



## **Staff Report to the Agricultural Policy Advisory Commission**

**Application Number: 211319**

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**Applicant:** Robin Alaga

**Owner:** Mike Treanor

**APN:** 049-343-13

**Address:** 215 Calabasas Road, Watsonville

**Date:** May 19, 2022

**Agenda Item #:** 08

**Time:** 1:30 p.m.

**Project Description:** Proposal to construct a new single family dwelling and convert the existing garage to an accessory dwelling unit. Requires an Agricultural Buffer Setback Reduction to reduce the required 200 foot agricultural buffer setback to about 70 feet to CA zoned property located across Calabasas Road.

**Location:** Property is located at the intersection of Lynwood Road and Calabasas Road in Watsonville (215 Calabasas Rd).

**Permits Required:** Agricultural Buffer Setback Reduction

### **Staff Recommendation:**

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 211319, based on the attached findings and conditions.

### **Analysis and Discussion**

The proposed project is to convert the existing garage to an accessory dwelling unit and to construct a single-family dwelling on a 7,000 square foot parcel. The project is located within a residential subdivision with agricultural land located across Calabasas Road. The building site is within 200 feet of Commercial Agricultural land to the north. The applicant is requesting a reduction in the 200 foot agricultural buffer setback to 70 feet from APNs 049-181-29 & -22.

The subject property is located within a residential subdivision with relatively level topography. The parcel is located within the Urban Services Line and can be characterized as single family residential neighborhood. The parcel is located within the R-UL (Urban low density residential) General Plan designation and the implementing zone district is R-1-8-AIA (Single family residential - 8,000 square feet minimum - Airport combining district). Commercial Agriculture zoned land is situated within 200 feet to the north of the parcel across Calabasas Road at Assessor's Parcel Number 049-181-29 & -22.

A reduced agricultural buffer is recommended due to the fact that there would be no usable

Agriculture zoned property. The applicant is not proposing a high fence or vegetative barrier due to potential vehicular sight distance issues that could be caused by these features and the location of the property across Calabasas Road is sufficient to reduce the impact of agricultural activities on the proposed residential use, and to therefore protect the agricultural interests on the Commercial Agriculture zoned parcel(s). The applicant will also be required to record a Statement of Acknowledgement regarding the issuance of a building permit in an area determined by the County of Santa Cruz to be subject to Agricultural-Residential use conflicts.

### **Recommendation**

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Staff recommends that your Commission **APPROVE** the Agricultural Buffer Reduction from 200 feet to about 70 feet to the single-family dwelling from the adjacent CA zoned property known as APN 049-181-29 & -22, proposed under Application # 211319, based on the attached findings and recommended conditions.

**Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.**

**The County Code and General Plan, as well as hearing agendas and additional information are available online at: [www.sccoplanning.com](http://www.sccoplanning.com)**

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Report Reviewed By: Jocelyn Drake  
Principal Planner  
Development Review

### **Exhibits**

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information

# CALIFORNIA ENVIRONMENTAL QUALITY ACT

## NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 211319

Assessor Parcel Number: 049-343-13

Project Location: 215 Calabasas Road, Watsonville

**Project Description: Agricultural Buffer Setback Reduction**

**Person or Agency Proposing Project: Robin Alaga**

**Contact Phone Number: (831) 419-4919**

- A. \_\_\_\_\_ The proposed activity is not a project under CEQA Guidelines Section 15378.  
B. \_\_\_\_\_ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).  
C. \_\_\_\_\_ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.  
D. \_\_\_\_\_ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).  
E.   X   **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

**F. Reasons why the project is exempt:**

Construction of a single family dwelling and accessory dwelling unit in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

\_\_\_\_\_  
**Randall Adams**, Project Planner

Date: \_\_\_\_\_

**EXHIBIT A**

**Required Findings for Agricultural Buffer Setback Reduction  
County Code Section 16.50.095(D)**

1. Significant topographical differences exist between the agricultural and non-agricultural uses which eliminates or minimizes the need for a 200 foot agricultural buffer setback; or
2. Permanent substantial vegetation (such as a Riparian Corridor or Woodland protected by the County's Riparian Corridor or Sensitive Habitat Ordinances) or other physical barriers exist between the agricultural and non-agricultural uses which eliminate or minimize the need for a two hundred (200) foot agricultural buffer setback; or
3. A lesser setback is found to be adequate to prevent conflicts between the non-agricultural development and the adjacent agricultural development and the adjacent agricultural land, based on the establishment of a physical barrier (unless it is determined that the installation of a barrier will hinder the affected agricultural use more than it would help it, or would create a serious traffic hazard on a public or private right of way) or the existence of some other factor which effectively supplants the need for a two hundred (200) foot agricultural buffer setback; or

The location of the property within a residential subdivision located across a major roadway without adequate area to build if the 200 foot buffer setback is applied is sufficient to warrant a reduced setback. A physical or vegetative barrier is not recommended due to the potential for vehicular sight distance issues (serious traffic hazard) and conflicts with traffic on Calabasas Road.

4. The imposition of a two hundred (200) foot agricultural buffer setback would preclude building on a parcel of record as of the effective date of this chapter, in which case a lesser buffer setback distance may be permitted, provided that the maximum possible setback distance is required, coupled with a requirement for a physical barrier (e.g. solid fencing and/or vegetative screening) to provide the maximum buffering possible, consistent with the objective of permitting building on a parcel of record.

The application of a 200 foot buffer setback would preclude development of the parcel. A reduced setback is warranted and would be consistent with other development within the residential subdivision. A physical or vegetative barrier is not recommended due to the potential for vehicular sight distance issues (serious traffic hazard) and conflicts with traffic on Calabasas Road.

## **Conditions of Approval**

- I. This permit authorizes an Agricultural Buffer Setback as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit, including, without limitation, any construction or site disturbance, the applicant/owner shall:
  - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Obtain a Building Permit and Grading Permit from the Santa Cruz County Building Official.
    1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
  - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
    1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
    2. A development setback of a minimum of 70 feet from the single-family dwelling and accessory dwelling unit to the adjacent Commercial Agriculture zoned parcel APN 049-181-29 & -22.
  - B. The owner shall record a Statement of Acknowledgement, as prepared by the Planning Department, and submit proof of recordation to the Planning Department. The statement of Acknowledgement acknowledges the adjacent agricultural land use and the agricultural buffer setbacks.
- III. All construction shall be performed according to the approved plans for the building permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
  - A. The agricultural buffer setbacks shall be met as verified by the County Building Inspector.
  - B. All inspections required by the building permit shall be completed to the

satisfaction of the County Building Official and/or the County Senior Civil Engineer.

IV. Operational Conditions

- A. All required Agricultural Buffer Setbacks shall be maintained.
- B. In the event that future County inspections of the subject property disclose non-compliance with any Conditions of this Approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
  - 1. COUNTY bears its own attorney's fees and costs; and
  - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The "applicant/owner" shall include the applicant and/or the

owner and the successor'(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

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Minor Variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

**Please note: This permit expires three years from the effective date listed below or if additional discretionary permits are required for the above permitted project, this permit shall expire on the same date as any subsequent approved discretionary permit(s) unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.**

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

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Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Agricultural Policy Advisory Commission under the provisions of County Code Chapter 16.50, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code.



GENERAL NOTES

- The code editions to be followed:

2019 Edition	California Building Code	2019 Edition
2019 Edition	California Plumbing Code	2019 Edition
2019 Edition	California Electrical Code	2019 Edition
2019 Edition	California Mechanical Code	2019 Edition
2019 Edition	California Green Building Standards Code	2019 Edition
2019 Edition	California Fire Code	2019 Edition
- Hold down devices must be secured in place prior to foundation inspection.
- Fasteners in preservative-treated wood (anchor bolts, nails, screws, etc.) shall be of an approved silicon bronze or copper, stainless steel or hot-dipped zinc coated steel.
- Foundation sills shall be a minimum of 1/2" inch diameter in SDC D and 5/8" inch minimum diameter in SDC E.
- Anchor bolts shall be embedded a minimum of 7 inches into foundation.
- Anchor bolts shall not be spaced more than 6 feet apart in SDC D and no more than 4 feet apart in SDC E.
- There shall be a minimum of 2 bolts per sill piece with one bolt not located more than 12 inches or not less than 4 inches of each end of the sill piece.
- Washers for anchor bolts shall be a minimum of 5 inches by 3 inches by 0.225 inch thick. Steel plate washers may be substituted.
- Minimum compression strength of concrete shall be 2,500 psi.
- Reinforcing steel for concrete shall be a minimum of ASTM A415 Grade 60.
- Reinforcing steel for concrete shall be a minimum of #4.
- Wall shall be in compliance with CBC Table 2503.5.1.
- Nailing shall be in compliance with CBC Table 2503.4.1.
- Foundation vents to be 6"x6" @ 8'-0" o.c. max.
- Foundation vents to be 6"x6" @ 8'-0" o.c. max.
- Block or double joint under all walls. Blocking 3/8"-0" o.c. max (not applicable with TJTs).
- Attic and foundation venting shall be a minimum of 1/150 of the area to be vented.
- Smoke detectors and carbon monoxide alarms in new structures shall receive their primary power from the house primary wiring and shall have a battery backup.
- Egress requirements for sleeping rooms:
  - Min. net clear operable dimension of 24" in height.
  - Min. net clear operable dimension of 20" in width.
  - Min. net clear operable dimension of 5.7 square feet.
  - Maximum distance to floor is 44".
- Joists and other openings in the building envelope that are potential sources of air leakage shall be caulked, gasketed, weather-stripped or otherwise sealed to limit infiltration and exfiltration.
- The first 5' of hot and cold water pipes from the storage tank from non-recirculating systems shall be thermally insulated with a minimum of 1" (78°F) thick insulation for hot (cold) water pipes with a diameter of less than or equal to 2" or 1.5" (1" for hot/cold) water pipes with a diameter of greater than 2" and conform to California Energy Code 150.04(12).
- The building contractor shall provide the owner and County Building Department a copy of the CF-2R installation Certificate at the time of inspection.
- Air duct installed under a floor in a craw space shall be installed as to maintain a vertical clearance of 18" for all portions of the duct that would obstruct access to any part of the craw space.
- Shower compartments and walls above bathtubs with installed shower heads shall be finished with a smooth, non-absorbent surface to a height of not less than 72" above finish floor. Ceramic tile is to be installed over fiberglas or cementitious backer board.
- The maximum hot water temperature discharging from the bathtub, shower and whirlpool bathtubs shall be limited to 120 degrees Fahrenheit. The water heater thermostat shall not be considered a control for the mixing of hot and cold water.
- Plumbing fixtures are required to meet the following maximum flow rates: shower heads 1.8 gpm @ 80 psi, kitchen faucet 1.8 gpm @ 60 psi, lav faucets 1.2 gpm @ 60 psi and water closets 1.28 gallons per flush.
- The shower valve shall be a pressure balance type, thermostatic mixing type or a combination pressure balance/thermostatic mixing type.
- Fiber-reinforced, fibreg-not-reinforced, cementitious backer units, glass mat gypsum backers of fiber-reinforced gypsum backers in compliance with ASTM C 1288, C 1525, C 1178 or C 1278 respectively and installed in accordance with manufacturer's recommendations shall be used as backers for wall tile in tub and shower areas and wall panels in shower areas (CBC R702.4.2.1).
- Ceramic tile surfaces shall be installed in accordance with ANSI A108.1, A108.4 through A108.6, A108.11, A118.1, A118.3, A136.1, and A137.1, ICBC R702.4.11.
- A118.1, A118.3, A136.1, and A137.1, ICBC R702.4.11.
- The waste outlet and tailpiece for the shower shall be a minimum 2" in diameter.

FIRE DEPARTMENT NOTES – (SPRINKLED)

- These plans are in compliance with the 2019 California Fire and Building Code and with applicable National Fire Protection Association Standard 13D and district amendments.
- This building is R-3, Type V-3, and Sprinkled.
- A public fire hydrant is within 600 feet of any portion of the building meeting the minimum required fire flow.
- The required available fire flow on this property is 1,000 gallons per minute for 220 minutes.
- Before construction begins, temporary or permanent address numbers shall be posted. Permanent numbers must be posted prior to final inspection. Address numbers shall be posted on property so as to be clearly visible from the road. Address numbers must be in "Arabic" (1,2,3, etc.), not "Roman" (I,IV,etc.) or written out in words.
- Address numbers shall be a minimum of 6" tall, with wide stroke, and posted on a contrasting background, and visible from the street. Where numbers are not visible from the street, additional numbers shall be installed on a directional sign at the property driveway and the street.
- Roof construction shall be Class A (min.) as defined by Uniform Building Code Standard 15-2.
- There shall be a minimum of 3 100 foot clearance maintained with non-combustible vegetation around all structures. Exception: Single specimens of trees, ornamental shrubbery, or similar plants used as ground covers, provided they do not form a means of rapidly transmitting fire from native growth to any structure.
- Electric gates shall be protected with a layout which meets the department specifications. Gate enclosures shall be at least 1/2" thick, 12' high, and have no openings less than 12" wide. Gates must be 2 feet wider than required at all width. Unobstructed vertical clearance shall not be less than 15 feet.
- The installation of an approved spark arrester shall be placed on top of the chimney. Wire mesh not to exceed 1/8 inch. (When adding a new fireplace or wood stove).
- All requirements of the Single Family Dwelling Guide must be met.
- Smoke detectors are required in all sleeping rooms and in hallways outside of sleeping rooms within 10 feet of sleeping room doors.
- Carbon Monoxide Alarms (CMA) are required outside all sleeping rooms within 10 feet of sleeping room doors.
- All buildings shall be equipped with an automatic sprinkler system complying with the latest edition of NFPA 13D currently adopted standards of the Santa Cruz County Fire Chief's Association.
- Fire alarm flow switch shall be wired to kitchen refrigerator circuit. Any deviations require fire dept approval.
- A 48 hour minimum notice to the fire department is required prior to any inspection and/or test.
- The sprinkler installer shall submit three (2) sets of plans and calculations for the automatic sprinkler system to the fire agency for approval.
- The copies of the building and fire system plans and permits must be on site during construction.
- All underground piping systems shall comply with the County Standard FPO-005 and shall require plan submittal and permit approval prior to installation. The standard is available at the Santa Cruz Fire Marshall's Office.
- An UNDERGROUND FIRE PROTECTION SYSTEM WORKING DRAWING must be prepared by the designer/installer. The plans shall comply with the UNDERGROUND FIRE PROTECTION SYSTEM INSTALLATION POLICY HANDOUT. Underground plan submittal and permit will be issued to a Class C-16, owner-builder of an owner-builder occupied SPD, or a C-36 plumbing contractor.
- The driveway/access road shall be in place prior to any framing construction, or construction will be stopped.

OWNER: Mike Treatnor  
215 Calabasas Road  
Watsonville, CA 95076

PROJECT DATA:

A.P.N. 069 – 343 – 13  
Zoning R-1.8-AIA  
Occupancy Group R-3 / U  
Construction Type V-B Sprinklered  
Parcel Size 7,056 sq. ft. (Assessor)  
Lot Coverage 2,354 sq. ft. (33 %)  
Floor Area Ratio 1.214 sq. ft.  
Proposed Garage 240 sq. ft.  
Proposed ADU 795 sq. ft.  
Proposed Laundry/Storage (unintended) 107 sq. ft.

SCOPE OF WORK:

Construct a new 3 bedroom, 2 bath Single Family Residence with an attached 240 sq. ft. garage. Convert an existing 900 sq. ft. garage/shop to a 795 sq. ft. ADU and 107 sq. ft. unintended laundry and storage area.

SHEET INDEX:

- Page 1: Site Plan, Vicinity Map and Notes  
Page 2: Floor Plans  
Page 3: Foundation Plans & Details  
Page 4: Roof Framing Plans & Details  
Page 5: Sections & Details  
Page 6: Sections & ADU Elevations  
Page 7: Electrical Plans and Notes  
Page 8: Residence Elevations  
Page D.1: Engineer's Notes and Details  
Page D.1: Engineer's Details & Shear Schedule  
Page EN.1: Title 24 Energy Calculations  
Page EN.2: Title 24 Energy Calculations  
Page GB.1: Green Building Requirements

Section E – Site Housekeeping Requirements

All projects shall include the following minimum housekeeping notes on the stormwater pollution control plan.

- Construction Materials**
- All loose scattered construction materials that are not actively being used (i.e. soil, spoils, aggregate, freshwashed, gravel, etc.) shall be stored in a designated area and be covered.
  - All chemicals shall be stored in watertight containers (with secondary containment) to prevent any spillage or leakage) or in a storage shed (completely enclosed).
  - Exposure of construction materials to precipitation shall be minimized. This does not include materials and equipment that are designed to be outdoors and exposed to environmental conditions (i.e. poles, equipment pads, cabinets, conduits, ladders, etc.).
  - Best Management Practices to prevent the off-site tracking of loose construction and landscape materials shall be implemented.

**Waste Management**

- Disposal of any fines or wash waters or materials on impervious or pervious site surfaces or into the storm drain system shall be prevented.
- Sanitation facilities shall be contained (e.g., portable toilets) to prevent discharges of pollutants to the storm water drainage system or receiving water, and shall be located a minimum of 10 feet away from an inlet, street or driveway, stream, riparian area or other drainage facility.
- Sanitation facilities shall be inspected regularly for leaks and spills and cleaned or replaced as necessary.
- Cover waste disposal containers at the end of every business day and during a rain event.
- Discharges from waste disposal containers to the storm water drainage system or receiving water shall be prevented.
- Stockpiled waste material shall be contained and securely protected from wind and rain at all times unless actively being used.
- Equipment that effectively address hazardous and non-hazardous spills shall be implemented.
- Equipment and materials for cleanup of spills shall be available on site and leak spills and leaks shall be cleaned up immediately and disposed of properly and
- Concrete washout areas and other washout areas that may contain additional pollutants shall be contained so there is no discharge into the underlying soil and onto the surrounding areas.

**Vehicle Storage and Maintenance**

- Measures shall be taken to prevent oil, grease, or fluid to leak to the ground, storm drains or surface waters.
- All equipment or vehicles, which are to be fueled, maintained and stored onsite shall be in a designated area fitted with appropriate BMPs.
- Leads shall be immediately cleaned and leaked materials shall be disposed of properly.

**Landscape Materials**

- When accepted materials such as mulches and topsoil when they are not actively being used shall be stored in a designated area and be covered.
- Contain fertilizers and other landscape materials when they are not actively being used.
- Discontinue the application of any erodible landscape material within 2 days before a forecasted rain event or during periods of precipitation.
- Apply erodible landscape material at quantities and application rates according to manufacturer recommendations or based on written specifications by knowledgeable and experienced field personnel.
- Store erodible landscape material on pallets and covering or storing such materials when not being used or applied.

DESIGNER:

ROBIN ALAGA  
250 Evening Hill Lane  
Watsonville, CA 95076  
831.724.4994

STRUCTURAL ENGINEER:

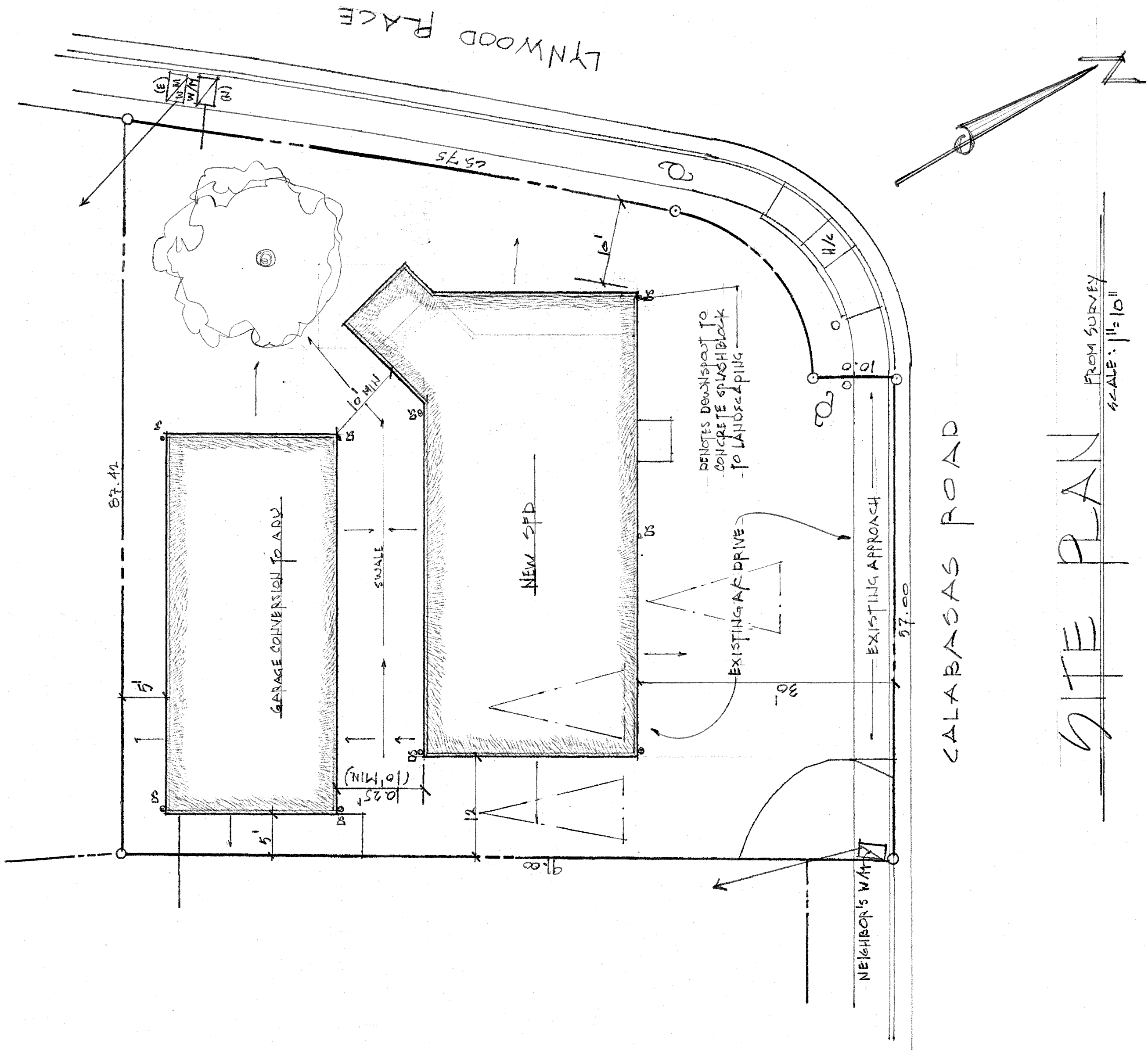
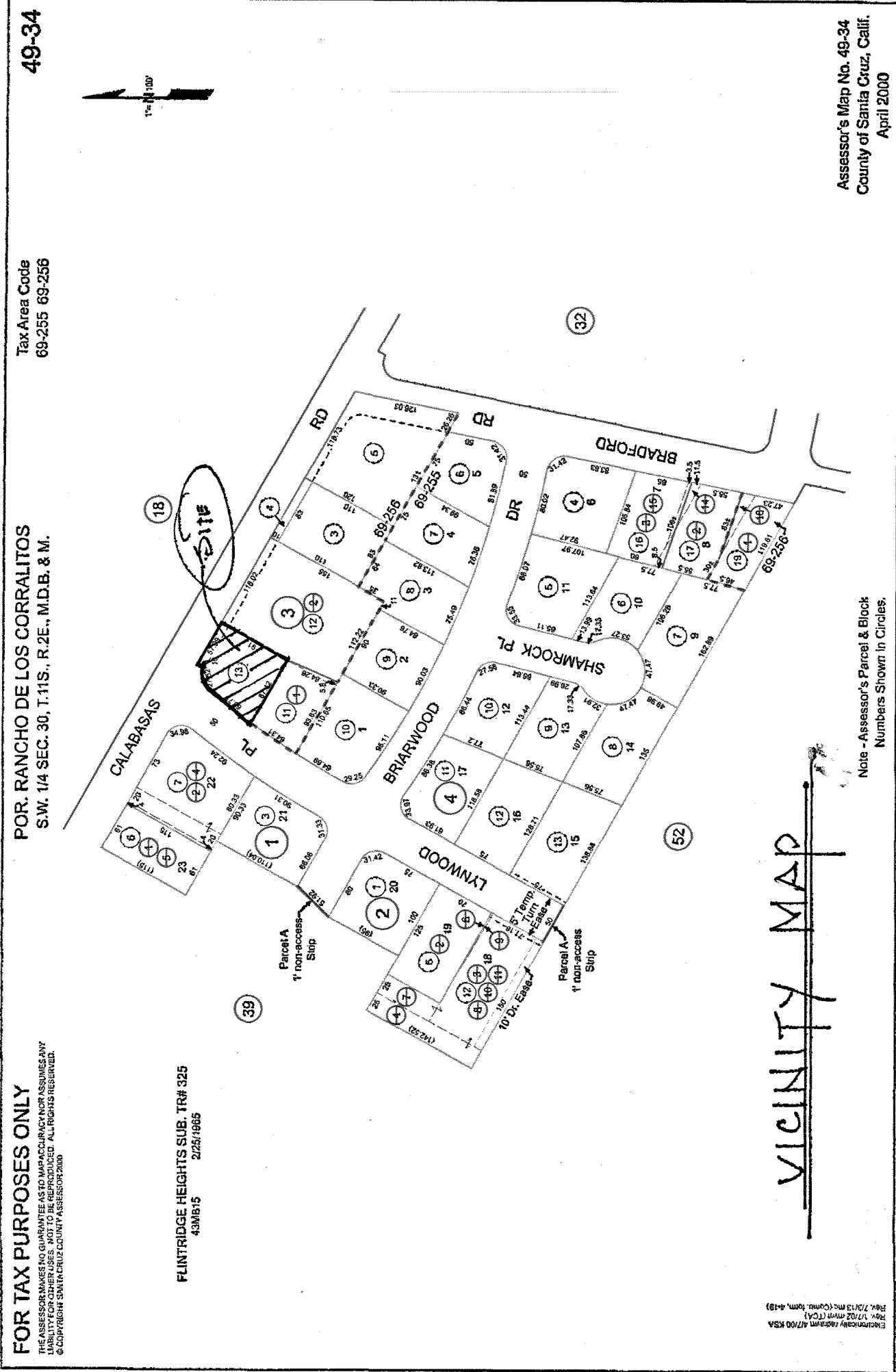
TIM WANN  
P.O. Box 3581  
Freedom, CA 95019  
831.479.1513

SOILS ENGINEER:

ROCK SOLID ENGINEERING, INC.  
1100 Main Street Suite A  
Watsonville, CA 95076  
831.724.5868

ENERGY CONSULTANT:

A PLUS GREEN ENERGY SERVICE  
41C Hanger Way  
Watsonville, CA 95076  
831.728.7717



SITE PLAN

FROM SURVEY  
SCALE: 1" = 10'

REVISIONS	BY

ROBIN ALAGA  
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Phone: (831) 724-4994  
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TREANOR RESIDENCE & A.D.U.  
Mike Treatnor  
831.214.5736  
mike.treatnor@yahoo.com  
215 Calabasas Road  
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A.P.N. 049 – 343 – 13

DRAWN ROBIN	CHECKED
DATE	
SCALE NOTED	
JOB NO. 21-30	
SHEET	
OF	SHEETS



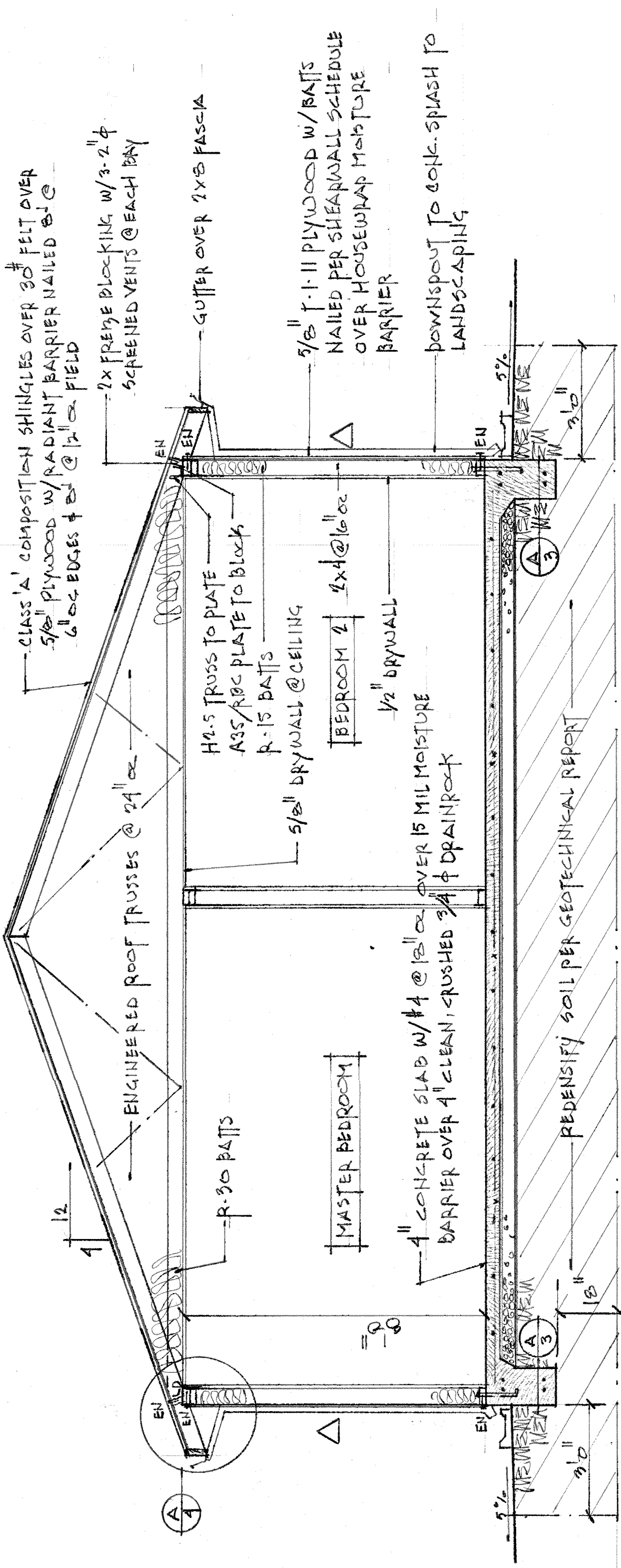


REVISIONS	BY

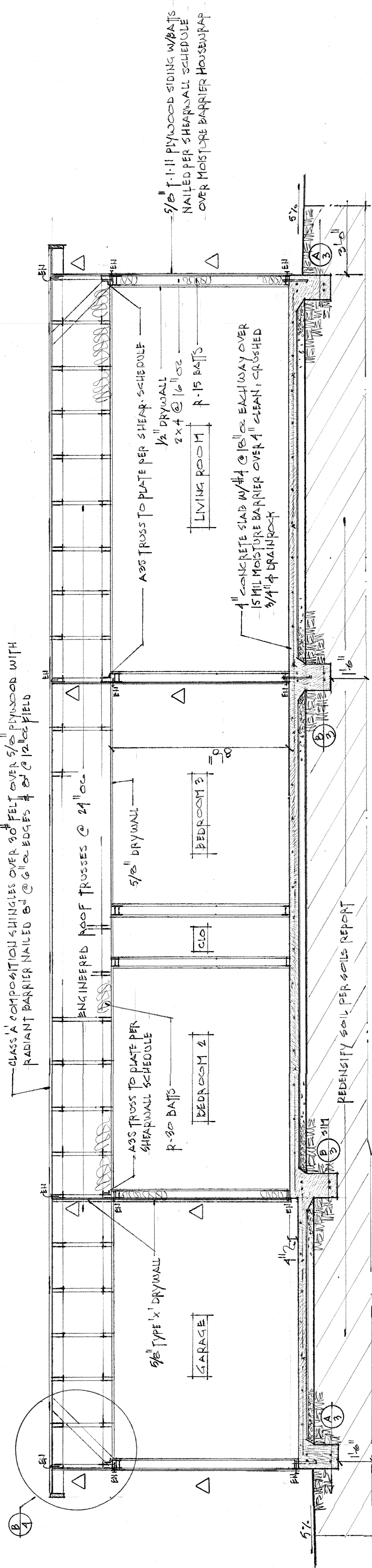
ROBIN ALAGA  
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831.214.5736  
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mike.treanor@yahoo.com  
A.P.N. 049 - 343 - 13

DRAWN	CHECKED	DATE	SCALE	NOTED	JOB NO.	SHEET
ROBIN					21-30	5



SECTION A-A  
SCALE: 3/8" = 1'-0"



SECTION B-B  
SCALE: 3/8" = 1'-0"







ELECTRICAL NOTES

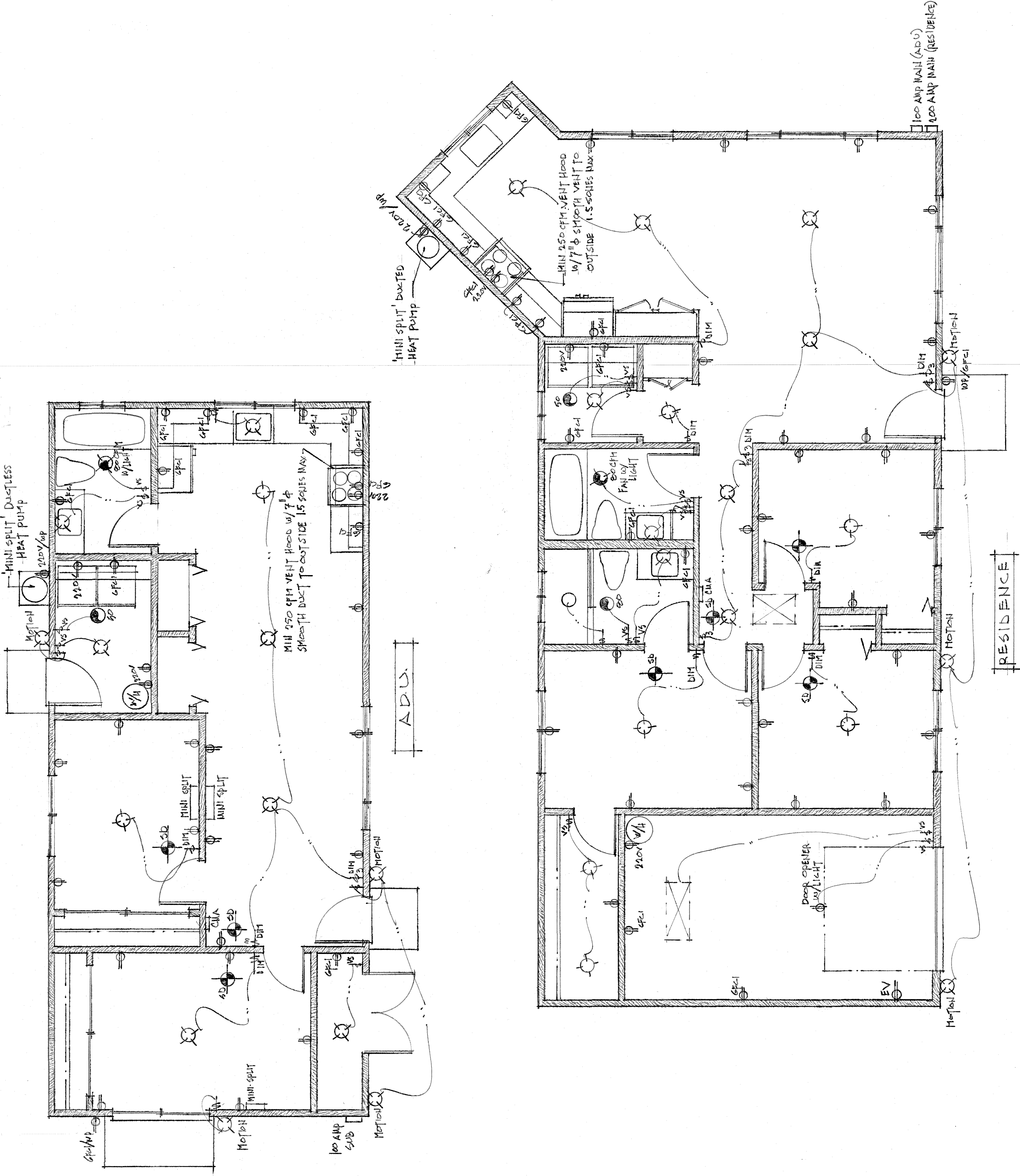
- Smoke alarm and carbon monoxide alarm shall receive their primary power from the house primary wiring, be interconnected and have a battery backup.
- The main electrical service panel shall be grounded. Concrete encased electrode, UFEP grounding. The electrode shall be located within and near the bottom of the footing consisting of at least 20 feet of one or more bare or zinc galvanized or other electrically conductive coated steel reinforcing bar at least 1/2 inches in diameter or consisting of at least 20 feet of bare copper conductor not smaller than a #4 wire.
- Arc-fault interrupter circuits All 120 volt, single phase, 15- and 20- ampere branch circuits supplying outlets installed in dwelling unit kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, recreation rooms or areas shall be protected by a listed Arc-Fault Circuit Interrupter, combination-type (AFCI). Installed to provide protection of the branch circuit.
- All 125 volt, 15 and 20 ampere receptacle outlets shall be tamper resistant receptacles.
- Fixtures installed over a bathtub or shower shall be installed so that water cannot enter or accumulate in the wiring compartment or other electrical parts. All luminaires subject to shower spray shall be listed for use in wet locations.
- All recessed lighting fixtures shall be IC & AT rated and installed per manufacturers listing and installation instructions. All luminaires subject to shower spray shall be listed for use in wet locations. Thermal insulation shall not be installed above or within 3 inches of a recessed luminaire unless it is identified as a Type I luminaire.
- One 20-amp electrical circuit shall be provided in the laundry area. This circuit shall have no other outlets.
- One 20-amp electrical circuit shall be provided in the laundry area. This circuit shall have no other outlets.
- Branch circuit where the branch circuit supplies a single bathroom only. The circuit shall have no other electrical outlets. Other than the bathroom lighting fixture, the circuit shall be protected by a GFCI.
- In dwelling units, at least one GFCI protected wall receptacle outlet shall be installed in bathroom, within 36" of the outside edge of each bath. Outlets shall be located on the wall, or partition adjacent to the bath.
- Clothes dryers & electrical ranges shall have a 4-wire grounded electrical outlet.
- Bathroom fans shall be Energy Star rated and, unless functioning as a component of a whole house ventilation system, shall be controlled by a humidity control. Bathroom fan exhaust ducts shall terminate outside the building and be equipped with backdraft dampers.
- All lighting to be high efficacy.
- Vacancy sensors required in garages, bathrooms, laundry/mud rooms, and shops- min. one per room.
- An approved, readily accessible, and independent means of disconnect for the electrical supply to each piece of equipment shall be provided in sight of the equipment served.
- Branch circuits supplying receptacle outlets inside the garage shall not supply outlets on the exterior of the garage.
- Luminaires recessed into ceilings shall meet the following requirements:
  - a) For luminaires with hard wired ballasts or drivers allow ballast or driver maintenance and replacement to be readily accessible to building occupants from below the ceiling without requiring the cutting of holes in the ceiling and
  - b) Still not contain screw base sockets and
  - c) Shall contain light sources that comply with References Joint Appendix JAB, including the elevated temperature requirements, and that are marked "JAB-2019-E" as specified in Reference Joint Appendix JAB.
- Outdoor lighting fixtures shall be listed for damp or wet installation, as applies to the location of installation and degree of weather protection afforded by adjacent permanent construction.
- Outdoor lighting fixtures shall be high efficacy type and shall be controlled by a manual on-off switch that does not override to on or the automatic actions of a motion sensor, photo-control, astronomical time clock device or ECIs, unless the switch can be manually reset to normal operation within 6 hours, or the device is automatically programmed to turn the light OFF during daylight hours.
- JAB marking is required for the following:
  - All light sources in ceiling recessed downlight luminaires. Note that ceiling recessed downlight luminaires shall not have screw bases regardless of lamp type as describe in Section 550.04VC.
  - Any light source not otherwise listed above, and certified to the Commission as complying with Joint Appendix B.
- Fixtures recessed into ceilings shall be listed for zero clearance insulation contact (CIC) have a label that certifies that the fixture is airtight with air leakage less than 2.0 CFM at 75 Pascal's (AT). be sealed with a gasket or caulk to the ceiling, have accessible ballasts/drivers if hardwired, and not contain a screw based sockets. They shall contain light sources that comply with References Joint Appendix JAB, including the elevated temperature requirements, and that are marked "JAB-2019-E".
- In other than closets less than 70 square feet and hallways, dimmers or vacancy sensors shall control all luminaires required to have light sources compliant with Reference Joint Appendix JAB.

ELECTRICAL LEGEND

- 4-25 Duplex Outlet
- 4-Plex Outlet
- 220V 220V Outlet
- Light Switch
- Light Switch with Vacancy Sensor
- 3-Way Light Switch
- Light Switch w/ Dimmer
- 50 CFM Fan
- 80 CFM Fan with Humidistat Sensor
- Ceiling Mounted High Efficacy Light
- Recessed High Efficacy Light
- Under Cabinet High Efficacy Light
- Flood- High Efficacy Light
- 2 x 4' Ceiling Mounted High Efficacy Light
- Gas Line
- 110V Smoke Detector interconnected with all Detectors w/ battery backup
- Battery Operated Smoke Detector
- Carbon Monoxide Alarm

FUTURE EV CHARGER

- Install a listed raceway to accommodate a dedicated 208/240 volt branch circuit for a future EV charger. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of the EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces.
- The service panel or subpanel circuit directory shall identify the overcurrent protective device space reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".



ELECTRICAL PLANS

SCALE: 1/4" = 1'-0"

REVISIONS	BY

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A.P.N. 049 - 343 - 13

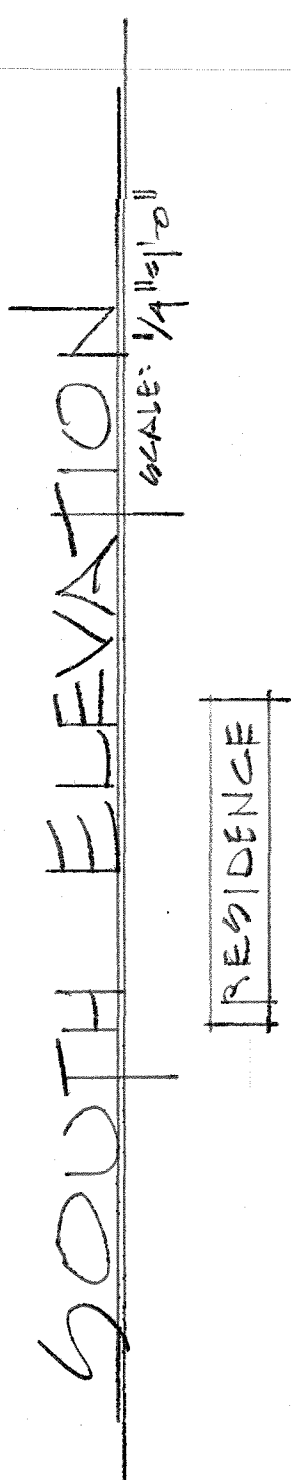
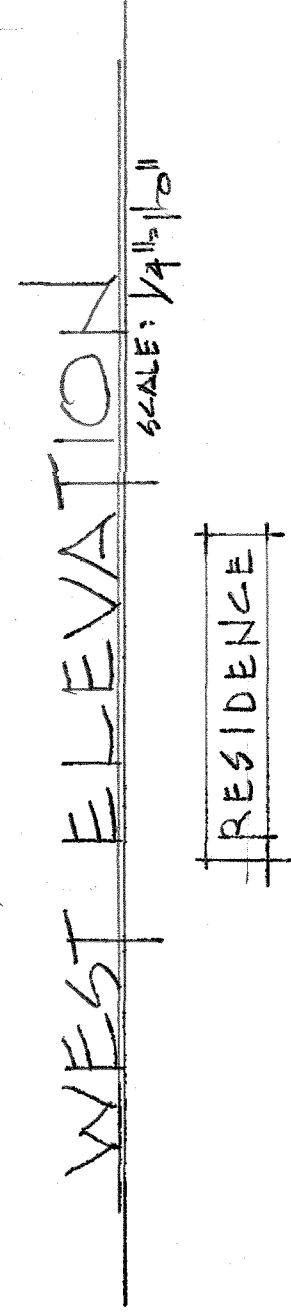
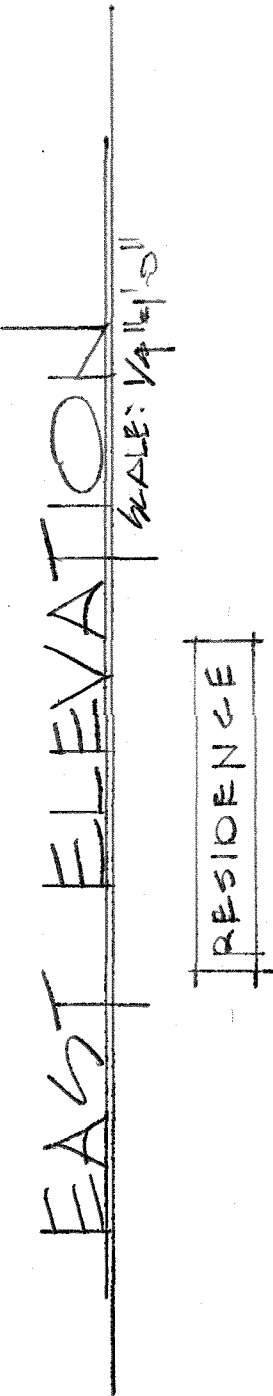
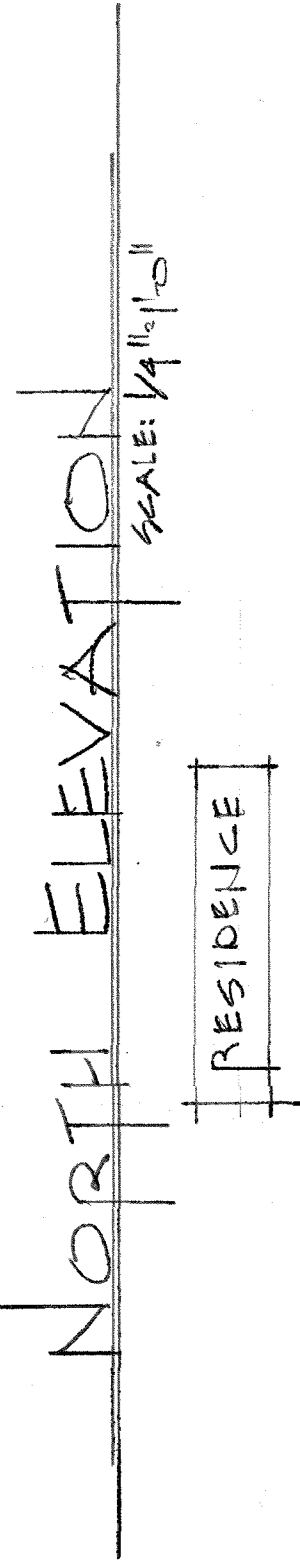
DRAWN	ROBIN
CHECKED	
DATE	
SCALE	1/4" = 1'-0"
JOB NO.	21-30
SHEET	1
OF	SHEETS



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Mike Treanor 831.214.5736  
215 Calabasas Road Watsonville, CA 95076  
A.P.N. 049-343-13

DRAWN ROBIN	CHECKED	DATE	SCALE $\frac{1}{4}$	JOB NO. 21-30	SHEET 	OF SHEETS
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FOR TAX PURPOSES ONLY

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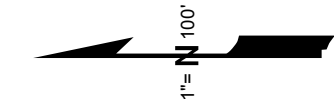
FLINTRIDGE HEIGHTS SUB. TR# 325  
43MB15 2/25/1965

POR. RANCHO DE LOS CORRALITOS  
S.W. 1/4 SEC. 30, T.11S., R.2E., M.D.B. & M.

Tax Area Code  
69-255 69-256

49-34

Electronically redrawn 4/7/00 KSA  
Rev. 1/7/02 mvm (TCA)  
Rev. 7/3/13 mc (Comb. form, 4-19)



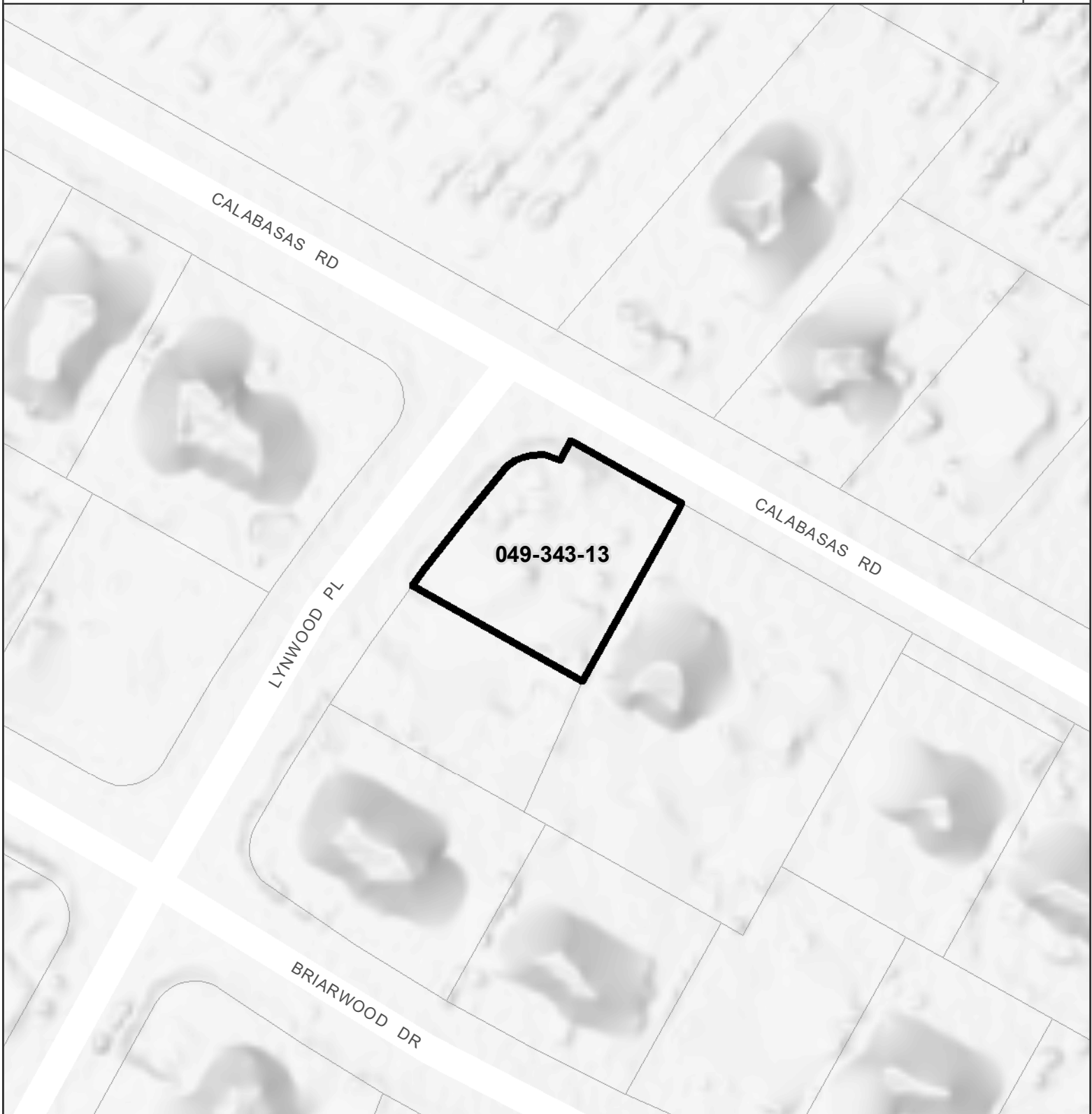
Note - Assessor's Parcel & Block  
Numbers Shown in Circles.

Assessor's Map No. 49-34  
County of Santa Cruz, Calif.  
April 2000







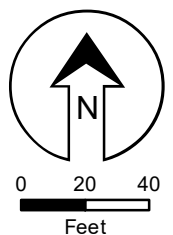
## Parcel Location Map



**Parcel: 04934313**

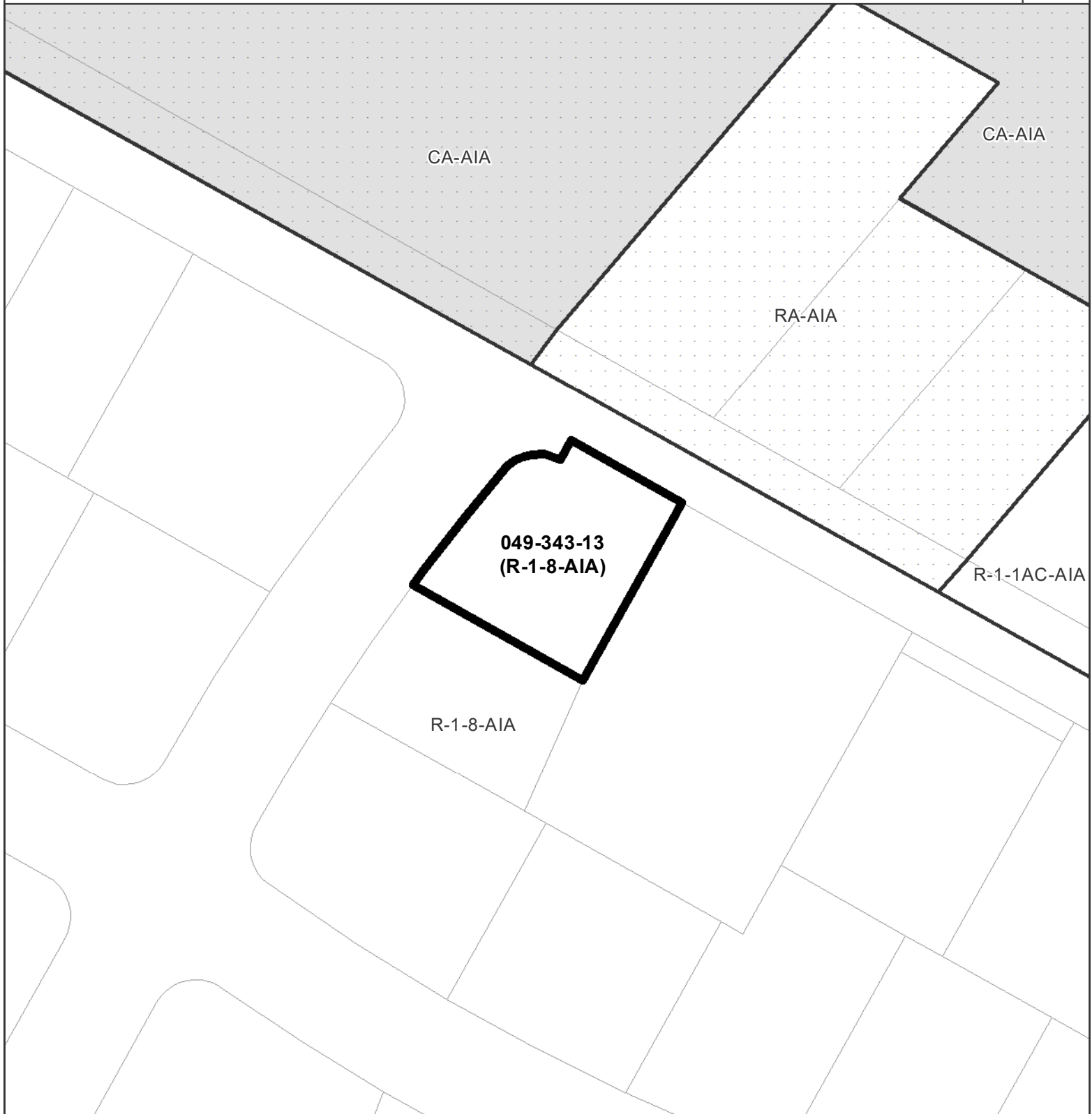
-  Study Parcel
-  Assessor Parcel Boundary

Map printed: 19 Apr. 2022

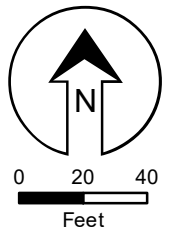




# Parcel Zoning Map

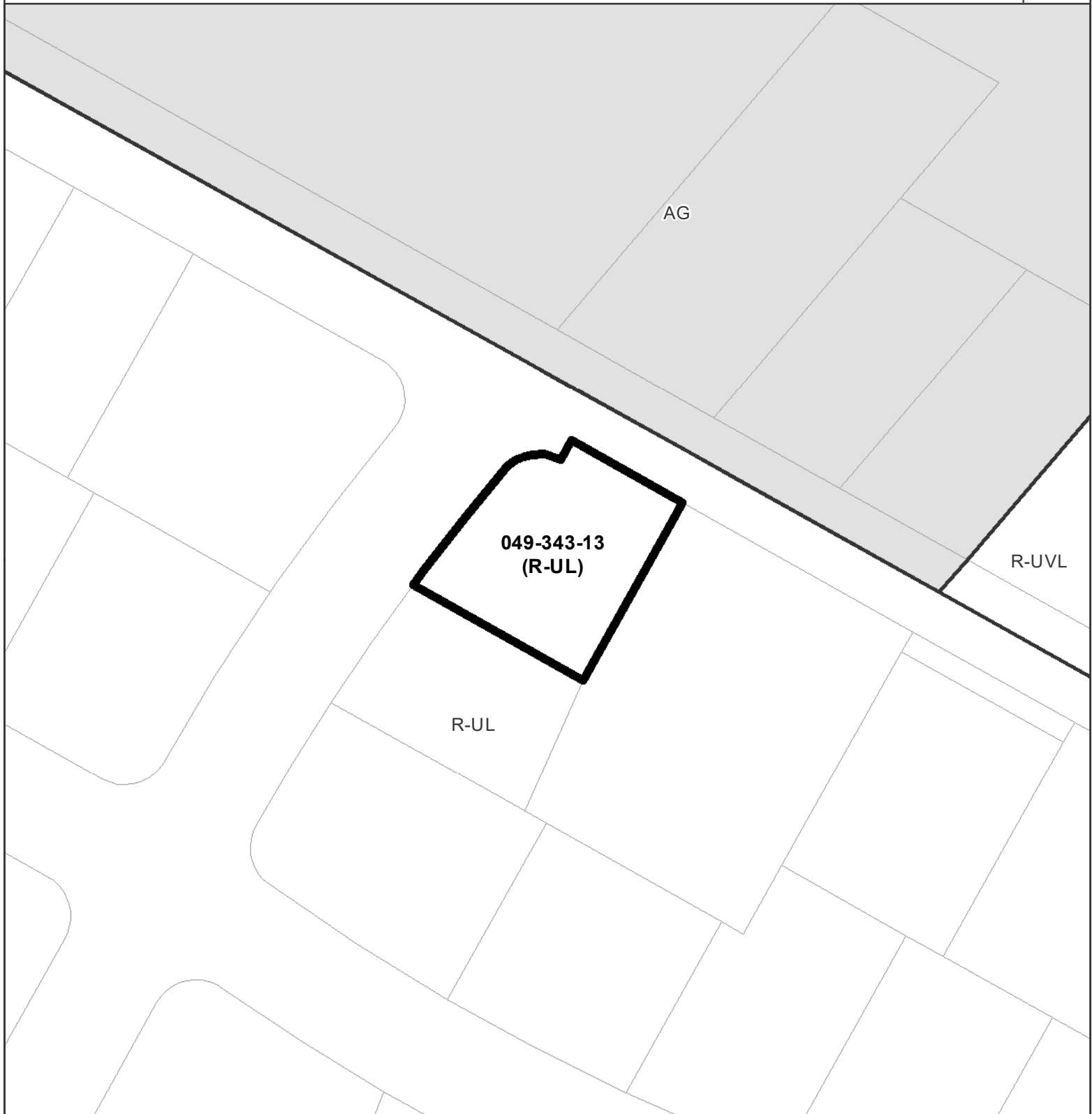





- CA Commercial Agriculture
- RA Residential Agricultural
- R-1 Single-Family Residential

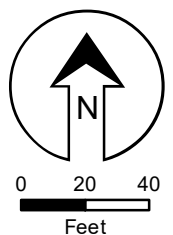




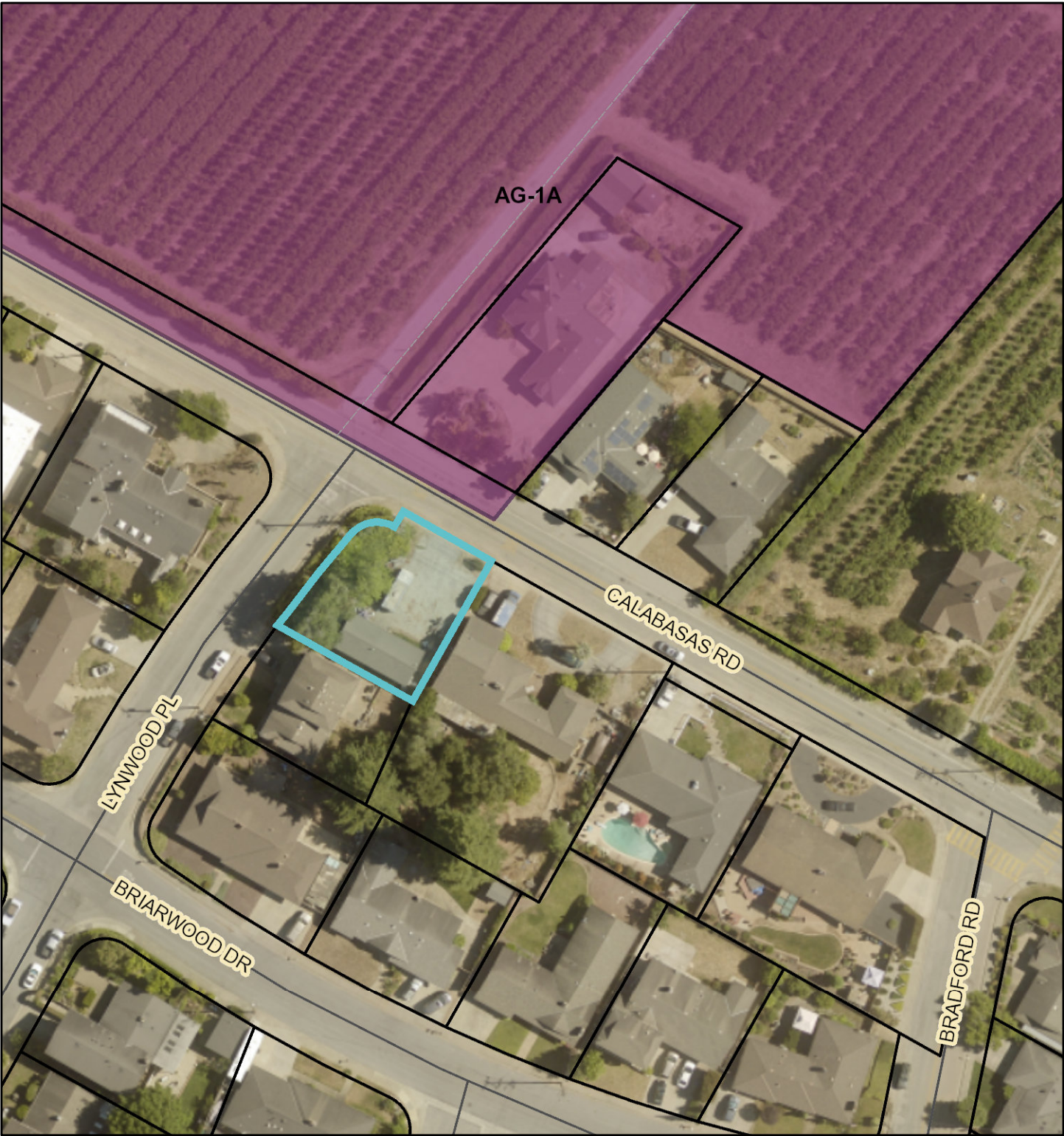
# Parcel General Plan Map



-  AG *Agricultural*
-  R-UL *Res. Urban Low Density*
-  R-UVL *Res. Urban Very Low Density*



Agricultural Resources



April 19, 2022

Parcels

Parcels

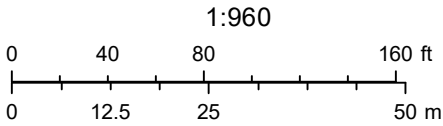
Streams

INTERMITTENT  
 PERENNIAL

Ag Resource Area

AG-1A  
 AG-1B  
 AG-2A  
 AG-2B  
 AG-2C

AG-2D  
 AG-3  
 AG-PRES  
**City Limits**  
 City Limits



County of Santa Cruz

## Parcel Information

### Services Information

Urban/Rural Services Line:	<u>  X  </u> Inside <u>    </u> Outside
Water Supply:	City of Watsonville
Sewage Disposal:	Freedom Sanitation District
Fire District:	Pajaro Valley Fire Protection District
Drainage District:	Zone 7 Flood Control District

### Parcel Information

Parcel Size:	7,056 square feet
Existing Land Use - Parcel:	Detached garage
Existing Land Use - Surrounding:	Single family residential neighborhood
Project Access:	Calabasas Road
Planning Area:	Pajaro Valley
Land Use Designation:	R-UL (Urban low density residential)
Zone District:	R-1-8-AIA (Single family residential - 8,000 square feet minimum - Airport combining district)
Coastal Zone:	<u>    </u> Inside <u>  X  </u> Outside

### Environmental Information

Geologic Hazards:	Not mapped/no physical evidence on site
Fire Hazard:	Not a mapped constraint
Slopes:	2-5%
Env. Sen. Habitat:	Not mapped/no physical evidence on site
Grading:	No grading proposed
Tree Removal:	No trees proposed to be removed
Scenic:	Not a mapped resource
Archeology:	Mapped potential for archaeological resources