Staff Report to the Agricultural Policy Advisory Commission

Application Number: 141045

Applicant: Weston Miles Architects
Owner: Pacific Elementary School
APN: 058-082-01

Date: 7/17/14
Agenda Item #: 6
Time: 1:30 p.m.

Project Description: Proposal to demolish an existing portable classroom and existing building to construct a 3,442 square foot classroom building and associated improvements within 56 feet of an adjacent parcel zoned Commercial Agriculture. Requires an Agricultural buffer reduction to locate the class room building within the required 200 foot Agricultural setback.

Location: Project is located 50 Ocean Street, Davenport

Permits Required: Agricultural Buffer Setback Reduction

Staff Recommendation:

- Approval of Application 141045, based on the attached findings and conditions.

Exhibits

A. Project plans
B. Findings
C. Conditions
D. Assessor's, Location, Zoning, and General Plan maps
E. Comments & Correspondence

Parcel Information

Parcel Size:	1.34 acres
Existing Land Use - Parcel:	Institutional - Elementary school
Existing Land Use - Surrounding:	Residential and Commercial Agriculture
Project Access:	Ocean Street
Planning Area:	North Coast
Land Use Designation:	P-F (Public/Institutional Facilities)
Zone District:	PF (Public and Community Facilities)
Supervisorial District:	3rd District (District Supervisor: Coonerty)
Within Coastal Zone:	_X_ Inside __ Outside
Appealable to Calif. Coastal Comm.	__ Yes _X_ No

Services Information

Inside Urban/Rural Services Line:	_X_ Yes __ No
Water Supply:	Davenport
Sewage Disposal:	Davenport
Fire District:	County Fire
Drainage District:	Outside Flood Control District

Analysis and Discussion

The proposed project is to construct a one story classroom building of approximately 3,442 square feet on a 58,370 square foot (1.34 acre) parcel. The project is located at 50 Ocean Street in Davenport (Pacific Elementary School). The adjacent land zoned CA (APN 058-122-12) is mapped as containing Type 3 soils and development within 200 feet of such soils requires a 200 foot agricultural setback. The proposed building site is within 200 feet of Commercial Agricultural land to the north east. The applicant is requesting a reduction in the 200 foot agricultural buffer setback to 56 feet from APN 058-122-12.

The subject property is characterized by relatively flat topography. The parcel is located within the Rural Services Line and can be characterized as a rural residential neighborhood. The parcel is located within the Public/Institutional Facilities (P-F) General Plan designation and the implementing zone district is (PF) Public and Community Facilities and developed with an existing elementary school. Commercial Agriculture zoned land is situated within 200 feet at the north east side of the parcel at Assessor's Parcel Number 058-122-12.

A reduced agricultural buffer is recommended due to the fact that the proposed development is to replace two previously approved structures located in approximately the same location. The majority of the school campus including the outdoor play yard is located within the required 200 foot agricultural setback.

Existing vegetative and physical barriers exist between the proposed building site and adjacent lands zoned CA in the form of several mature pine trees, six-foot high chain link fence, and 40 foot wide right of way (Marine View Avenue). No changes to the fence are proposed to due to corner sight distance issues.

If the reduction is approved, the applicant will be required to record a Statement of Acknowledgement regarding the issuance of a development permit in an area determined by the County of Santa Cruz to be subject to Agricultural-Residential use conflicts.

Recommendation

- Staff recommends that your Commission **APPROVE** the Agricultural Buffer Reduction from 200 feet to about 56 feet to the proposed classroom from the adjacent CA zoned property known as APN 058-122-12, proposed under Application # 141045, based on the attached findings and recommended conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the

administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

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Report Reviewed By: Steven Guiney, AICP
Principal Planner
Development Review

PACIFIC SCHOOL - MEASURE M NEW CLASSROOM BUILDING

PACIFIC ELEMENTARY SCHOOL DISTRICT

50 OCEAN STREET, DAVENPORT, CA 95017

PTN # **69781-001**

SCOPE OF WORK

GENERAL PROJECT DESCRIPTION INCLUDES:

1. CONSTRUCTION OF NEW CLASSROOM BUILDING WITH FIRE SPRINKLER SYSTEM THROUGHOUT, (INCLUDING EXTENSION OF EXISTING FIRE SERVICE LINE.
2. EXTENSION OF UNDERGROUND SERVICES TO THE NEW BUILDING.
3. PROVIDE ADDITIONAL PARKING AND ACCESS TO NEW BUILDING.

THE INTENT OF THESE DWGS AND SPECIFICATIONS IS THAT THE WORK OF ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE W/TITLE 24, C.C.R. SHOULD ANY <E> CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY W/TITLE 24 C.C.R., A CHANGE ORDER, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE DIVISION OF THE STATE ARCHITECT BEFORE PROCEEDING W/WORK.

ABBREVIATIONS

ABV	above	DSA	division of the state architect	INCL	include (s), (ing)	RAD	radius
AFF	above finished floor	DR	door	ID	inside diameter	RAIL	rainwater leader
ACT	acoustic tile	DA	double acting	INT	interior	REF	reference
AP	acoustic panel	DH	double hung	INV	invert	REFL	reflect (d), (ing)
ACPL	acoustical plaster	DF	drinking fo	IPS	iron pipe size	REFR	refrigerator
ACT	acoustic tile	DBL PLT	double plate	INC AN	incandescent	REG	register
ACR	acrylic plastic	D	drain	JSA	jobsite/hazard sign assessment	RCP	reinforced cont pipe
ADD	aluminum	DWG	drawings			REM	remove
ADH	adhesive	DWR	drawer	JC	janitor's closet	REQ	required
ADJ	adjacent	DWG	drawing	JT	joint	RA	return air
AGG	aggregate			JP	joint paver	RVS	reverse (side)
A/C	air conditioning	EF	exhaust fan	J	jack	REV	revision (s), revised
ALT	alternate	EK	exit fixture			RH	right hand
ALUM	aluminum	ELEC	electric (al)	KPL	kickplate	ROW	right of way
ADA	americans disability assoc	EP	electrical panelboard	KIT	kitchen	R	riser
ANC	anchor, anchorage	EVOC	electric vehicle charger	KO	knock down	RD	roof drain
AB	anchor bolt	EL	elevation			RH	rime hatch
ANGD	angled	ELEV	elevator	LBL	label	RR	roof rafter
ARCH	architect (ural)	ENB	embedment	LAB	laboratory	RM	room
AD	area drain	EMER	emergency	LB	lag bolt	RO	rough opening
AT	asphalt concrete	EMT	electrical metallic tubing	LS	lag screw	RB	rubber base
AT	asphalt tile	EN	enclosure (ure)	LAM	laminate (d)	RBT	rubber tile
APM	asphalt paper mop	EQ	equal	LAV	lavatory		
AUTO	automatic	EQP	equipment	LH	left hand	SFGL	safety glass
		EST	estimate	L	length	SCCDE	santa clara county
		EXCA	excavate	LT	light		office of education
		EXH	exhaust	LW	lightweight	SCH	schedule
BA	ba th	E	existing	LMS	limestone	SCD	see civil drawings
BP	building paper	EXMP	exposed metal pipe	LRL	lintel	SSD	see structural drawings
B/MT	basement	EB	expansion bolt	LBS	pounds	SMD	see mechanical drawings
BRG	bearing	EXP	exposed	LVR	louver	SED	see electrical drawings
BPL	bearing plate	EXT	exterior			SEC	section
BM	beam mark	EXS	extra strong	MB	machine bolt	SMTH	sheetrock
BLW	below	EA	each	MC	malleable iron	SHT	sheet
BETW	between	EW	each way	MH	manhole	SH	shelf, shelving
BIT	bituminous			MHR	manufacturer (er)	SIM	similar
BLK	block	FB	face brick	MKB	marine	SB	solid block
BLKG	blocking	FOC	face of concrete	MAS	masonry	SC	solid core
BO	blowout	FOF	face of finish	MO	masonry opening	SP	soundproof
BS	both sides	FOM	face of masonry	MATL	material (s)	SPK	spacer
BW	both ways	FOS	face of stud	MAX	maximum	SPRK	sprinkler
BOT	bottom	FF	factory finish	MECH	mechanical	SPEC	specification (s)
BRK	brick	FN	fence	MC	medicine cabinet	SQ	square
BNZ	bronze	FBD	fiberboard	MTL	metal	SST	stainless steel
BLDG	building	FRP	fiber reinforced plastic	MTD	metal floor decking	STD	standard
BUR	built up roofing	FIN	finish (ed)	MRD	metal roof decking	STA	station
		FFE	finished floor elevation	MIN	minimum	STO	storage
CAB	cabinet	FPL	finished floor line	MIR	mirror	SD	storm drain
CAD	cadmium	FA	fire alarm	MISC	miscellaneous	STR	structural
CBC	california building code	FE	fire extinguisher	MOD	module	S/CT	structural clay tile
CPT	carpet (ed)	FEC	fire extinguisher cabinet	MLD	molding, molding	SUS	suspended
CSMT	casement	FPL	fireplace	MT	mount (ed), (ing)	SYM	symmetry (ical)
CT	cast iron	FP	fireproof	MOV	movable	STC	sound transmission
CIPC	cast in place concrete	FRC	fire resistant coating	MULL	mullion		class
CST	cast stone	FLG	flashing				
CB	catch basin	FLX	flexible	NL	nailable	TKBD	tackboard
CK	caulk (ing)	FLR	floor (ing)	NAT	natural	TKS	tackstrip
CLG	ceiling	FLCO	floor cleanout	IN	nose	TEL	telephone
CHT	ceiling height	FD	floor drain	NRC	noise reduction coefficient	TV	television
CI	ceiling joist	FLUSH	flushmount	NOM	nominal	TI	term (inal)
CEM	cement	FTR	flush tube	NTC	not in contract	TZ	terrazzo
CL	chain link fence	FTG	footing	NTS	not to scale	THK	thick (ness)
CER	ceramic	FND	foundation			TBD	threshold
CT	ceramic tile	HR	frame (d), (ing)	OBS	obscure	TPTN	toilet partition
CMT	ceramic mosaic (tile)	FRA	fresh air	OC	on center (s)	TPD	toilet paper dispenser
CHBD	chalkboard	FS	full size	OPG	opening	T&G	tongue and groove
CHAM	chamfer	FBO	furnished by others	OPH	opposite hand	TO	top of
CIR	circle	FUR	furred (ing)	OD	outside diameter	TB	towel bar
CIRC	circulation	FUT	future	OA	overall	TR	transom
CLR	clear (ance)			OH	overhead	T	travel
CO	clean out	GA	gage	OV	over	TYP	typical
CLS	closure	GALV	galvanized				
CMPS	cold formed steel	GI	galvanized iron	PBT	paint (ed)	UMC	uniform mechanical code
	high performance schools	GP	galvanized pipe	PNL	panel	UBC	uniform building code
COL	column	GKT	gasket (ed)	PB	panic bar	UPC	uniform plumbing code
COMB	combination	GC	general contract (or)	PTD	paper towel dispenser	UFC	uniform fire code
COMPT	compartment	GL	glass, glazing	PTR	paper towel receptor	UN	union
COMPO	composition (composite)	GLB	glass block	PAR	parallel	UNO	unless noted otherwise
COMP	compress (ed), (ion), (able)	GB	gypsum bd	PK	parking		
CONC	concrete	GD	grade (ing)	PBD	particle board	VCT	vinyl composition tile
CMU	concrete masonry unit	GRN	granite	PTN	partition	VB	vapor barrier
CONST	construction	GVL	gravel	PVT	point of interest	VERT	vertical
CONT	continue (ous)	GT	grout	PV	pave (d), (ing)	VTR	vent through roof
CONTR	contract (or)	GPDW	gypsum drywall	PVMT	pavement		
CJ	control joint	GPL	gypsum lath	PED	pedestal	WC	water closet
CPR	copper	GPM	gypsum plaster	PERF	perforate (d)	WCO	wall cleanout
CC	corner guard	GFCI	ground fault circuit interrupt	PERIM	perimeter	WD	wood
CORR	corrugated	GYP	gypsum	PA	painting area	WGL	wire glass
CTR	counter			PLAS	plaster	WH	water heater
CFL	counterflashing	H	high	PLAN	plastic laminate	WI	wrought iron
CRS	course (s)	HM	hollowmetal	PLT	plate	WIND	window
CRG	cross grain	HBD	hardboard	PG	plate glass	WP	waterproof
CFT	cubic foot	HDW	hardware	PLWD	plywood	WR	water resistant
CYD	cubic yard	HDWD	hardwood	PVC	polyvinyl chloride	WSCT	wainscot (ing)
CW	cutter line	HTT	heat trace	PSF	pounds per square foot	W/	with
CP	cutwell plaster	HDR	header	PCC	precast concrete	W/O	without
		HTG	heating	PFN	prefinished		
DFR	damper	HVAC	heating/ventilation/ air conditioning	PRF	preformed		
DP	damp proofing			PRHC	pre formed metal cable		
DEMO	demolish, demolition	HD	heavy duty	PTN	project locating number		
DMT	demountable	HT	height	PL	property line, plate		
DEP	department	HR	hour (s)				
DTL	detail	HES	high early strength cement	QT	quarry tile		
DIAG	diagonal	HC	hollow core				
DIA	diameter	HM	hollow metal				
DIM	dimension	HK	hook (s)				
DTR	dispenser	HOR	horizontal				
DIV	division	HB	hose bibb				

SHEET LEGEND

ARCHITECTURAL	A0.1	TITLE SHEET
SURVEY		BOUNDRY AND TOPOGRAPHIC SURVEY
ARCHITECTURAL	A1.0	EXISTING & DEMO SITE PLAN
	A1.1	OVERALL SITE PLAN
	A1.2	FIRE ACCESS
	A1.3	GRADING PLAN
	A1.4	ENLARGED SITE PLAN
	A1.5	SITE DETAILS
	A1.6	SITE DETAILS
	A1.7	EROSION CONTROL DETAILS
	A2.1	FLOOR PLAN
	A2.6	ROOF PLAN
	A3.1	EXTERIOR ELEVATIONS
	A4.1	BUILDING SECTIONS
	A6.1	DOOR & WINDOW SCHEDULE
	A6.2	DOOR & WINDOW DETAILS
	A7.1	WALL TYPES & DETAILS
	A7.2	WALL DETAILS
	A8.1	ROOF DETAILS

THESE DWGS ARE ACCOMPANIED W/A PROJECT MANUAL. IN THE EVENT OF DISCREPANCIES, THE PROJECT MANUAL SHALL PREVAIL.

SYMBOLS

- DESCRIBES AN "AREA" OR "FIELD"
- RM NAME / 101 — ROOM NAME / ROOM NUMBER
- ELEVATION — Elevation Reference Number / Sheet Number when shown
- SECTION — Section Reference Number / Sheet Number when shown
- ROOM ELEVATION — Detail Reference Number / Elevation Reference Number / Sheet Number where shown
- TYPICAL DETAIL — Detail Reference Number / Sheet Number where shown
- PHOTO REFERENCE — Direction Indicator / Detail Reference Number / Sheet Number where shown
- TYPICAL COLUMN or SHEAR LINE — Column or Shear Line Designation / Center Line of Column or Shear Wall
- TRUE NORTH / NORTH REF. — NORTH ARROW

BUILDING & SITE DATA

OCCUPANCY TYPE:	E
NUMBER OF STORIES:	1
TYPE OF CONSTRUCTION:	V-B
ALLOWABLE SQ.FT. (TABLE 503)	9,500
ACTUAL SQ.FT. (BLDG #1 + BLDG #10)	4,382
APN #	058-082 01
SITE ACREAGE	1.340

FOR COUNTY OF SANTA CRUZ:

SCHOOL HOURS OF OPERATION	8AM - 3PM
NUMBER OF EMPLOYEES	13
EMPLOYEE PARKING REQ'D (0.3/EMP)	4

DSA ADMIN REQUIREMENTS

1. A COPY OF PARTS 1 AND 2, TITLE 24, C.C.R. SHALL BE KEPT ON THE JOB SITE AT ALL TIMES.
2. ALL CHANGE ORDERS AND ADDENDA TO BE SIGNED BY ARCHITECT AND THE OWNER AND APPROVED BY DSA. CHANGE ORDERS AND ADDENDA ARE NOT VALID UNTIL APPROVED BY DSA PER SECTION 4-338, PART 1, TITLE 24.
3. ALL TESTS TO CONFORM TO THE REQUIREMENTS OF SECTION 4-335, PART 1, TITLE 24, AND APPROVED TESTS AND INSPECTIONS SHEET.
4. TESTS OF MATERIALS AND TESTING LABORATORY SHALL BE IN ACCORDANCE WITH SECTION 4-335, PART 1, TITLE 24 AND THE DISTRICT SHALL EMPLOY AND PAY THE LABORATORY. COSTS OF RE-TEST SHALL BE PER GENERAL CONDITIONS.
5. DSA SHALL BE NOTIFIED AT THE START OF CONSTRUCTION AND PRIOR TO THE PLACEMENT OF CONCRETE PER SECTION 4-331, PART 1, TITLE 24.
6. INSPECTOR SHALL BE APPROVED BY DSA. INSPECTION SHALL BE IN ACCORDANCE WITH SECTION 4-333(b). THE DUTY OF THE INSPECTOR SHALL BE IN ACCORDANCE WITH SECTION 4-342, PART 1, TITLE 24.
7. SUPERVISION OF CONSTRUCTION BY DSA SHALL BE IN ACCORDANCE WITH SECTION 4-334, PART 1, TITLE 24.
8. CONTRACTOR, INSPECTOR, ARCHITECT, AND ENGINEERS SHALL SUBMIT VERIFIED REPORTS (FORM SSS-6) IN ACCORDANCE WITH SECTION 4-336 AND 4-343, PART 1, TITLE 24.
9. THE ARCHITECT AND THE STRUCTURAL ENGINEER SHALL PERFORM THEIR DUTIES IN ACCORDANCE WITH SECTIONS 4-333(a) AND 4-341, PART 1, TITLE 24.
10. THE CONTRACTOR SHALL PERFORM HIS DUTIES IN ACCORDANCE WITH SECTION 4-336 AND 4-343, PART 1, TITLE 24
11. DSA NOT SUBJECT TO ARBITRATION

CONTACTS

OWNER
PACIFIC ELEMENTARY SCHOOL DISTRICT
50 OCEAN STREET
DAVENPORT, CA 95017

ATTN: ERIC BITTER
PHONE: 1-831-425-7002
FAX: 1-831-425-3506

ARCHITECT
WESTON MILES ARCHITECTS, INC.
17590 DEPOT STREET, SUITE #120
MORGAN HILL, CA 95037

ATTN: LESLEY MILES, A.I.A.
PHONE: 1-408-779-6686
FAX: 1-408-778-9417
EMAIL: nathan@wmarchitects.com

STRUCTURAL
HOHBACH-LEWIN, INC.
250 SHERIDAN AVENUE, SUITE 150
PALO ALTO, CA 94306

ATTN: DAN LEWIN
PHONE: 1-650-617-5930
FAX: 1-650-617-5932

MECHANICAL/ PLUMBING
H&M MECHANICAL GROUP
8517 EARHART RD., #230
OAKLAND, CA 94621

ATTN: GARY HENNINGS
PHONE: 1-510-569-2000
FAX: 1-510-569-2002

ELECTRICAL
AURUM CONSULTING ENGINEERS
60 GARDEN COURT, SUITE 210
MONTEREY, CA 93940

ATTN: ELDRIDGE BELL
PHONE: 1-831-646-3330
FAX: 1-831-646-3336

GEOTECHNICAL
PACIFIC CREST ENGINEERING, INC
444 AIRPORT BLVD, SUITE 106
WATSONVILLE, CA 95076

ATTN: ELIZABETH MITCHELL
PHONE: 1-831-722-9446
FAX: 1-831-722-9158

CODE COMPLIANCE

ALL WORK & MATERIAL SHALL BE PERFORMED & INSTALLED IN COMPLIANCE WITH THE FOLLOWING CODES AS ADOPTED AND AMENDED BY THE GOVERNING JURISDICTION. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CALIFORNIA CODES. EFFECTIVE JANUARY 1, 2014

2013 BLDG STANDARD ADMIN. CODE, PART 1, TITLE 24 CCR

2013 CALIFORNIA BLDG CODE (CBC), PART 2, TITLE 24, CCR (2006 INTERNATIONAL BLDG CODE, W/2010 AMENDMENTS)

2013 CALIFORNIA ELECTRICAL CODE (CEC), PART 3,TITLE 24 CCR (2008 NATIONAL ELECTRICAL CODE, W/2010 CA AMENDMENTS)

2013 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24 CCR (2009 UNIFORM MECHANICAL CODE, W/2010 CA AMENDMENTS)

2013 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 CCR (2009 UNIFORM PLUMBING CODE, W/2010 CA AMENDMENTS)

2013 CALIFORNIA ENERGY CODE (CENC), PART 6, TITLE 24 CCR

2013 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24 CCR (2009 INTERNATIONAL FIRE CODE, W/2010 CA AMENDMENTS)

CCR TITLE 19, PUBLIC SAFETY, STATE FIRE REGULATIONS

2013 NFPA 13, INSTALLATION OF SPRINKLER SYST. (CA AMENDED)

2013 NFPA 14, INSTALLATION OF STANDPIPE & HOLD SYSTEMS (CA AMENDED)

2013 NFPA 17, DRY CHEMICAL EXTINGUISHING SYSTEMS

2013 NFPA 17A, WET CHEMICAL EXTINGUISHING SYSTEMS

2013 NFPA 20, INSTALLATION OF STATIONARY PUMPS FOR FIRE PROTECTION

2013 NFPA 22, WATER TANKS FOR PRIVATE FIRE PROTECTION

2013 NFPA 24, INSTALLATION OF PRIVATE FIRE SERVICE MAINS & THEIR APPURTENANCES (CA EDITION)

2014 NFPA 25, INSPECTION, TESTING, MAINTENANCE OF WATER BASED FIRE PROTECTION SYSTEMS (CA AMENDED)

2013 NFPA 72, NATIONAL FIRE ALARM CODE (CA AMENDED; SEE UL STD 1971 FOR "VISUAL DEVICES")

2013 NFPA 80, FIRE DOORS AND OTHER OPENING PROTECTIVES

2013 NFPA 110, EMERGENCY AND STANDBY POWER SYSTEMS

2012 NFPA 170, STANDARD FOR FIRE SAFETY & EMERGENCY SYMBOLS

SFM 12-10-1, POWER OPERATED EXIT DOORS

SFM 12-10-2, SINGLE POINT LATCHING OR LOCKING DEVICES

SFM 12-10-3, EMERGENCY EXIT & PANIC HARDWARE

UL 38, MANUAL OPERATING SIGNAL BOXES (2008 EDITION)

UL 268, SMOKE DETECTORS FOR FIRE PROTECTIVE SIGNALING SYSTEMS (2009 EDITION)

UL 268A, SMOKE DETECTORS DUCT APPLICATIONS (2008 EDITION)

UL 300, FIRE TESTING OF FIRE EXTINGUISHING SYST. FOR PROTECTION OF RESTAURANT COOKING AREAS (2005 EDITION)

UL 305, PANIC HARDWARE (2012 EDITION)

UL 464, AUDIBLE SIGNAL APPLICATIONS (2009 EDITION)

UL 521, HEAT DETECTORS FOR FIRE PREVENTING SIGNALING SYSTEM (1999 EDITION)

UL 864, CONTROL UNITS FOR FIRE PROTECTIVE SIGNALING SYSTEMS (2003 EDITION WITH REVISIONS THROUGH JULY 14,2005)

AMERICANS W/DISABILITIES ACT (ADA), TITLE II OR TITLE III

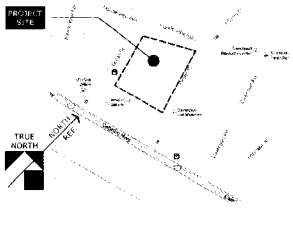
FOR TITLE II: UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) OR ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36).

FOR TITLE III: ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36)

COMPLIANCE WITH CFC CHAPTER 14 "FIRE SAFTEY DURNING CONSTRUCTION AND DEMOLITION" & CBC CHAPTER 13 WILL BE ENFORCED

EMERGENCY VEHICLE ACCESS ROADS AND ON SITE FIRE HYDRANTS SHALL BE IN SERVICE AND OPERABLE PRIOR TO LOADING THE SITE WITH COMBUSTABLE MATERIALS.

VICINITY MAP



WESTON MILES
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Morgan Hill, CA 95037
T • 408 • 779 • 6686
• Architecture • Landscape •

FILE # 14 - 36
IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
OFFICE OF REGULATION SERVICES
01-
AL FES SS
DATE

TITLE SHEET

PACIFIC SCHOOL - MEASURE M NEW CLASSROOM BUILDING

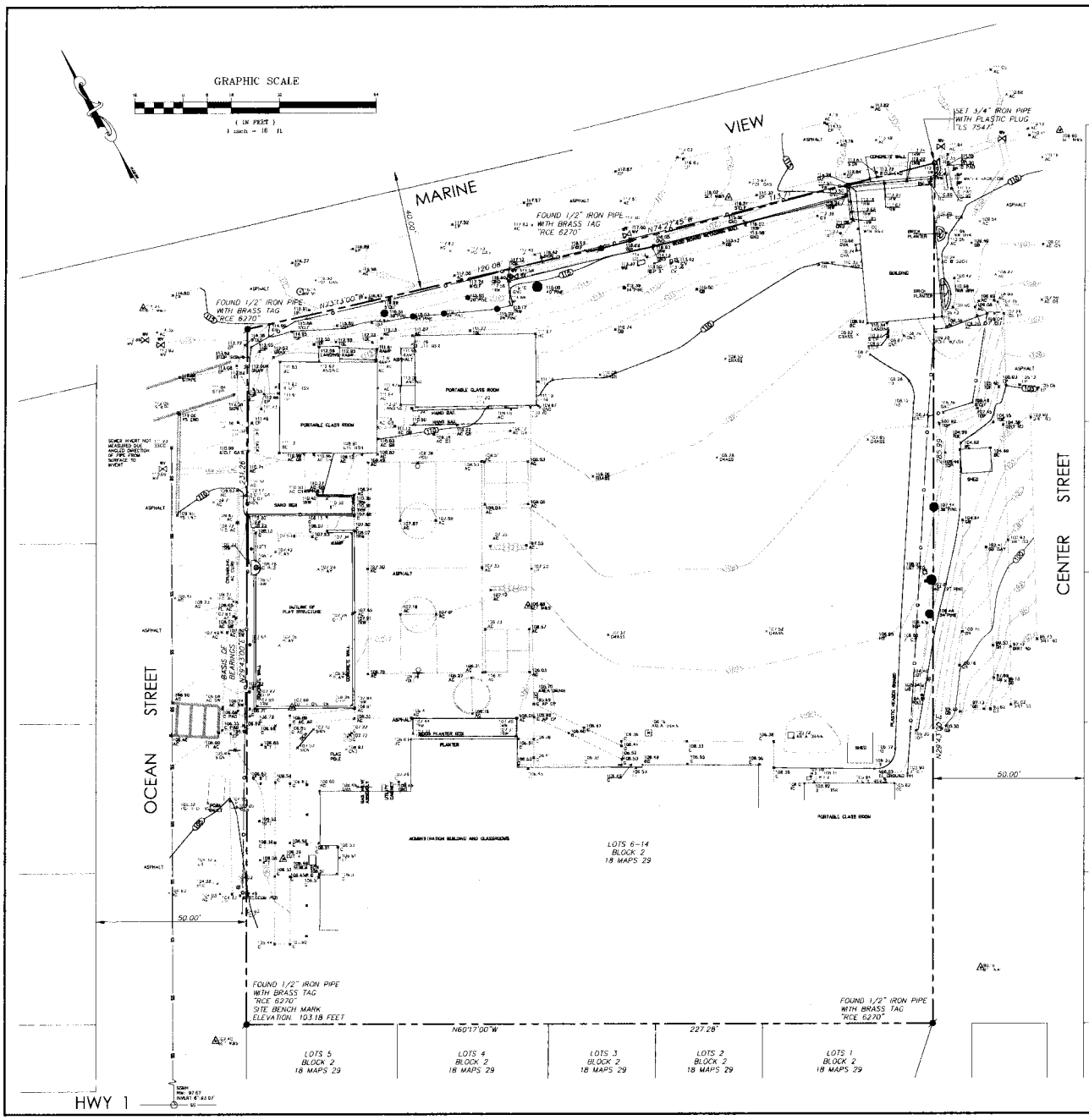
PACIFIC ELEMENTARY SCHOOL DISTRICT
50 OCEAN STREET DAVENPORT, CA 95017
APN: 058-082-01

2014

03/13/2014

13018

A0.1



LEGEND:

BOUNDARY LINE	
CENTER LINE	
EASEMENT LINE	
GRADE BREAK LINE	
OH	OVERHEAD ELECTRICAL LINES
SS	SANITARY SEWER LINE
SD	STORM DRAIN LINE
100	CONTOUR LINE (CONTOUR INTERVAL = 1')
O	CHAIN LINK FENCE
	FOUND MONUMENT AS DESCRIBED
	SURVEY CONTROL POINT AS DESCRIBED
	SET PROPERTY CORNER AS DESCRIBED
	WATER VALVE
	AREA LIGHT

AC	ASPHALT
AD	AREA DRAIN
AR	ACCESSIBILITY RAMP
BC	BUILDING CORNER
BFP	BACK FLOW PREVENTOR
BP	BOLLARD POST
BRC	BACK OUT CURB
BRK	BRICK
C	CONCRETE
CB	CATCH BASIN
CL	CHAIN LINK FENCE
CO	CLEAN OUT
EB	ELECTRIC BOX
EL	ELECTRIC
EM	ELECTRIC METER
ER	ELECTRIC TANK
ER	ELECTRIC RISER
FL	FLOW LINE
FTR	FOOTER
GB	GRADE BREAK
GM	GAS METER
GR	GAS RISER
GVA	GAS VALVE ASSEMBLY
GW	GUY WIRE
HB	HINGED BOARD
HYD	HYDRANT
IRV	IRRIGATION CONTROL VALVE
INV	INVERT ELEVATION
IP	IRON PIPE
IRB	IRRIGATION CONTROL BOX
JP	JOINT UTILITY POLE
LGT	LIGHT
LTP	PARKING LOT OVERHEAD
LTS	PARKING LOT STREET
MON	SURVEY MONUMENT
OH	OVERHEAD UTILITY LINES
PBM	PACIFIC BELL MANHOLE
PED	PEDESTAL
RCP	ROLLED CONCRETE PIPE
RD	ROAD
RIM	MANHOLE RIM ELEVATION
RSR	QUALITY RISER
RW	REDWOOD TREE
SG	TRAFFIC SIGNAL BOX
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEAN OUT
SSMH	SANITARY SEWER MANHOLE
SW	SIDEWALK
	TREE (SPECIES NOT IDENTIFIED)
TC	TOP FACE OF CURB
TE	TOE OF SLOPE
TS	TOP OF SLOPE
TC	TOP OF ROLL TYPE CURB
TRW	TOP OF RETAINING WALL
TS	TRAFFIC SIGNAL
UB	UTILITY BOX
VCP	VITRIFIED CLAY PIPE
WF	WATER FAUCET
WM	WATER METER
WTR	WATER
WV	WATER VALVE
XFMR	TRANSFORMER

BENCH MARK:

PER NOTE(2) OF SITE PLAN NOTES ON SHEET A-2 DATED 9-27-77 OF THE ARCHITECTURAL PLAN SET ENTITLED "PACIFIC ELEMENTARY SCHOOL"

VERTICAL DATUM IS USGS BASED ON USGS BRONZE DISC IN TOP OF HEAD WALL STATE HIWAY STATION 15+08, ELEVATION +92.63. SET TEMPORARY BENCH MARK ON TOP OF SOUTHWEST PROPERTY CORNER, ELEVATION 103.18 FEET

BASIS OF BEARINGS:

THE BEARING "NORTH 29°43' EAST" BEING THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF OCEAN STREET AS SHOWN ON 18 MAPS 29, SANTA CRUZ COUNTY RECORDS WAS USED FOR THE BASIS OF ALL BEARINGS SHOWN ON THIS MAP.

UTILITY NOTE:

THE UTILITIES SHOWN ON THIS PLAN ARE DERIVED FROM SURFACE OBSERVATION AND ARE APPROXIMATE ONLY. ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN, SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR DURING CONSTRUCTION.

COPYRIGHT NOTE:

TREE NOTE:

TREE TYPES AND SIZE ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL TYPE OF TREE, TREE SHAPE, AND GROVE CONFIGURATION MAY VARY FROM ACTUAL FIELD CONDITIONS. NO WARRANTIES ARE IMPLIED IN REGARD TO TREE INFORMATION.

TITLE NOTE:

NO ABSTRACT OF TITLE, NOR TITLE COMMITMENT, OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO CHAPPELL SURVEYING SERVICES. THERE MAY EXIST DOCUMENTS OF RECORD THAT MAY AFFECT THIS SURVEYED PARCEL.

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION.

Brett J. Chappell

BRETT J. CHAPPELL
PROFESSIONAL LAND SURVEYOR
LICENSE NUMBER 7547
RENEWAL DATE DECEMBER 31, 2013

NOVEMBER 13, 2013
DATE

LICENSED LAND SURVEYOR
BRETT J. CHAPPELL
Exp. 12-31-2013
No. 7547
STATE OF CALIFORNIA

CHAPPELL SURVEYING SERVICES
680 ESTHER WAY OAKDALE, CA 95361
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BOUNDARY AND TOPOGRAPHIC SURVEY
PACIFIC ELEMENTARY SCHOOL
50 OCEAN STREET

COUNTY OF SANTA CRUZ
STATE OF CALIFORNIA

DAVENPORT

Date	11/7/13
Scale	1"=16'
Design	BJC
Drawn	BJC
Approved	BJC
Job No.	2013045

Revisions | No.

Drawing: 201304STP

1 OF 1

EXISTING & DEMO SITE PLAN
SCALE: 1" = 20' (1)

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY LOCATION OF ALL <E> ABOVE GROUND UTILITIES AND PROVIDE FOR THEIR TEMPORARY DISCONNECTION, PROTECTION, REMOVAL AND/ OR STORAGE AS MAY BE REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH THE COUNTY/DISTRICT TO DETERMINE WHETHER TEMPORARY SERVICES ARE NECESSARY.
2. ALL SPOILS, DEBRIS, AND INCIDENTAL ITEMS SHALL BE HAULED OFF SITE BY CONTRACTOR AND BE DISPOSED OF IN A LAWFUL MANNER AS IT ACCUMULATES.
3. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE IN ANY WAY, ANY EXISTING ELEMENTS NOT DESIGNATED FOR REMOVAL. SUCH DAMAGE IS THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE COUNTY/DISTRICT.
4. COORDINATE SHUT-OFF OF ALL UTILITIES PRIOR TO ANY DEMOLITION.
5. CONTRACTOR IS TO PROTECT AND KEEP <E> TREES NOT MARKED FOR REMOVAL OR RELOCATION.
6. THE <E> BUILDINGS ARE TO REMAIN IN USE DURING CONSTRUCTION.
7. THE SITE MUST BE CLEANED AT THE END OF EACH BUSINESS DAY.
8. CONTRACTOR TO MAINTAIN A SAFE, SECURE SITE.
9. THIS DRAWING IS TO OUR BEST KNOWLEDGE AND REFLECTS THE <E> SITE CONDITIONS.

DEMOLITION KEY NOTES

01 REMOVE <E> 18" PINE TREE
02 REMOVE <E> 14" PINE TREE
03 REMOVE <E> ELECTRICAL METER
04 REMOVE <E> 2' 6" HIGH WOOD RETAINING WALL
05 REMOVE PORTION OF <E> CONDUIT AND REROUTE
06 REMOVE <E> 6' 0" CHAIN LINK FENCE
07 RELOCATE <E> FIRE WATER BACKFLOW PREVENTER
08 REMOVE <E> GAS METER
09 SAWCUT AND REMOVE <E> ASPHALT CONCRETE
10 REMOVE <E> BASKETBALL HOOP POST AND PATCH ASPHALT

KEY NOTES

10 <E> 30" PINE TREE
11 <E> 18" PINE TREE
12 <E> 40" PINE TREE
13 <E> 14" PINE TREE
14 <E> 10" TREE
15 <E> 6'-0" CHAIN LINK FENCE
16 <E> ELECTRICAL METER
17 <E> GAS METER
18 <E> AREA DRAIN
19 <E> 4" SANITARY SEWER LINE
20 <E> 12" CONCRETE WALL
21 <E> 2'-6" CONCRETE WALL W/ 42" CHAIN LINK FENCE ABOVE
22 <E> WATER METER AND BACKFLOW PREVENTER

SYMBOL LEGEND

PROPERTY LINE
ITEMS TO BE DEMOLISHED OR RELOCATED
BLDG # <E> BLDG TO BE REMOVED / DEMOLISHED
BLDG # <E> BLDG TO REMAIN
<E> GRASS FIELD
<E> GROUND COVER, SHRUBS, AND PLANTS
<E> ASPHALT CONCRETE TO BE REMOVED

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EXISTING & DEMO SITE PLAN

PACIFIC SCHOOL - MEASURE M NEW CLASSROOM BUILDING

PACIFIC ELEMENTARY SCHOOL DISTRICT
50 OCEAN STREET, DAVENPORT, CA 95017
APN: 058-082-01

2014
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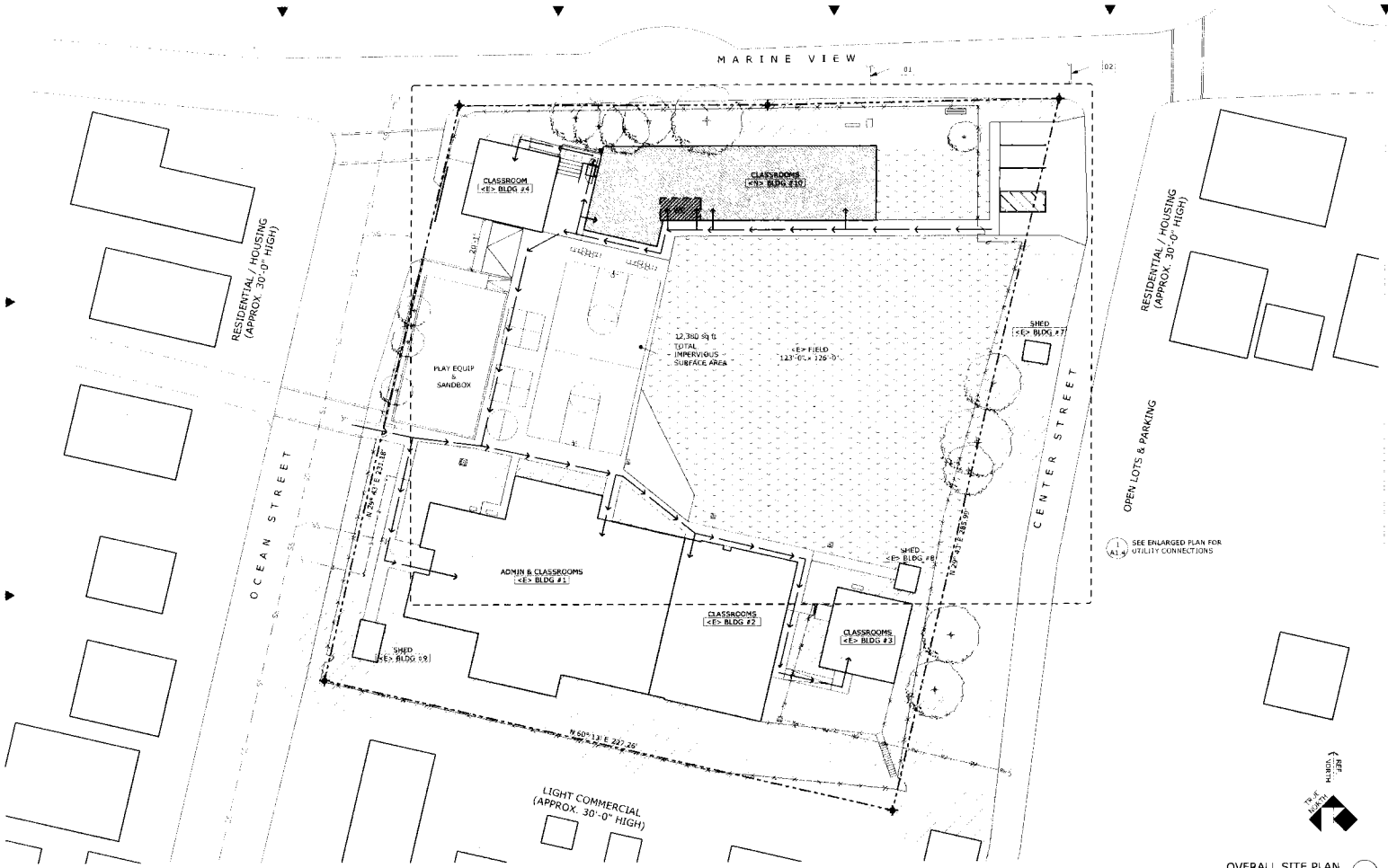

OVERALL SITE PLAN 1
SCALE: 1" = 20'

GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING:
   A. APPLICABLE SECTIONS OF THE STATE OF CALIFORNIA'S DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, LATEST EDITION, HEREINAFTER CALLED "CALTRANS";
   B. CALIFORNIA PLUMBING CODE AND CALIFORNIA BUILDING CODE PROVISIONS;
   C. AWWA STANDARD SPECIFICATIONS;
   D. STANDARDS OF THE UNITED STATES DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION, OFFICE OF STANDARDS AND RULES OF THE STATE DIVISION OF INDUSTRIAL SAFETY;
   E. THESE PLANS AND DETAILS SHOWN HEREON. WHERE CONFLICTS EXIST BETWEEN ANY OF THE ABOVE LISTED SPECIFICATIONS THE MOST STRINGENT SPECIFICATION SHALL PREVAIL.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL <E> ABOVE GROUND UTILITIES AND PROVIDE FOR THEIR TEMPORARY DISCONNECTION, PROTECTION, REMOVAL AND/ OR STORAGE AS MAY BE REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH THE COUNTY/DISTRICT TO DETERMINE WHETHER TEMPORARY SERVICES ARE NECESSARY.
3. ALL SPOILS, DEBRIS, AND INCIDENTAL ITEMS SHALL BE HAULED OFF SITE BY CONTRACTOR AND BE DISPOSED OF IN A LAWFUL MANNER AS IT ACCUMULATES.
4. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE IN ANY WAY, ANY EXISTING ELEMENTS NOT DESIGNATED FOR REMOVAL. SUCH DAMAGE IS THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE COUNTY/DISTRICT.
5. COORDINATE SHUT-OFF OF ALL UTILITIES PRIOR TO ANY DEMOLITION.
6. CONTRACTOR IS TO PROTECT AND KEEP <E> TREES NOT MARKED FOR RELOCATION OR REMOVAL.
7. THE SITE MUST BE CLEANED AT THE END OF EACH BUSINESS DAY.
8. CONTRACTOR TO MAINTAIN A SAFE, SECURE SITE.
9. THIS DRAWING IS TO OUR BEST KNOWLEDGE AND REFLECTS THE <E> SITE CONDITIONS.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE ALL PERMITS NECESSARY TO PERFORM THE WORK, INCLUDING BUT NOT LIMITED TO WORK IN THE PUBLIC RIGHT OF WAY, TREE REMOVAL, AND UTILITY MODIFICATIONS.
11. ALL KNOWN EXISTING UTILITY LINES ARE SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING UTILITY LINES OR FACILITIES TO REMAIN IN PLACE, WHETHER OR NOT SUCH LINES OR FACILITIES ARE SHOWN ON THESE PLANS, AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO. CONTRACTOR IS ADVISED TO CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 642-2444 OR A PRIVATE UNDERGROUND LOCATER SERVICE (AT CONTRACTOR'S EXPENSE) AND THE AFFECTED UTILITY COMPANY FOR MARKING UNDERGROUND LINES PRIOR TO BEGINNING WORK.
12. TO REDUCE CONSTRUCTION DUST THESE CONTROL MEASURES SHALL BE REQUIRED DURING DEMOLITION/CONSTRUCTION
    - WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY
    - COVER ALL TRUCKS HAULING SOIL, SAND, OR LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
    - SWEEP STREET DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED INTO ADJACENT PUBLIC STREETS.
    - ENCLOSE, COVER, WATER TWICE DAILY OR APPLY NON-TOXIC SOIL BINDERS TO EXPOSED STOCKPILES (DIRT, SAND, ETC.)

SYMBOL LEGEND

- PROPERTY LINE
- BLDG # — (N) BLDG
- BLDG # — <E> BLDG
- <E> GRASS FIELD
- <E> GROUND COVER, SHRUBS, AND PLANTS
- ACCESSIBLE PATH OF TRAVEL
- BATHROOMS LOCATED WITHIN BLDG
- SS — SANITARY SEWER (BELOW GRADE)
- CW — COLD WATER (BELOW GRADE)
- G — GAS (BELOW GRADE)
- E — ELECTRICAL CONDUIT (BELOW GRADE)
- F — FIRE SPRINKLER WATER (BELOW GRADE)
- R — RAINWATER / STORM DRAINAGE (BELOW GRADE)
- X — FENCING (6'-0" CHAINLINK, TYP.)

ACCESSIBILITY NOTES

1. PEDESTRIAN PATH OF TRAVEL (P.O.T.) INDICATED AS A BARRIER FREE, COMMON, ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL. THE PATH'S SURFACE SHALL BE AT LEAST 48" WIDE, SLIP RESISTANT, STABLE, FIRM AND SMOOTH. PASSING SPACES (CBC 1133B.7.1) SHALL BE AT LEAST 60" X 60" AR, LOCATED NOT MORE THAN 200' APART. PARTS OF POT W/CONTINUOUS GRADIENTS SHALL HAVE 60" LEVEL AREAS (CBC 1133B.7.5) NOT MORE THAN 400' APART. THE CROSS SLOPE SHALL OT EXCEED 2% AND THE SLOPES IN THE DIRECTION OF TRAVEL THAT EXCEED 5% SHALL BE CONSTRUCTED AS ACCESSIBLE RAMPS. THE P.O.T. SHALL BE FREE OF OVERHEAD OBSTRUCTIONS UP TO 80" MINIMUM (CBC 1133B.8.2). OBJECTS PROJECTING FROM WALLS W/LEADING EDGES BETWEEN 27" AND 80" A.F.F. SHALL NOT PROTRUDE MORE THAN 4" FROM THE WALL (CBC 1133B.8.6). THE P.O.T. SHALL COMPLY W/CBC 1133B.7.
2. ARCHITECT AND CONTRACTOR TO VERIFY THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED PER SECTION 1133B.7.
3. ACCESSIBLE PATH OF TRAVEL SHALL BE SLIP RESISTANT & COMPLY W/SECTIONS 1131A OF TITLE 24.
4. ACCESSIBLE GROUND FLOOR ENTRY/ EXITS SHALL COMPLY WITH:
   CBC 1132B.1 - 1132B.5.
   - 24" STRIKE SIDE CLEARANCE AT EXTERIOR PULL SIDE OF DOORS
   - 60" MIN LEVEL AREA (2% MAX SLOPE) PERPENDICULAR TO DOOR @ EXTERIOR & INTERIOR.
   - LEVEL LANDING AREA CONNECTED TO ACCESSIBLE ROUTE THROUGHOUT SITE.
5. ALL GATES IN POT SHALL BE EQUIPPED W/PANIC HARDWARE.

PARKING RATIO

* NUMBER OF PARKING SPACES PROVIDED PER CBC 1129B, TABLE 11B-6

STANDARD STALLS	3 PROVIDED
ACCESSIBLE STALLS (1-25*) 1 REQUIRED	
1 ACCESSIBLE	0 PROVIDED
1 VAN ACCESSIBLE	1 PROVIDED
TOTAL PARKING PROVIDED	4 PROVIDED

SITE & BUILDING SUMMARY

EXISTING LOT AREA	58,627 SQ FT	PROPOSED LOT AREA:	58,627 SQ FT
EXISTING BUILDING AREA:	13,732 SQ FT	PROPOSED BUILDING AREA:	15,094 SQ FT
<E> BLDG #1	6,433 SQ FT	<E> BLDG #1	6,433 SQ FT
<E> BLDG #2	2,869 SQ FT	<E> BLDG #2	2,869 SQ FT
<E> BLDG #3	960 SQ FT	<E> BLDG #3	960 SQ FT
<E> BLDG #4	960 SQ FT	<E> BLDG #4	960 SQ FT
<E> BLDG #5	960 SQ FT	<E> BLDG #7	150 SQ FT
<E> BLDG #6	1,100 SQ FT	<E> BLDG #8	150 SQ FT
<E> BLDG #7	150 SQ FT	<E> BLDG #9	150 SQ FT
<E> BLDG #8	150 SQ FT	(N) BLDG #10	3,422 SQ FT
<E> BLDG #9	150 SQ FT		
EXISTING LOT COVERAGE:	23.4%	PROPOSED LOT COVERAGE:	25.7%
IMPERVIOUS SURFACE AREA:	9,665 SQ FT (16% COVERAGE)	IMPERVIOUS SURFACE AREA:	12,380 SQ FT (21% COVERAGE)
GRADING VOLUME CUT: (SEE GRADING PLAN ON A1.3)	595 CU YD	GRADING VOLUME FILL: (SEE GRADING PLAN ON A1.3)	355 CU YD
UTILITY SERVICE DISTRICT:	DAVENPORT COUNTY SANITATION		

KEY NOTES

01 : <E> WATER SERVICE

02 : <E> FIRE SPRINKLER SERVICE

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OVERALL SITE PLAN

PACIFIC SCHOOL - MEASURE M NEW CLASSROOM BUILDING

PACIFIC ELEMENTARY SCHOOL DISTRICT
50 OCEAN STREET, DAVENPORT, CA 95017
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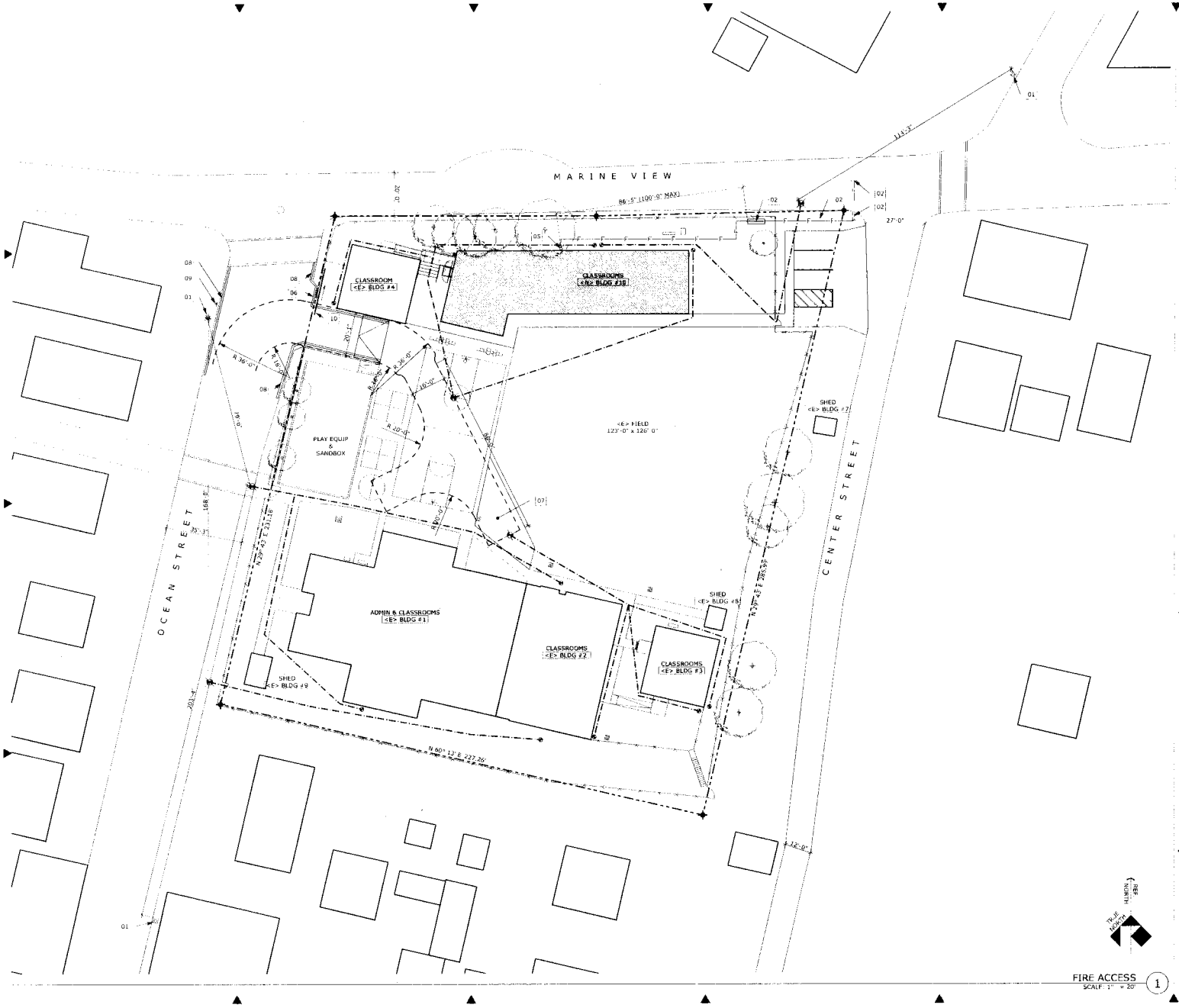

FIRE ACCESS
SCALE: 1" = 20'

1

LOCAL FIRE AUTHORITY

Local Fire Authority to initial as applicable to this project and sign below

YES NO N/A **Elevators** DSA Application #01-

☐ ☐ ☐ Where an Elevator does not meet medical emergency service cab size, per 2010 California Building Code (CBC), the Local Fire Authority approves the use of stairways for emergency rescue and patient transport

Access Roads

☐ ☐ ☐ Access Roads and Gate Entrances are in accordance with Title 19, Calif.Code of Regulations & 2010 California Fire Code (CFC) Chapter 5. (Explain in comments section any "NO" answer)

Fire Flow

☐ ☐ ☐ Fire Hydrant location and distribution are in accordance with 2010 CFC or Local Fire Authority means for providing fire flow may vary from 2010 CFC with an approval signature of the School District Superintendent or Facilities Director. (See DSA Policy 09-01) (Explain in comments section any "NO" answer)

☐ ☐ ☐ **Hazard Severity Zone Area?** (2010 CBC Chapter 7)

Automatic Fire Sprinkler Systems (AFSS)

☐ ☐ ☐ The location(s) of the proposed Post Indicator Valve (PIV) and Fire Dept. Connection (FDC) meets the requirements of this jurisdiction

☐ ☐ ☐ The location(s) of the Detector Check Valve Assembly (DCVA) meets the requirements of this jurisdiction.

☐ ☐ ☐ The fire pump assembly/backflow preventer and other valves meet the requirements of this jurisdiction.

AGENCY NAME (Print): Santa Cruz County Fire Department

ADDRESS (Print): 6059 Highway 9

CITY/STATE/ZIP (Print): Felton, CA 95018

PHONE NUMBER (Print): 1 831 335 5353

DATE:

APPROVAL ISSUED BY: (Print name and Sign)

RANK/TITLE (Print):

COMMENTS (Print):

Initials and a signature above signify that the Local Fire Authority has reviewed the listed items and was consulted regarding their placement and design. The current configuration shown on this site plan, as of this date, meets with their current standards. Local Stamps w/signature indicates all items above have been reviewed.

KEY NOTES

01 (E) FIRE HYDRANT

02 (E) FIRE SPRINKLER BACKFLOW PREVENTER w/ PIV, FDC, AND DCVA (RELOCATED)

03 (E) CONNECTION TO WATER SERVICE

04 CONNECT TO (E) FIRE SPRINKLER WATER LINE

05 SPRINKLER RISER INTO BUILDING

06 KNOX BOX - SEE 1/A1.6

07 ASPHALT CONCRETE

08 FIRE LANE STRIPING - PAINT 4" RED STRIPE ON EDGE OF ROADWAY MARKED WITH "FIRE LANE" IN WHITE LETTERS

09 FIRE LANE SIGNAGE - SEE DETAIL 18C/A1.5

10 20' 0" GATE - SEE 11/A1.6

SYMBOL LEGEND

PROPERTY LINE

FIRE TRUCK ACCESS POINT

150' 0" LONG FIRE HOSE ACCESS

(E) FIRE SPRINKLER WATER LINE

(N) FIRE SPRINKLER WATER LINE

FIRE ACCESS LANE - 20'-0" WIDE, 13'-6" CLEAR VERTICAL CAPABLE OF SUPPORTING FIRE APPARATUS

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FIRE ACCESS

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PACIFIC ELEMENTARY SCHOOL DISTRICT
50 OCEAN STREET, DAVENPORT, CA 95017
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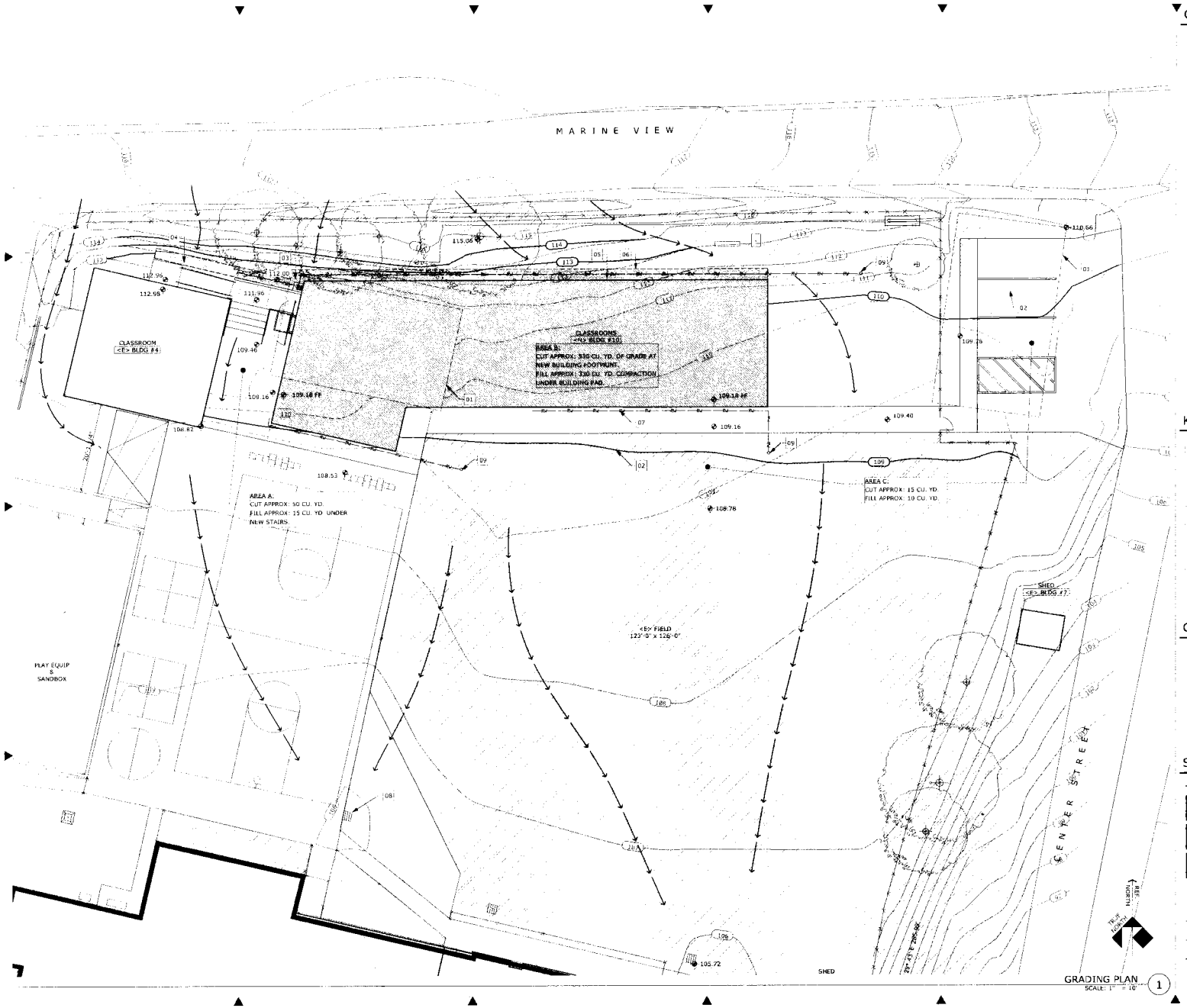

GRADING PLAN
SCALE: 1" = 10'
1

GENERAL NOTES

KEY NOTES

01 OUTLINE OF DEMOLISHED <E> BUILDING

02 PROPOSED GRADE CONTOUR LINE

03 AREA DRAIN

04 CONCRETE RETAINING WALL - EXTENDS 12" ABOVE GRADE

05 RETAINING WALL WITH WATERPROOF, DRAINAGE MEMBRANE

06 DRAINAGE GRAVEL SWALE, SEE 1/A1.6

07 BELOW GRADE STORMWATER DRAINAGE SYSTEM

08 CONNECT TO <E> STORMWATER DRAINAGE SYSTEM

09 POP-UP EMITTER - SEE DETAIL 1/A1.6

GRADING DATA LEGEND

VOLUME CUT:	AREA A	50 CU. YD.
	AREA B	530 CU. YD.
	AREA C	15 CU. YD.
	TOTAL CUT	595 CU. YD.
VOLUME FILL:	AREA A	15 CU. YD.
	AREA B	330 CU. YD.
	AREA C	10 CU. YD.
	TOTAL FILL	355 CU. YD.

SYMBOL LEGEND

- PROPERTY LINE
- (N) BLDG PAD
- <E> BLDG PAD
- <E> PERVIOUS SURFACE (GRASS, GROUND COVER, PLANGING, AND SHRUBS)
- <E> COUNTOUR LINE TO REMAIN
- <E> CONTOUR LINE TO BE MODIFIED
- (N) CONTOUR LINE
- RAINWATER / STORM DRAINAGE (BELOW GRADE)
- SITE DRAINAGE PATH

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GRADING PLAN

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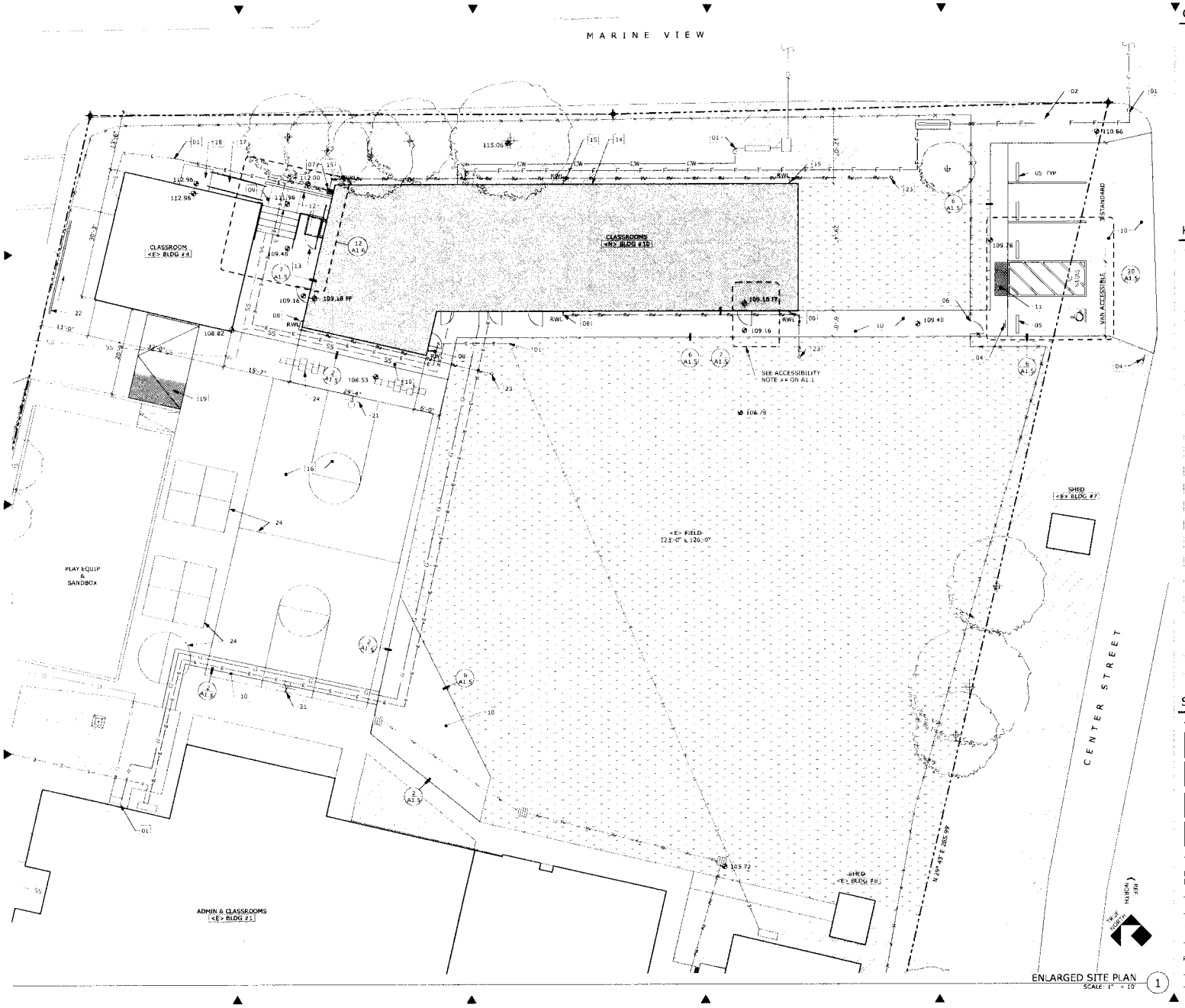

ENLARGED SITE PLAN
SCALE: 1" = 10' (1)

GENERAL NOTES

1. ALL GRASS AREA THAT HAS BEEN DISRUPTED DUE TO TRENCHING OR GENERAL CONSTRUCTION TO BE RESEEDED TO MATCH EXISTING.

KEY NOTES

#	
01	CONTRACTOR TO LOCATE AND TIE INTO <E> UTILITY SERVICE / METER
02	<E> BACKFLOW PREVENTER RELOCATED
03	PROVIDE (N) TOW SIGN - SEE 18A/A1.5
04	PROVIDE (N) 'ACCESSIBLE PARKING SPACE', 'MINIMUM FINE' SIGN, AND 'VAN ACCESSIBLE' SIGN PLATES, SEE DETAIL 18B/A1.5
05	WHEEL STOP, SEE SPECS AND DETAIL 16/A1.5
06	FENCE AND GATE TO MATCH EXISTING - SEE DETAIL 3/A1.6
07	AREA DRAIN
08	CONNECT RWL TO STORMWATER DRAINAGE SYSTEM, SEE DETAIL 1/A7.2
09	4" CONC. SLAB W/ #4 REBAR @ 18" O/C EACH WAY O/ 4" CAL TRANS CLASS 2 BASE ROCK O/ 90% COMPACTED SUB GRADE
10	ASPHALT CONCRETE
11	TACTILE WARNING SURFACE, SEE DETAIL 15/A1.5
12	RETAINING WALL WITH WATERPROOF MEMBRANE
13	WHEELCHAIR LIFT, SEE SPECS
14	CONCRETE RETAINING WALL W/ WATERPROOF MEMBRANE - SEE DETAIL 1/A1.6
15	CONNECT RWL TO STORMWATER DRAINAGE SYSTEM, SEE DETAIL 1/A1.6
16	<E> ASPHALT CONCRETE
17	<E> RAMP
18	<E> LANDING
19	<N> ASPHALT CONCRETE RAMP TO MATCH EXISTING SLOPE
20	KNOX BOX, SEE DETAIL 17/A1.6
21	BASKETBALL HOOP - SEE DETAIL 17/A1.5 FOR POST AND SPECS
22	20'-0" GATE - SEE 11/A1.6
23	POP UP EMITTER - SEE DETAIL 3/A1.6
24	REPAINT PLAYGROUND MARKINGS PER PLAN

SYMBOL LEGEND

- PROPERTY LINE
- BLDG # (N) BLDG
- BLDG # <E> BLDG
- <E> GRASS FIELD
- <E> GROUND COVER, SHRUBS, AND PLANTS
- ACCESSIBLE PATH OF TRAVEL
- BATHROOMS LOCATED WITHIN BLDG
- SS SANITARY SEWER (BELOW GRADE)
- CW COLD WATER (BELOW GRADE)
- G GAS (BELOW GRADE)
- E ELECTRICAL CONDUIT (BELOW GRADE)
- F FIRE SPRINKLER WATER (BELOW GRADE)
- RW RAINWATER / STORM DRAINAGE (BELOW GRADE)
- FENCING (6'-0" CHAINLINK, TYP.)

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ENLARGED SITE PLAN

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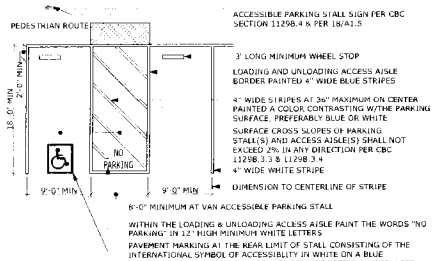
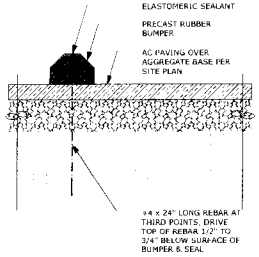
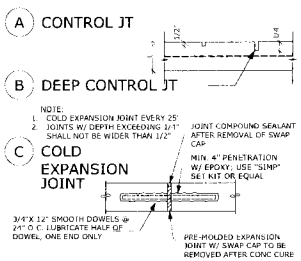


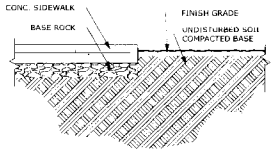
ADA PARKING STALL DOUBLE 20
SCALE: 1/8" = 1'-0"



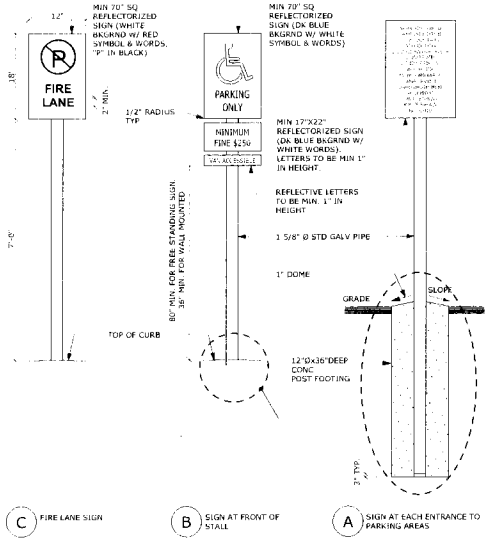
WHEEL STOP 16
SCALE: 1 1/2"= 1'-0"



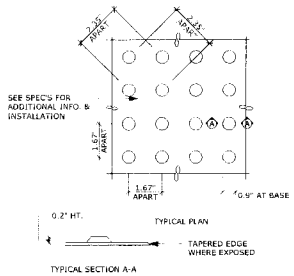
TYP. SLAB JOINT 8
SCALE: 1 1/2"= 1'-0"



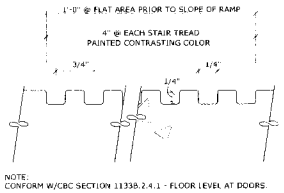
CONCRETE PATIO EDGE 4
SCALE: 1" = 1'-0"



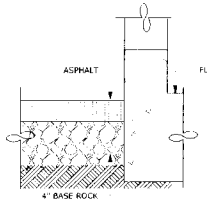
PARKING SIGN REQUIREMENTS 18
SCALE: 1/4" = 1'-0"



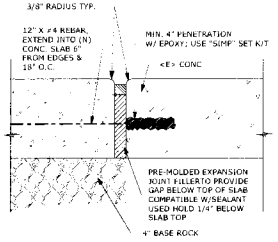
TACTILE WARNING SURFACE 15
SCALE: 3" = 1'-0"



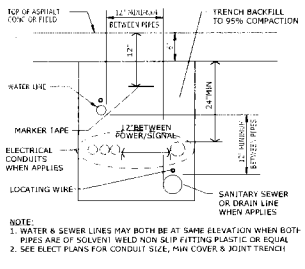
GROOVING DETAIL 11
SCALE: 1" = 1'-0"



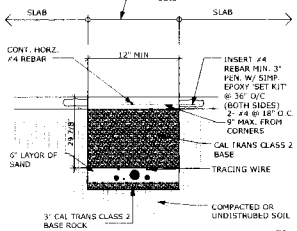
A.C. @ BUILDING 7
SCALE: 1 1/2"= 1'-0"



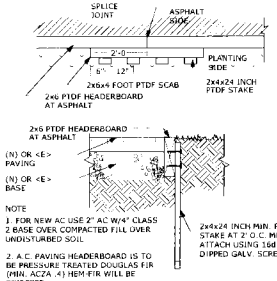
(N) CONCRETE TO <E> CONCRETE 3
SCALE: 1 1/2"= 1'-0"



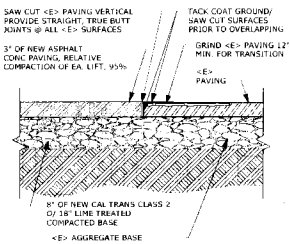
JOINT TRENCH 14
SCALE: 1" = 1'-0"



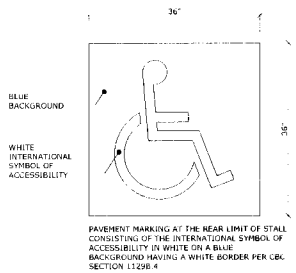
TRENCH INFILL @ AC 10
SCALE: 1/2" = 1'-0"



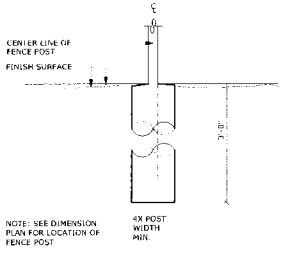
PAVING AT EDGE 6
SCALE: 1 1/2"= 1'-0"



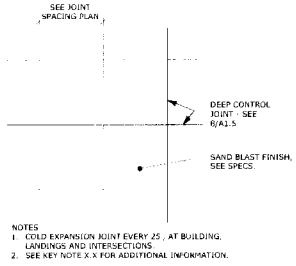
(N) A.C. TO <E> A.C. TRANSITION 2
SCALE: 1 1/2"= 1'-0"



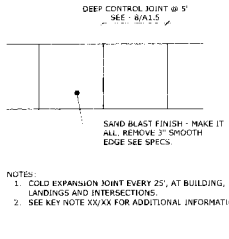
ISA PARKING GRAPHIC 21
SCALE: 1" = 1'-0"



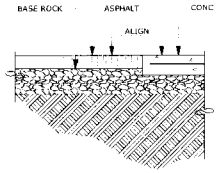
FENCE POST FOOTING 17
SCALE: 1" = 1'-0"



TYP. PAVING DETAIL 13
SCALE: 3/8" = 1'-0"



TYP. SIDEWALK PATTERN 9
SCALE: 3/8" = 1'-0"



CONCRETE @ ASPHALT 1
SCALE: 1" = 1'-0"

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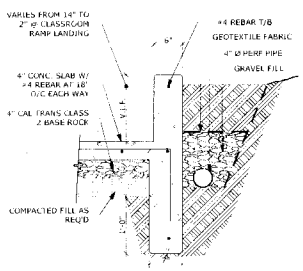
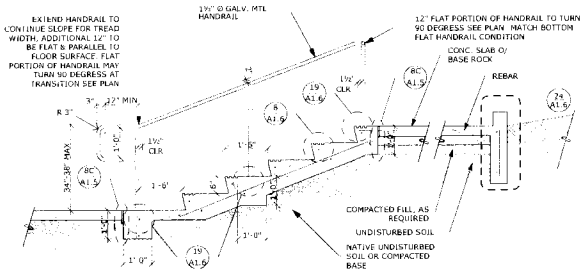
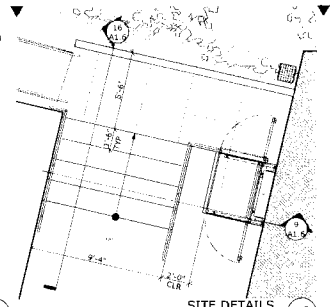
A1.5



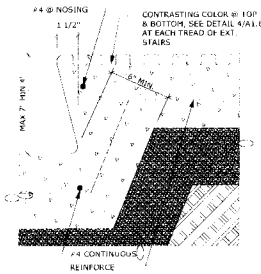
RETAINING WALL @ CONC SLAB
SCALE: 1" = 1'-0" (24)



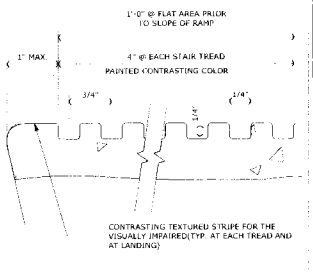
STAIR SECTION
SCALE: 1/2" = 1'-0" (16)



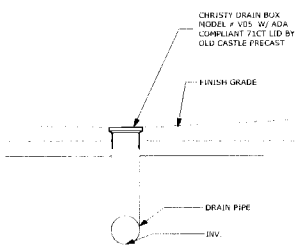
SITE DETAILS
SCALE: 1/4" = 1'-0" (12)



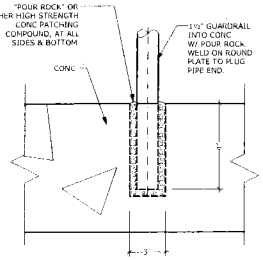
STEP EDGE
SCALE: 3" = 1'-0" (8)



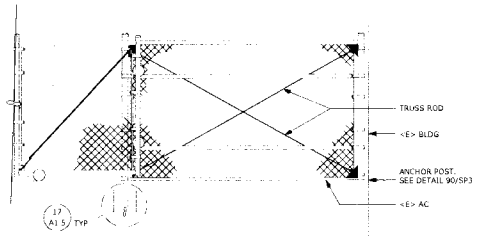
GROOVING DETAIL
SCALE: 1" = 1'-0" (4)



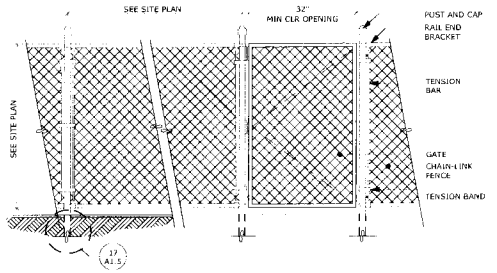
DRAIN
SCALE: 1 1/2" = 1'-0" (23)



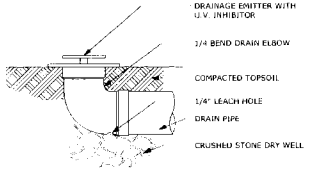
GUARDRAIL IN CONC
SCALE: 3" = 1'-0" (19)



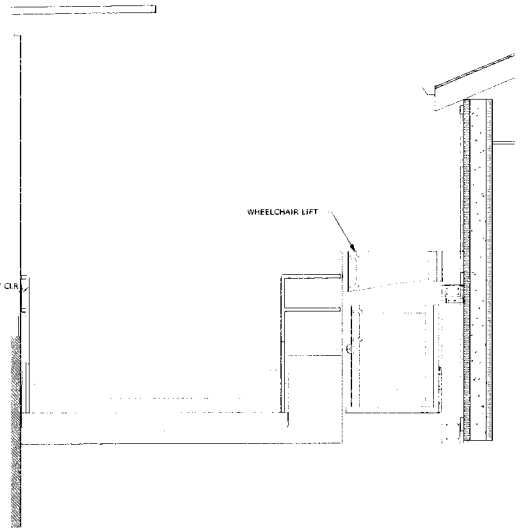
CHAINLINK FENCE - SING. SLIDING GATE
SCALE: 1/2" = 1'-0" (11)



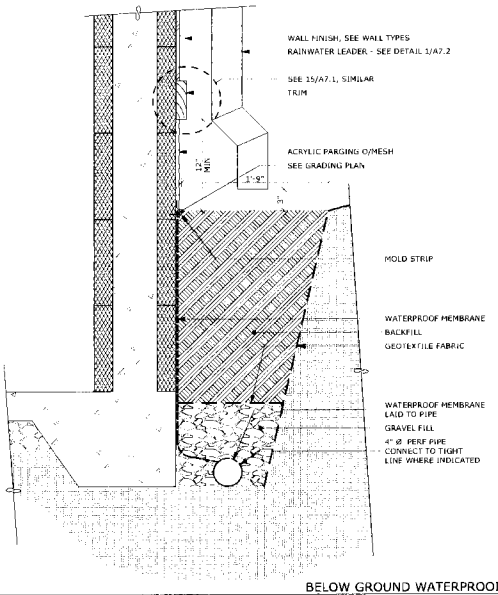
CHAINLINK FENCE WITH GATE
SCALE: 1/2" = 1'-0" (3)



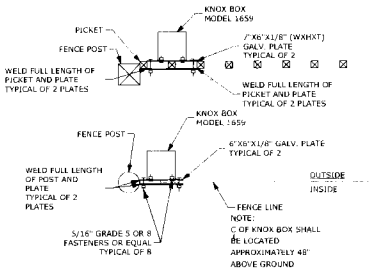
POP-UP DRAINAGE EMITTER
SCALE: 3" = 1'-0" (1)



STAIR AND LIFT ELEVATION
SCALE: 1/2" = 1'-0" (9)



BELOW GROUND WATERPROOING @ICF
SCALE: 1 1/2" = 1'-0" (1)



KNOX BOX CONNECTION TO FENCE
SCALE: 1 1/2" = 1'-0" (17)

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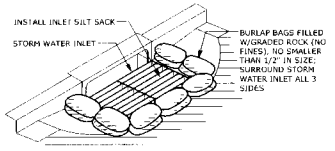


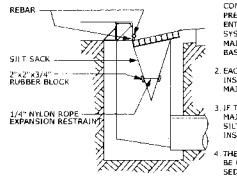
NOTES:
1. THICKNESS OF FILLED BAGS WHEN LAID FLAT SHALL NOT EXCEED 4"
2. ENSURE THERE ARE NO GAPS BETWEEN THE BAGS AND THE FACE OF CURB
3. REMOVE ACCUMULATED SILT, DIRT AND DEBRIS BEFORE IT EXCEEDS 2" THICK IN GUTTER
4. INSPECT INLET PROTECTION DAILY DURING EXTENDED RAINFALL PERIODS AND BEFORE AND AFTER EACH RAIN EVEN

INLET SEDIMENT CONTROL FOR PAVED STREETS

BURLAP SACK SEDIMENT FILTER (8)
SCALE: 1:45

USE AT INCOMPLETE STORM DRAINAGE STRUCTURES

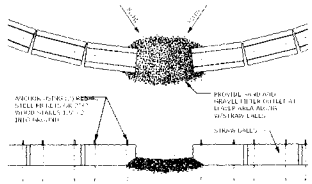
STRAW BALE SEDIMENT FILTER (4)
SCALE: 1:45



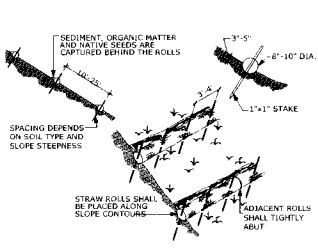
INLET SEDIMENT CONTROL FOR PAVED STREETS

NOTES:
1. SILTSACK IS AN EROSION CONTROL DEVICE USED TO PREVENT SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM. IT MUST BE MAINTAINED ON A REGULAR BASIS TO SERVE PROPERLY.
2. EACH SILTSACK SHALL BE INSPECTED AFTER EVERY MAJOR RAIN EVENT.
3. IF THERE SHOULD BE NO MAJOR RAIN EVENTS, SILTSACKS SHALL BE INSPECTED EVERY 2-3 WEEKS.
4. THE SILTSACK SHALL NEVER BE OVER HALF FULL OF SEDIMENT.
5. SILTSACK CAN BE USED AS A SECONDARY OR PRIMARY SEDIMENT CONTROL DEVICE. INSPECTION OF ITS COLLECTED SEDIMENT LEVEL IS IMPORTANT TO PREVENT PONDING OVER THE STORM INLET.

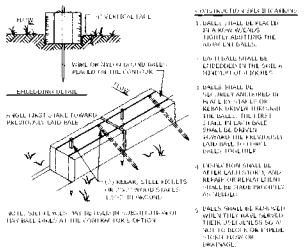
INLET SILT SACK (7)
SCALE: 1:45



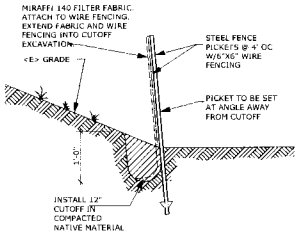
STRAW BALE DIKE SPILLWAY (3)
SCALE: 1:45



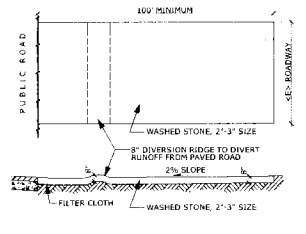
STRAW WATTLE PLACEMENT (6)
SCALE: 1:45



STRAW BALE DIKE (2)
SCALE: 1:45



SILT FENCE (5)
SCALE: 1:45



STABILIZED ENTRANCEWAY (1)
SCALE: 1:45

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EROSION CONTROL DETAILS

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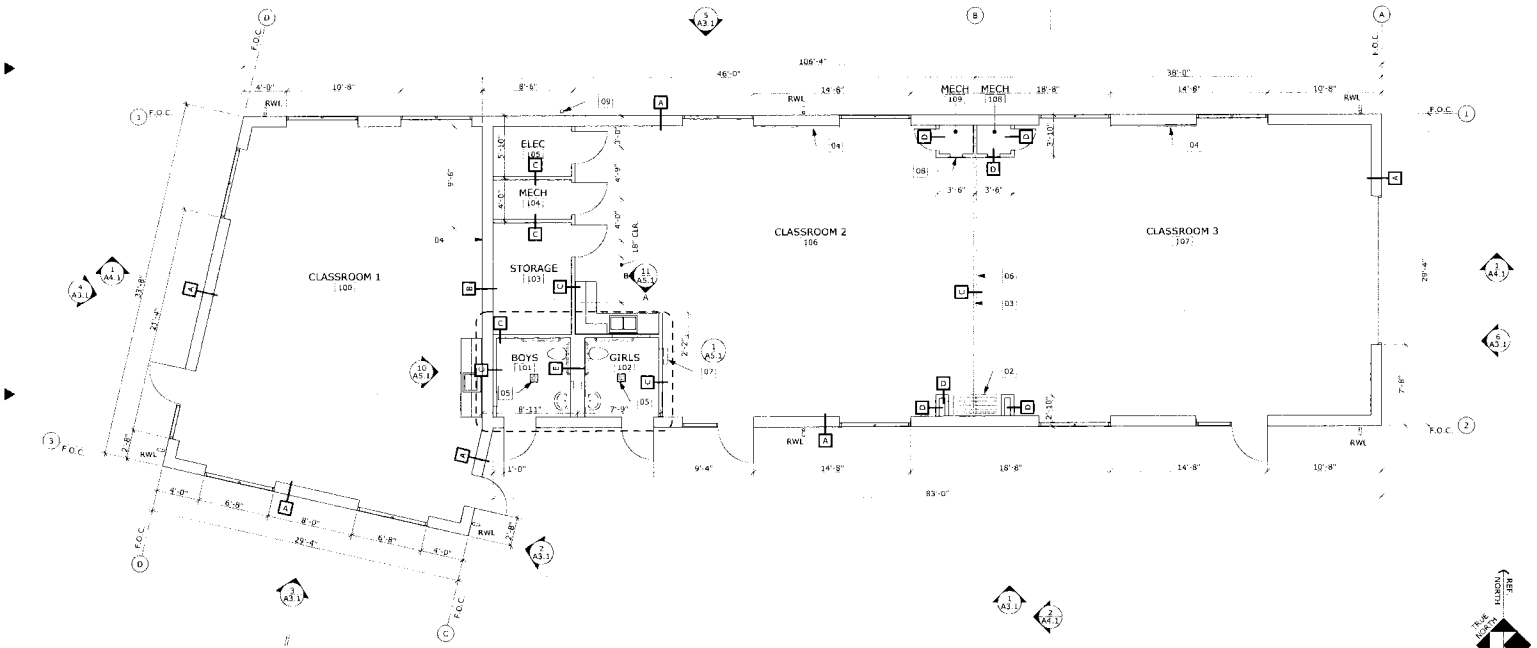
GENERAL NOTES

1. RWL = RAIN WATER LEADER, SEE DETAIL 1/A7.2



FLOOR PLAN
SCALE: 3/16" = 1'-0"

KEY NOTES

01	CORNER GUARDS INSTALLED 12" OFF THE FF @ EACH OUTSIDE CORNER, SEE SPECS.
02	MOVABLE PARTITION - SEE DETAIL 15/A7.2
03	OVERHEAD TRACK FOR MOVABLE PARTITION - SEE DETAIL 15/A7.2
04	WHITE BOARD, SEE SPECS.
05	FLOOR DRAIN - SPD
06	WALL TYPE C ABOVE - SEE A7.1
07	FIRE EXTINGUISHER W/ CABINET SEE DETAIL 8/A9.2, TYP.
08	MECH RETURN, PAINT TO MATCH WALL, SMD
09	FIRE SPRINKLER RISER, PAINT TO MATCH WALL, SMD

SYMBOL LEGEND

- - - - - 1-HR RATED WALL SYMBOL

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FLOOR PLAN

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GENERAL NOTES

1. ROOF CLASSIFICATION A PER CBC TABLE 15-A & SECTION 1504
2. ALL ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED FROM GROUND LEVEL

KEY NOTES

01 ASPHALT SHINGLE ROOF FINISH

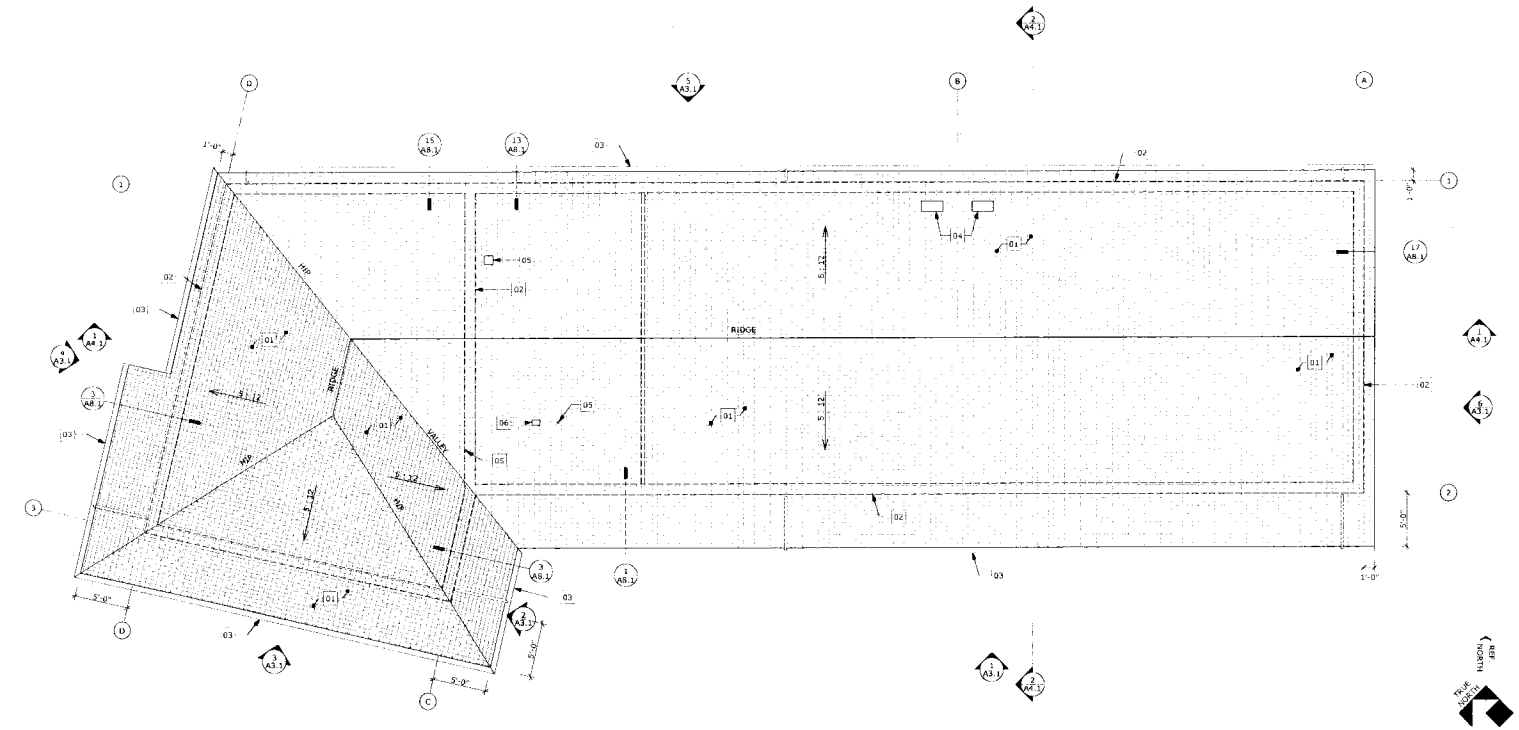
02 LINE OF WALL BELOW

03 MTL GUTTER SYSTEM, TYP., FOR RWL LOCATION SEE ELEVATIONS

04 EYEBROW VENT

05 VENT, SMD

SYMBOL LEGEND



ROOF PLAN
SCALE: 3/16" = 1'-0"

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ROOF PLAN

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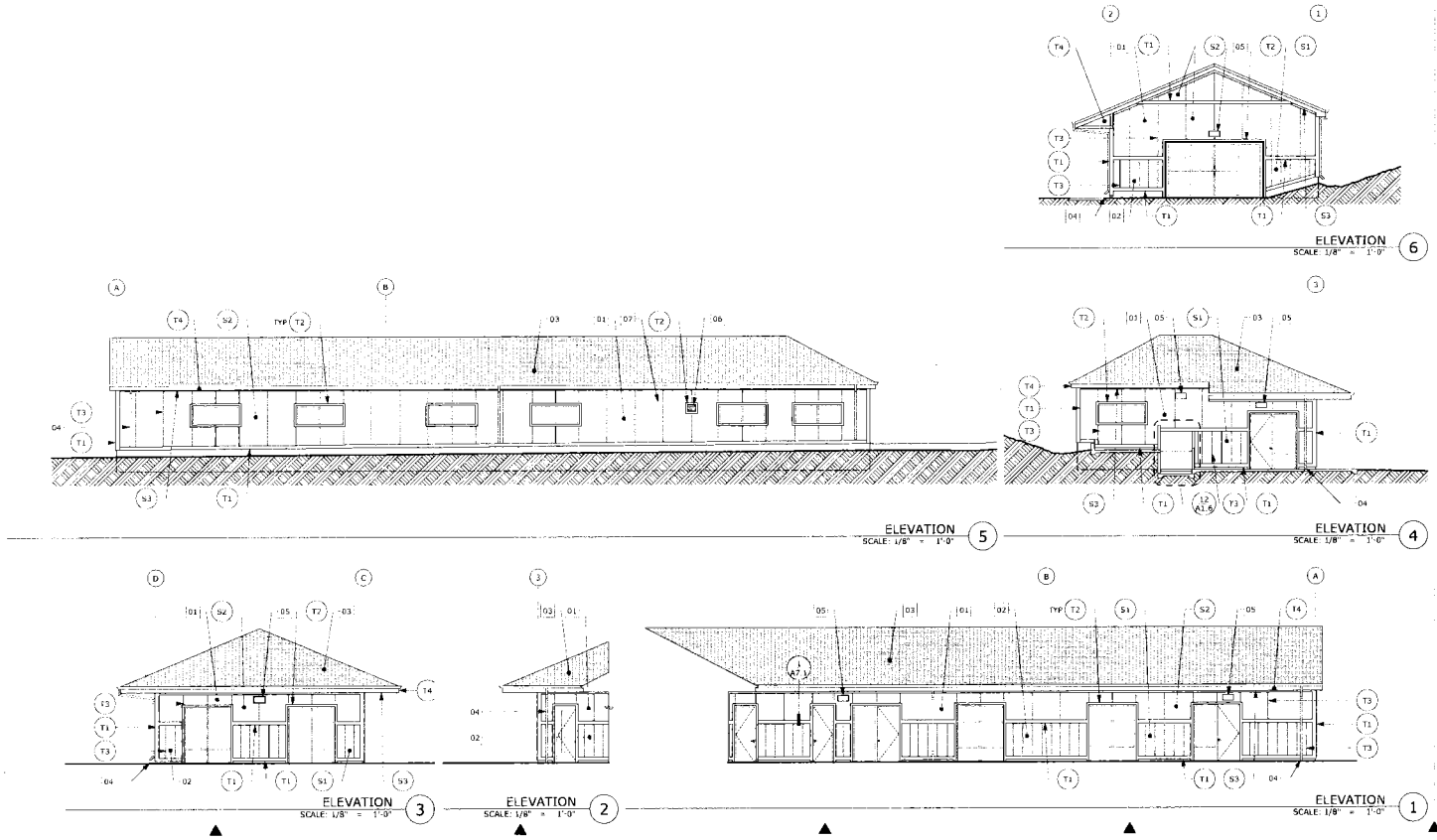

GENERAL NOTES

KEY NOTES

01	BOARD AND BATTEN SIDING @ 48" O/C - SEE WOOD SCHEDULE BELOW
02	BOARD AND BATTEN SIDING @ 16" O/C - SEE WOOD SCHEDULE BELOW
03	SHINGLE ROOF FINISH
04	METAL RAINWATER LEADER AND GUTTER - SEE 1/A7.2
05	EXTERIOR LIGHT, SED
06	WALL VENT
07	FIRE SPRINKLER RISER, PAINT TO MATCH WALL, SMD

EXTERIOR FINISH SCHEDULE

		MATERIAL	TEXTURE	FINISH
S1	SIDING LOWER	CEMENT FIBER PANEL	CEDARMILL	PREFINISHED SP-1
S2	SIDING UPPER	CEMENT FIBER PANEL	CEDARMILL	PREFINISHED SP-2
S3	2X6 SOFFIT BOARD	TREX	# # #	PREFINISHED # # #
T1	2X6 TRIM	CEMENT FIBER TRIM	RUSTIC GRAIN	PREFINISHED TP-1
T2	2X4 TRIM	CEMENT FIBER TRIM	RUSTIC GRAIN	PREFINISHED TP-1
T3	1X3 BATTEN	CEMENT FIBER TRIM	RUSTIC GRAIN	PREFINISHED TP-1
T4	2X FASCIA	CEMENT FIBER TRIM	RUSTIC GRAIN	PREFINISHED TP-1

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EXTERIOR ELEVATIONS

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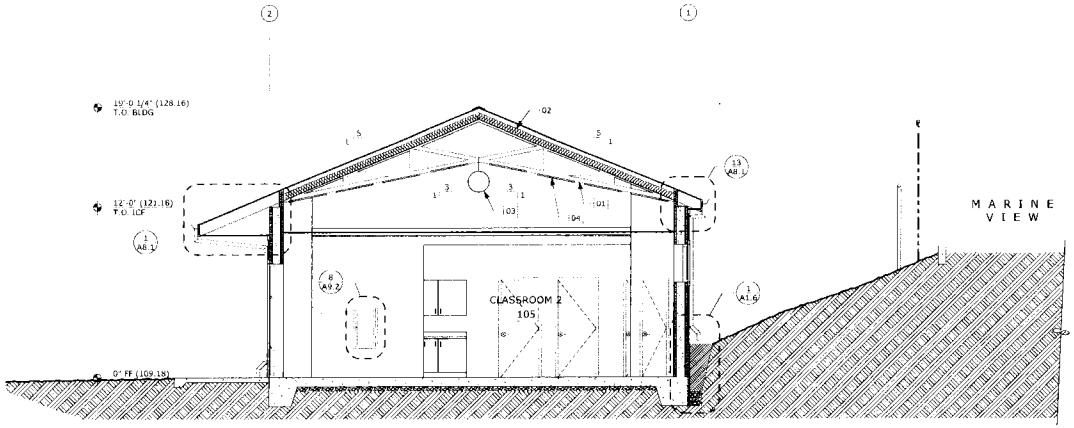
A3.1

GENERAL NOTES

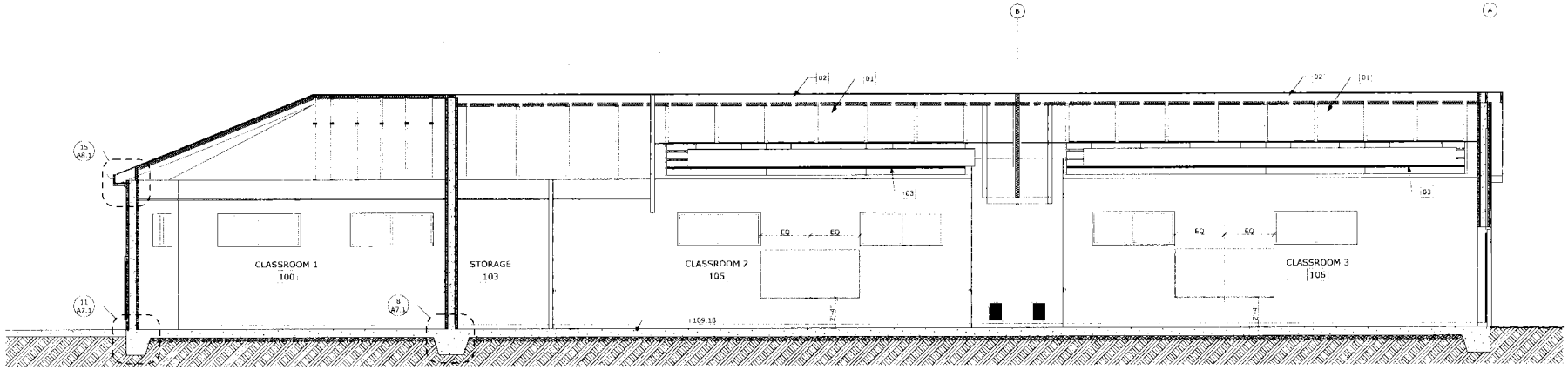
1. IN CONCEALED SPACES OF STUD WALLS PROVIDE 2X SOLID FIRE BLOCKING AT CEILING LEVELS, FLOOR LEVELS AND AT 10 FOOT INTERVALS BOTH HORIZONTAL & VERTICAL. ALL FIRE BLOCKING SHALL BE IN ACCORDANCE WITH CBC SECTION 717

KEY NOTES

01	SCISSOR TRUSS - SSD
02	INSULATION
03	FABRIC DUCTSOX - SEE 10/A9.1 AND SMD
04	ACOUSTIC PANEL - SEE 9/A9.1



BUILDING SECTION 2
SCALE: 1/4" = 1'-0"



BUILDING SECTION 1
SCALE: 1/4" = 1'-0"

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BUILDING SECTIONS

PACIFIC SCHOOL - MEASURE M NEW CLASSROOM BUILDING

PACIFIC ELEMENTARY SCHOOL DISTRICT
50 OCEAN STREET, DAVENPORT, CA 95017
APN: 058-082-01

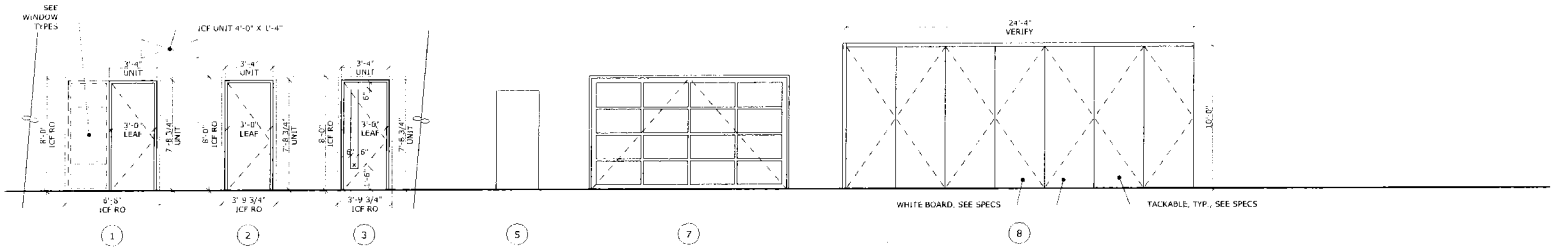
2014

03/13/2014

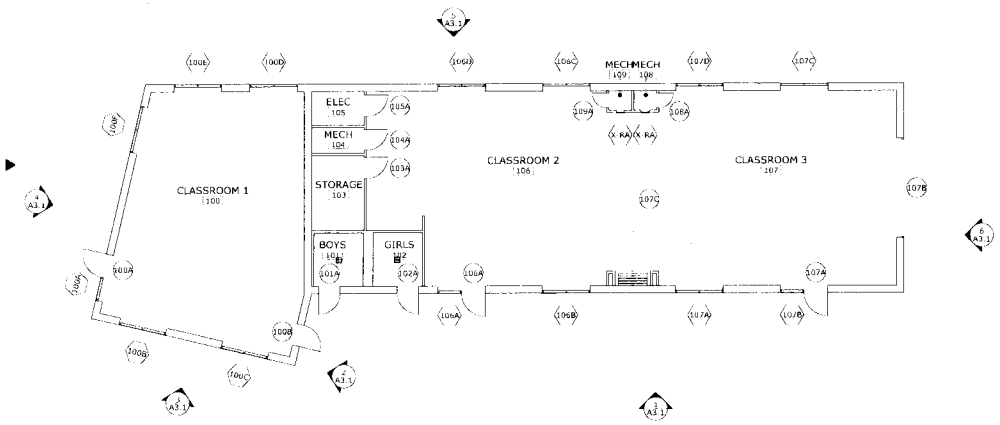
13016

A4.1

DOOR TYPES



DOOR & WINDOW TAGS FLOOR PLAN



GENERAL DOOR NOTES

1. DOOR OPENING EFFORTS - NOT TO EXCEED 5 LBS AT EXTERIOR & INTERIOR. 15 LBS FORCE REQUIRED TO ACHIEVE POSITIVE LATCHING FOR FIRE DOORS.
2. ALL DOORS ARE EQUIPPED WITH HAND-ACTIVED HARDWARE, INCLUDING ALL DEAD BOLTS, ARE TO BE MOUNTED BETWEEN 30" & 44" ABOVE THE FINISH FLOOR (36" PREFERRED).
3. ALL DOORS, FINISH, AND LEVER HARDWARE, SEE SPECS
4. ALL INTERIOR DOOR HEADER HEIGHTS = 7'-0" U.N.O.. SEE DOOR SCHEDULE FOR APPROPRIATE HEIGHT.
5. VERIFY DOOR ROUGH OPENING SIZE IN FIELD
6. FOR EXACT THROAT DIMENSIONS OF DOOR FRAMES, AND ADDITIONAL INFORMATION, REFER TO STRUCTURAL SHEAR WALL PLAN, ARCHITECTRUAL FINISH SCHEDULE AND DETAILS.
7. GLASS IN DOORS SHALL BE TEMPERED. SEE SPECIFICATIONS
8. 3'x7' = 3'-0" x 7'-0"

SPECIFIC DOOR REMARKS

1. EXIT DOORS SHALL BE OPENED FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT MANUALLY OPERATED EDGE - OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS SHALL NOT BE USED ON EXIT DOORS. ALL EXIT DOORS SHALL BE PROVIDED WITH PANIC HARDWARE PER SECTION 1007.2.5, AND KICK PLATE AT PUSH SIDE.
2. SEE WINDOW SCHEDULE FOR STOREFRONT SYSTEM CONFIGURATION
3. SEE DOOR DETAIL REFERENCE "A"
4. SEE DOOR DETAIL REFERENCE "B"
5. SEE DOOR DETAIL REFERENCE "C"

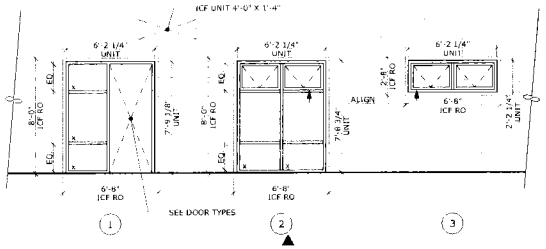
DOOR SCHEDULE

ID	TYPE	SIZE WXH	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	HARDWARE	SIGNAGE	SPECIFIC REMARKS
100A	1	SEE DOOR TYPES	METAL	PAINT	ALUMINUM	CLEAR	A		1, 2, 3
100B	3	SEE DOOR TYPES	METAL	PAINT	ALUMINUM	CLEAR	A		3
101A	2	SEE DOOR TYPES	METAL	PAINT	ALUMINUM	CLEAR	B		3
102A	2	SEE DOOR TYPES	METAL	PAINT	ALUMINUM	CLEAR	A		3
103A	5	3'-0"x7'-0"	WOOD	PREFINISHED	ALUMINUM	CLEAR	C		5
104A	5	3'-0"x7'-0"	WOOD	PREFINISHED	ALUMINUM	CLEAR	C		5
105A	5	3'-0"x7'-0"	WOOD	PREFINISHED	ALUMINUM	CLEAR	C		5
106A	1	SEE DOOR TYPES	METAL	PAINT	ALUMINUM	CLEAR	A		1, 2, 3
107A	1	SEE DOOR TYPES	METAL	PAINT	ALUMINUM	CLEAR	A		1, 2, 3
107B	7	14'-0"x8'-0"	ALUMINUM	CLEAR	ALUMINUM	CLEAR	A		
107C	8	24' 4"x10' 0"	SEE SPECS	WHITE BOARD	ALUMINUM	CLEAR	N/A	---	
108A	5	2'-0"x7'-0"	WOOD	PREFINISHED	ALUMINUM	CLEAR	C		5
109A	5	2'-0"x7'-0"	WOOD	PREFINISHED	ALUMINUM	CLEAR	C		5

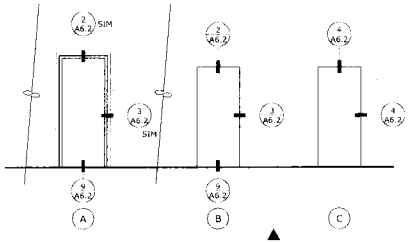
WINDOW SCHEDULE

ID	TYPE	MATERIAL	FINISH	GLAZING	SPECIFIC REMARKS
100A	1	ALUMINUM	CLEAR	LOW-E, DUAL PANE	1
100B	2	ALUMINUM	CLEAR	LOW-E, DUAL PANE	1
100C	2	ALUMINUM	CLEAR	LOW-E, DUAL PANE	1
100D	3	ALUMINUM	CLEAR	LOW-E, DUAL PANE	2
100E	3	ALUMINUM	CLEAR	LOW-E, DUAL PANE	2
100F	3	ALUMINUM	CLEAR	LOW-E, DUAL PANE	2
106A	1	ALUMINUM	CLEAR	LOW-E, DUAL PANE	1
106B	2	ALUMINUM	CLEAR	LOW-E, DUAL PANE	1
106C	3	ALUMINUM	CLEAR	LOW-E, DUAL PANE	2
106D	3	ALUMINUM	CLEAR	LOW-E, DUAL PANE	2
107A	2	ALUMINUM	CLEAR	LOW-E, DUAL PANE	1
107B	1	ALUMINUM	CLEAR	LOW-E, DUAL PANE	1
107C	3	ALUMINUM	CLEAR	LOW-E, DUAL PANE	2
107D	3	ALUMINUM	CLEAR	LOW-E, DUAL PANE	2
108A			CLEAR	CLEAR	
109A			CLEAR	CLEAR	

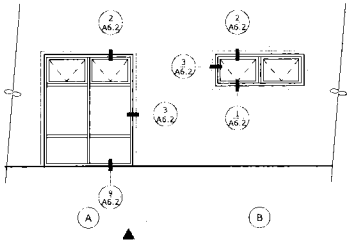
WINDOW TYPES



DOOR DETAIL REFERENCE



WINDOW DETAIL REFERENCE



GENERAL WINDOW NOTES

1. ALL GLAZING WITHIN 18" OF FINISHED FLOOR SHALL BE TEMPERED
2. ANY GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE, SHALL BE TEMPERED & SHALL COMPLY W/ UBC 2406.4
   x = tempered
3. A WINDOW THAT IS IN THE PATH OF TRAVEL SHALL HAVE PROJECTION OF NO MORE THAN 4"

SPECIFIC WINDOW REMARKS

1. SEE WINDOW DETAIL REFERENCE "A"
2. SEE WINDOW DETAIL REFERENCE "B"

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DOOR & WINDOW SCHEDULE

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PACIFIC ELEMENTARY SCHOOL DISTRICT
50 OCEAN STREET, DAVENPORT, CA 95017
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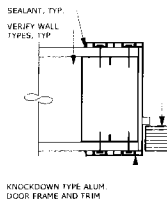
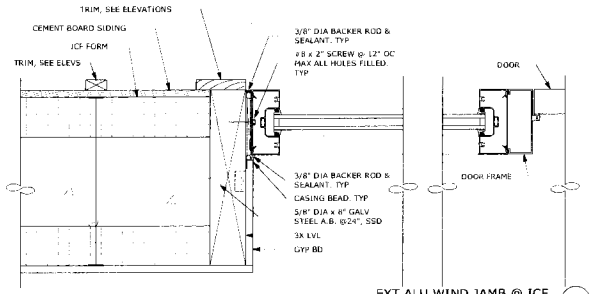
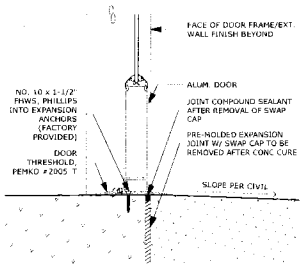
A6.1



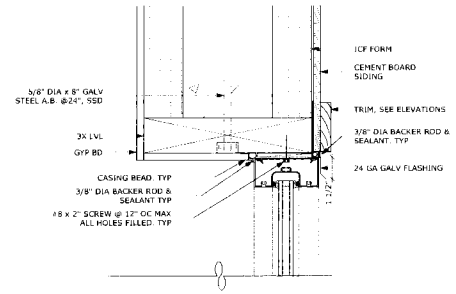
INT KNOCKDOWN ALUM DR HEAD-JAMB (4)
SCALE: 3" = 1'-0"



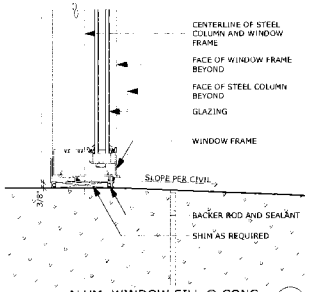
EXT ALU WIND JAMB @ ICF (3)
SCALE: 3" = 1'-0"



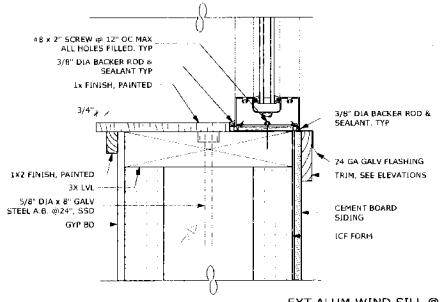
EXT. ALUM. DOOR THRESHOLD (10)
SCALE: 3" = 1'-0"



EXT ALU WIND HEAD @ ICF (2)
SCALE: 3" = 1'-0"



ALUM. WINDOW SILL @ CONC. (9)
SCALE: 3" = 1'-0"



EXT ALUM WIND SILL @ ICF (1)
SCALE: 3" = 1'-0"

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DOOR AND WINDOW DETAILS

PACIFIC SCHOOL - MEASURE M NEW CLASSROOM BUILDING

PACIFIC ELEMENTARY SCHOOL DISTRICT
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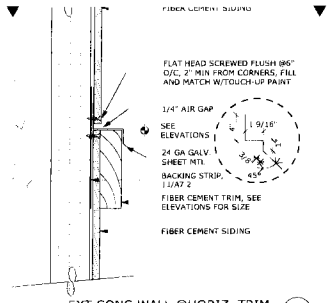
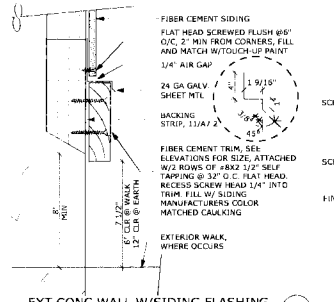
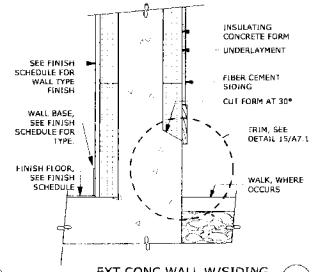
A6.2



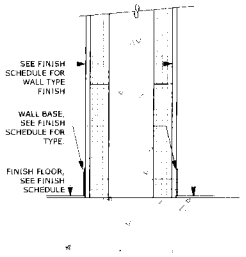
EXT CONC WALL @HORIZ. TRIM (16)
SCALE: 3" = 1'-0"



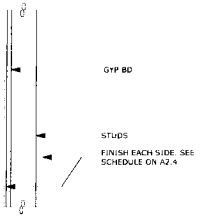
EXT CONC WALL W/SIDING FLASHING (15)
SCALE: 3" = 1'-0"



EXT CONC WALL W/SIDING (11)
SCALE: 1 1/2" = 1'-0"



INT CONC WALL BASE (8)
SCALE: 1 1/2" = 1'-0"



WALL TYPE D (4)
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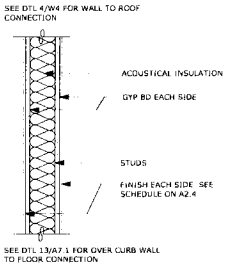

WALL TYPE C (3)
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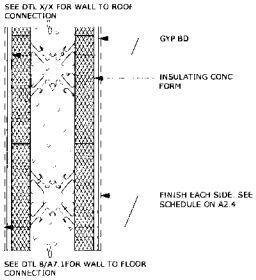
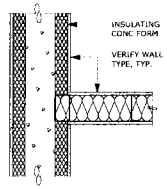


WALL TYPE B (2)
SCALE: 1 1/2" = 1'-0"



WALL INTERSECTION @ICF (14)
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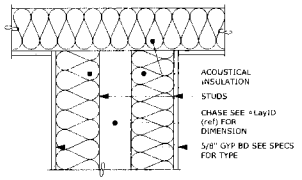
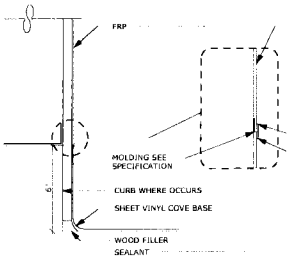
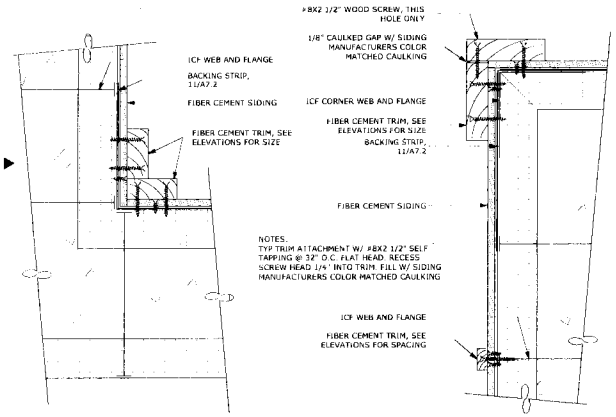


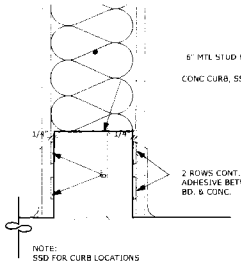
CHASE WALL @CEILING (10)
SCALE: 1 1/2" = 1'-0"



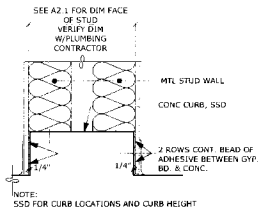
FRP - WALL TO FLOOR (6)
SCALE: 3" = 1'-0"



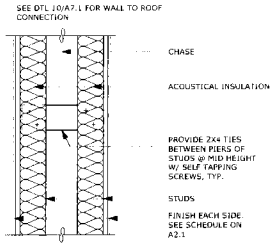
EXT CONC WALL @HORIZ. TRIM (17)
SCALE: 3" = 1'-0"



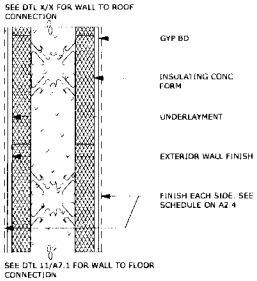
INT WALL OVER CURB (13)
SCALE: 3" = 1'-0"



INT CHASE WALL BASE OVER CURB (9)
SCALE: 1 1/2" = 1'-0"



INT CHASE WALL - TYPE E (5)
SCALE: 1 1/2" = 1'-0"



WALL TYPE A (1)
SCALE: 1 1/2" = 1'-0"

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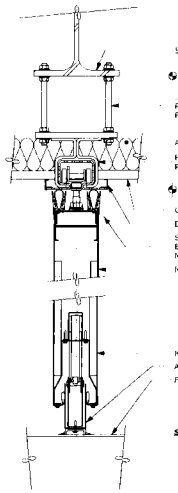

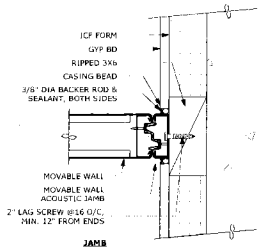

MOVABLE PARTITION (15)
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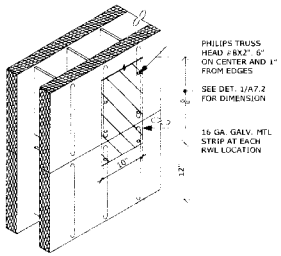
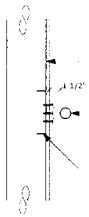
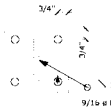


BACKING STRIP @ ICF WALL (11)
SCALE: 1" = 1'-0"

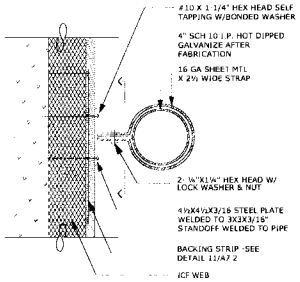




ELEVATION

HOTC.
SEE DETAIL 19/M1 FOR FIXTURE MOUNTING HEIGHT SCHEDULE.

BACKING @ GRAB BARS (14)
SCALE: 1 1/2"= 1'-0"



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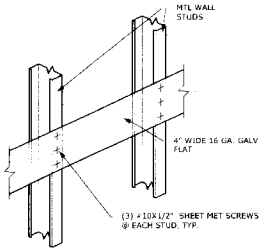
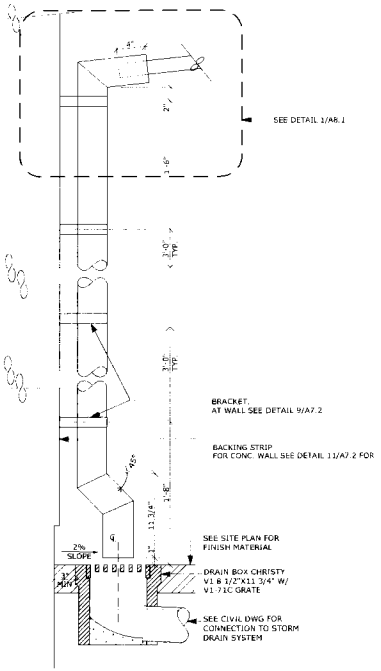


BACKING STRIP METAL (13)
SCALE: 1 1/2"= 1'-0"

RWL BRACKET (9)
SCALE: 3" = 1'-0"



RWL @ BOTTOM CONNECTION (1)
SCALE: 1 1/2"= 1'-0"

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WALL DETAILS

PACIFIC ELEMENTARY SCHOOL - MEASURE M NEW CLASSROOM BUILDING

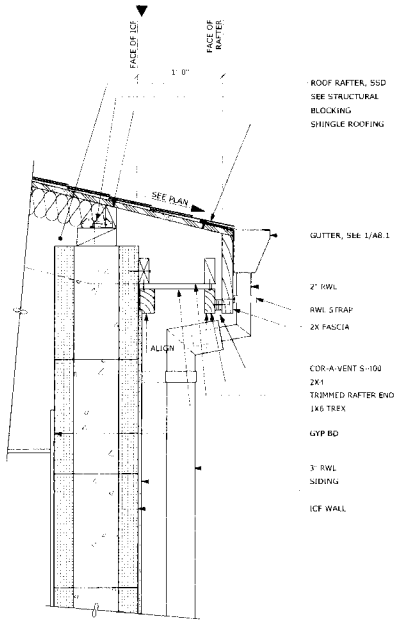
PACIFIC ELEMENTARY SCHOOL DISTRICT
50 OCEAN STREET, DAVENPORT, CA 95017

2014

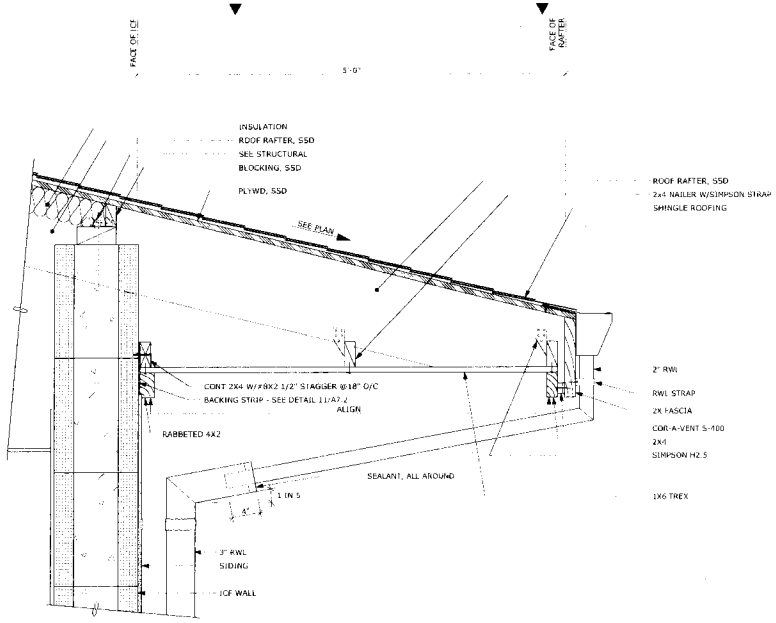
03/13/2014

13018

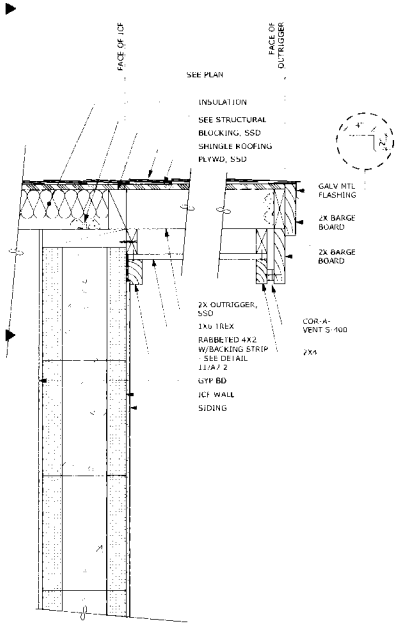
A7.2



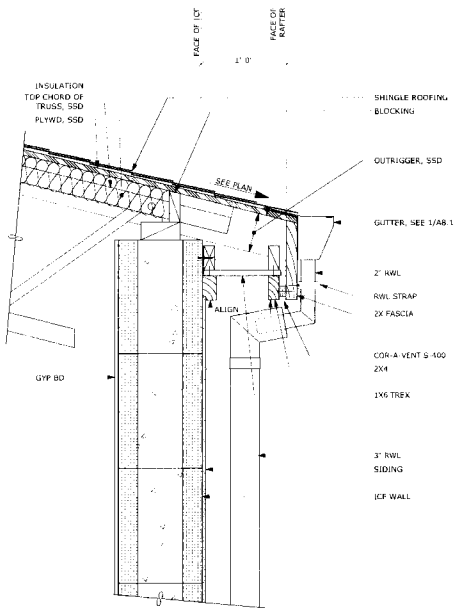
1'-0" EAVE AT RAFTER (15)
SCALE: 1 1/2"= 1'-0"



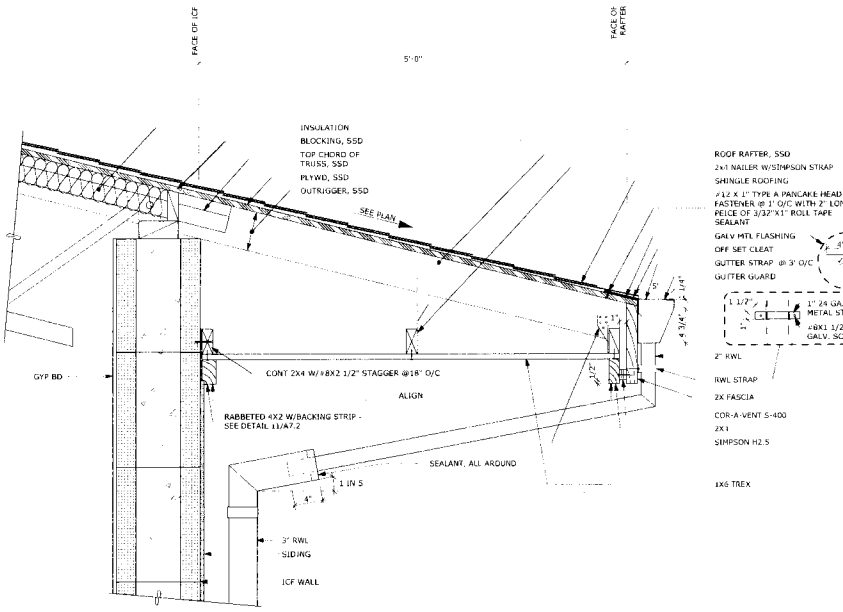
5'-0" EAVE AT RAFTER (3)
SCALE: 1 1/2"= 1'-0"



RAKE (17)
SCALE: 1 1/2"= 1'-0"



1'-0" EAVE AT TRUSS (13)
SCALE: 1 1/2"= 1'-0"



5'-0" EAVE AT TRUSS (1)
SCALE: 1 1/2"= 1'-0"

WESTON MILES
1750 Ocean Street, Suite #120
Santa Cruz, CA 95060
T 408 • 429 • 1000
• Architecture • Landscape •

FILE # H - 36
IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
OFFICE OF REGULATION SERVICES
01-
AC FLS SS
DATE

ROOF DETAILS

PACIFIC SCHOOL - MEASURE M NEW CLASSROOM BUILDING

PACIFIC ELEMENTARY SCHOOL DISTRICT
50 OCEAN STREET, DAVENPORT, CA 95017

2014

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13018

A8.1

Required Findings for Agricultural Buffer Setback Reduction
County Code Section 16.50.095(D)

1. Significant topographical differences exist between the agricultural and non-agricultural uses which eliminates or minimizes the need for a 200 foot agricultural buffer setback; or

Significant topographical differences exist between the subject parcel and APN 058-122-12, to allow for a reduction in the required 200 foot setback to about 56 feet feet. APN 058-122-12 is a steep parcel and primarily used for grazing. The proposed building site is approximately 70 feet below the flat portion of the adjacent Commercial Agriculture zoned parcel. Due to topography of the first 200 linear feet of APN 058-122-12 and the limited use of the steep slope for agricultural purposes, minimal impacts as a result of noise, dust, and odors are expected to occur. Further, the proposed development is a relatively minor change to existing development on the school campus. No increase in enrolled children or staff is proposed. As a result, no increased impacts from either the school or adjacent agricultural operations are expected.

3. A lesser setback is found to be adequate to prevent conflicts between the non-agricultural development and the adjacent agricultural development and the adjacent agricultural land, based on the establishment of a physical barrier (unless it is determined that the installation of a barrier will hinder the affected agricultural use more than it would help it, or would create a serious traffic hazard on a public or private right of way) or the existence of some other factor which effectively supplants the need for a two hundred (200) foot agricultural buffer setback; or

The proposed development is not expected to result in an increase to impacts from either the school or adjacent agricultural operations. An effective barrier consists of an existing six foot tall chain link fence enhanced with existing mature pine trees to prevent conflicts between the non-agricultural development and the adjacent Commercial Agriculture zoned land of APN 058-122-12. This barrier, as proposed, shall not create a hazard in terms of the vehicular sight distance necessary for safe passage of traffic on Ocean Street and Marine View Avenue.

4. The imposition of a two hundred (200) foot agricultural buffer setback would preclude building on a parcel of record as of the effective date of this chapter, in which case a lesser buffer setback distance may be permitted, provided that the maximum possible setback distance is required, coupled with a requirement for a physical barrier (e.g. solid fencing and/or vegetative screening) to provide the maximum buffering possible, consistent with the objective of permitting building on a parcel of record.

The subject parcel is developed with an existing elementary school. The location of the proposed development is roughly in the same location of two existing structures that are to be demolished as part of the project. The proposed structure will replace the existing structures resulting in a 1,320 square foot increase in classroom area located within the required 200 foot agricultural setback. The majority of the school grounds including outdoor play area will continue to be located within the 200 foot setback. As proposed, the existing vegetation on the north east side of the property will provide an adequate vegetative buffer from the adjacent CA lands.

Conditions of Approval

I. This permit authorizes an Agricultural Buffer Setback reduction from the proposed habitable use to APN (058-122-12). This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit, including, without limitation, any construction or site disturbance, the applicant/owner shall:

A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.

B. Obtain a Building Permit and Grading Permit from the Santa Cruz County Building Official, if necessary.

1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.

II. Prior to approval of the Coastal Development Permit the applicant/owner shall:

A. Submit a final plan showing compliance with the agricultural buffer reduction for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. Any changes from the approved Exhibit "A" for this development permit on the plans submitted for the Coastal Development Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Permit that is issued for the proposed development. The final plans shall include the following additional information:

1. A development setback of a minimum of 56 feet from the classroom building to the adjacent Commercial Agriculture zoned parcel APN 058-122-12.

2. Final plans shall show the location of the vegetative buffering barrier (and any fences/walls used for the purpose of buffering adjacent agricultural land) which shall be composed of drought tolerant shrubbery. The shrubs utilized shall attain a minimum height of six feet upon maturity. Species type, plant sizes and spacing shall be indicated on the final plans for review and approval by Planning Department staff.

B. The owner shall record a Statement of Acknowledgement, as prepared by the Planning Department, and submit proof of recordation to the Planning Department. The statement of Acknowledgement acknowledges the adjacent agricultural land use and the agricultural buffer setbacks.

III. All construction shall be performed according to the approved plans.

IV. Operational Conditions

A. The vegetative and physical barrier shall be permanently maintained. The applicant/owner shall contact the Planning Department's Agricultural Planner a minimum of three working days in advance to schedule an inspection to verify that the required barrier (vegetative and/or other) has been completed.

B. All required Agricultural Buffer Setbacks shall be maintained.

C. In the event that future County inspections of the subject property disclose non-compliance with any Conditions of this Approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, up to and including permit revocation.

V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, it officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.

A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.

B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:

1. COUNTY bears its own attorney's fees and costs; and

2. COUNTY defends the action in good faith.

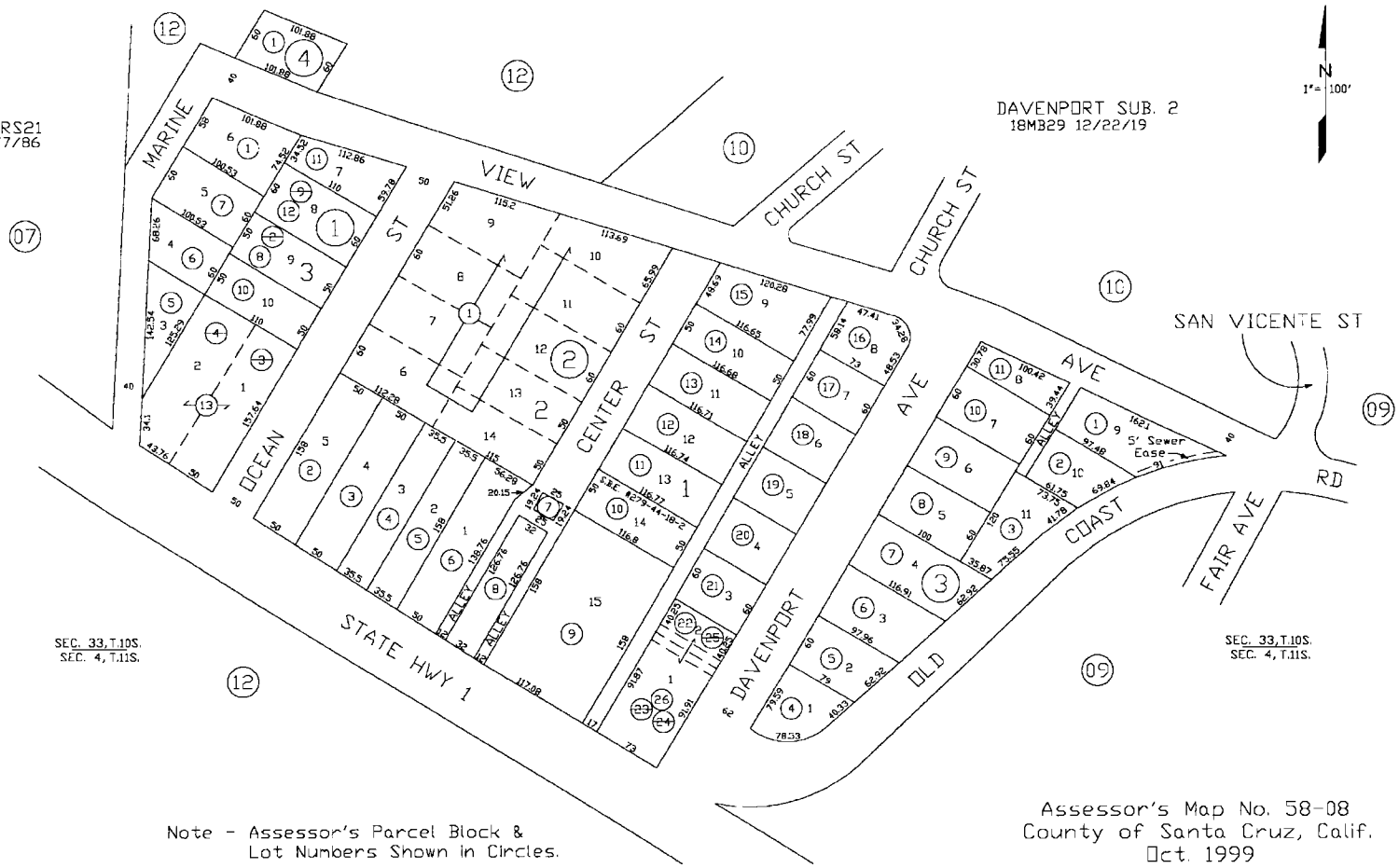
C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.

D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor'(s) in interest, transferee(s), and assign(s) of the applicant.

FOR TAX PURPOSES ONLY

SAN VICENTE RANCHO
POR. SEC. 33, T.10S., R.3W., & SEC. 4, T.11S., R.3W., M.D.B. & M.

Tax Area Code 58-08
86-003

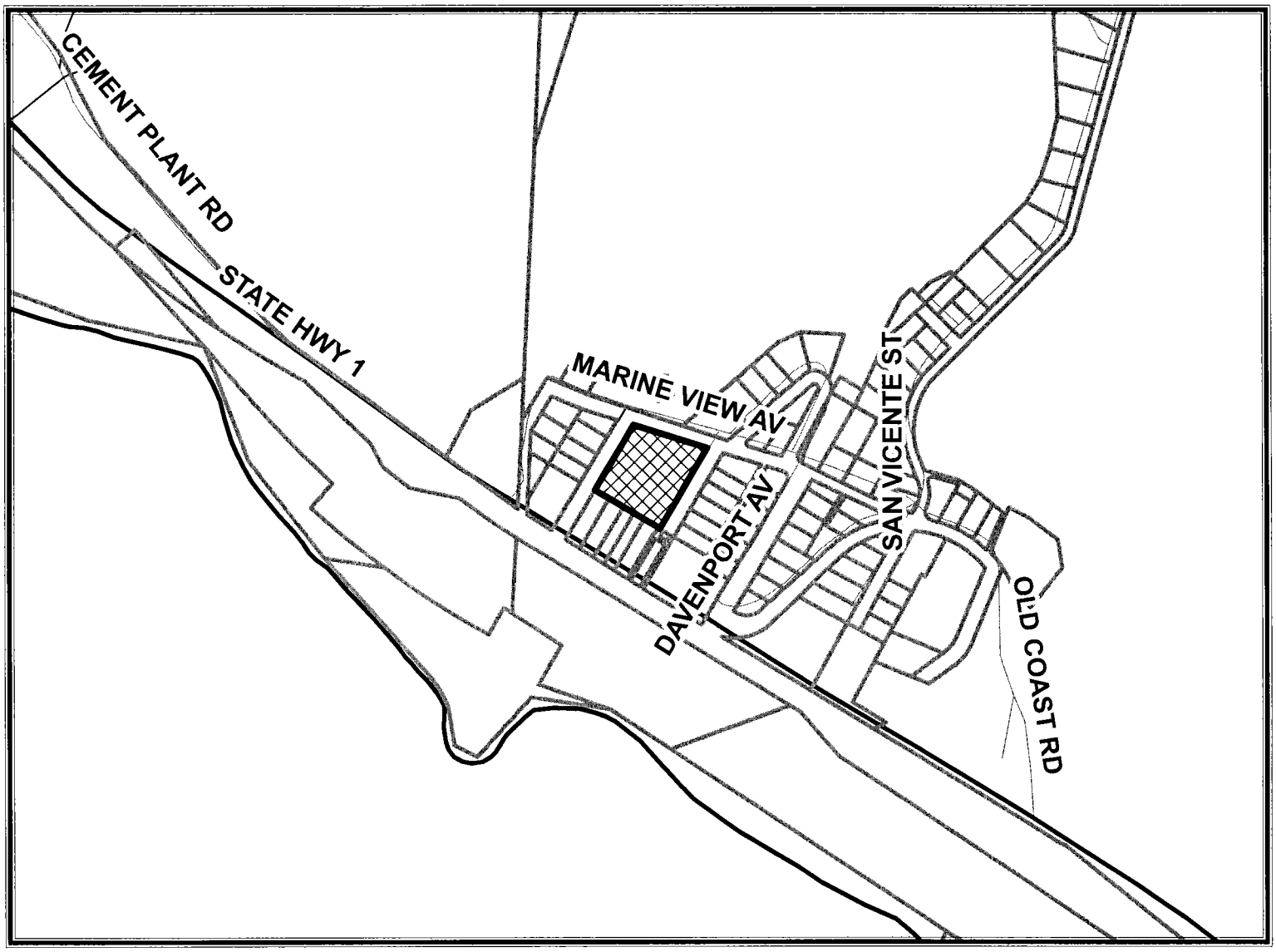


Note - Assessor's Parcel Block & Lot Numbers Shown in Circles.

Assessor's Map No. 58-08
County of Santa Cruz, Calif.
Oct. 1999

Electronically redrawn 10/25/99 KSA

Location Map



0 425 850 1,700 2,550 3,400 Feet

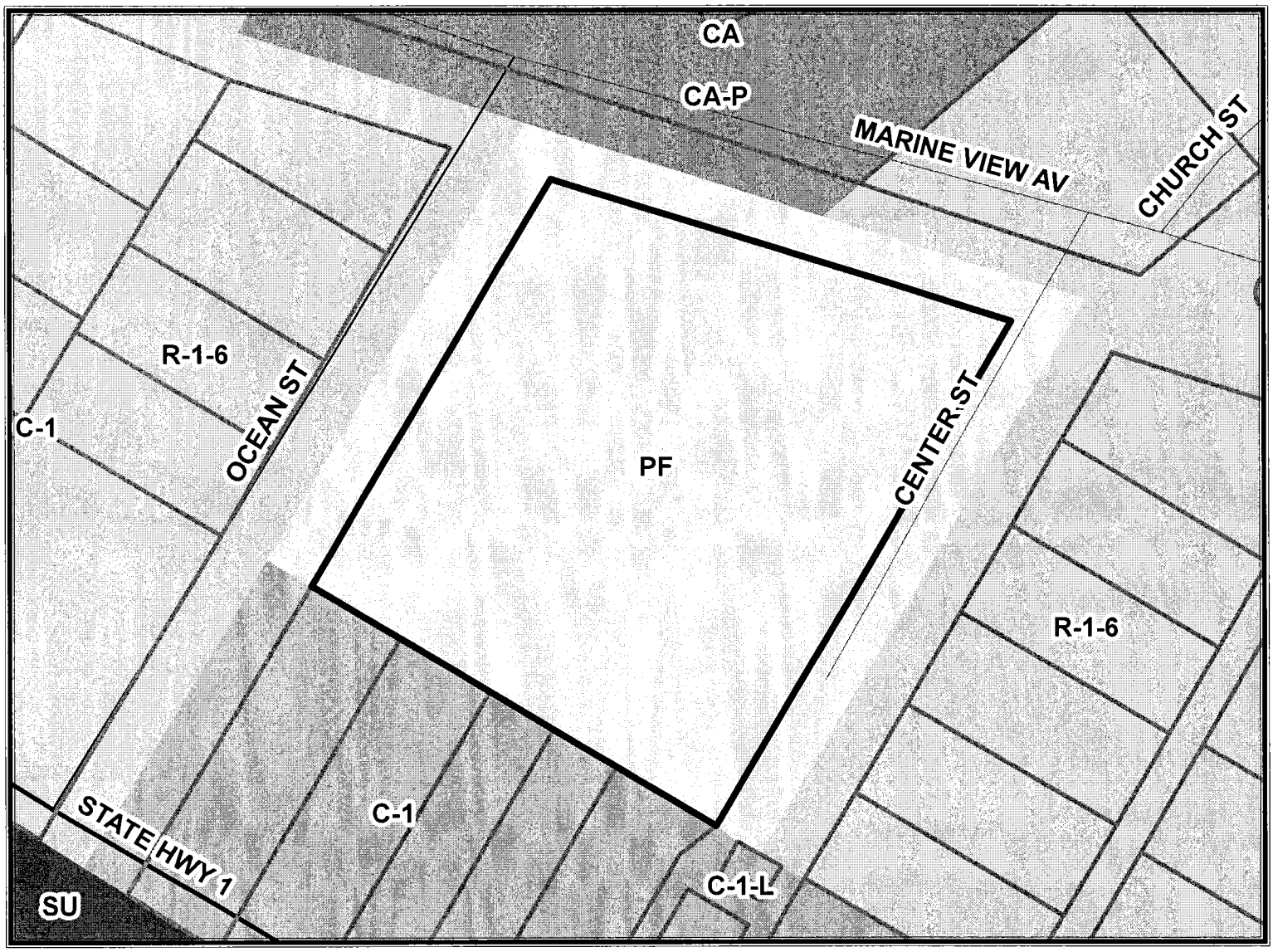
LEGEND

- APN: 058-082-01
- Assessors Parcels
- Street
- State Highways
- County Boundary

N W E S

Map Created by
County of Santa Cruz
Planning Department
April 2014

Zoning Map



0 65 130 260 390 520 Feet

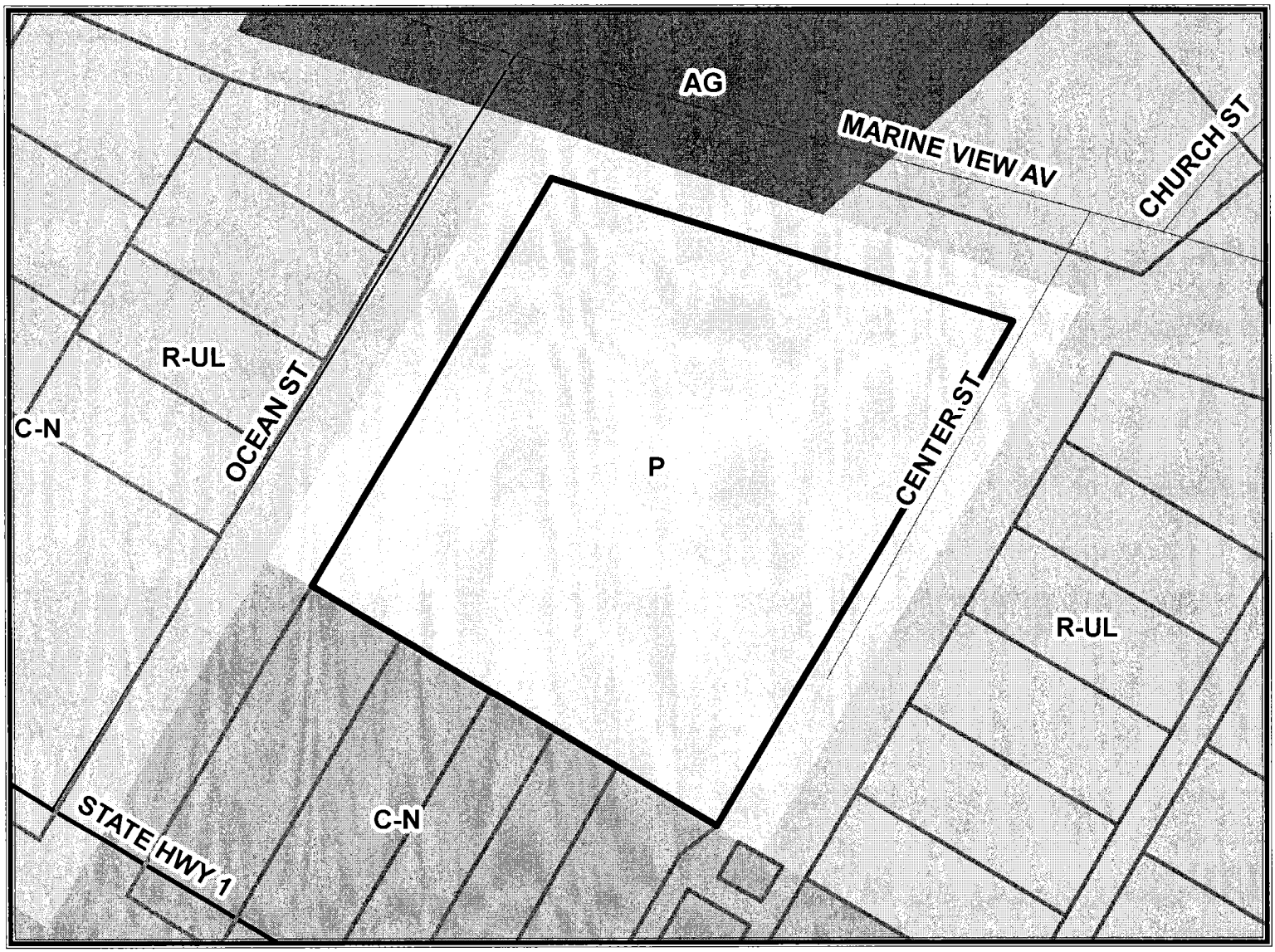
LEGEND

- APN: 058-082-01
- Assessors Parcels
- Street
- State Highways
- PUBLIC FACILITY
- RESIDENTIAL-SINGLE FAMILY
- COMMERCIAL-NEIGHBORHOOD
- AGRICULTURE COMMERCIAL
- SPECIAL USE

N W E S

Map Created by
County of Santa Cruz
Planning Department
April 2014

General Plan Designation Map



0 65 130 260 390 520 Feet

LEGEND

- APN: 058-082-01
- Assessors Parcels
- Street
- State Highways
- Public Facilites
- Residential - Urban Low Density
- Commercial-Neighborhood
- Agriculture

N W E S

Map Created by
County of Santa Cruz
Planning Department
April 2014

Minor Variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless the conditions of approval are complied with and the use commences before the expiration date.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Agricultural Policy Advisory Commission under the provisions of County Code Chapter 16.50, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code.