion or flood areas, etc.

4) As indicated in the CDC (County Design Criteria). Runoff from parking and driveways are required to go through water treatment prior to discharge. Consider outslowing areas to drain to landscaped areas for filtering prior to discharge from the site. If use of landscaped areas is not feasible and structural treatment is proposed, recorded maintenance agreements are required. Please clarify on the plans the method used for treatment.

5) Development proposed in this parcel is in the drainage path of two nearby lakes. Please indicate how the design will avoid impacting upstream runoff to these areas. In particular, a 6-foot stucco fence is proposed along the northeast property line (in the area of rock rip-rap) crossing the natural drainage course. This drainage path must not be impacted. Please show how this will be dealt with.

All comments made during the second review (5/8/07) regarding the proposed detention basins, i.e. comments #7-10 have not been addressed and remain applicable to the recent submittal (3rd). Comments #7-10 have been reproduced below for your use.

7) Values to calculate runoff need to be applicable to the area of development. Please refer to the CDC. This is available online if needed at <http://www.dpw.co.santa-cruz.ca.us/> under the link titled "Design Criteria" with an additional information link titled "Storm Water Support".

8) The area being considered in the calculations must be delineated and appropriate runoff coefficient, C, values used. Show determination of weighted C value.

9) Is the system designed in these calculations intended to deal with the increase in runoff due to the development? Please clarify.

10) Sizing of proposed structures for detention or retention must be based on site specific values and runoff to be captured established. Please see CDC for guidance. Please note, utilizing only detention to meet mitigation requirements for increases in runoff is only allowed if other measures are not feasible. If detention is the only method available to meet pre-development requirements, please submit reasons of infeasibility for review.

EXHIBIT G

Discretionary Comments - Continued

Project Planner: Samantha Haschert
Application No.: 06-0666
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Until further information is submitted addressing the above comments, a thorough review of this application cannot be completed. Once submitted, additional items may need to be addressed before the application can be deemed complete.

If you have questions, please contact me at 831-233-8083.

===== UPDATED ON APRIL 9, 2008 BY LOUISE B DION =====

Electronic plan sheet C-1 dated April 4, 2008, email correspondence dated April 8, 2008 and copy of letter from Bauldry Engineering dated January 30, 2008 have been received. Please send hard copies to the County for our official records. Our concerns regarding feasibility for proposed retention system, and issues regarding upstream runoff towards the the property and overflow runoff from the property have been addressed and the application is deemed complete with respect to the discretionary permit application stage. Detailed review of drainage system design will be deferred to building permit application stage. This means that all previous discretionary completeness comments #4 and comments #7-#10 must be addressed during the building application stage. Please make sure these comments are addressed in your drainage calculations. Please see miscellaneous comments for additional guidance.

===== UPDATED ON APRIL 9, 2008 BY LOUISE B DION =====

===== UPDATED ON APRIL 9, 2008 BY LOUISE B DION =====

===== UPDATED ON APRIL 9, 2008 BY LOUISE B DION =====

Dpw Drainage Miscellaneous Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON MAY 8, 2007 BY CARISA R DURAN ===== No comment.

===== UPDATED ON OCTOBER 25, 2007 BY LOUISE B DION =====

===== UPDATED ON APRIL 9, 2008 BY LOUISE B DION =====

In addition to addressing complete comments #4 and #7-10 the following are compliance or permit conditions/additional information needed for this application:

1) Please provide a complete assessment of downstream impacts identifying capacity restrictions in the natural creek receiving site runoff and identify the ultimate water body receiving this flow. Show how overall flow from proposed drainage system will be handled until it reaches a safe point of release such as an adequate drainage system or a water course.

2) Plans should include detail(s) for pervious pavement areas. Provide maintenance requirements for the pervious paving areas on the project plans.

EXHIBIT G

Discretionary Comments - Continued

Project Planner: Samantha Haschert
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3) Final calculations should take into account all proposed impervious areas including concrete walkways shown on the plans.

4) Retention calculations must demonstrate that all runoff rate is held to predevelopment rates. In some cases retention alone can not meet this condition, ie retention may only be effective for smaller storm events but the a 10 year storm event may require detention. Please review County Design Criteria requirements for both retention and detention system design.

5) Please provide measures for preventing debris from entering the retention facility in order to minimize future clogging and maintenance.

6) Zone 7 fees will be assessed on the net increase in impervious area due to the project. Semi pervious areas will be charged at 50 percent rate.

All submittals for this project should be made through the Planning Department. For questions regarding this review Public Works stormwater management staff is available from 8-12 M-F.

===== UPDATED ON APRIL 9, 2008 BY LOUISE B DION =====
===== UPDATED ON APRIL 9, 2008 BY LOUISE B DION =====
===== UPDATED ON APRIL 9, 2008 BY LOUISE B DION =====

Dpw Driveway/Encroachment Completeness Comments

===== REVIEW ON DECEMBER 28, 2006 BY RUTH L ZADESKY =====

Show driveway plan view and centerline profile.

Show existing ground and driveway elevations on profile.

Show existing roadside improvements, ie. curb and gutter or valley gutter or"

Sight distance minimum 250 feet, traffic engineer may be required.

===== UPDATED ON APRIL 20, 2007 BY RUTH L ZADESKY =====

Show driveway plan view and centerline profile.

Show existing ground and driveway elevations on profile.

Show property lines on plot plan drawn to scale.

Show existing roadside improvements, ie. curb and gutter or valley gutter or"

Sight distance minimum 250 feet, traffic engineer may be required.

===== UPDATED ON APRIL 20, 2007 BY RUTH L ZADESKY =====

Show driveway plan view and centerline profile.

Show existing ground and driveway elevations on profile.

===== UPDATED ON OCTOBER 29, 2007 BY DEBBIE F LOCATELLI =====

At the time of building permit application submittal plans shall have a detail of driveway conforming to the County of Santa Cruz Design Criteria. Also, any work proposed in the County right-of-way shall require an Encroachment Permit at the time of building permit application submittal. ===== UPDATED ON APRIL 8, 2008 BY DAVID GARIBOTTI =====

Previous comments have not been adequately addressed. At the time of building permit application submittal, plans shall have a detail of driveway conforming to the County of Santa Cruz Design Criteria. Also, any work proposed in the County right-

EXHIBIT G

Discretionary Comments - Continued

Project Planner: Samantha Haschert
Application No.: 06-0666
APN: 110-261-04

Date: April 29, 2008
Time: 14:05:46
Page: 7

of-way shall require an Encroachment Permit at the time of building permit application submittal.

Dpw Driveway/Encroachment Miscellaneous Comments

===== REVIEW ON DECEMBER 28, 2006 BY RUTH L ZADESKY =====

Driveway to conform to County Design Criteria Standards.

Encroachment permit required for all off-site work in the County road right-of-way.

Fencing is not allowed within the County road right-of-way.

Proposed fencing shall not block sight distance for motorists at adjacent intersections and driveways.

===== UPDATED ON APRIL 20, 2007 BY RUTH L ZADESKY =====

Driveway to conform to County Design Criteria Standards.

Encroachment permit required for all off-site work in the County road right-of-way.

Fencing is not allowed within the County road right-of-way.

Proposed fencing shall not block sight distance for motorists at adjacent intersections and driveways.

===== UPDATED ON APRIL 20, 2007 BY RUTH L ZADESKY =====

Driveway to conform to County Design Criteria Standards.

Encroachment permit required for all off-site work in the County road right-of-way.

Fencing is not allowed within the County road right-of-way.

Proposed fencing shall not block sight distance for motorists at adjacent intersections and driveways.

===== UPDATED ON APRIL 8, 2008 BY DAVID GARIBOTTI =====

Previous comments have not been completely addressed. At the time of the building permit application submittal, plans shall include a detail of the driveway conforming to the County of Santa Cruz Design Criteria. Also, any work proposed in the County right-of-way shall require an Encroachment Permit at the time of building permit application submittal.

Dpw Road Engineering Completeness Comments

===== UPDATED ON JANUARY 8, 2007 BY TIM N NYUGEN =====

1. The proposed driveway must meet County of Santa Cruz standards. Please provide the following information for the driveway: The centerline profile.

3. Show edge of pavement along Webb Road. Vehicles shall need 20 feet minimum length off the roadway in order to access the proposed gate. Relocate proposed gate to 20 feet minimum away from the edge of pavement along Webb Road.

4. A fire department approved turnaround area shall be needed for the proposed 2nd dwelling unit. Parking spaces shall not be located within the approved turnaround area. ===== UPDATED ON JANUARY 8, 2007 BY TIM N NYUGEN =====

===== UPDATED ON MARCH 8, 2007 BY TIM N NYUGEN =====

UPON DISCUSSION WITH THE SENIOR TRAFFIC ENGINEER ON 3/8/07, THE PROPOSED GATE WITH 6 FEET TALL WALLS SHALL BE ACCEPTED AS LONG AS THE GATE IS LOCATED A MINIMUM OF 20 FEET FROM THE EDGE OF PAVEMENT ALONG WEBB RD.

===== UPDATED ON MAY 8, 2007 BY GREG J MARTIN =====

No Comment.

EXHIBIT G

Discretionary Comments - Continued

Project Planner: Samantha Haschert
Application No.: 06-0666
APN: 110-261-04

Date: April 29, 2008
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Page: 8

Dpw Road Engineering Miscellaneous Comments

===== UPDATED ON JANUARY 8, 2007 BY TIM N NYUGEN =====
NO COMMENT
===== UPDATED ON MAY 8, 2007 BY GREG J MARTIN =====

Environmental Health Completeness Comments

===== REVIEW ON JANUARY 2, 2007 BY JIM G SAFRANEK =====
NO COMMENT

Environmental Health Miscellaneous Comments

===== REVIEW ON JANUARY 2, 2007 BY JIM G SAFRANEK ===== Applicant received
an approved septic permit/water supply permit from EHS.

EXHIBIT G

REVISIONS	DESIGNER	OWNER:	ENGINEER	PROJECT:	SHEET TITLE:
DATE: 10/1/88 BY: J. L. L. L. CHECKED: J. L. L. L. DATE: 10/1/88	DATE: 10/1/88 BY: J. L. L. L. CHECKED: J. L. L. L. DATE: 10/1/88	DATE: 10/1/88 BY: J. L. L. L. CHECKED: J. L. L. L. DATE: 10/1/88	DATE: 10/1/88 BY: J. L. L. L. CHECKED: J. L. L. L. DATE: 10/1/88	JIMENEZ RESIDENCE WEBB RD	SITE PLAN

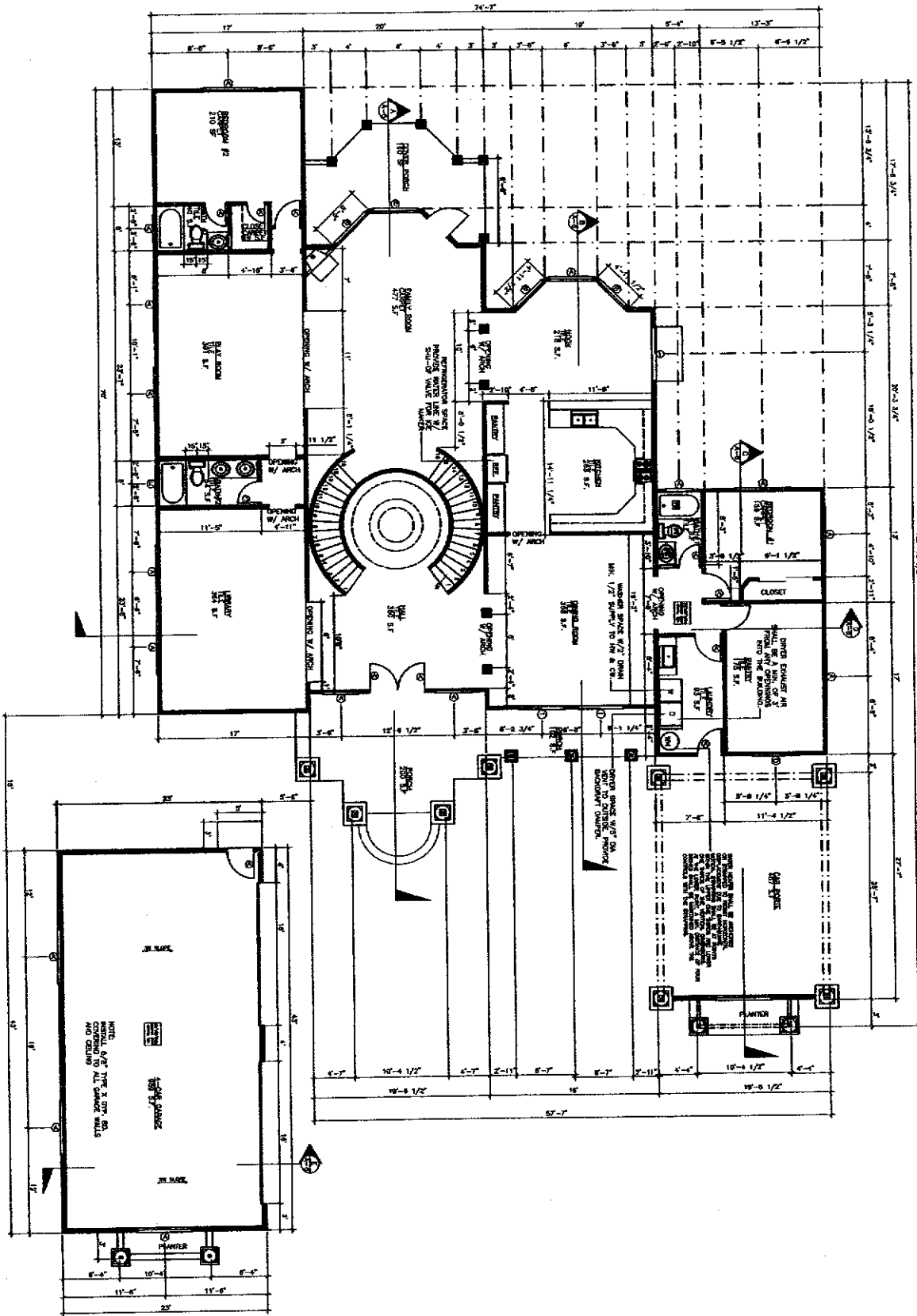


EXHIBIT H

REVISIONS	DESIGNER: JOE RICE 4800 TERRY RD WATSONVILLE, CA 95076 TEL (408) 862-0884	OWNER: JIMENEZ 3222 SAN LUCAS WAY WATSONVILLE, CA 95076 (408) 861-7200	ENGINEER: JAMES P. JAMES, SE 3222 SAN LUCAS WAY WATSONVILLE, CA 95076 TEL (408) 861-7200 FAX (408) 428-1430	PROJECT: JIMENEZ RESIDENCE WEBB RD WATSONVILLE CA.95076	SHEET TITLE: FIRST FLOOR PLAN 16-13-4 JMR, RL 1/4" = 1'-0" A-1-2
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[illegible]

QTY.	SIZE	DESCRIPTION	SCHEM.
①	4000	DOOR TO BE RECESSED ON OF SAFETY	4
①	5000	DOUBLE GLASS SLIDING DOOR TO BE THRU OPEN ON OF SAFETY	2
①	21400	HOLLING DOOR	8
①	2800	HOLLING DOOR	1
②	2200	HOLLING DOOR	2
③	3200	HOLLING DOOR	1
④	2100	1-1/2" RECESSED ON OF SAFETY	5
⑤	2100	2100	1
⑥	2100	2100	1
⑦	2100	2100	1
⑧	2100	2100	1
⑨	2100	2100	1
⑩	2100	2100	1
⑪	2100	2100	1
⑫	2100	2100	1
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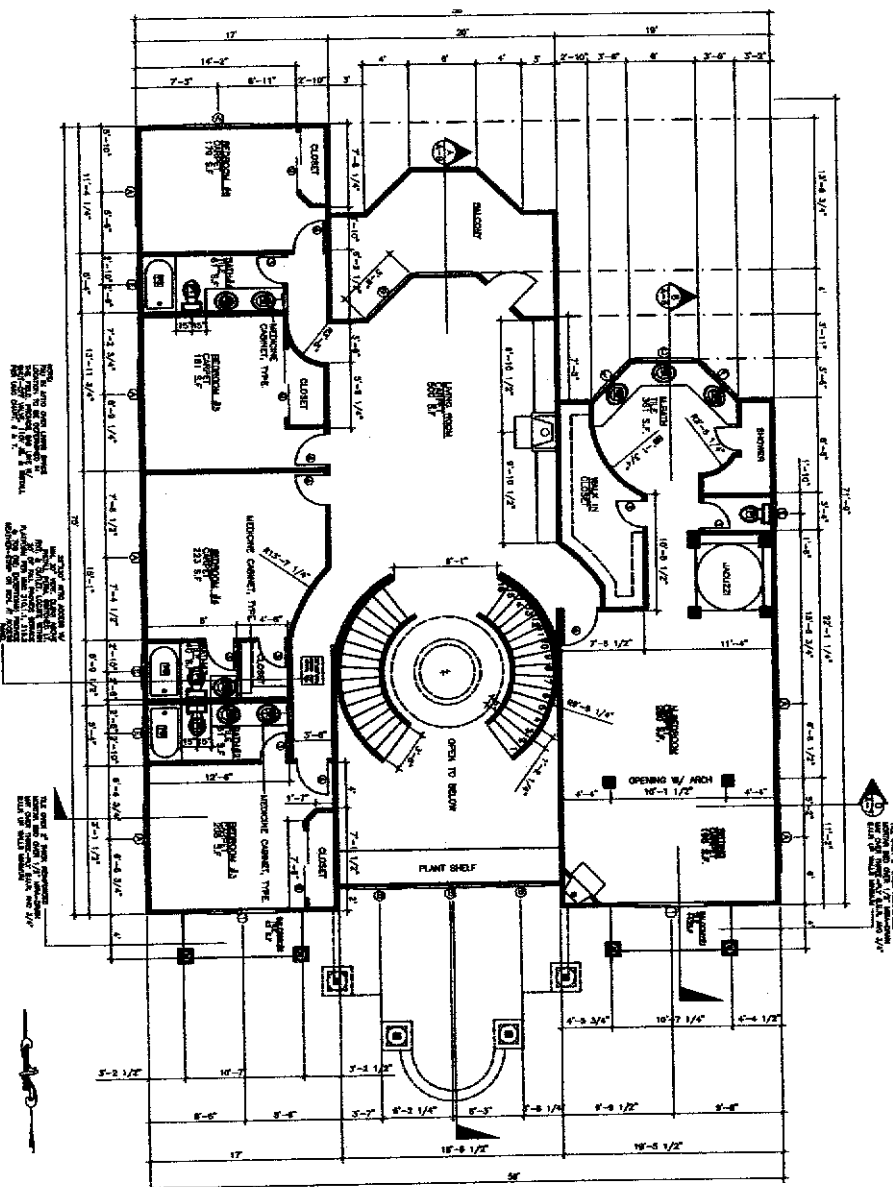
[illegible][illegible]

1. GLAZING IN AREAS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIAL (UNANNETED GLASS, TEMPERED GLASS, WET GLASS, OR SAFETY PLASTIC) WITH THE HIGHEST VERTICAL DOGS WITHIN 12" OF A DOOR AND WITHIN 18" OF THE FLOOR IN WALKING SURFACE (U.L.C. SECT.3403)

100

1000

ON SIMPSON SET POINT
DONATE SIMPSON HOLDING
ALL TREAD ROOF
LAWYER-STREET UNDER
LAWYER-STREET UNDER
LAWYER-STREET UNDER



SECOND FLOOR PLAN

REPORT BY/TO:

GENERAL NOTES:

LEGEND:

PLUMBING NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
2. BEFORE ANY WORK SHALL BE BEGUN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
3. BEFORE ANY WORK SHALL BE BEGUN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
4. BEFORE ANY WORK SHALL BE BEGUN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
5. BEFORE ANY WORK SHALL BE BEGUN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
6. BEFORE ANY WORK SHALL BE BEGUN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
7. BEFORE ANY WORK SHALL BE BEGUN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
8. BEFORE ANY WORK SHALL BE BEGUN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
9. BEFORE ANY WORK SHALL BE BEGUN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
10. BEFORE ANY WORK SHALL BE BEGUN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
11. BEFORE ANY WORK SHALL BE BEGUN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
12. BEFORE ANY WORK SHALL BE BEGUN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.

TOILET/ BATH FIXTURES & ACCESSORIES

- [illegible]

**NATIONAL FLOW A
INTERPOL, NEW P**

- [illegible]

SECTION 26-204, THE INVENTORY

- [illegible]

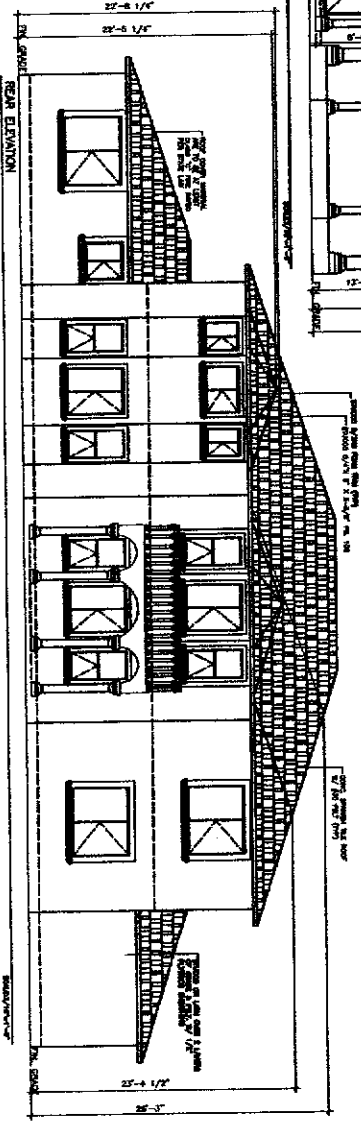
EXHIBIT H

<p>NAME: JAMES P. ANAPLES, SE. 3228 SAN LUCAS WAY UNION CITY, CA 94587 TEL: (510) 368-0559 FAX: (510) 428-1430</p>	<p>OWNER: JAMES ANAPLES WINDEN RD WINDSVILLE, CA 90778 (619) 607-7288</p>	<p>DESIGNER: JAMES ANAPLES 6800 TIERNEY RD SACRAMENTO, CA 95820 TEL: (916) 863-4840</p>	<p>NOTES:</p>
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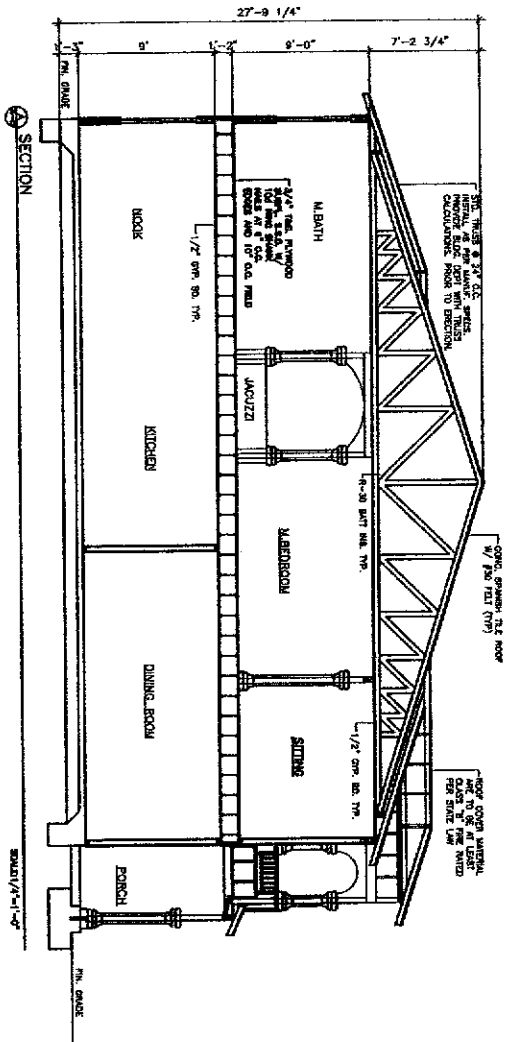
PROJECT:
JIMENEZ RESIDENCE
WEBB RD

SHEET TITLE:
2-FLOOR PLAN

DATE	12-1-71
NAME	JOE R.
AGE	
SEX	As Bldg
REMARKS	
A-4	



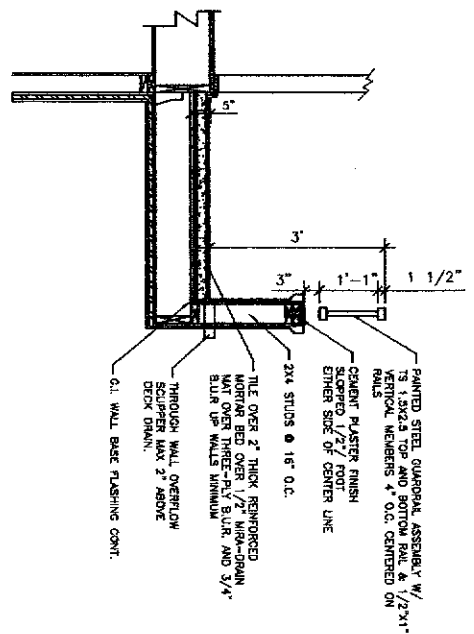
Order				
Ref				
RECORD				
A				



DESIGNED	DATE: 11/11/03 BY: J. J. J. J. FIRM: J. J. J. J.	OWNER:	J. J. J. J. 1111 N. N. N. N. (714) 555-5555	ENGINEER	J. J. J. J. 1111 N. N. N. N. (714) 555-5555	PROJECT:	JIMENEZ RESIDENCE WEBB RD	SHEET TITLE:	SECTIONS
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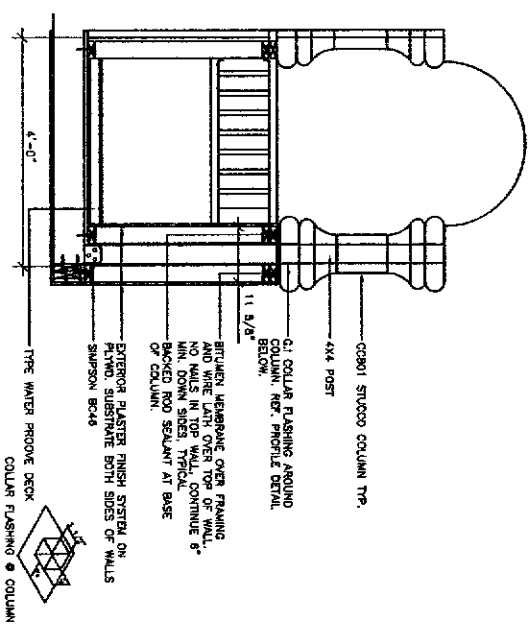
2
3
S-6
A-6

DETAIL
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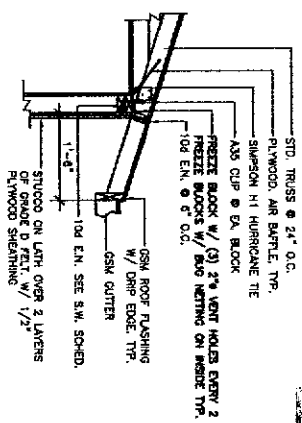
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DETAIL
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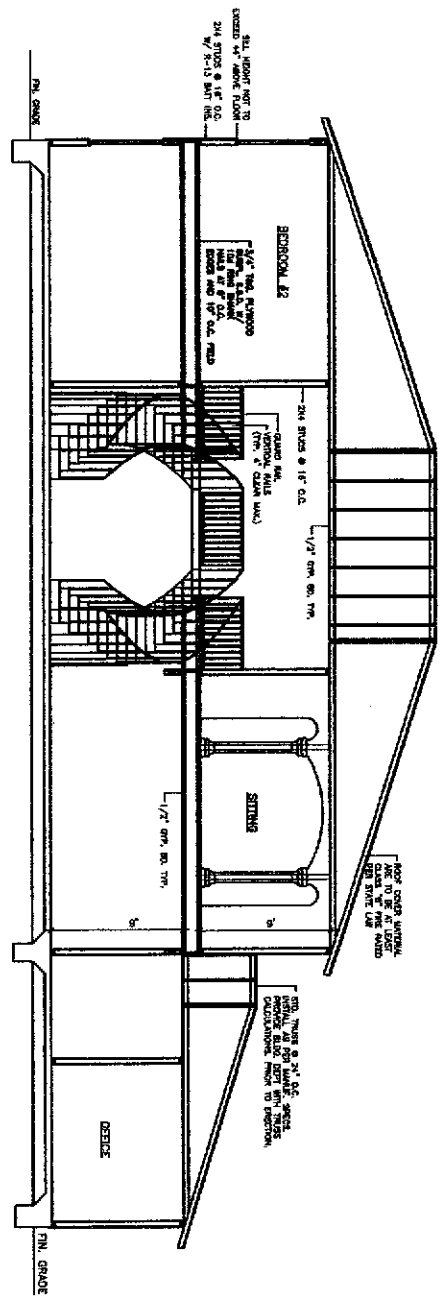


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1
S-6
A-6

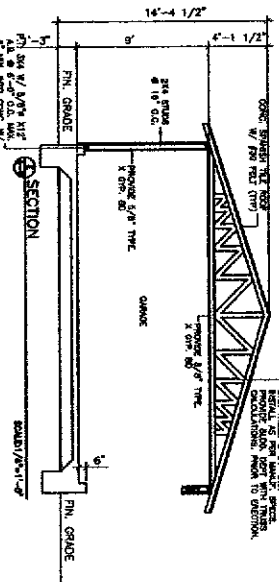
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SECTION



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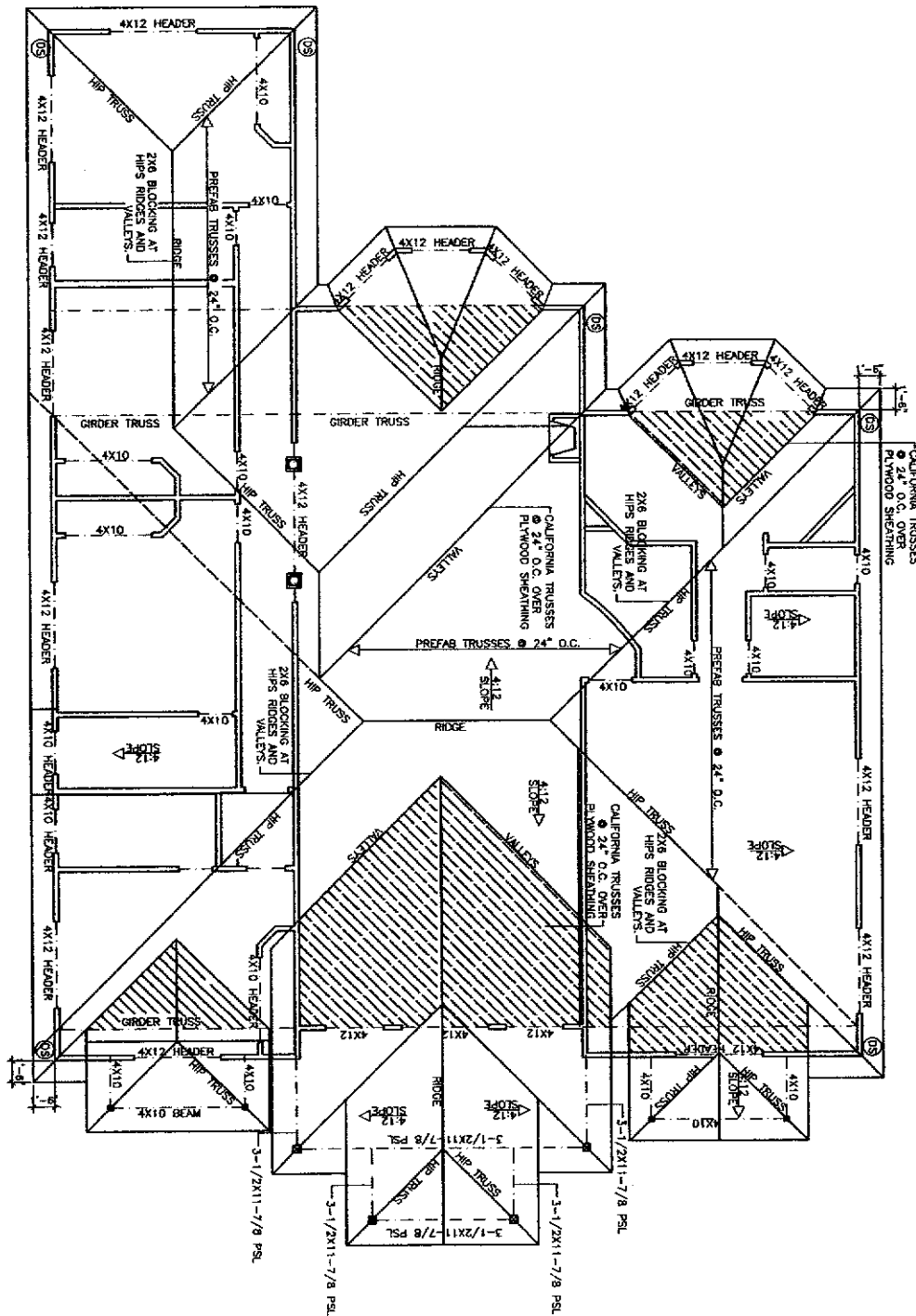


SECTION

SCALE: 1/8" = 1'-0"

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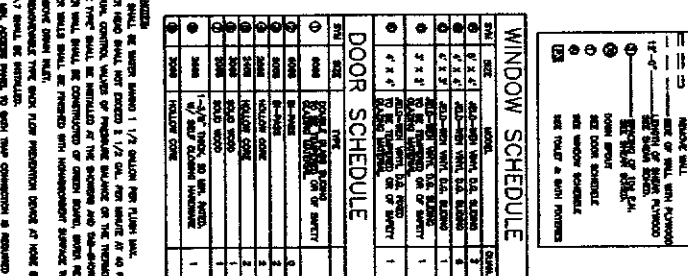
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JIMENEZ RESIDENCE	WEBB RD	WATSONVILLE, CA 93095	SECTIONS	
DATE: 10-10-97	DATE: 10-10-97	DATE: 10-10-97		
BY: J. JIMENEZ	BY: J. JIMENEZ	BY: J. JIMENEZ		
CHECKED: J. JIMENEZ	CHECKED: J. JIMENEZ	CHECKED: J. JIMENEZ		
APPROVED: J. JIMENEZ	APPROVED: J. JIMENEZ	APPROVED: J. JIMENEZ		
SCALE: 1/8" = 1'-0"	SCALE: 1/8" = 1'-0"	SCALE: 1/8" = 1'-0"		



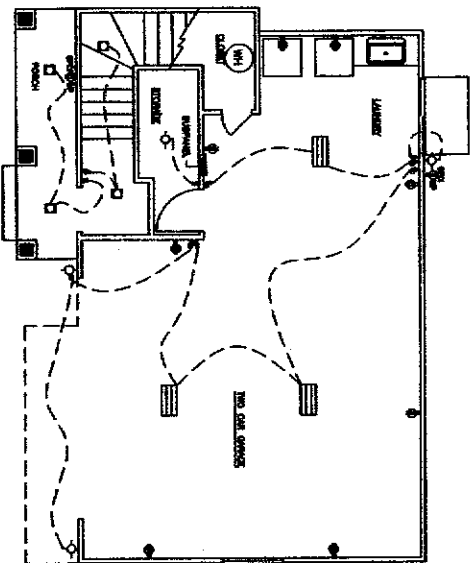
ROOF AND FRAMING PLAN

SCALE: 1/4"=1'-0"

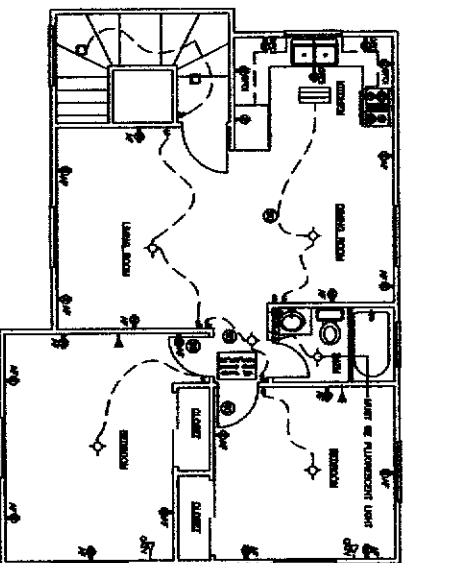
REVISIONS	DESIGNER: JACOB BAZZ 4000 TULANE BLVD SUITE 100 NEW ORLEANS, LA 70114 TEL: (504) 281-1000 FAX: (504) 281-1001	OWNER: JIMENEZ, JIMENEZ 3228 SAN LUCAS BL UNION CITY, CA 94588 TEL: (510) 388-8888 FAX: (510) 428-1424	ENGINEER: JAMES P. ARNOLD, JR. 3228 SAN LUCAS BL UNION CITY, CA 94588 TEL: (510) 388-8888 FAX: (510) 428-1424	PROJECT: JIMENEZ RESIDENCE WEBB RD WATSONVILLE, CA 95076	SHEET TITLE: ROOF FRAMING 15-13 DATE DRAWN CHECKED APPROVED A-1
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SECOND FLOOR PLAN



FIRST FLOOR ELECTRICAL PLAN



SECOND ELECTRICAL FLOOR PLAN

- [illegible]












[illegible]

- [illegible]



**TOILET/ BATH FIXTURES
& ACCESSORIES**

- [illegible]

ELECTRICAL SYMBOLS

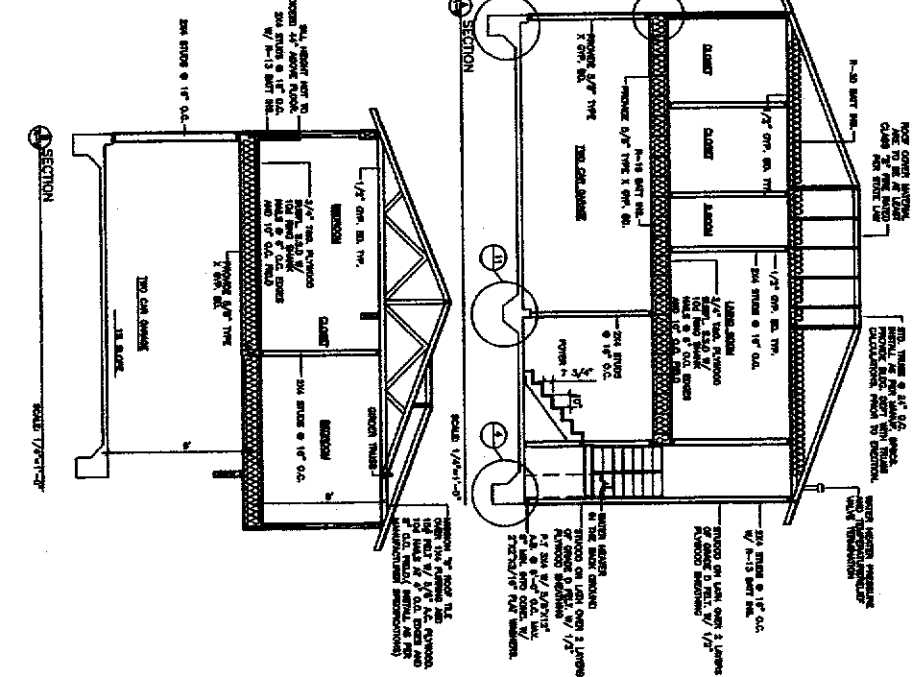
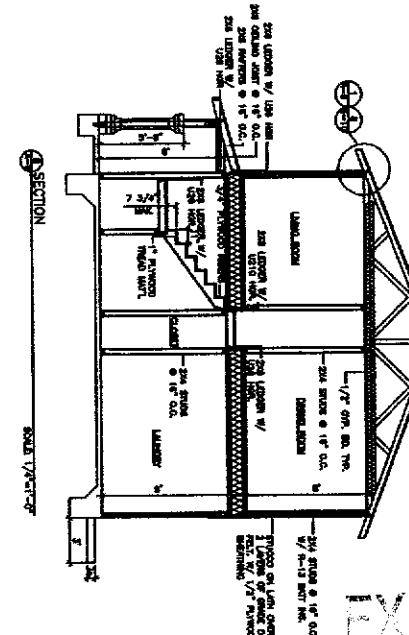
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 ORANGE PAUL COOKS INTERVIEW
 BANG, ONE TV RECEPTIONAL
 THREE-POLY SWITCH
 BOLD POLY SWITCH
 ORANGE-PAULS NEW STROVER LAMMERS UNIT PICTURE
 WALL-MOUNTED NEW STROVER LAMMERS UNIT PICTURE
 BRIGHT, ORANGE PAUL COOKS INTERVIEW
 REDUCED NEW STROVER LAMMERS
 OF STROVER LAMMERS
 FLUORESCENT UNIT PICTURE



EXHIBIT

NUMBERS	OWNER:	DESIGNEE
 	JOHN L. JAMES 1000 N. 10TH ST. SUITE 200 DENVER, CO 80202 TEL (303) 662-4444	JOHN L. JAMES 1000 N. 10TH ST. SUITE 200 DENVER, CO 80202 TEL (303) 662-4444
ENGINEER		
JAMES P. ARNETTE 3228 SAN LUCES UNION CITY, CA 9 TEL (510) 366-4 FAX: (510) 428-		

SHEET TITLE:
FLOOR PLAN

PROJECT:
JIMENEZ RESIDENCE
WEBB RD



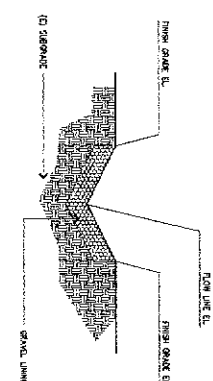
 	DESIGN JOHN TRENK 4000 N. HIGHWAY 1 TAMPA, FL 33610 TEL. (813) 886-	OWNER BENTLEY JOHNSON 1000 E. WINDY HILL WINDY HILL, MO (314) 801-77	ENGINE JAMES P. AR 3328 SAN L UNION CITY, TEL. (410) 3 FAX: (510) 4
--	--	---	---

PROJECT:
JIMENEZ RESIDENCE

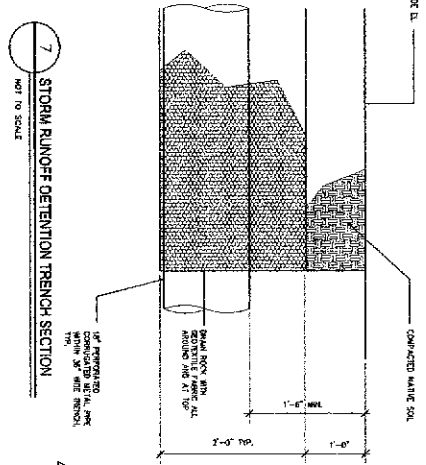
SHEET TITLE:
ELEVATIONS PLAN

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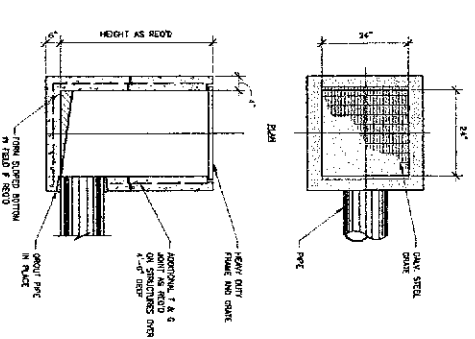
EXHIBIT H



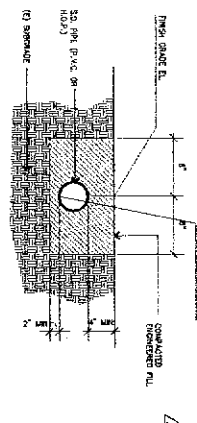
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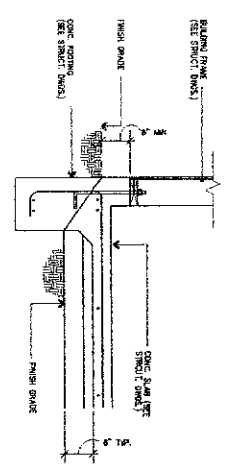
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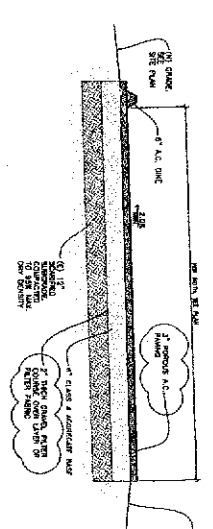
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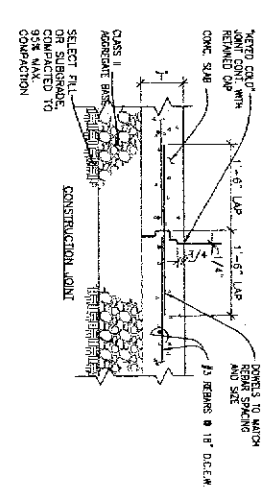
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5 GRADING SECTION AT CONCRETE SLAB
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1 TYP. A.C. DRIVEWAY SECTION
NOT TO SCALE



2 CONCRETE PAVEMENT JOINT DETAILS
NOT TO SCALE



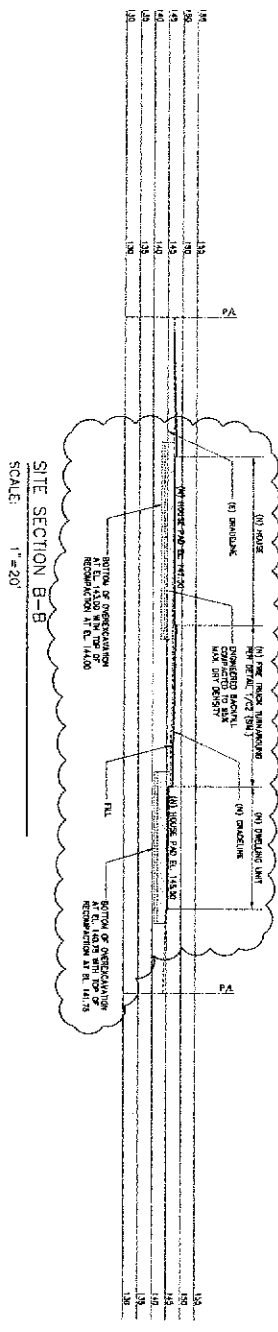
DESIGNER:	JOSÉ MATEO JOSÉ RODRÍGUEZ JOSÉ VILLALBA (510) 238-7272
OWNER:	MIGUEL JIMENEZ WATSONVILLE, CA 95076 (510) 407-7700
ENGINEER:	JAMES P. ADRIAN, SE 3228 SAN LUCES WAY UNION CITY, CA 94587 TEL: (510) 388-8589 FAX: (510) 429-1430
PROJECT:	JIMENEZ, S. RESIDENCE WEBB RD, WATSONVILLE, CA 95076
DATE:	11-18-07
BY:	JPA
SCALE:	AS NOTED
C-2	(Sheet 1)

DESIGNER:

JOSE RUIZ
30233 BROOKCREST LN
HAYWARD, CA 94544
(415) 425-7722

OWNER:

MIGUEL JIMENEZ
7000 HOLLYWOOD BLVD
WATSONVILLE, CA 95076
(408) 861-7760



JIMENEZ, S RESIDENCE
WEBB RD, WATSONVILLE, CA 95076

REVIEWED: 04-01-07

DATE: 04-01-07

BY: [Signature]