



## **Staff Report to the Agricultural Policy Advisory Commission**

**Application Number: 221193**

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**Applicant:** Nancy Huyck  
**Owner:** Marcelo Diniz  
**APN:** 046-221-47

**Date:** 8/25/2022  
**Agenda Item #:** 9  
**Time:** 1:30 p.m.

**Project Description:** Proposal to construct a 1,496 square foot single family dwelling with an attached 618 square foot garage and a future 800 square foot ADU located within 200 feet of agriculture resource type land. Requires an Agricultural Buffer Reduction Determination to reduce the required 200-foot setback.

**Location:** Property is located on the northwest side of Zils Road, approximately 2/3 of a mile southwest of San Andreas Road, which is approximately 3 miles northwest of West Beach Road in Watsonville.

**Staff Recommendation:** Approval of Application 221193, based on the attached findings and conditions.

**Permits Required:** Agricultural Buffer Setback Reduction (221193), Coastal Development Permit (221140)

### **Project Setting**

The subject property is located on the northwest side of Zils Road, approximately 2/3 of a mile southwest of San Andreas Road, which is approximately three miles northwest of West Beach Road in Watsonville. The property is a vacant undeveloped parcel. The project site is located within an actively farmed agricultural area with pockets of residentially developed parcels along Zils Road.

### **Analysis and Discussion**

The applicant proposes to construct a single-family dwelling with an attached garage and a future detached accessory dwelling unit (ADU). Although the project does not include ADU design plans, the footprint of the ADU is included for purposes of the required agricultural buffer setback reduction.

The subject property is zoned Residential Agriculture (RA) and located in a small pocket of three RA zoned properties surrounded by land zoned Commercial Agriculture (CA). Two of the three residentially zoned parcels are developed with dwellings.

The Monterey Bay Academy property is located to the south of the subject property across the street on Zils Road and contains hundreds of acres of Type 3 coastal commercial prime agriculture

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resource type land. The property contains actively farmed commercial agricultural land and is also developed with a private boarding high school in the central portion of the property with housing dispersed throughout. Residential housing is located on this property along Zils Road, providing separation between the agriculturally farmed area of the property and the subject property.

Properties located to the north and east of the subject property are zoned Commercial Agriculture land that are approximately 10 to 15 acres in size that have been farmed in the past. These parcels contain residential dwellings that are located in the northeastern corner of the parcels, providing for potential agricultural land cultivation elsewhere on the parcels.

The subject property and all properties in the vicinity are mapped as Type 3 Agriculture Resource land, despite the residential zoning for the small residentially developed pocket. The subject property is surrounded by mature and tall evergreen vegetative buffer along the north and east property lines. Plans include additional proposed vegetative buffers along the west and south property lines as well.

At less than an acre in size, the property is too small to meet the required agricultural buffer setbacks. This requires review and approval by the Agricultural Policy Advisory Commission to consider a reduction in the required 200-foot setback from all surrounding parcels containing agricultural resource soil types, whether these surrounding parcels are used for commercial agricultural purposes or not currently.

The applicant is requesting a reduction in the 200-foot agricultural buffer setback to approximately 28 feet to the east, 88 feet to the south, 79 feet to the north and 65 feet to the west.

A reduced agricultural buffer is recommended on all sides since the parcel is too small to develop otherwise. The parcels to the west are developed with residential uses and are too small to be farmed and otherwise zoned residential agriculture, despite the noted agricultural resource designations. The proposed evergreen vegetative buffer provides additional protection to other surrounding commercial agriculturally zoned properties.

No fencing is proposed by the applicant to further minimize potential land use conflicts. Staff is not recommending fencing along the south property line given that the agriculturally farmed area of the parcel is over 200 feet from the subject property and because the intervening area is flanked by residential units along the property line of the Monterey Bay Academy property, ensuring that fencing is not necessary in this area. Fencing is also not necessary along the south property line given the small size of these parcels, residential zoning, and residential development, precluding farming altogether. These parcels also provide a greater than 200-foot buffer to agriculturally zoned and farmed land beyond. Staff also supports no solid board fencing along the north and east property line given that the vegetative buffer provides an established and solid evergreen hedge that is substantially tall, enough to preclude drift. Fencing along these property lines would provide no added protection to these properties. However, staff would defer to the Agricultural Policy Advisory Commission regarding the necessity for solid board fencing, as appropriate here.

In addition, the applicant will also be required to record a Statement of Acknowledgement regarding the issuance of a building permit in an area determined by the County of Santa Cruz to be subject to Agricultural-Residential use conflicts.

## **Conclusion**

In this case, your Commission is acting in an advisory capacity as this project is subject to approval of a Coastal Permit (221140) with approval by the Zoning Administrator before a noticed public hearing. The recommended action by your commission will be recommended to the Zoning Administrator.

## **Recommendation**

- Staff recommends that your Commission recommend the Zoning Administrator **APPROVE** the Agricultural Buffer Reductions under Application # 221193, associated with Coastal Development Permit 221140, based on the attached findings and recommended conditions.

**Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.**

**The County Code and General Plan, as well as hearing agendas and additional information are available online at: [www.co.santa-cruz.ca.us](http://www.co.santa-cruz.ca.us)**

Report Prepared By: Sheila McDaniel  
Santa Cruz County Planning Department  
701 Ocean Street, 4th Floor  
Santa Cruz CA 95060  
Phone Number: (831) 454-2255  
E-mail: [sheila.mcdaniel@co.santa-cruz.ca.us](mailto:sheila.mcdaniel@co.santa-cruz.ca.us)

Report Reviewed By: Jocelyn Drake  
Principal Planner  
Development Review

## **Exhibits**

- A. Findings
- B. Conditions
- C. Assessor's, Location, Zoning, General Plan, Agricultural Resource Type Maps
- D. Project Plans
- E. Parcel Information

**Required Findings for Agricultural Buffer Setback Reduction  
County Code Section 16.50.095(D)**

1. Significant topographical differences exist between the agricultural and non-agricultural uses which eliminates or minimizes the need for a 200-foot agricultural buffer setback; or
2. Permanent substantial vegetation (such as a Riparian Corridor or Woodland protected by the County's Riparian Corridor or Sensitive Habitat Ordinances), or other physical barriers exist between the agricultural and non-agricultural uses which eliminate or minimize the need for a two hundred (200) foot agricultural buffer setback; or

There is a tall mature evergreen vegetative buffer located along the north and east property line separating these properties, which provides sufficient protection to adjoining properties agricultural interests. Thus, no vegetation or fencing is necessary along the north and east property lines.

3. A lesser setback is found to be adequate to prevent conflicts between the non-agricultural development and the adjacent agricultural development and the adjacent agricultural land, based on the establishment of a physical barrier (unless it is determined that the installation of a barrier will hinder the affected agricultural use more than it would help it, or would create a serious traffic hazard on a public or private right of way) or the existence of some other factor which effectively supplants the need for a two hundred (200) foot agricultural buffer setback; or
4. The imposition of a two hundred (200) foot agricultural buffer setback would preclude building on a parcel of record as of the effective date of this chapter, in which case a lesser buffer setback distance may be permitted, provided that the maximum possible setback distance is required, coupled with a requirement for a physical barrier (e.g. solid fencing and/or vegetative screening) to provide the maximum buffering possible, consistent with the objective of permitting building on a parcel of record.

The subject property is approximately one acre in size and situated in an area of agricultural zoned parcels and/or development with single family residences. The imposition of a 200-foot setback would preclude building on this parcel of record as properties on all sides have agricultural resource type land. The proposed setbacks for the proposed structure comply with the site standards established for residential zoned parcels based on site size in accordance with 13.10.323. No conflicts would occur between the proposed residential use and surrounding properties and existing landscape provides a sufficient vegetative buffer. No fencing is recommended given the existing and proposed vegetative buffer, residential uses adjacent to the site, and setback distant agriculturally developed property.



Exhibit D: Project Plans

### Conditions of Approval

- I. This permit authorizes construction of a 1,496 square foot single family dwelling with an attached 618 square foot garage and a future 800 square foot ADU located within 200 feet of agriculture resource type land as shown on the Exhibit D. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit, including, without limitation, any construction or site disturbance, the applicant/owner shall:
  - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Obtain a Coastal Development Permit from the Planning Department.
  - C. Obtain a Building Permit and Grading Permit from the Santa Cruz County Building Official.
    1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
  - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
    1. A copy of the text of these conditions of approval incorporated into the full-size sheets of the architectural plan set.
    2. A development setback of a minimum of approximately 28 feet to the east property line, 88 feet to the south, 79 feet to the north and 65 feet to the west to proposed structures shall be provided.
    3. Final plans shall show the location of the vegetative buffering barrier (and any fences/walls used for the purpose of buffering adjacent agricultural land) which shall be composed of drought tolerant shrubbery. The shrubs utilized shall attain a minimum height of six feet upon maturity. Species type, plant sizes and spacing shall be indicated on the final plans for review and approval by Planning Department staff.

- B. The owner shall record a Statement of Acknowledgement, as prepared by the Planning Department, and submit proof of recordation to the Planning Department. The statement of Acknowledgement acknowledges the adjacent agricultural land use and the agricultural buffer setbacks.
- III. All construction shall be performed according to the approved plans for the building permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
  - A. The agricultural buffer setbacks shall be met as verified by the County Building Inspector.
  - B. The required vegetative and/or physical barrier shall be installed. The applicant/owner shall contact the Planning Department's Agricultural Planner, a minimum of three working days in advance to schedule an inspection to verify that the required barrier (vegetative and/or other) has been completed.
  - C. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official and/or the County Senior Civil Engineer.
- IV. Operational Conditions
  - A. The vegetative and physical barrier shall be permanently maintained.
  - B. All required Agricultural Buffer Setbacks shall be maintained.
  - C. In the event that future County inspections of the subject property disclose non-compliance with any Conditions of this Approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, up to and including permit revocation.
- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
  - A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
  - B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:

1. COUNTY bears its own attorney's fees and costs; and
  2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

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Minor Variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

**Please note: This permit expires three years from the effective date listed below or if additional discretionary permits are required for the above permitted project, this permit shall expire on the same date as any subsequent approved discretionary permit(s) unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.**

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

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Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Agricultural Policy Advisory Commission under the provisions of County Code Chapter 16.50, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code.

FOR TAX PURPOSES ONLY

THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.  
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POR. SAN ANDREAS RANCHO  
SEC. 3, T.12S., R.1E., M.D.B. & M.

Tax Area Code  
69-278

46-22



EXHIBIT C

Electronically redrawn 2/7/00 KSA  
Rev. 1/17/18 Jg (2017-0016002 & 03, LBA 1-52 to 54)  
Rev. 1/17/18 Jg (2018-0006308 & 09, LBA 1-55 & 56)

Assessor's Map No. 46-22  
County of Santa Cruz, Calif.  
Feb. 2000

Note - Assessor's Parcel & Block  
Numbers Shown in Circles.

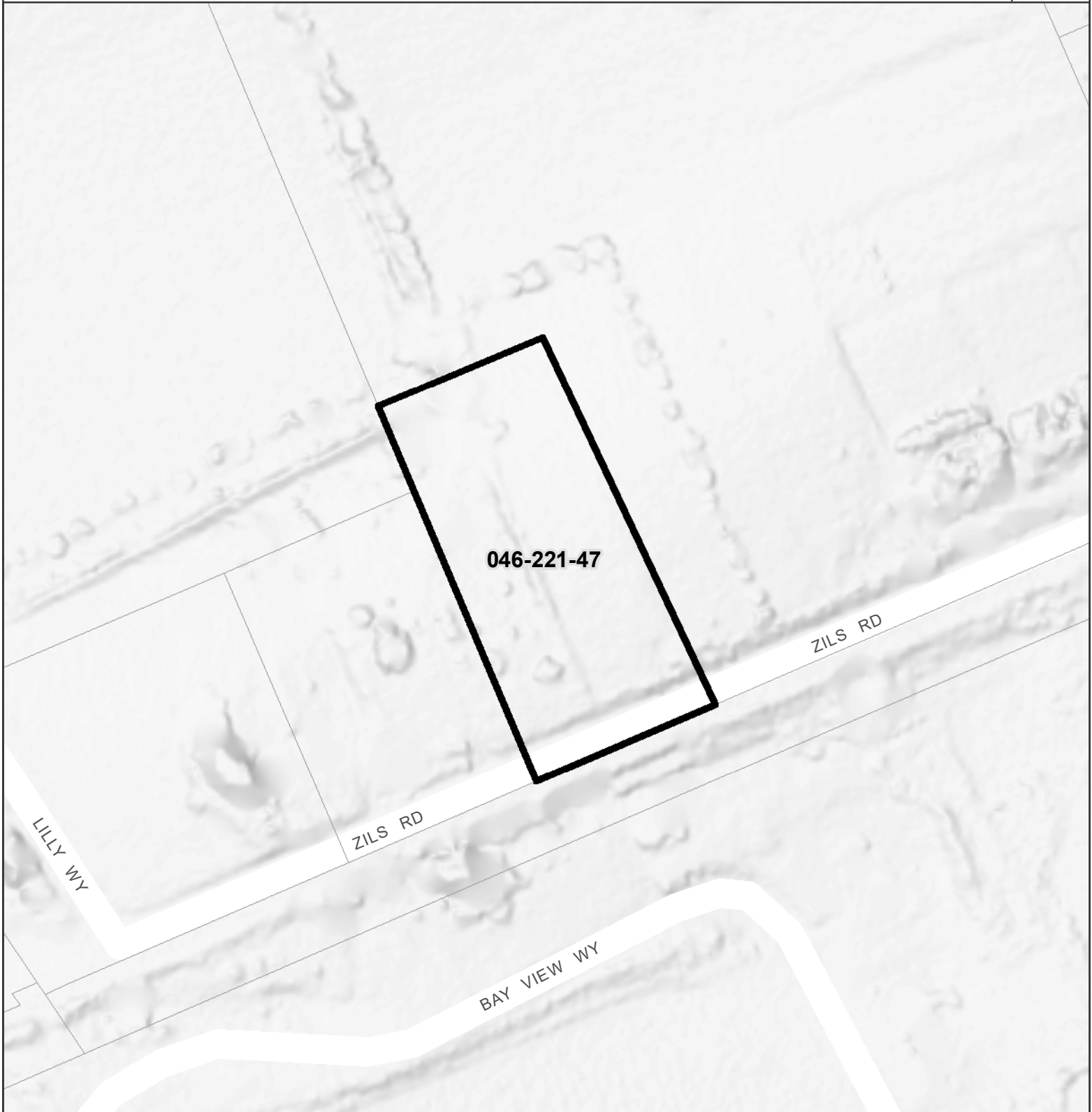
22PM46  
9/2/1976

9PM1  
11/17/1972

76RS16  
12/5/1986



## Parcel Location Map



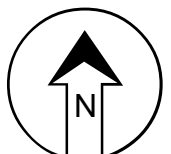
**Parcel: 04622147**



Study Parcel

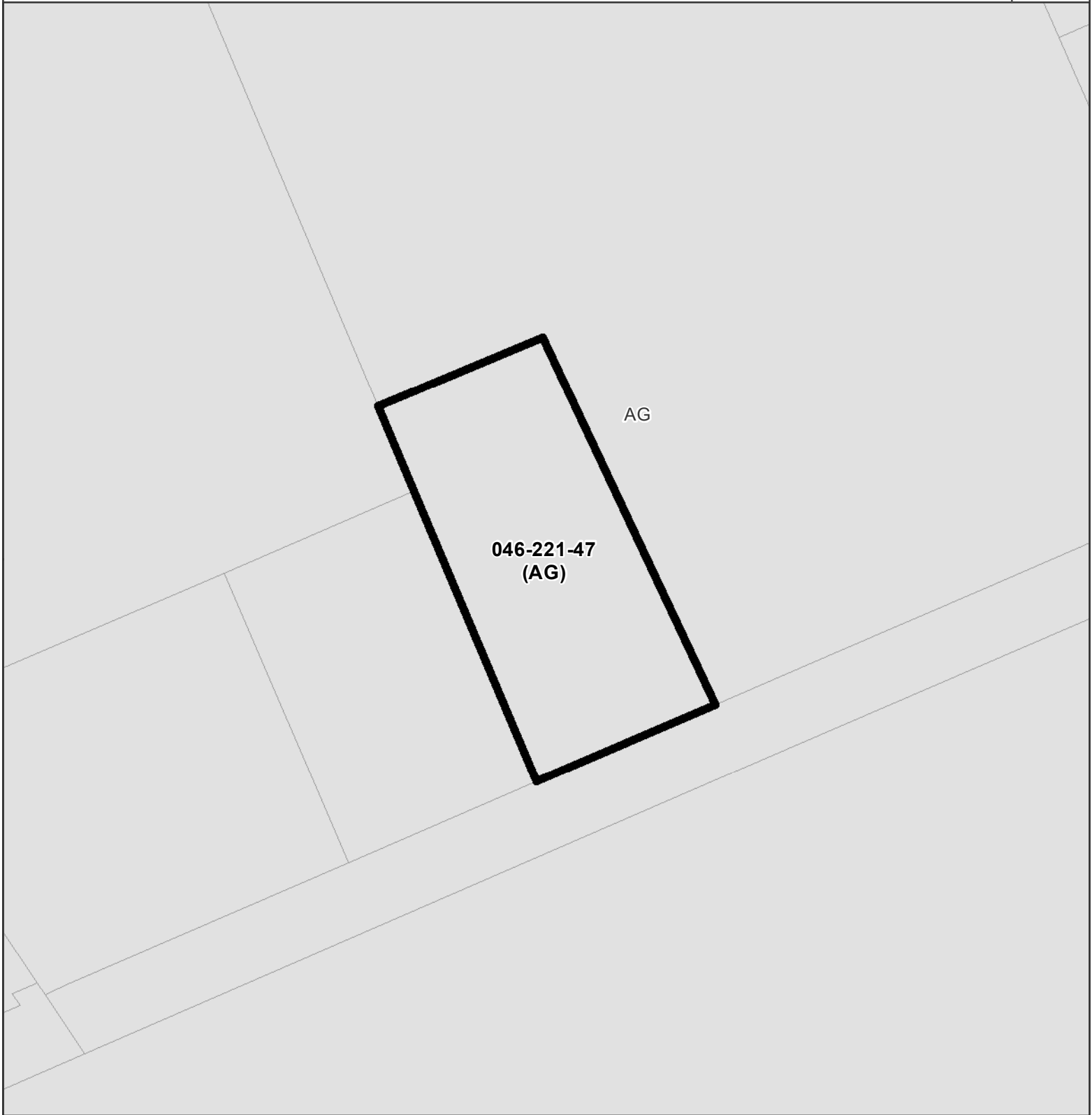


Assessor Parcel Boundary

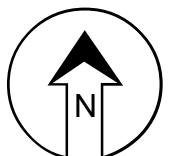




# Parcel General Plan Map



AG Agricultural

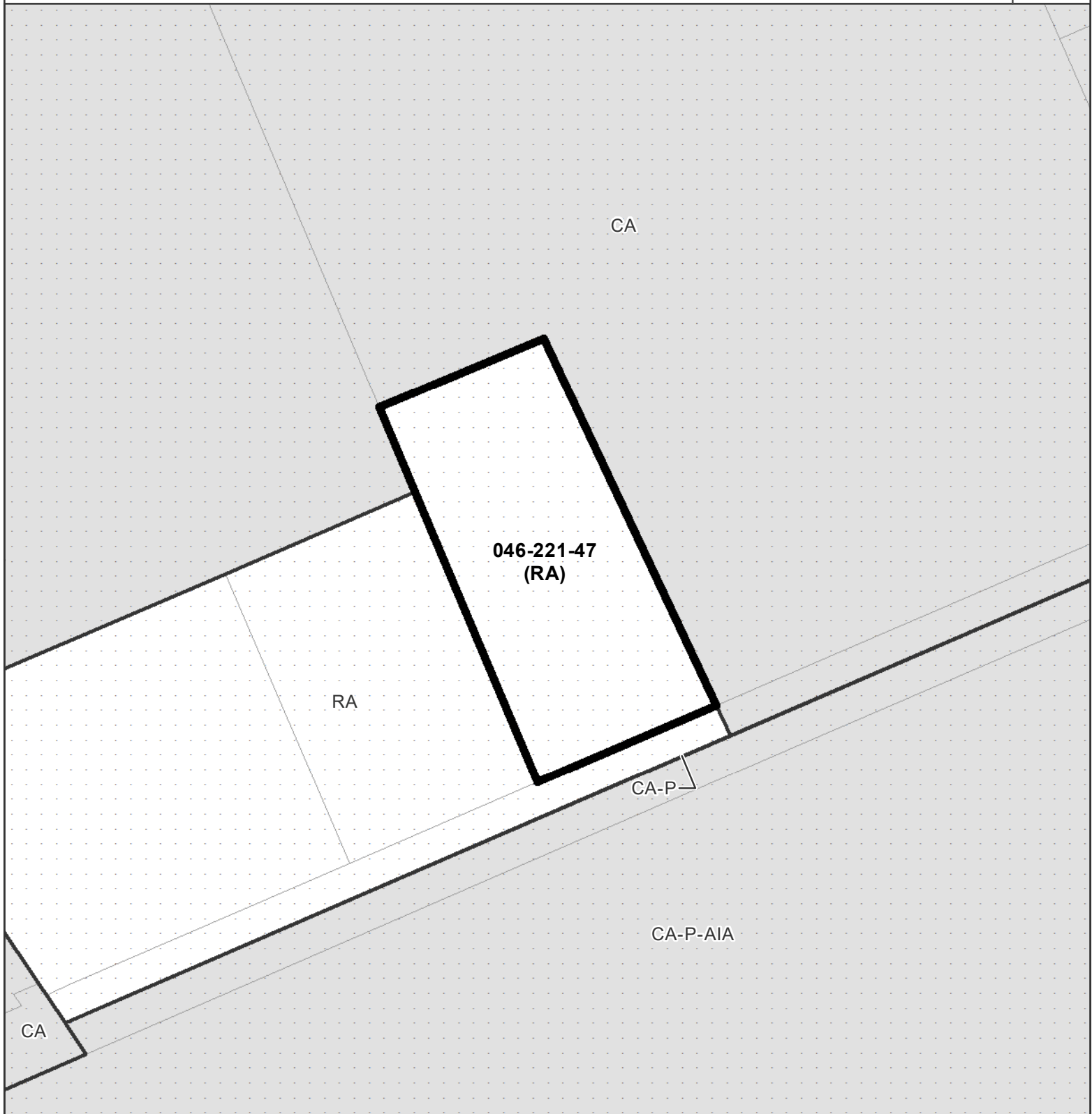


0 30 60  
Feet

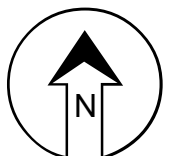
EXHIBIT C



# Parcel Zoning Map



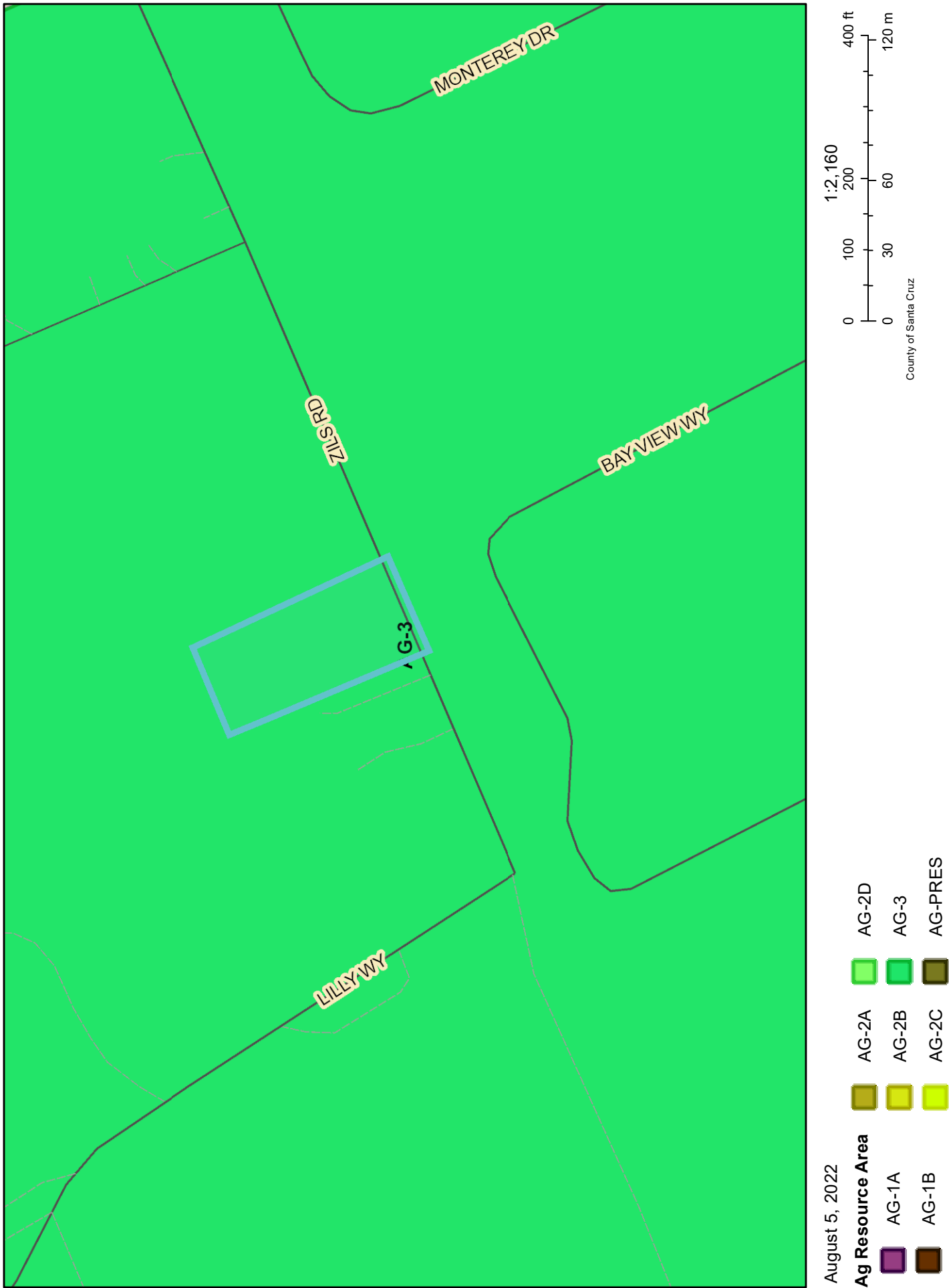
- CA Commercial Agriculture
- RA Residential Agricultural



0 30 60  
Feet

EXHIBIT C

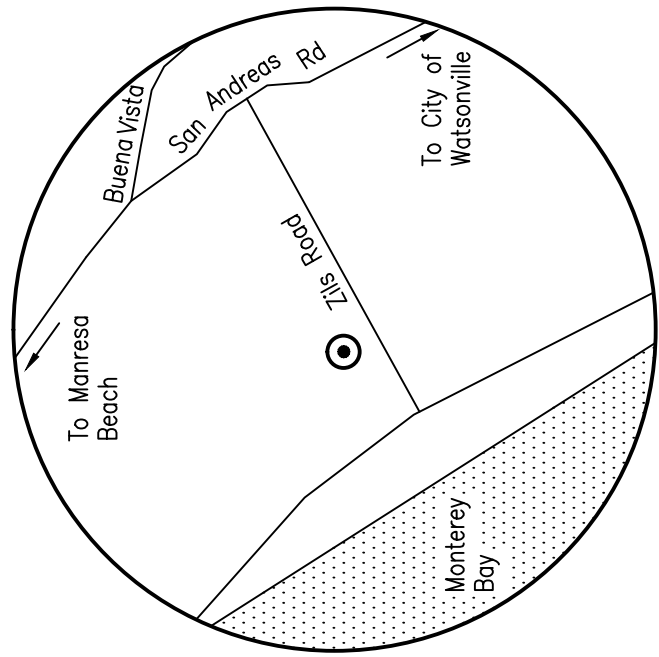
# Agricultural Resource Type Land





# DINIZ RESIDENCE: NEW HOUSE

Zils Road (APN: 046-221-47)  
Watsonville, CA 95076



# PROJECT TEAM

# PROJECT DATA

## GENERAL NOTES

## FIRE PROTECTION NOTES

# PROJECT SUMMARY

**STRUCTURAL ENGINEER:**

## ENERGY / TITLE 24 DESIGNER:

## LANDSCAPE DESIGNER:

# SCHEDULE OF DRAWINGS

## ARCHITECTURAL

# STRUCTURAL

## MECHANICAL

# ENERGY

04-14-22  
DEVELOP  
Adm

# 10-G

sheet - of - sheets





LEGEND

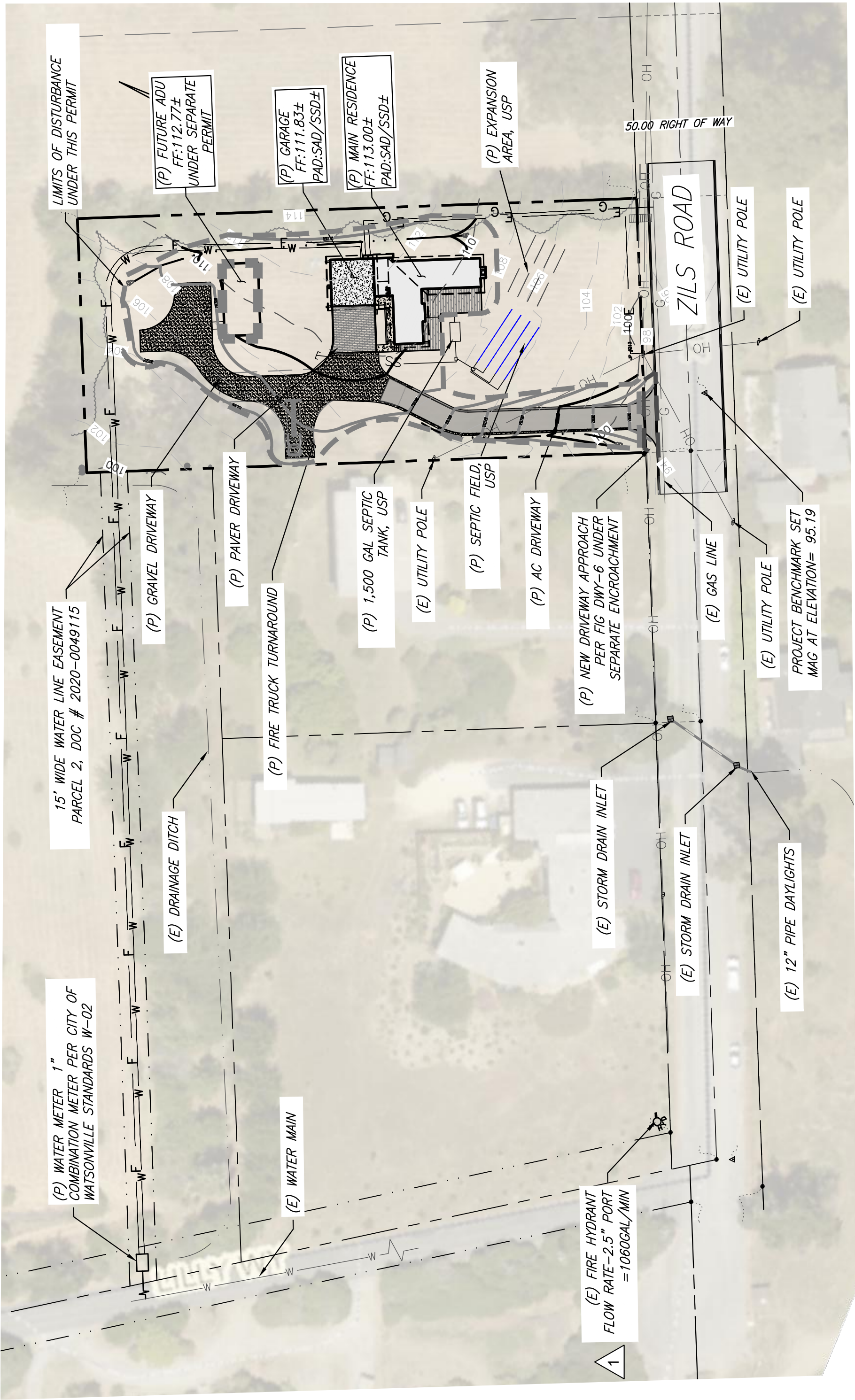
- RECORD BOUNDARY LINE
- (E) FLOWLINE
- (P) FLOWLINE
- (P) SHALLOW SWALE
- DRAINAGE SETBACK LINE
- BUILDING ENVELOPE
- WOOD FENCE
- WIRE FENCE
- LIMITS OF DISTURBANCE UNDER THIS PERMIT
- WORK IN THE IN ROW USP
- FIBER ROLL BARRIER
- TREE PROTECTION
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PER PLAN
- PER PLAN
- PERF PER PLAN
- PERF PER PLAN
- PERF PER PLAN
- (E) CULVERT/STORMDRAIN W/SIZE & TYPE
- (P) CULVERT/STORMDRAIN W/SIZE & TYPE
- (P) PERFORATED/STORMDRAIN W/SIZE & TYPE
- (P) SOLID PERFORATED OUTLET W/SIZE & TYPE
- (E) ASPHALT CONCRETE SURFACE
- (P) ASPHALT CONCRETE SURFACE
- (E) GRAVEL SURFACE
- (P) GRAVEL SURFACE
- (E) CONCRETE SURFACE
- (P) CONCRETE SURFACE
- (E) DECKING
- (P) DECKING
- (E) PAVERS
- (P) PAVERS
- LANDSCAPE AREA S&D
- WALL
- RANDOM CONTROL POINT W/#
- EXISTING STORM DRAIN DROP INLET
- PROPOSED STORM DRAIN DROP INLET
- PROPOSED DOWNSPOUT LOCATION
- FIRE HYDRANT
- BOLLARD
- WELL
- SPOT ELEVATION
- FINISH ELEVATION
- TREE TYPE & DIA.
- TREE TO BE REMOVED
- WATER VALVE
- BUILDING CALLOUTS
- CONSTRUCTION KEYNOTES

ABBREVIATIONS

|      |                           |      |                            |
|------|---------------------------|------|----------------------------|
| AC   | ASPHALT CONCRETE          | LA   | LANDSCAPE AREA             |
| AD   | AREA DRAIN                | LO   | LIVE OAK TREE              |
| BAY  | BAY TREE                  | MAX  | MAXIMUM                    |
| BVC  | BEGIN VERTICAL CURVE ELEV | MIN  | MINIMUM                    |
| BWCS | BEGIN VERTICAL CURVE STA  | MW   | MANZANITA TREE             |
| BW   | BOTTOM OF WALL            | NTS  | NOT TO SCALE               |
| CL   | CENTERLINE                | O/   | OAK TREE                   |
| CO   | CLEAN OUT                 | OC   | OAK TREE                   |
| DI   | DRAIN INLET               | (P)  | PROPOSED                   |
| DS   | DOWNSPOUTS                | PERF | PERFORATED                 |
| (E)  | EXISTING                  | PN   | PINE TREE                  |
| EG   | EXISTING GRADE            | PT   | POINT                      |
| EL   | EASEMENT LINE             | RCP  | REINFORCED CONCRETE PIPE   |
| EVCE | END VERTICAL CURVE ELEV   | ROW  | RIGHT OF WAY               |
| EVCS | END VERTICAL CURVE STA    | RD   | REDWOOD TREE               |
| ELEV | ELEVATION                 | S&D  | SEE ARCHITECTURAL DRAWINGS |
| FF   | FINISHED FLOOR            | SS   | SANITARY SEWER             |
| FG   | FINISHED GRADE            | SSD  | SEE STRUCTURAL DRAWINGS    |
| FIR  | FIR TREE                  | TBR  | TO BE REMOVED              |
| FL   | FLOW LINE                 | TG   | TOP OF GRADE               |
| FS   | FINISHED SURFACE          | TW   | TOP OF WALL                |
| FSS  | FIRE SAFE STANDARDS       | UON  | UNLESS OTHERWISE NOTED     |
| GB   | GRADE BREAK               | USP  | UNDER SEPARATE PERMIT      |
| GEO  | GEOTECHNICAL              | VIF  | VERIFY IN FIELD            |
| HP   | HIGH POINT                | VC   | VERTICAL CURVE             |
| INV  | INVERT                    | WL   | WATER LEVEL                |

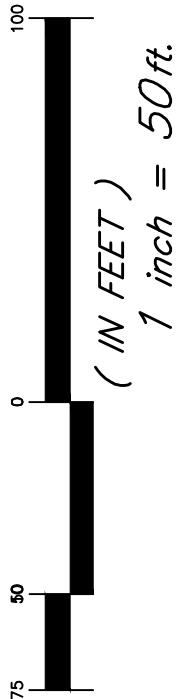
LANDS OF DINIZ  
GRADING & DRAINAGE DESIGN

220 ZILS ROAD, WATSONVILLE  
APN: 046-221-47



| SURFACING SUMMARY          |      |      | TOTAL IMPERVIOUS AREA | TOTAL AREA |
|----------------------------|------|------|-----------------------|------------|
| TYPE                       |      |      |                       |            |
| NEW SINGLE FAMILY DWELLING | 1507 | 1507 |                       |            |
| NEW GARAGE                 | 624  | 624  |                       |            |
| NEW CONCRETE PATIO         | 96   | 96   |                       |            |
| NEW AC DRIVEWAY            | 1815 | 1815 |                       |            |
| NEW GRAVEL DRIVEWAY        | 3953 | 0    |                       |            |
| NEW PAVEMENT DRIVEWAY      | 630  | 0    |                       |            |
| NEW DECK                   | 285  | 0    |                       |            |
| FUTURE ADU                 | 800  | 800  |                       |            |
| TOTAL                      | 9710 | 4842 |                       |            |

GRAPHIC SCALE



| ZONING INFORMATION       |                             |  |
|--------------------------|-----------------------------|--|
| ASSESSOR'S PARCEL NUMBER | 046-221-47                  |  |
| LOT SIZE                 | 0.966 AC                    |  |
| ZONING                   | R4- RESIDENTIAL AGRICULTURE |  |
| GENERAL PLAN LAND USE    | AG                          |  |
| STATE RESPONSE AREA      | LOW- LOW                    |  |
| TYPE OF CONSTRUCTION     | V-B                         |  |
| OCCUPANCY GROUP          | R-RESIDENTIAL               |  |
| FIRE SPRINKLERS          | YES                         |  |
| FRONT YARD SETBACK       | 40'                         |  |
| SIDE YARD SETBACK        | 20'                         |  |
| REAR YARD SETBACK        | 20'                         |  |
| NUMBER OF STORIES        | 1                           |  |
| LOT COVERAGE             | 22%                         |  |
| BUILDING HEIGHT          | 28' MAXIMUM                 |  |

EARTHWORK QUANTITIES TOTAL

CUT = 194 C.Y.  
FILL = 62 X 1.15 = 72 C.Y.  
NET: 122 C.Y. EXPORT  
OVEREXCAVATION & RECOMPACTION = 355 C.Y. X 1.15 = 409 C.Y.  
DISTURBED AREA = 0.51 ACRES  
EXCESS MATERIAL TO BALANCE ONSITE

NOTE: APPROXIMATE EARTH QUANTITY PROVIDED FOR PERMIT VALUATION. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL MATERIAL TAKEOFFS.

SHEET INDEX

|    |                              |
|----|------------------------------|
| C1 | TITLE SHEET                  |
| C2 | GENERAL & FIRE NOTES         |
| C3 | GRADING & DRAINAGE DETAILS   |
| C4 | UTILITY PLANS & SECTION VIEW |
| C5 | PLAN & PROFILE               |
| C6 | EROSION CONTROL PLAN         |

PROJECT INFORMATION

PROJECT STATEMENT: THESE PLANS WERE PREPARED TO FACILITATE THE GRADING AND DRAINAGE ACTIVITIES ASSOCIATED WITH THE PROPOSED RESIDENTIAL DEVELOPMENT. THIS INCLUDES FIRE ACCESSIBLE DRIVEWAY AND NEW SINGLE FAMILY RESIDENCE AND ASSOCIATED DRAINAGE IMPROVEMENTS UNDER THIS PERMIT. THE SEPTIC SYSTEM IS UNDER A SEPARATE PERMIT. THE ACCESSORY STRUCTURE REFERENCED ON THESE PLANS WILL BE ADDRESSED UNDER A FUTURE BUILDING PERMIT.

PROPERTY OWNERS: MARCELO & RENEE DINIZ  
2601 41ST AVENUE, SUITE B  
SOUDEL, CA 95073  
(209) 648-0381

DESIGNER INFORMATION-CIVIL: HOGAN LAND SERVICES  
2601 41ST AVENUE, SUITE B  
SOUDEL, CA 95073  
(831) 425-1617

DESIGNER INFORMATION-ARCHITECT: HOGAN LAND SERVICES  
2601 41ST AVENUE, SUITE B  
SOUDEL, CA 95073  
(831) 685-1206

DESIGNER INFORMATION-STRUCTURAL: XXXXXX  
ADDRESS: XXXXXX  
CITY: XXXXXX  
(XXX) XXX-XXXX

DESIGNER INFORMATION-GEOTECHNICAL: HARO, KASUNICH AND ASSOCIATES, INC  
116 EAST LAKE AVENUE  
WATSONVILLE, CA 95076  
(831) 722-4175

PERMITTING AGENCIES: APOTOS, CA 95003  
LEAD AGENCY: SANTA CRUZ COUNTY

TOPOGRAPHIC INFORMATION PROVIDED BY: BOWMAN & WILLIAMS - (SEPTEMBER 29, 2020)

- PROJECT DATUM & BENCHMARK: 1) THIS MAP DOES NOT CONSTITUTE A BOUNDARY SURVEY. BOUNDARY INFORMATION SHOWN IS PER RECORD DATA ONLY.  
2) HORIZONTAL CONTROL BEARING SHOWN HEREON ARE BASED ON THE CENTERLINE OF ZILS ROAD AS SHOWN AND DELINEATED ON THE MAP ENTITLED "PARCEL MAP FOR STEPHEN J. DALOFF" FILED FOR RECORD IN VOLUME 22 OF PARCEL MAPS AT PAGE 46, SANTA CRUZ COUNTY RECORDS AND ESTABLISHED FROM MONUMENTS AS =N 65°45'E  
3) VERTICAL CONTROL: THE BASIS OF ELEVATION FOR THIS MAP IS THE COUNTY OF SANTA CRUZ BENCHMARK 159, DESCRIPTION: SC CO. STD CONC MON WITH BRASS CAP LOCATED AT THE ENTRANCE OF MONTEREY BAY ACADEMY, 75' W OF THE C/L OF SAN ANDREAS ROAD ON A CONC ISLAND PLANTER, STAMPED S.A. 7 ELEVATION = 223.36 NAVD 88

REVISION BLOCK

|   |                      |         |
|---|----------------------|---------|
| 1 | DISCRETIONARY REVIEW | 7-11-22 |
|   |                      |         |
|   |                      |         |

APP 221140

C1 OF 6

220 ZILS ROAD  
WATSONVILLE, CALIFORNIA

LANDS OF DINIZ  
TITLE SHEET

APN: 046-221-47

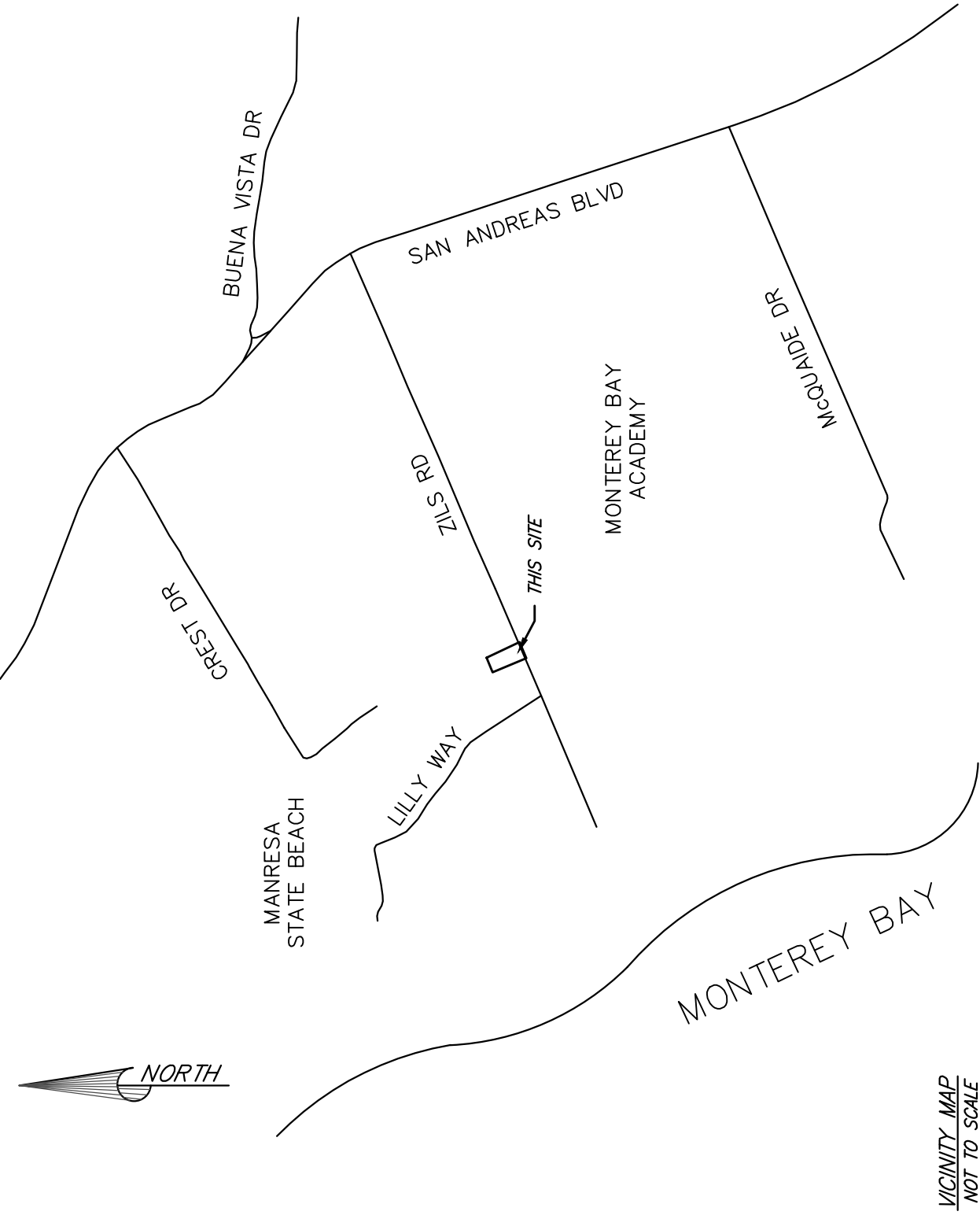
2601 41ST AVENUE, SUITE B  
SOUDEL, CA 95073

www.hoganls.com

HOGAN LAND SERVICES  
A CALIFORNIA CORPORATION

TEL (831) 425-1617  
FAX (831) 425-0224  
JOB #: 4630  
DATE: 3-24-22  
PM: KB  
CHK: GTF  
DRN: RS

THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF RENEE AND MARCELO DINIZ IN FEBRUARY, 2022  
GEOFF FLEISSNER R.C.E. 82889





GRADING & DRAINAGE INSPECTION NOTES

- THE PERMITEE AND THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE WORK TO BE PERFORMED IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND ANY PERMIT CONDITIONS. WORK SHALL BE SUBJECT TO INSPECTION AS REQUIRED BY **SANTA CRUZ COUNTY PLANNING DEPARTMENT**. TO VERIFY COMPLIANCE, THE CONTRACTOR SHALL CONSULT THE PROJECT JOB CARD FOR COORDINATION OF INSPECTION REQUIREMENTS.
- PRIOR TO THE START OF ANY GRADING WORK THE PERMITEE SHALL HAVE A PRE-CONSTRUCTION CONSULTATION WITH COUNTY STAFF TO DISCUSS THE SCOPE OF THE PROJECT, PERMIT CONDITIONS, REQUIRED INSPECTIONS, APPROPRIATE APPLICATION OF BEST MANAGEMENT PRACTICES (BMPs) AND ANY OTHER CONSTRUCTION ISSUES.
- INSPECTION REQUESTS SHALL BE MADE THROUGH **SANTA CRUZ COUNTY PLANNING DEPARTMENT**.
- SANTA CRUZ COUNTY PLANNING DEPARTMENT** MAY REQUIRE PROFESSIONAL INSPECTIONS AND CERTIFICATIONS TO VERIFY PROPER COMPLETION OF THE WORK. WHERE THE USE OF PROFESSIONAL PERSONNEL IS REQUIRED, THESE PERSONNEL SHALL IMMEDIATELY REPORT IN WRITING TO DEPARTMENT OF PLANNING AND THE PERMITEE ANY INSTANCE OF WORK NOT IN COMPLIANCE WITH THE APPROVED PLANS, SPECIFICATIONS, OR PERMIT CONDITIONS. IF THE CONTRACTOR'S PERSONNEL ARE NOT STOPPED BY THE NOTICED PRMO IN WRITING OF THEIR AGREEMENT TO ACCEPT RESPONSIBILITY FOR APPROVAL OF THE COMPLETED WORK WITHIN THE AREA OF THEIR TECHNICAL COMPETENCE.
- SANTA CRUZ COUNTY PLANNING DEPARTMENT** SHALL FINAL THE PERMIT WHEN ALL WORK, INCLUDING THE INSTALLATION OF ALL DRAINAGE IMPROVEMENTS AND THEIR PROTECTIVE DEVICES, AND ALL STORM WATER COLLECTION SYSTEMS, ARE COMPLETED AND THE PERMIT CODE HAS BEEN SUBMITTED AND ACCEPTED. FINAL REPORTS MAY INCLUDE: AS-BUILT PLANS, TESTING RECORDS, PROFESSIONAL OPINIONS, AND DECLARATIONS ABOUT COMPLETED WORK FROM PROFESSIONAL PERSONNEL. REPORTS MAY BE REQUIRED AT OTHER STAGES OF WORK.
- THE PERMITEE SHALL PROVIDE ADEQUATE AND SAFE ACCESS TO THE SITE FOR INSPECTION DURING THE PERFORMANCE OF ALL WORK.
- DURING CONSTRUCTION ACTIVITIES, THE PROJECT SITE ADDRESS SHALL BE POSTED AS FOLLOWS: (1) THE STREET NUMBERS MUST BE AT LEAST FOUR INCHES TALL WITH A REFLECTIVE SURFACE. (2) THE ADDRESS MUST BE VISIBLE FROM BOTH DIRECTIONS ALONG THE ROAD. (3) THE ADDRESS MUST BE POSTED AT ALL FORKS IN ANY ACCESS ROAD AND AT THE SITE.

GRADING & DRAINAGE NOTES

- PERFORM GRADING AND DRAINAGE IMPROVEMENTS IN ACCORDANCE WITH THE **SANTA CRUZ COUNTY CODE (SCCC)**, APPLICABLE **SANTA CRUZ COUNTY REGULATIONS** & **SANTA CRUZ COUNTY ORDINANCES** & PROJECT GEOTECHNICAL.
- ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD UPON DISCOVERING DISCREPANCIES, ERRORS, OR OMISSIONS IN THE PLANS. PRIOR TO PROCEEDING, THE OWNER SHALL HAVE THE PLANS REVISED TO CLARIFY IDENTIFIED DISCREPANCIES, ERRORS, OR OMISSIONS. THE APPROVED PLANS AND SPECIFICATIONS SHALL NOT BE CHANGED WITHOUT THE WRITTEN APPROVAL OF THE **SANTA CRUZ COUNTY PLANNING DEPARTMENT**. PROPOSED MODIFICATIONS TO THE APPROVED PLANS AND SPECIFICATIONS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OF RECORD. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TECHNICAL INFORMATION AND DESIGN DETAILS.
- THE GRADING/DRAINAGE PERMIT AND AN APPROVED COPY OF THE GRADING/ DRAINAGE PLANS SHALL BE MAINTAINED ON THE PROJECT SITE THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
- SANTA CRUZ COUNTY PLANNING DEPARTMENT** MAY ORDER THAT ANY WORK STOP IMMEDIATELY IF IT IS DETERMINED THAT THE **SANTA CRUZ COUNTY** REGULATIONS OR ORDINANCES HAVE BEEN VIOLATED. ANY WORK THAT IS DEEMED HAZARDOUS TO PROPERTY OR PUBLIC SAFETY, OR ANY WORK THAT IS DEEMED HAZARDOUS TO PROPERTY OR PUBLIC SAFETY, SHALL BE STOPPED IMMEDIATELY. THE GRADING/DRAINAGE PERMIT MAY BE SUSPENDED, REVOKED, OR MODIFIED BY **SANTA CRUZ COUNTY PLANNING DEPARTMENT**.
- ISSUANCE OF A GRADING/DRAINAGE PERMIT BY **SANTA CRUZ COUNTY PLANNING DEPARTMENT** DOES NOT ELIMINATE THE RESPONSIBILITY OF THE OWNER TO SECURE PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK ON THESE PLANS. FAILURE TO OBTAIN ALL REQUIRED PERMITS MAY RESULT IN FINES FROM THE RESPECTIVE AGENCY.
- ISSUANCE OF A PERMIT BY PLANNING TO CONSTRUCT A DAM OR A RESERVOIR DOES NOT ELIMINATE THE RESPONSIBILITY OF THE OWNER TO SECURE PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES INCLUDING THE CALIFORNIA DIVISION OF SAFETY OF DAMS WHEN WORK FALLS UNDER STATE JURISDICTION. FAILURE TO OBTAIN OTHER PERMITS MAY RESULT IN FINES FROM THE RESPECTIVE AGENCY.
- EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE AND LOCATED THROUGHOUT THIS SITE SHALL REMAIN OPEN AND CLEAR OF DEBRIS TO PROPERLY CONVEY STORM WATER. IF EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE ARE LOCATED IN THE COUNTY RIGHT-OF-WAY AND NEED MAINTENANCE, CONTACT THE DEPARTMENT OF PUBLIC WORKS AT **(831) 454-2160** FOR FURTHER ASSISTANCE. IN ANY EVENT, THE OWNER AND/OR CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UNDERGROUND SERVICE ALERT (U.S.A.) TOLL FREE AT 1-800-642-2444 AT LEAST TWO WORKING DAYS BUT NOT MORE THAN 14 CALENDAR DAYS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL UNCOVER RELEVANT UTILITIES TO VERIFY LOCATION AND ELEVATION. IF UNEXPECTED OR CONFLICTING UTILITIES ARE ENCOUNTERED DURING EXCAVATION, NOTIFY U.S.A. THE UTILITY OWNER, AND/OR THE ENGINEER OF RECORD IMMEDIATELY. UTILITIES INCLUDE BUT ARE NOT LIMITED TO WATER, SEWER, ELECTRICAL, GAS, TELEPHONE, AND CABLETV. IF PRACTICAL, THE OPERATOR SHALL DELINEATE WITH WHITE PAINT OR OTHER SUITABLE MARKINGS THE AREA TO BE EXCAVATED.

GRADING & DRAINAGE NOTES, CONT.

- IN THE EVENT CULTURAL RESOURCES (I.E., HISTORICAL, ARCHEOLOGICAL, RESOURCES, AND HUMAN REMAINS) ARE DISCOVERED DURING GRADING OR OTHER CONSTRUCTION ACTIVITIES, WORK SHALL IMMEDIATELY BE HALTED WITHIN THE VICINITY OF THE FIND. THE **COUNTY PLANNING DEPARTMENT** SHALL BE NOTIFIED AT **(831) 454-2880**. A QUALIFIED ARCHEOLOGIST SHALL BE CONSULTED FOR AN ON-SITE EVALUATION. ADDITIONAL MITIGATION MAY BE REQUIRED BY THE COUNTY. PER THE ARCHEOLOGIST'S RECOMMENDATIONS, SCCC 16.40, IF HUMAN REMAINS ARE ENCOUNTERED, THE CONTRACTOR SHALL ALSO NOTIFY THE COUNTY CORNER AT **(831) 454-7790**.
- SHOULD GRADING OPERATIONS ENCOUNTER HAZARDOUS MATERIALS, OR WHAT APPEAR TO BE HAZARDOUS MATERIALS, STOP WORK IMMEDIATELY IN THE AFFECTED AREA AND CONTACT 911 OR THE APPROPRIATE AGENCY FOR FURTHER INSTRUCTION.
- RETAINING WALLS, UNLESS EXEMPTED PER SCCC 13.10.525, ARE NOT APPROVED UNDER A GRADING PERMIT. A SEPARATE BUILDING PERMIT IS REQUIRED. REFER TO STRUCTURAL PLAN SET FOR RETAINING WALL DETAILS.
- EQUIPMENT SHALL NOT CROSS OR DISTURB CHANNELS OF ACTIVELY FLOWING STREAMS WITHOUT A SEPARATE APPROVED PERMIT AND BEST MANAGEMENT PRACTICES.
- GRADING AND DRAINAGE IMPROVEMENTS SHALL BE SET BACK FROM STREAMS, LAKES, PONDS, AND WETLANDS IN COMPLIANCE WITH THE REQUIREMENTS OF SCCC. EXISTING VEGETATION SHALL BE RETAINED IN STREAM SETBACK AREAS TO FILTER SOIL AND OTHER POLLUTANTS CARRIED IN STORM WATER.
- EXCESS SOIL SHALL BE REMOVED FROM THE SITE UNLESS DEPICTED TO REMAIN ON SITE PER THE APPROVED PLAN. THE SITE RECEIVING SOIL MAY REQUIRE A GRADING PERMIT UNLESS EXEMPTED BY SCCC.
- CUTSLOPES, ELEVATIONS AND SHAPES OF FINISHED SURFACES SHALL BE BLENDED WITH ADJACENT SURFACES TO ACHIEVE A CONSISTENT GRADE AND NATURAL APPEARANCE. THE TOP OF CUT SLOPES SHALL BE ROUNDED OFF TO BLEND WITH THE NATURAL TERRAIN. BORDERS OF CUT SLOPES AND FILLS SHALL BE ROUNDED OFF TO A MINIMUM RADIIUS OF 5 FEET TO BLEND WITH THE NATURAL TERRAIN.
- FILL MATERIAL SHALL NOT INCLUDE ORGANIC, FROZEN, OR OTHER HAZARDOUS MATERIALS. NO ROCK OR OTHER MATERIALS SHALL BE PLACED IN OR ON THE SURFACE OF ANY FILL. ANY MATERIALS BEING PLACED IN FILLS EXCEPT WHERE APPROVED BY THE SOILS ENGINEER. FILLS SHALL BE CONSTRUCTED IN LIFTS NOT EXCEEDING 8 INCHES IN DEPTH. COMPLETED FILLS SHALL BE STABLE, WELL-INTEGRATED, AND BONDED TO ADJACENT MATERIALS AND THE MATERIALS ON WHICH THEY REST. FILLS SHALL BE COMPETENT TO SUPPORT ANTICIPATED LOADS AND BE STABLE AT THE DESIGN SLOPES SHOWN ON THE APPROVED PLANS AND SPECIFICATIONS OR AS DIRECTED BY THE SOILS ENGINEER.
- GROUND SURFACES SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL, AND OTHER UNSUITABLE MATERIALS, AND SCARPING GROUND APPROXIMATELY 4" TO 6" TO PROVIDE A BOND WITH THE FILL MATERIAL.
- FILL SHALL NOT BE PLACED ON NATURAL SLOPES STEEPER THAN 2H:1V (50%) UNLESS SPECIFICALLY ALLOWED IN WRITING BY THE PROJECT GEOTECHNICAL ENGINEER AND APPROVED BY **SANTA CRUZ COUNTY PLANNING DEPARTMENT**.
- FILLS INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED TO A MINIMUM OF 93% OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D 1557, MODIFIED PROCTOR. A HIGHER COMPACTION PERCENTAGE MAY BE REQUIRED BY THE SOILS ENGINEER.
- FILLS NOT INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED AS FOLLOWS: (1) FILL GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY SPECIFIED BY THE SOILS ENGINEER. (2) FILLS NO GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY NECESSARY FOR THE INTENDED USE OR AS DIRECTED BY THE SOILS ENGINEER.
- HOGAN LAND SERVICES** HAS EXPRESSED A REASONABLE AND ACCEPTABLE STANDARD OF CARE IN THE PREPARATION OF THESE PLANS. HOWEVER, THE DEVELOPMENT PROCESS INCLUDES ACTIVITIES OCCURRING THROUGHOUT CONSTRUCTION. THESE ACTIVITIES INCLUDE CALCULATIONS, PLAN CHECKS, AND VERIFICATIONS DURING CONSTRUCTION. THERE SHOULD BE PERSONS OTHER THAN **HOGAN LAND SERVICES** PERFORMING THESE ACTIVITIES. THE CONTRACTOR, BY ACCEPTING THE PLANS, ASSUMES THE RESPONSIBILITY FOR THE CONSTRUCTION, INCLUDING CHANGING OR OTHERWISE MODIFYING THE PLANS. **HOGAN LAND SERVICES** DOES NOT ASSUME RESPONSIBILITY FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCOVERING AND CORRECTING ANY DISCREPANCIES, ERRORS, OR OMISSIONS THAT MAY BE DISCOVERED OR CORRECTED BY **HOGAN LAND SERVICES**.
- PRIOR TO ANY CORRECTIVE ACTION BY THE CONTRACTOR WHICH IS NECESSARY DUE TO ANY ALLEGED STAKING ERROR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR RE-STAKING AND VERIFICATION OF ORIGINAL STAKING IS DONE BY OTHERS. **HOGAN LAND SERVICES** ASSUMES NO LIABILITY FOR THE COSTS INCURRED FOR THIS WORK. WHERE IT HAS BEEN DETERMINED THAT ANY CORRECTIVE ACTION WILL REQUIRE FINANCIAL PARTICIPATION BY THE ENGINEER, THAT AMOUNT SHALL BE AGREED TO BY THE ENGINEER IN WRITING PRIOR TO TAKING CORRECTIVE ACTION. FAILURE TO OBTAIN WRITTEN ACCEPTANCE BY THE ENGINEER WILL NEGATE ALL REQUIREMENTS OF HIS FINANCIAL ASSISTANCE.
- REFER TO THE PROJECT GEOTECHNICAL REPORT FOR ADDITIONAL AND OVERRIDING SPECIFICATIONS.
- DRAINAGE CALCULATIONS ASSOCIATED WITH THESE PLANS WERE PREPARED BASED ON CURRENT AGENCY STANDARDS. DRAINAGE ELEMENT SIZING HAS BEEN BASED ON THE 10 YEAR STORM EVENT AND ASSUME INSTALLATION PER PLAN AND FREE OF DEBRIS. THE OWNER SHALL BE RESPONSIBLE FOR ROUTINE MAINTENANCE TO THE STORM DRAIN NETWORK TO ENSURE FREE FLOW.

TREE PROTECTION NOTES

- PLASTIC TREE PROTECTION FENCING SHOULD BE INSTALLED AT THE DRIP LINES OF TREES TO REMAIN IN CONSTRUCTION ZONE (OR THE OUTER EDGE OF THE DRIP LINE OF GROUPS OF TREES) IF ACCESS WITHIN THE CONSTRUCTION ZONE WILL BE REQUIRED. ACCESS TO BE PLACED IN THE PROTECTED ZONE SHOULD BE INSTALLED PRIOR TO THE START OF CLEARING OR GRADING OPERATIONS, AND KEPT IN PLACE THROUGHOUT CONSTRUCTION ACTIVITIES.
- WHEN PRUNING FOR CLEARANCE IS REQUIRED ON ANY TREES TO REMAIN, IT SHOULD BE DONE BY TRAINED, QUALIFIED TREE WORKERS ACCORDING TO ISA PRUNING GUIDELINES PRIOR TO CONSTRUCTION. PRUNING SHOULD BE THE MINIMUM NECESSARY FOR HAZARD REDUCTION, (I.E. THE REMOVAL OF DEADWOOD 2" AND LARGER, ECT.) AND CLEARANCE.
- IF ANY ROOTS LARGER THAN 1" ARE ENCOUNTERED, FOR TREES TO BE SAVED, THEY SHOULD BE CUT CLEANLY ACROSS THE FACE OF THE ROOT WITH A SHARP SAW. ROOTS SHALL BE KEPT MOIST WHILE EXPOSED.
- WOOD CHIP MULCH GENERATED FROM PRUNING AND REMOVALS SHOULD BE SPREAD UNDER REMAINING TREES ONSITE TO SERVE AS PERMANENT TOP DRESSING AND MULCH.
- NO PARKING, OPERATION OF EQUIPMENT, STORAGE OF MATERIALS, DISPOSAL OF WASTE OR OTHER CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN DRIP LINES OF PROTECTED TREES.
- OWNERS SHALL BE RESPONSIBLE FOR CONSULTING WITH ARBORIST REGARDING CONSTRUCTION IMPACTS ON EXISTING TREES.

EROSION PREVENTION & SEDIMENT CONTROL NOTES

GENERAL

- PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH THE SANTA CRUZ COUNTY CODE (SCCC) & THE STATE ISSUED GENERAL CONSTRUCTION PERMIT SPECIFICATIONS (SWPPP)(F OVER 1 ACRE DISTURBED).
- THE APPROVED PLANS SHALL CONFORM WITH THE **SANTA CRUZ COUNTY PLANNING DEPARTMENT** EROSION PREVENTION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) GUIDE AS POSTED ON THE **SCCOP** WEBSITE. REFER TO THE CSCA CONSTRUCTION HANDBOOK FOR ADDITIONAL BMP INFORMATION AND DETAILS.
- THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. WORK SITES WITH INADEQUATE EROSION AND SEDIMENT CONTROL MAY BE SUBJECT TO A STOP WORK ORDER.
- IF DISCREPANCIES OCCUR BETWEEN THESE NOTES, MATERIAL REFERENCED HEREIN OR MANUFACTURER'S RECOMMENDATIONS, THEN THE MOST PROTECTIVE SHALL APPLY.
- AT ALL TIMES, THE OWNER IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE STATE OF CALIFORNIA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT WASTE DISCHARGE REQUIREMENTS FOR DISCHARGES OF STORM WATER RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITY. CONSTRUCTION ACTIVITIES INCLUDE BUT ARE NOT LIMITED TO CLEARING, GRADING, EXCAVATION, STOCKPILING, AND RECONSTRUCTION OF EXISTING FACILITIES INVOLVING REMOVAL AND REPLACEMENT.
- THE LEGALLY RESPONSIBLE PERSON (LRP) IS RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE GENERAL CONSTRUCTION PERMIT (GCP). THIS INCLUDES BUT IS NOT LIMITED TO, INSTALLATION OF ONSITE BMPs, COMPLIANCE WITH SWPPP SPECIFICATIONS, AND ANNUAL AND STORM BASED INSPECTIONS. THESE INSPECTIONS SHOULD BE REQUESTED OF HOGAN LAND SERVICES (PROJECT QUALIFIED SWPPP PRACTITIONER-OSP) A MINIMUM OF 48 HOURS PRIOR TO SCHEDULED INSPECTION.
- THE LRP IS RESPONSIBLE FOR MAINTAINING CONSTRUCTION OPERATIONS WITHIN THE LIMITS OF PRMO REGULATIONS AND THE WMD PERMIT SPECIFICATIONS.

RAINY SEASON OPERATIONS

- THE OWNER MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 15 - APRIL 15) IN ADDITION TO COMPLYING WITH THE WMD PERMIT GRADING AND DRAINAGE IMPROVEMENTS SHALL BE PERMITTED DURING THE RAINY SEASON ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE COMPLETED. COORDINATE WITH **SANTA CRUZ COUNTY CODE (SCCC)** FOR STORM WATER BMPs. REFERENCES: REFER TO THE GENERAL CONSTRUCTION PERMIT (GCP) AND SWPPP MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED AND FUNCTIONAL ON THE SITE AT ALL TIMES.
- THE AREA OF LAND AT RISK FOR EROSION AT ANY ONE TIME DURING THE WORK SHALL NOT EXCEED 1 ACRE OR 20% OF THE PERMITTED WORK AREA, WHICHEVER IS GREATER, AND THE TIME OF EXPOSURE SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE. AREAS THAT ARE NOT BEING ACTIVELY WORKED ON SHALL HAVE BMP'S INSTALLED UNTIL CONSTRUCTION IN THE AREA RESUMES.
- AGRICULTURAL GRADING AND DRAINAGE IMPROVEMENTS, AND INITIAL LAND PREPARATION WORK FOR VINEYARD AND ORCHARD PLANTING, SHALL BE PERMITTED DURING THE RAINY SEASON ONLY FROM APRIL 1 TO OCTOBER 15, AND ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH SCCC.

YEAR ROUND REQUIREMENTS

- DURING THE NON-RAINY SEASON, ON ANY DAY WHEN THE NATIONAL WEATHER SERVICE FORECAST IS A CHANCE OF RAIN OF 30% OR GREATER WITHIN THE NEXT 24 HOURS, STORM WATER BMPs REFERENCED OR DETAILED IN PRMO'S BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED, INSTALLED, AND FUNCTIONAL ON THE SITE TO PREVENT SOIL AND OTHER POLLUTANT DISCHARGES, AT ALL OTHER TIMES. BMPs SHOULD BE STORED ON SITE IN PREPARATION FOR INSTALLATION PRIOR TO RAIN EVENTS.
- EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE FORECASTED STORM EVENTS AND AFTER STORM EVENTS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT HAVE FAILED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPAIRED TO CSCA STANDARDS. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
- THE LIMITS OF GRADING SHALL BE DEFINED AND MARKED ON SITE TO PREVENT DAMAGE TO SURROUNDING VEGETATION. PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE. ANY EXISTING VEGETATION WITHIN THE LIMITS OF GRADING THAT IS TO REMAIN UNDISTURBED BY THE WORK SHALL BE IDENTIFIED AND PROTECTED FROM DAMAGE BY MARKING, FENCING, OR OTHER MEASURES.
- CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN MAY BE MADE TO RESPOND TO FIELD CONDITIONS AND SHALL BE NOTED ON THE PLAN.
- DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: FERTILIZERS, PESTICIDES, HERBICIDES, FUELS, OILS, GREASES, CONCRETE, CEMENT, ASPHALT, LIME, PAINT, STAINS, GLUES, WOOD PRODUCTS, RESTIDUES, HERBICIDES, CHEMICALS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER, AND CHLORINATED WATER.

- ENTRANCES TO THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT UNWANTED MATERIALS FROM ENTERING THE CONSTRUCTION SITE. MATERIALS SHALL BE STORED IN PADDED AREAS WITHIN THE COUNTY RIGHT-OF-WAY, SUCH AS ROADWAYS AND SIDEWALKS, SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING CONSTRUCTION VEHICLES LEAVING THE SITE ON A DAILY BASIS TO PREVENT DUST, SILT, AND DIRT FROM BEING RELEASED OR TRACKED OFFSITE. ALL SEDIMENT DEPOSITED ON PADDED ROADWAYS SHALL BE REMOVED AT THE END OF EACH WORKING DAY OR MORE OFTEN AS NECESSARY.
- ALL DISTURBED AREAS SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE MAXIMUM EXTENT PRACTICABLE, SUCH AS ESTABLISHING VEGETATION COVERAGE, HYDROSEEDING, STRAW MULCH, GEOTEXTILES, PLASTIC COVERS, BLANKETS OR MATS. TEMPORARY OR PERMANENT RE-VEGETATION SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER VEGETATION REMOVAL BUT IN ALL CASES PRIOR TO OCTOBER 15. PRIOR TO FINAL INSPECTION, ALL DISTURBED AREAS SHALL BE STABILIZED AND RE-VEGETATED TO 100% COVER OR LANDSCAPING SHALL BE INSTALLED.
- WHENEVER IT IS NOT POSSIBLE TO USE EROSION PREVENTION MEASURES ON EXPOSED SLOPES, SEDIMENT CONTROL DEVICES SUCH AS FIBER ROLLS AND SILT FENCES SHALL BE INSTALLED TO PREVENT SEDIMENT MIGRATION. FIBER ROLLS AND SILT FENCES SHALL BE TRENCHED AND KEPT INTO THE SOIL AND INSTALLED ON CONTOUR. SILT FENCES SHALL BE INSTALLED APPROXIMATELY 2 TO 5 FEET FROM TOE OF SLOPE.

- HYDROSEEDING SHALL BE CONDUCTED IN A THREE STEP PROCESS. FIRST, EVENLY APPLY THE SEED MIX AND FERTILIZER TO THE EXPOSED SLOPE. SECOND, EVENLY APPLY MULCH OVER THE SEED MIX. FERTILIZER, THIRD, STABILIZE THE MULCH IN PLACE. AN EQUIVALENT SINGLE STEP PROCESS, WITH SEED, FERTILIZER, WATER, AND BONDED FIBERS IS ACCEPTABLE.

APPLICATIONS SHALL BE BROADCASTED MECHANICALLY OR MANUALLY AT THE RATES SPECIFIED BELOW. SEED MIX AND FERTILIZER SHALL BE WORKED INTO THE SOIL BY ROLLING OR TAMPING. IF STRAW IS USED AS MULCH, STRAW SHALL BE DERIVED FROM WHEAT, RICE, OR BARLEY AND BE APPROXIMATELY 6 TO 8 INCHES IN LENGTH. STABILIZATION OF MULCH SHALL BE DONE HYDRAULICALLY BY APPLYING AN EMULSION OR MECHANICALLY BY CRIMPING OR PUNCHING THE MULCH INTO THE SOIL. EQUIVALENT METHODS AND MATERIALS MAY BE USED ONLY IF THEY ADEQUATELY PROMOTE VEGETATION GROWTH AND PROTECT EXPOSED SLOPES.

| MATERIALS                            |                  | APPLICATION RATE (POUNDS PER ACRE) |
|--------------------------------------|------------------|------------------------------------|
| SEED MIX                             |                  |                                    |
| BROMUS MOLLIS (BLANDO BROME)         | 40               |                                    |
| TRIFOLIUM HIRTUM (HYKON ROSE CLOVER) | 20               |                                    |
| FERTILIZER                           |                  |                                    |
| 16-20-0 & 15% SULPHUR                | 500              |                                    |
| MULCH                                |                  |                                    |
| STRAW                                | 4000             |                                    |
| HYDRAULIC STABILIZING*               |                  |                                    |
| M-BINDER OR SENTINEL                 | 75-100           |                                    |
| EQUIVALENT MATERIAL                  | PER MANUFACTURER |                                    |

- \*NON-ASPHALTIC, DERIVED FROM PLANTS
- DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION.
- STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS UNTIL DRAINAGE CONVEYANCE SYSTEMS ARE FUNCTIONAL AND CONSTRUCTION HAS BEEN COMPLETED.
- ENERGY DISSIPATORS SHALL BE INSTALLED AT STORM DRAIN OUTLETS WHICH MAY CONVEY EROSION STORM WATER FLOW.
- SOIL MATERIAL STOCKPILES AND FERTILIZING MATERIAL SHALL BE PROPERLY PROTECTED TO MINIMIZE SEDIMENT AND POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE.
- SOLID WASTE, SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEARED OF SOLID WASTE DAILY OR AS NECESSARY. REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE COORDINATED BY THE CONTRACTOR.
- A CONCRETE WASHOUT AREA, SUCH AS A TEMPORARY PIT, SHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS AND WASTE BE ALLOWED TO ENTER COUNTY WATERWAYS SUCH AS CREEKS OR STORM DRAINS. NO WASHOUT OF CONCRETE, MORTAR MIXERS, OR TRUCKS SHALL BE ALLOWED ON SOIL.
- PROPER APPLICATION, CLEANING, AND STORAGE OF POTENTIALLY HAZARDOUS MATERIALS, SUCH AS PAINTS AND CHEMICALS, SHALL BE CONDUCTED TO PREVENT THE DISCHARGE OF POLLUTANTS.
- TEMPORARY RESTROOMS AND SANITARY FACILITIES SHALL BE LOCATED TO PREVENT THE DISCHARGE OF POLLUTANTS.
- APPROPRIATE VEHICLE STORAGE, FUELING, MAINTENANCE, AND CLEANING AREAS SHALL BE DESIGNATED AND MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS.

FIRE PROTECTION NOTES

- THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2019 EDITION).
- EACH APN SHALL HAVE SEPARATE SUBMITTALS FOR BUILDING AND SPRINKLER SYSTEM
- THE OCCUPANCY CLASSIFICATION, BUILDING CONSTRUCTION TYPE / FIRE RATING AND SPRINKLERED OR NON-SPRINKLERED AS DETERMINED BY THE BUILDING OFFICIAL AND OUTLINED IN THE CALIFORNIA BUILDING CODE (E.G. R-3, THE V-B, SPRINKLERED).
- ALL BUILDINGS SHALL BE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM COMPLYING WITH THE CURRENTLY ADOPTED EDITION OF NFPA 13-0, AND ADOPTED STANDARDS OF THE SANTA CRUZ COUNTY FIRE PROTECTION DISTRICT.
- THE DESIGNER/INSTALLER SHALL SUBMIT THREE (3) SETS OF PLANS AND CALCULATIONS FOR THE UNDERGROUND & OVERHEAD RESIDENTIAL AUTOMATIC FIRE SPRINKLER SYSTEM TO THIS AGENCY FOR APPROVAL.
- AN UNDERGROUND FIRE PROTECTION SYSTEM WORKING DRAWING MUST BE PREPARED BY THE DESIGNER/INSTALLER. THE PLANS SHALL COMPLY WITH THE UNDERGROUND FIRE PROTECTION SYSTEM DESIGN STANDARD, AND THE PLANS SHALL BE SUBMITTED AND PERMIT WILL BE ISSUED TO A CLASS C-16 OR OWNER/BUILDER. NO EXCEPTIONS.
- THE DRIVEWAY / ACCESS ROAD SHALL BE IN PLACE PRIOR TO ANY FRAMING CONSTRUCTION, OR CONSTRUCTION WILL BE STOPPED.
- ALL PRIVATE ACCESS ROADS, DRIVEWAYS, TURN-AROUND AND BRIDGES ARE THE RESPONSIBILITY OF THE OWNERS) OF RECORD AND SHALL BE MAINTAINED TO ENSURE THE FIRE DEPARTMENT SAFE AND EXPEDIENT PASSAGE AT ALL TIMES.
- A 100-FOOT CLEARANCE SHALL BE MAINTAINED AROUND AND ADJACENT TO THE BUILDING OR STRUCTURE TO PROVIDE ADDITIONAL FIRE PROTECTION OF FIRE BREAK BY REMOVING ALL BRUSH, FLAMMABLE VEGETATION, OR FUEL LOADS. THE CLEARANCE SHALL BE MAINTAINED THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL BRUSH, FLAMMABLE VEGETATION, OR FUEL LOADS FROM THE PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEARANCE FROM WATNE GROWTH TO ANY STRUCTURE.
- BUILDING NUMBERS SHALL BE PROVIDED. NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES IN HEIGHT ON A CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET. WHERE NUMBERS ARE NOT VISIBLE FROM THE STREET, ADDITIONAL NUMBERS SHALL BE INSTALLED ON A DIRECTIONAL SIGN AT THE PROPERTY DRIVEWAY AND THE STREET.
- ROOF COVERINGS TO BE NO LESS THAN CLASS "B" RATED ROOF.
- A MINIMUM OF 48 HOURS NOTICE TO THE FIRE DEPARTMENT IS REQUIRED PRIOR TO INSPECTION.
- THE JOB CORPES OF THE BUILDING AND FIRE SYSTEMS PLANS AND PERMITS MUST BE ON-SITE DURING INSPECTIONS.
- THE SIZE OF THE PROPANE TANK SHALL BE 500 GALLONS.
- A GASKY ARRESTOR SHALL BE INSTALLED ON CHIMNEY GASKY ARRESTOR OPENINGS SHALL NOT PERMIT THE PASSAGE OF SMOKEHAVING A DIAMETER GREATER THAN 8".
- BASECOURT GRADERS OVER 15K ASPHALTIC CONCRETE.
- BASECOURT GRADERS OVER 15K ASPHALTIC CONCRETE.
- THE SUBMITTER, DESIGNER AND INSTALLER CERTIFY THAT THESE PLANS AND DETAILS COMPLY WITH APPLICABLE SPECIFICATIONS, STANDARDS, CODES AND ORDINANCES. AGREEMENT THAT THEY ARE SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE SUBMITTER, DESIGNER AND INSTALLER FURTHER AGREE TO CORRECT ANY REFERENCES NOTED BY THIS REVIEW, SUBSEQUENT REVIEW, INSPECTION OR OTHER SOURCE, AND, TO HOLD HARMLESS AND WITHOUT PREJUDICE, THE REVIEWER AND REVIEWING AGENCY.
- SHOW ON THE PLANS A 10,000 GALLON WATER TANK FOR DOMESTIC AND FIRE PROTECTION SERVICE WITH A RESIDENTIAL HYDRANT AS LOCATED BY THE FIRE DEPARTMENT. IF YOUR BUILDING IS NOT SERVED BY A RESIDENTIAL HYDRANT, THE WATER TANK AND FIRE DEPARTMENT CONNECTION SHALL BE LOCATED. CONTACT THE SANTA CRUZ COUNTY FIRE MARSHAL'S OFFICE AT 335-6748. A SEPARATE PERMIT IS REQUIRED FOR TANK/HYDRANT INSTALLATION.



THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF RENESE AND MARCELO DINIZ IN FEBRUARY, 2022

|        |         |
|--------|---------|
| DRN:   | RS      |
| CHK:   | GTF     |
| PM:    | KB      |
| DATE:  | 3-24-22 |
| JOB #: | 4630    |

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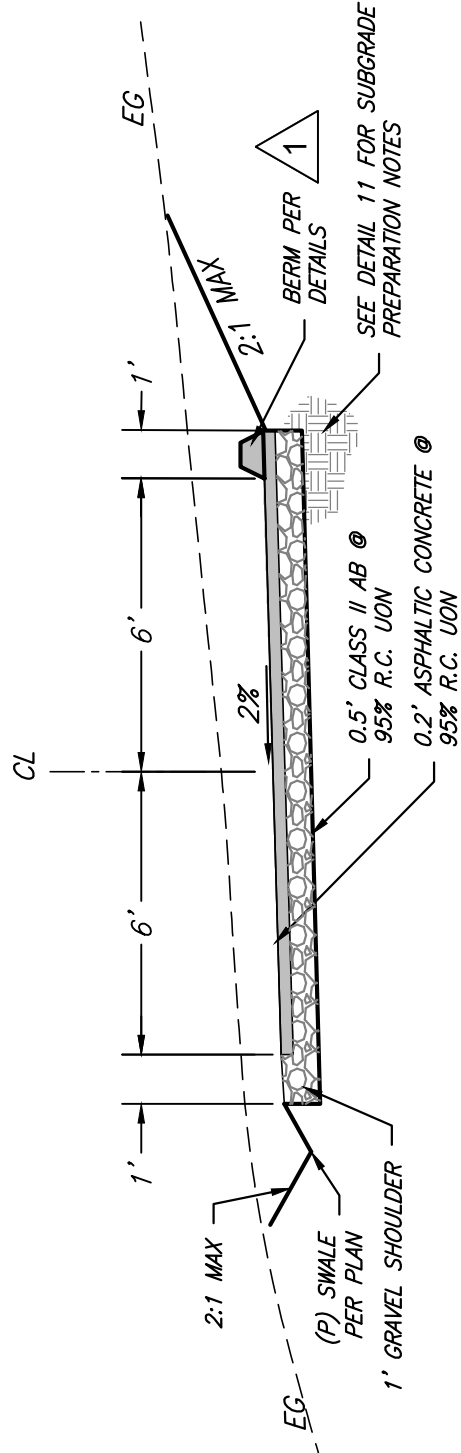
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APN: 046-221-47

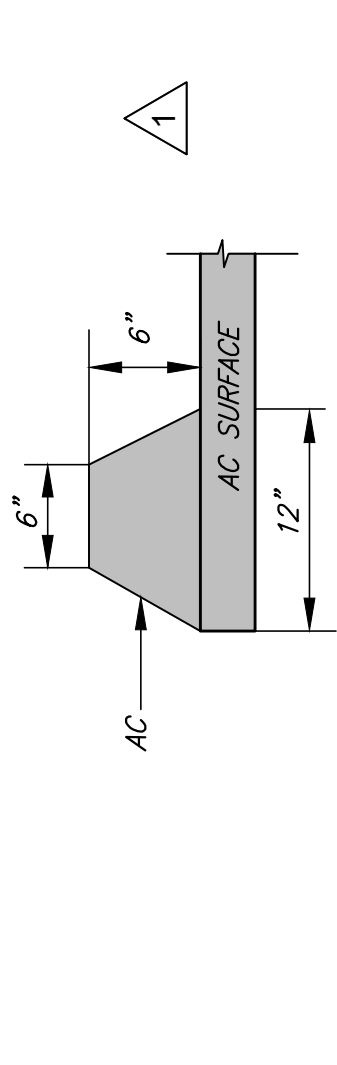
LANDS OF DINIZ  
GENERAL & FIRE NOTES

220 ZILS ROAD  
WATSONVILLE, CALIFORNIA

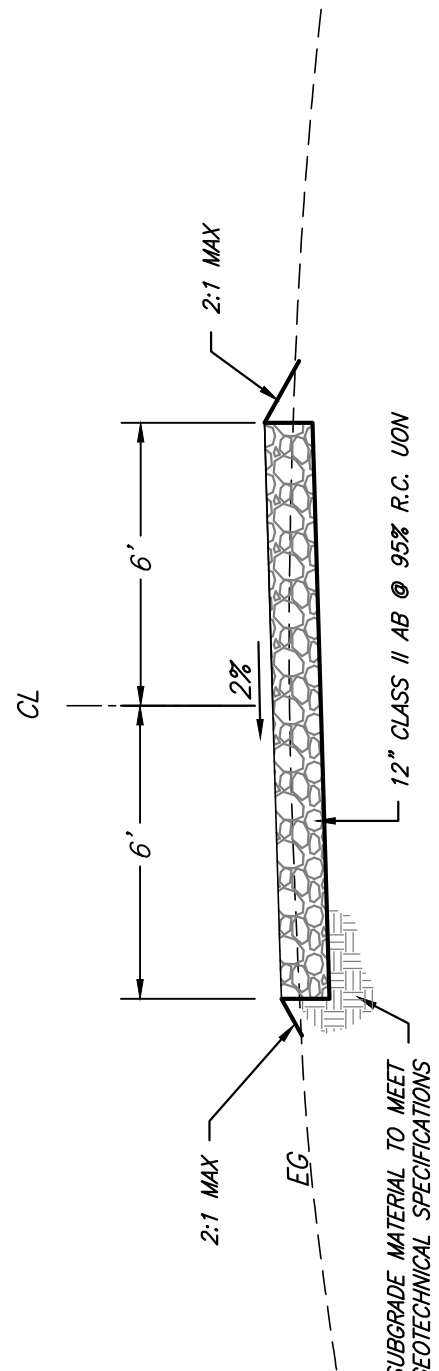




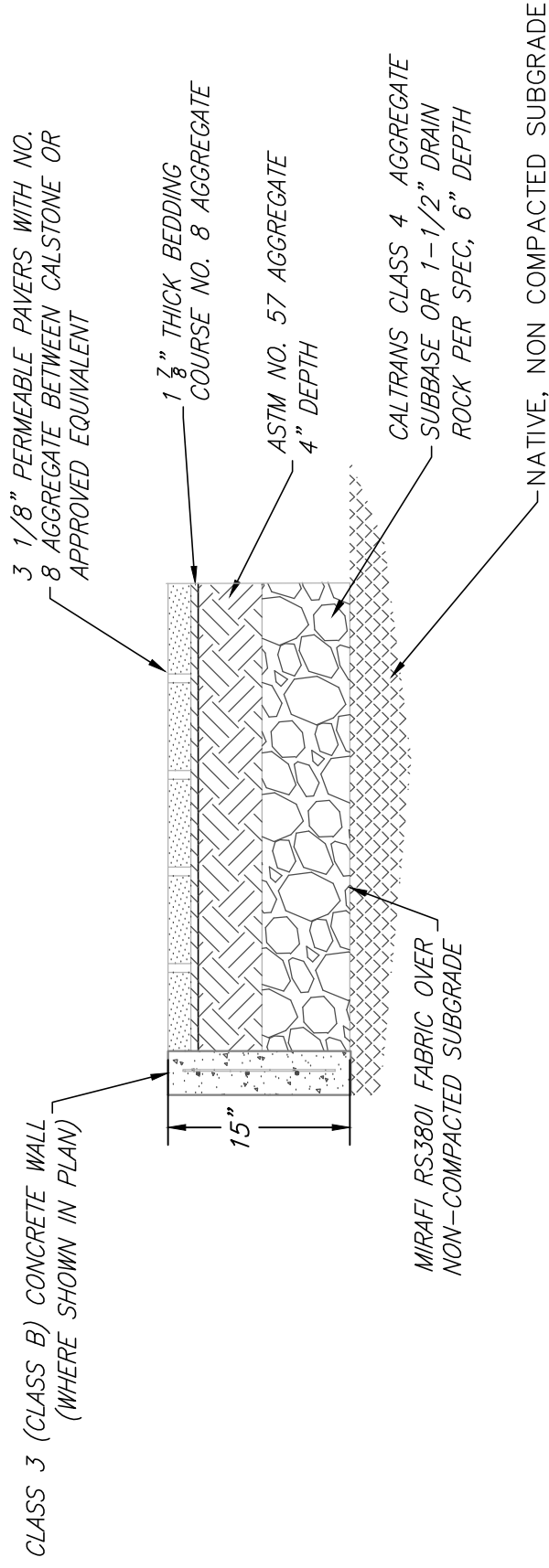
1 AC DRIVEWAY SECTION  
STATION: 0+07.3 - 1+62  
(ACTUAL DESIGN SLOPE DIRECTIONS ARE AS PER PLAN.)



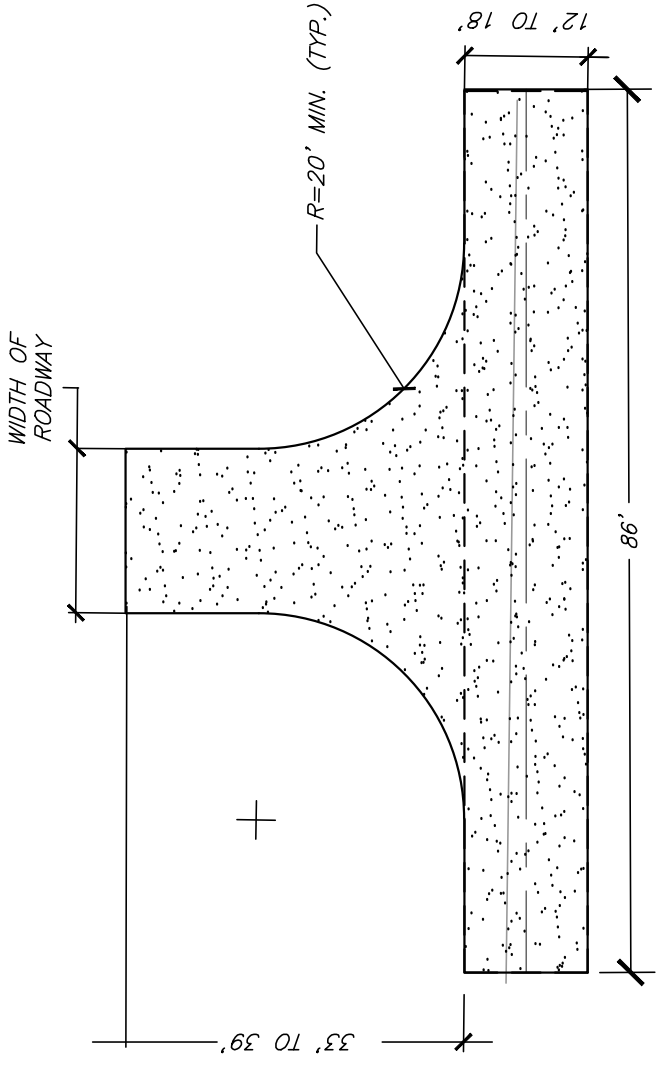
1A AC BERM



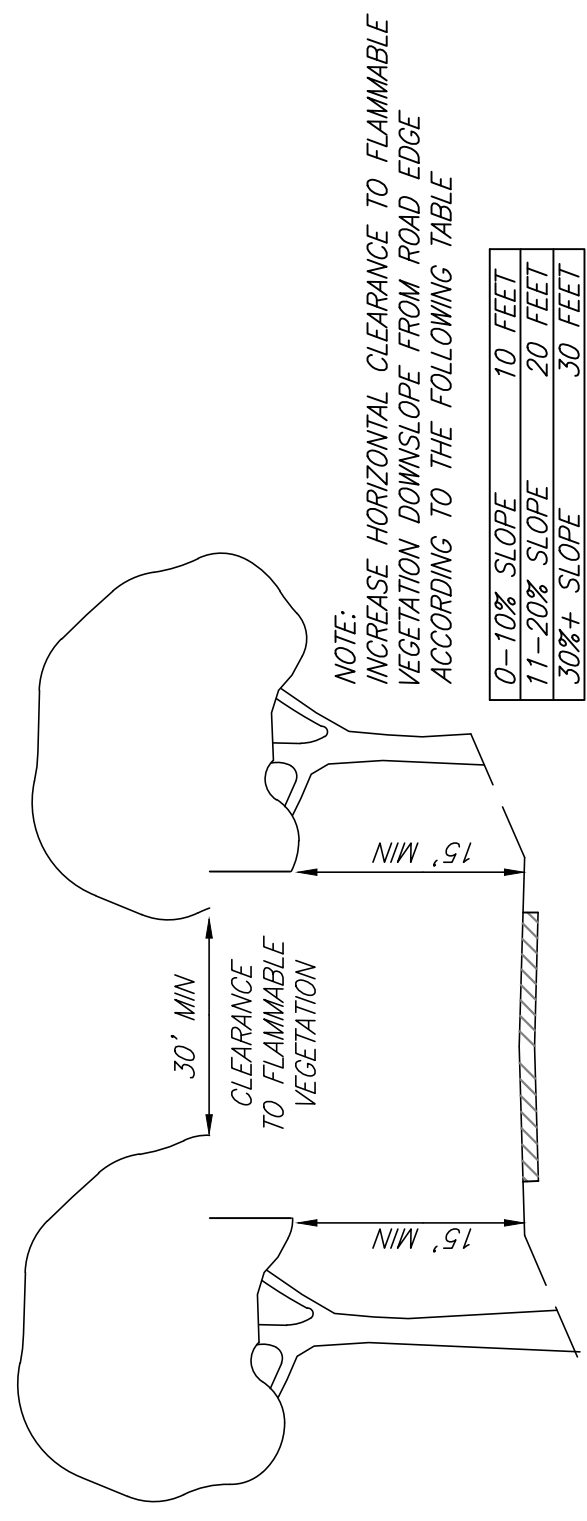
2 GRAVEL DRIVEWAY SECTION  
STATION: 1+62 - 3+12  
(ACTUAL DESIGN SLOPE DIRECTIONS ARE AS PER PLAN.)



3 PAVER DRIVEWAY SECTION  
(ACTUAL DESIGN SLOPE DIRECTIONS ARE AS PER PLAN.)

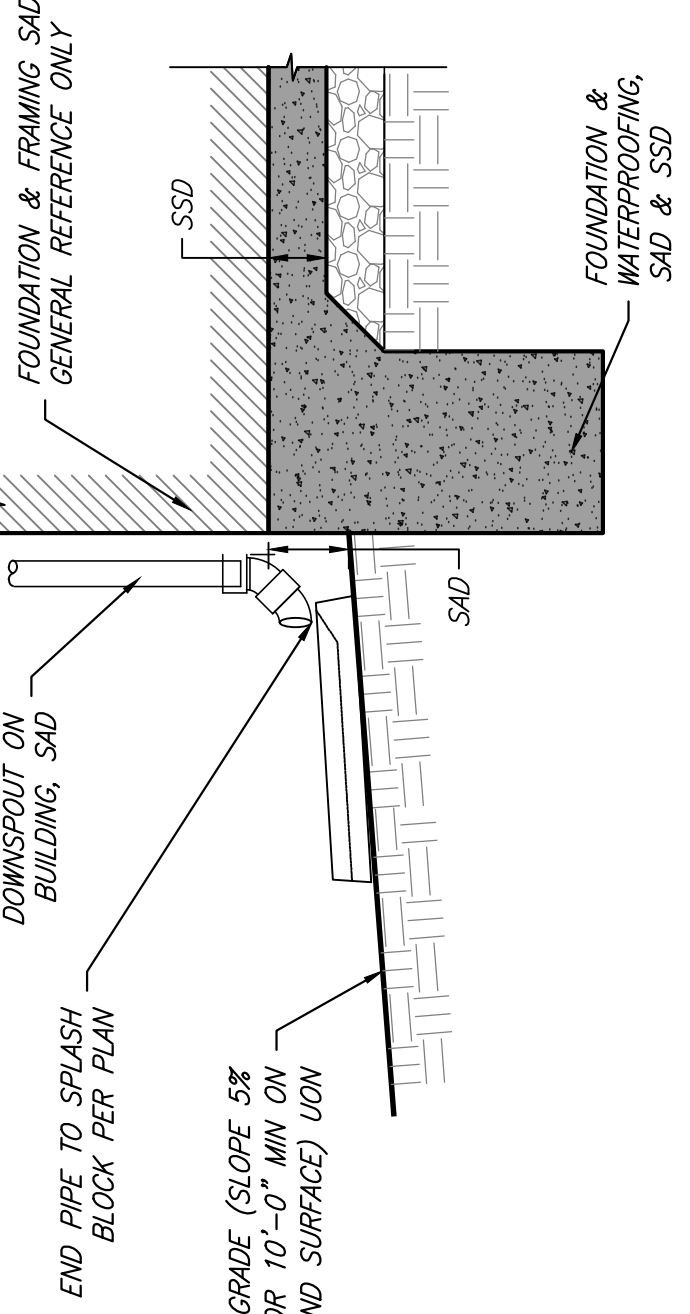


5 FIRE SAFE LATERAL SLIP TURNAROUND  
SEE SECTION PFL 015 FOR TURNAROUND CONFIGURATIONS

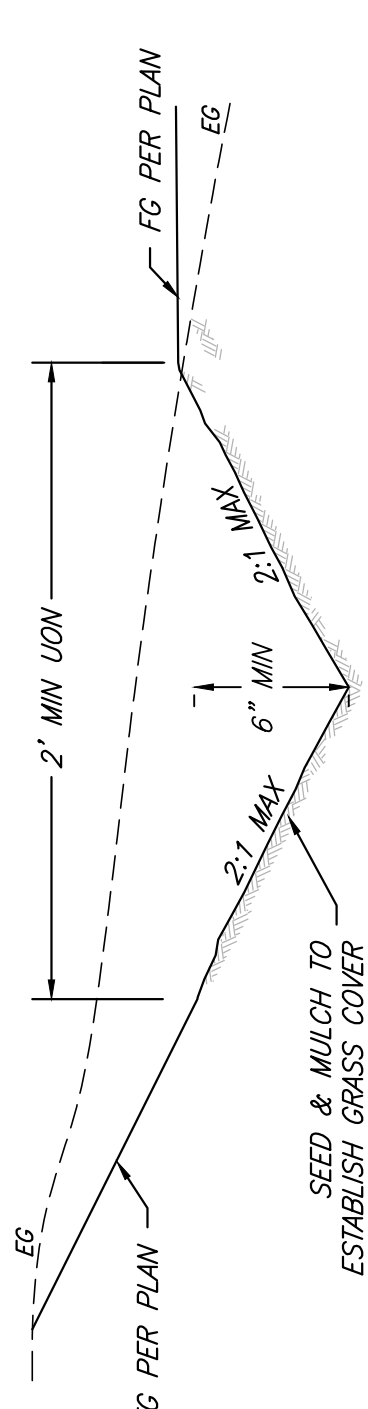


6 ROAD VEGETATION CLEARANCE

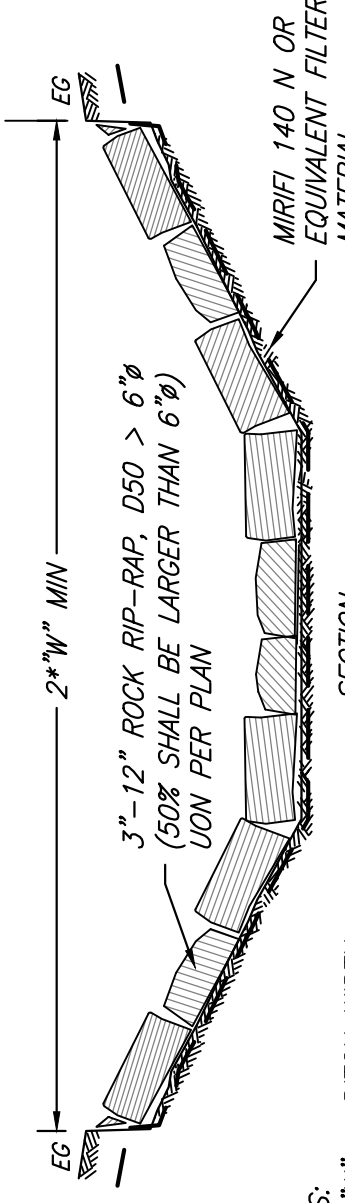
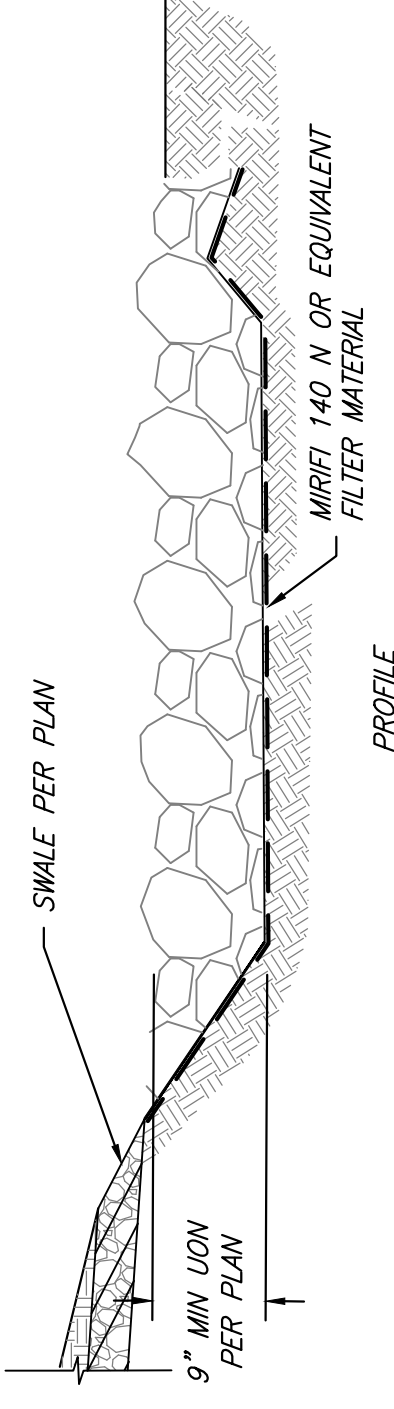
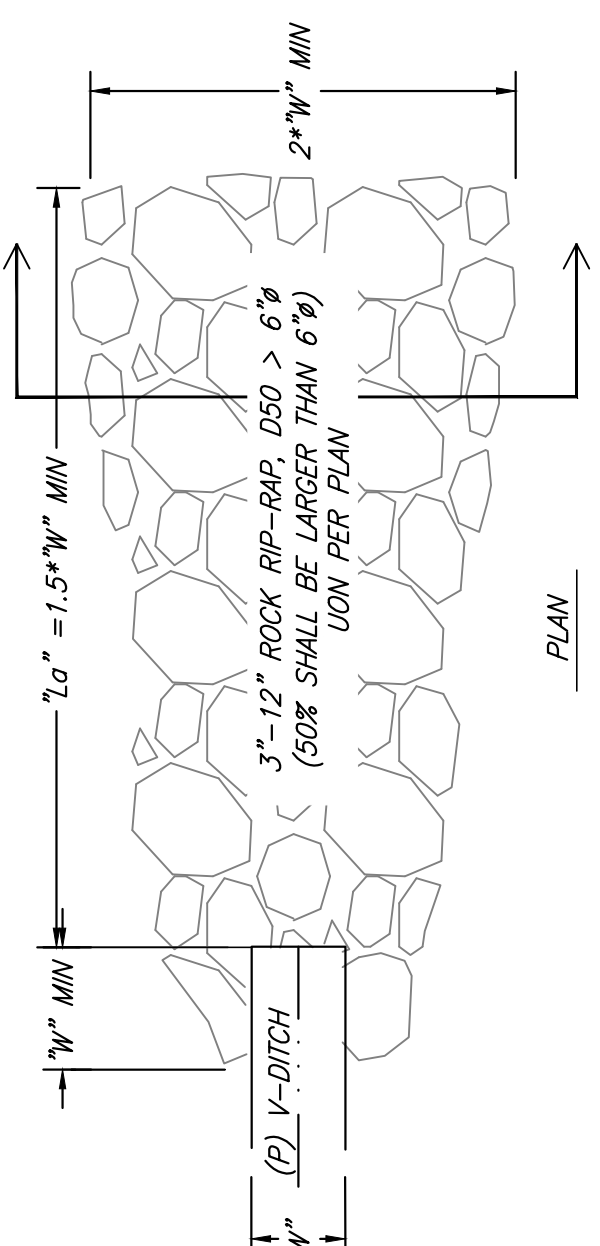
|              |         |
|--------------|---------|
| 0-10% SLOPE  | 10 FEET |
| 11-20% SLOPE | 20 FEET |
| 30%+ SLOPE   | 30 FEET |



9 TYPICAL PERIMETER FOOTING & DOWNSPOUT CONNECTION  
GENERAL FOOTING & WALL SHOWN FOR REFERENCE ONLY;  
SEE ARCH PLANS & STRUCTURAL PLANS.



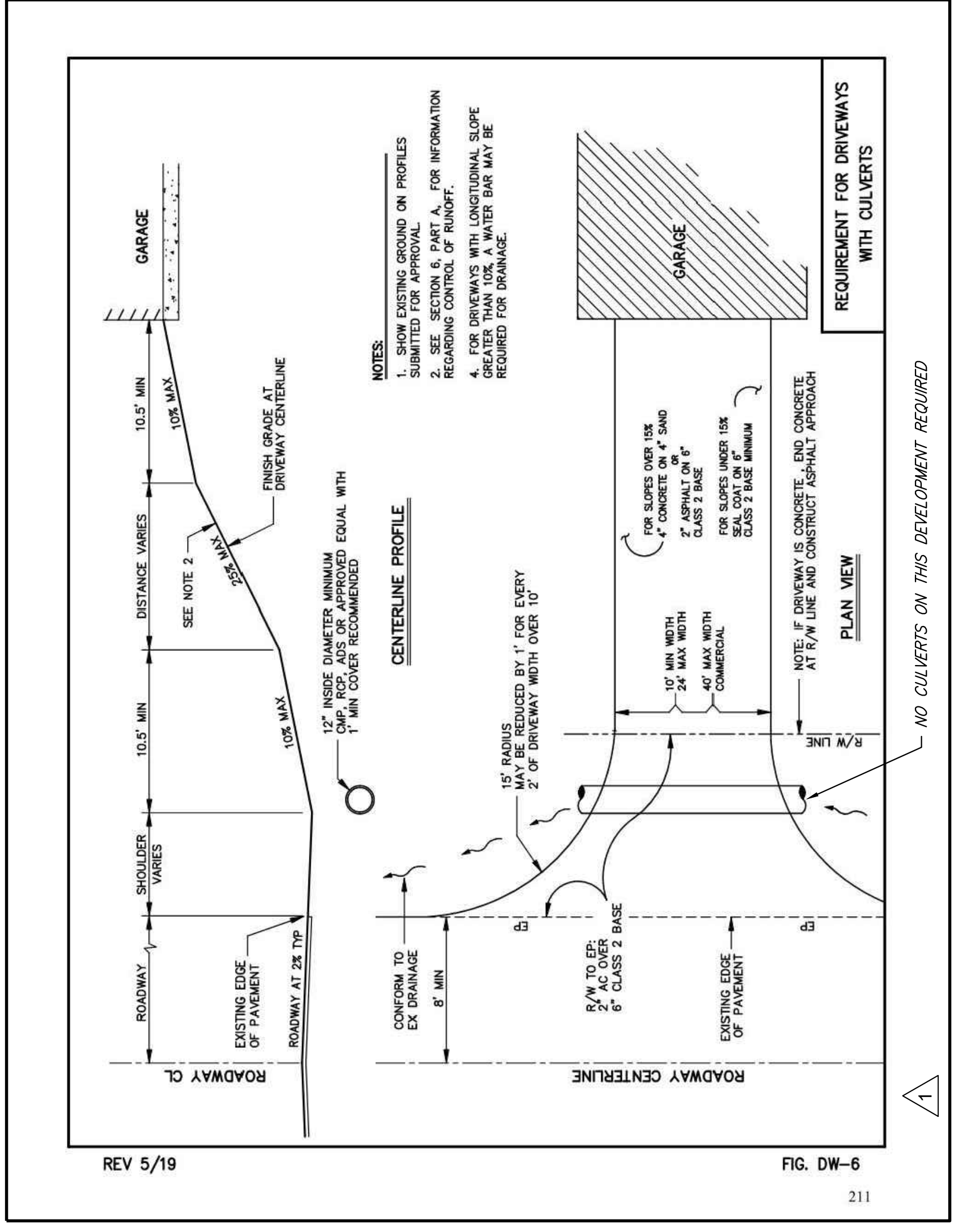
7 EARTH SWALE  
SLOPE @ 2% MINIMUM ALONG LENGTH



8 RIP-RAP OUTLET

- SUBGRADE MATERIAL PREPARATION
- CLEARED AREAS SHOULD THEN BE STRIPPED OF ORGANIC-LADEN TOPSOIL. STRIPPING DEPTH SHOULD BE FROM 2"-6".
  - ON-SITE SOILS ARE SUITABLE AS ENGINEER FILL. IMPORTED SOILS UTILIZED AS ENGINEERED FILL SHALL BE FREE OF ORGANIC MATTER, ROCKS OR LUMPS GREATER THAN 2.5" DIA; NOT CONTAIN MORE THAN 25% OF FINES PASSING #200 SIEVE; HAVE A SAND EQUIVALENT GREATER THAN 18; PLASTICITY INDEX < 15 AND HAVE AN R VALUE < 30. SHALL BE APPROVED BY PROJECT GEOTECHNICAL ENGINEER PRIOR TO USE.
  - ALL FILL MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8" AT 90% R.C.
  - FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8" AT 90% R.C. UNLESS OTHERWISE NOTED.
  - SUBGRADE SOIL WITHIN THE PROPOSED STRUCTURED BUILDING ENVELOPE PLUS 5' HORIZONTALLY BEYOND STRUCTURE PERIMETERS BE SUB EXCAVATED TO A DEPTH OF 3' BELOW EXISTING GRADE OR 2' BELOW THE BOTTOM OF PROPOSED FOOTING (WHICHEVER IS GREATER).
  - THE BOTTOM OF THE SUB EXCAVATION SHOULD BE SCARIFIED, MOISTURE CONDITIONED AND RECOMPACTED.
  - THE UPPER 6" OF PAVEMENT SECTION SUBGRADE SHOULD BE COMPACTED TO AT LEAST 95% R.C AT SLIGHT ABOVE OPTIMUM MOISTURE.
  - REFER TO PROJECT GEOTECHNICAL REPORT FOR COMPLETE REQUIREMENTS

11 SUBGRADE PREPARATION NOTES



10 FIG DW-6 STANDARD DRIVEWAY APPROACH

# LANDS OF DINIZ GRADING AND DRAINAGE DETAILS

220 ZILS ROAD  
WATSONVILLE, CALIFORNIA

APN: 046-221-47

2601 41ST AVENUE, SUITE B  
SOUEL, CA 95073

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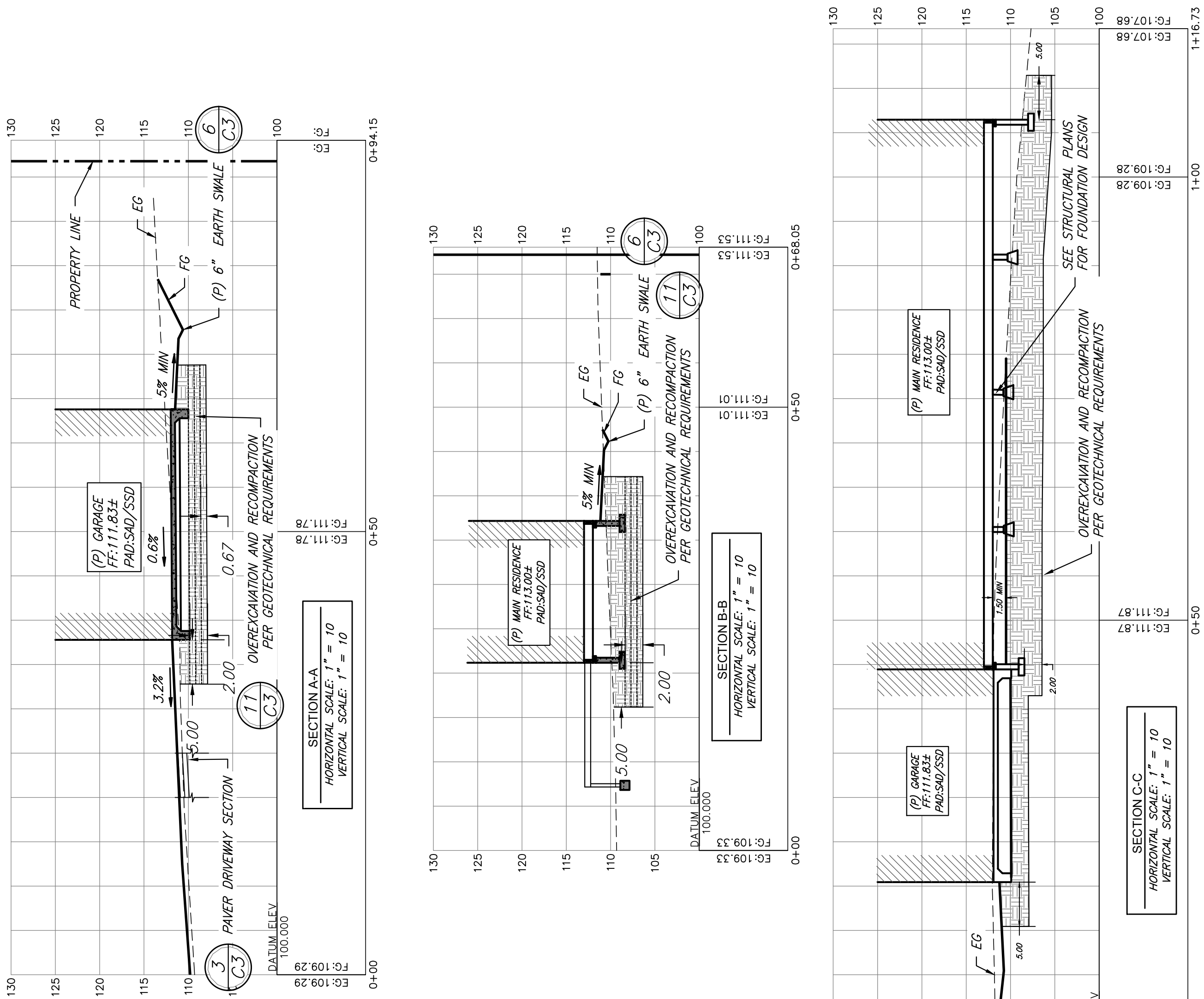
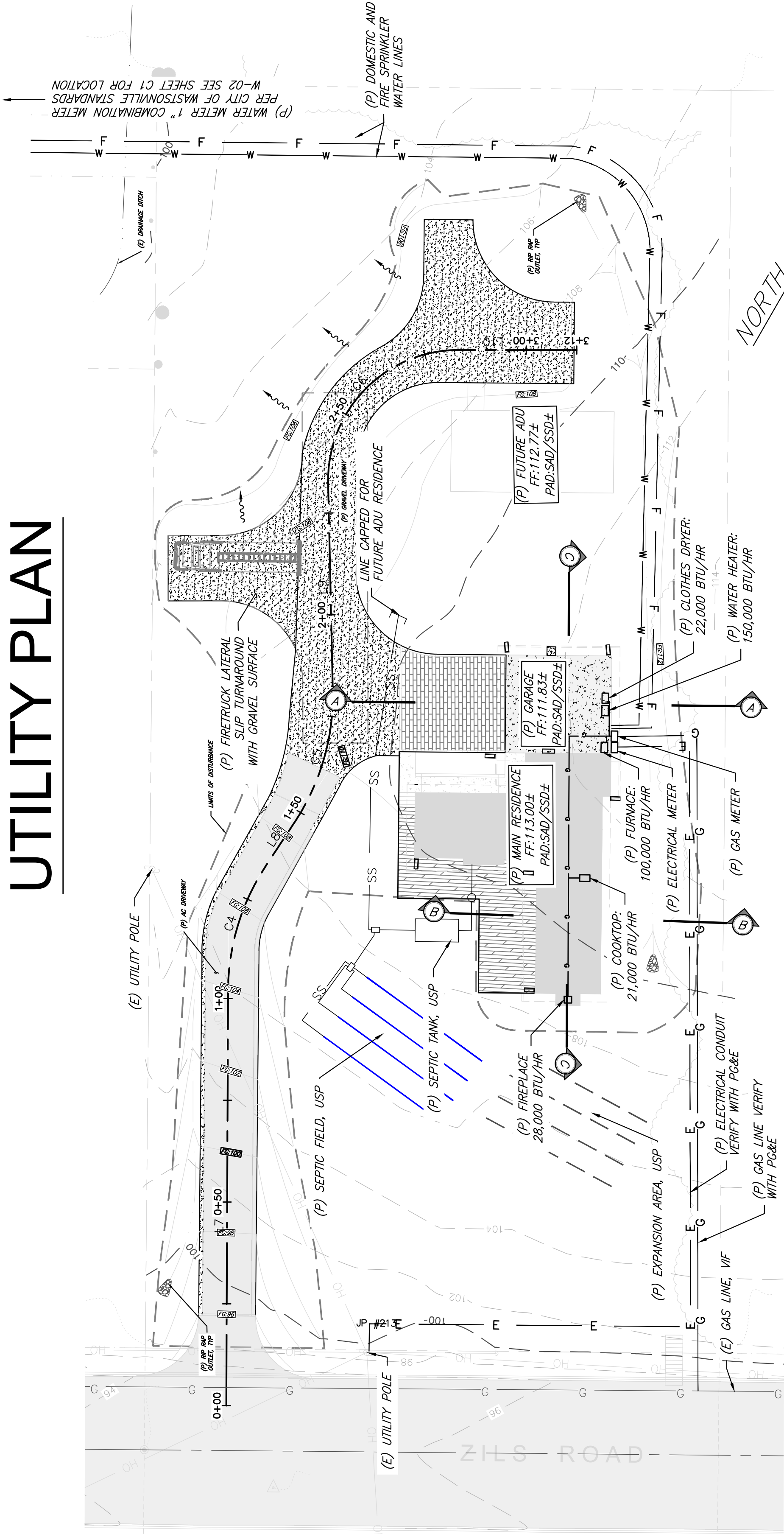
JOB #: 4630  
DATE: 3-24-22  
PM: KB  
CHK: GTF  
RS

THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECTION. THE REQUESTOR RENE AND MARCELO DINIZ IN FEBRUARY, 2022





UTILITY PLAN



PROFESSIONAL SEAL  
STATE OF CALIFORNIA  
CIVIL  
NO. 88889  
JAMES R. FLEISSNER

THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF  
RENE AND MARCELO DINIZ IN FEBRUARY, 2020

DRN: RS

CHK: GTF

PM: KB

DATE: 3/24/22

JOB #: 4630

GEOFF FLEISSNER R.C.E. 82889

TEL (831) 426-1617  
FAX (831) 426-0224  
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SOUEL, CA 95073

APN: 046-221-47

LANDS OF DINIZ  
UTILITY PLAN & SECTION  
WATSONVILLE, CALIFORNIA  
220 ZILS ROAD

| FUEL GAS PIPING  |  |       |       |       |       |       |       |       |       |       |       |
|--|--|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|
| TABLE 1216.2(1)<br>SCHEDULE 40 METALLIC PIPE (NFPA 54; TABLE 6.2(b)) <sup>1, 2</sup> |  |       |       |       |       |       |       |       |       |       |       |
| GAS: NATURAL   |  |       |       |       |       |       |       |       |       |       |       |
| INLET PRESSURE: LESS THAN 2 psi  |  |       |       |       |       |       |       |       |       |       |       |
| PRESSURE DROP: 0.5 in. w.c.  |  |       |       |       |       |       |       |       |       |       |       |
| SPECIFIC GRAVITY: 0.80   |  |       |       |       |       |       |       |       |       |       |       |
| NOMINAL:<br>LENGTH<br>(ft)   | PIPE SIZE (inch)   |       |       |       |       |       |       |       |       |       |       |
|  | 1/2  | 3/4   | 1     | 1 1/4 | 1 1/2 | 2     | 2 1/2 | 3     | 4     | 6     | 8     |
| CAPACITY IN CUBIC FEET OF GAS PER HOUR   |  |       |       |       |       |       |       |       |       |       |       |
| ACTUAL ID:   | 0.622  | 0.824 | 1.049 | 1.380 | 1.610 | 2.067 | 2.469 | 3.068 | 4.026 | 5.047 | 6.065 |
| 10   | 172  | 360   | 678   | 1390  | 2090  | 4020  | 6400  | 11300 | 23100 | 41800 | 67600 |
| 20   | 118  | 247   | 466   | 957   | 1430  | 2760  | 4400  | 7780  | 15900 | 28700 | 46500 |
| 30   | 95   | 199   | 374   | 768   | 1150  | 2220  | 3530  | 6250  | 12700 | 23000 | 37300 |
| 40   | 81   | 170   | 320   | 657   | 985   | 1900  | 3020  | 5350  | 10900 | 20000 | 31900 |
| 50   | 72   | 151   | 284   | 583   | 873   | 1680  | 2680  | 4740  | 9660  | 17500 | 28300 |
| 60   | 65   | 137   | 257   | 528   | 791   | 1520  | 2430  | 4290  | 8760  | 15800 | 25200 |
| 70   | 60 <td>126</td> <td>237</td> <td>486</td> <td>728</td> <td>1400</td> <td>2230</td> <td>3950</td> <td>8050</td> <td>14600</td> <td>23600</td> | 126   | 237   | 486   | 728   | 1400  | 2230  | 3950  | 8050  | 14600 | 23600 |
| 80   | 56 <td>117</td> <td>220</td> <td>452</td> <td>677</td> <td>1300</td> <td>2080</td> <td>3670</td> <td>7490</td> <td>13600</td> <td>21900</td> | 117   | 220   | 452   | 677   | 1300  | 2080  | 3670  | 7490  | 13600 | 21900 |
| 90   | 52 <td>110</td> <td>207</td> <td>424</td> <td>635</td> <td>1220</td> <td>1950</td> <td>3450</td> <td>7030</td> <td>12700</td> <td>20600</td> | 110   | 207   | 424   | 635   | 1220  | 1950  | 3450  | 7030  | 12700 | 20600 |
| 100  | 50 <td>104</td> <td>195</td> <td>400</td> <td>600</td> <td>1160</td> <td>1840</td> <td>3260</td> <td>6640</td> <td>12000</td> <td>19500</td> | 104   | 195   | 400   | 600   | 1160  | 1840  | 3260  | 6640  | 12000 | 19500 |
| 125  | 44   | 92    | 173   | 355   | 532   | 1020  | 1630  | 2890  | 5890  | 10600 | 16300 |
| 150  | 40   | 83    | 157   | 322   | 482   | 928   | 1480  | 2610  | 5330  | 9650  | 15000 |
| 175  | 37   | 77    | 144   | 296   | 443   | 854   | 1360  | 2410  | 4910  | 8880  | 13900 |
| 200  | 34   | 71    | 134   | 275   | 412   | 794   | 1270  | 2240  | 4560  | 8260  | 13000 |

GAS LINE TABLE 1216.2 (1)

| UTILITY LEGEND                                  |  |
|---|--|
| 1" FIRE SPRINKLER LINE                          | (P) FIRE SPRINKLER LINE                          |
| 1" GAS SERVICE LATERAL                          | (P) GAS SERVICE LATERAL                          |
| 1" SEWER LATERAL                                | (P) SEWER LATERAL                                |
| 1" WATER  | (P) WATER  |
| 1" CULVERT/STORMWATER W/ SIZE & TYPE            | (P) CULVERT/STORMWATER W/ SIZE & TYPE            |
| 1" PERFORATED SUBDRAIN W/ SIZE & TYPE           | (P) PERFORATED SUBDRAIN W/ SIZE & TYPE           |
| 1" SOLID SUBDRAIN W/ SIZE & TYPE                | (P) SOLID SUBDRAIN W/ SIZE & TYPE                |
| 1" CULVERT/STORMWATER W/ SIZE & TYPE            | (P) CULVERT/STORMWATER W/ SIZE & TYPE            |
| 1" GAS SERVICE LATERAL                          | (P) GAS SERVICE LATERAL                          |
| 1" WATER  | (P) WATER  |
| 1" WIRETY ALL (E) & WIRETY, GROUNDING & SERVICE | (P) WIRETY ALL (E) & WIRETY, GROUNDING & SERVICE |
| LOCATION IN FIELD PRIOR TO CONSTRUCTION         |  |

GAS LINE SCHEMATIC

NOTE:  
1. ALL GAS LINES SHALL BE INSTALLED IN A TRENCH.  
2. EACH APPLIANCE TO INCLUDE BRASS SHUTOFF VALVES, REDUCERS, SEDIMENT TRAP AND FLEXIBLE TUBING CONNECTION AS NECESSARY.  
3. LENGTHS SHOWN ARE APPROXIMATE.

FIRE PLACE: 28,000 BTU/HR MAX

LONGEST RUN  
REGULATOR -> FIREPLACE (82')  
TOTAL BTU 321,000  
TOTAL LENGTH USED (90')  
APPLIANCE  
FIREPLACE 28,000  
FURNACE 100,000  
TANKLESS WATER HEATER 150,000  
CLOTHES DRYER 22,000  
TOTAL DEMAND: 321,000

NOTES:  
1. BALL VALVE CUBIC METER VALVES: MUELLER #110 COMPRESSION TYPE 3/4" B-24258, MUELLER #110 COMPRESSION TYPE 1" B-24258, FORD COMPRESSION TYPE "Q", OR CITY APPROVED EQUAL 3/4" B-443-SNQG, 1" B-443-444NQG  
2. METER BOX: CHRISTY B-36 W/ N80RP R-COMPOSITE LID NON TRAFFIC, B-730 BOX W/ B7730-51GH STEEL CHECKER PLATE LID FOR TRAFFIC, ALL LIDS SHALL HAVE A PORT ACCEPTING THE WIRELESS METER READER.  
3. ALL CORPORATION STOPS, ANGLE METER STOPS, COUPLINGS AND CONNECTIONS SHALL BE MUELLER 110, OR FORD TYPE "Q" COMPRESSION TYPE FITTINGS WITH C/C THREAD ON CITY APPROVED EQUAL.  
4. ALL PRIVATE INSTALLATION SHALL COMPLY WITH CITY ORDINANCE NO. 508-80 AS AMENDED REGARDING "WATER SERVICES AND CHARGES", DOMESTIC AND FIRE SERVICE LINE SHALL BE SIZED PER CALIFORNIA PLUMBING AND FIRE CODES.  
5. THE CUSTOMER SHALL INSTALL SUITABLE CONTROL VALVES ON EACH PRIVATE SERVICE LINE ON THE RISER TO EACH BUILDING OR A MAXIMUM OF 50 FEET FROM THE METER. THE VALVES SHALL CONTROL THE ENTIRE WATER SUPPLY FROM THE SURFACE.

| SCALE: NTS      | WATER DIVISION STANDARD DRAWING | REV:                   |
|-----------------|---------------------------------|------------------------|
| DRAWN BY: STAFF | MAY 2018                        |                        |
| CHECKED BY: TC  | COMBINATION METER               | RESOLUTION: 98-18 (CM) |
|                 |                                 | DWG NO. W-02           |

18



# LANDS OF DINIZ PLAN & PROFILE

APN: 046-221-47

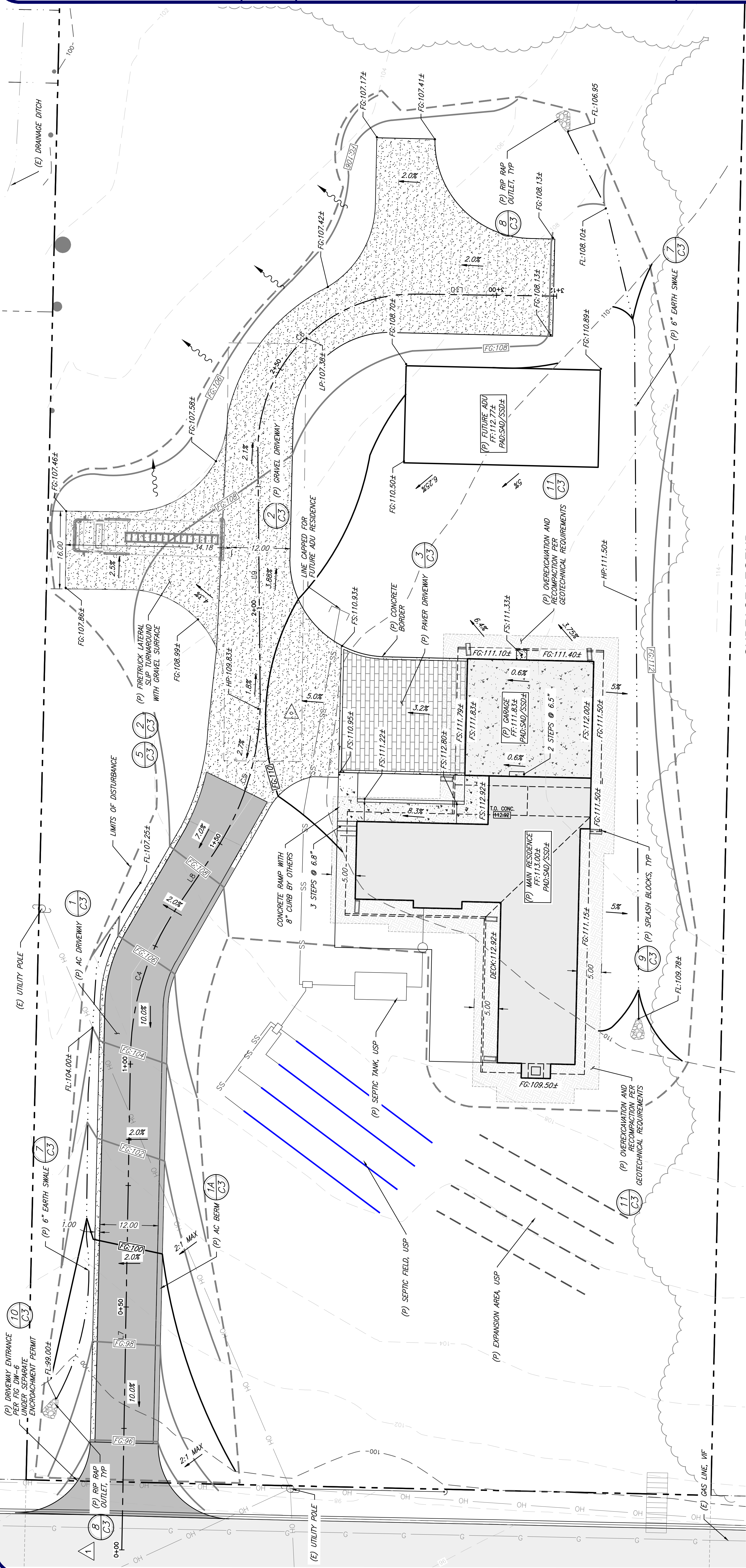
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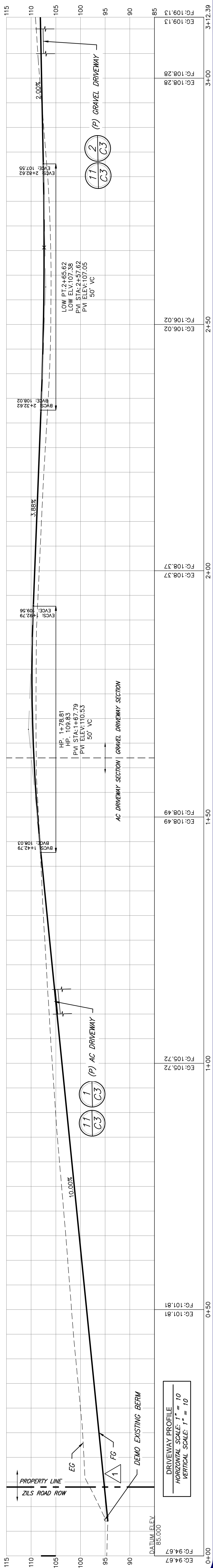
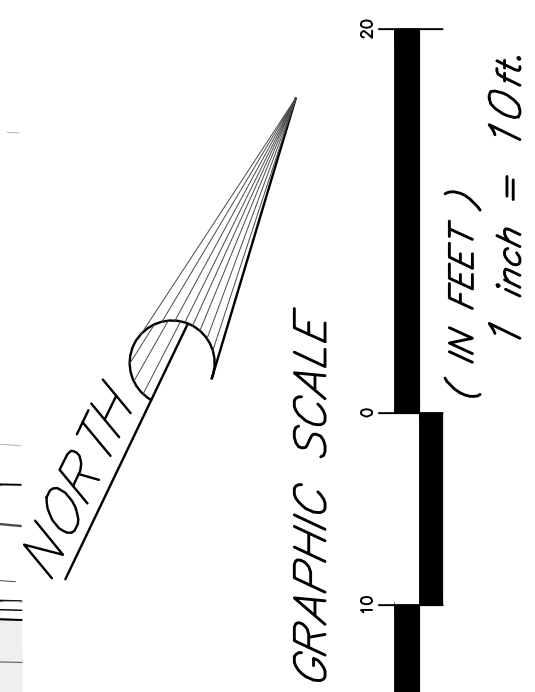
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| DRN:   | RS      |
| CHK:   | GTF     |
| PM:    | KB      |
| DATE:  | 3-24-22 |
| JOB #: | 4630    |

GEOFF FLEISSNER R.C.E. 82889



| CURVE ALIGNMENT CONSTRUCTION TABLE |        |        |           |                              |
|------------------------------------|--------|--------|-----------|------------------------------|
| CURVE NUMBER                       | RADIUS | LENGTH | DELTA     | START STATION<br>END STATION |
| C4                                 | 56.00  | 32.44  | 33°11'16" | 1+34.35                      |
| C5                                 | 56.00  | 33.94  | 34°43'47" | 1+81.36                      |
| C6                                 | 32.00  | 51.02  | 91°20'46" | 2+32.32<br>2+83.34           |

| ALIGNMENT CONSTRUCTION TABLE |        |               |               |             |
|------------------------------|--------|---------------|---------------|-------------|
| LINE NUMBER                  | LENGTH | DIRECTION     | START STATION | END STATION |
| L7                           | 101.92 | N24° 32' 36"W | 0+00.00       | 1+01.92     |
| L8                           | 13.08  | N8° 38' 40"E  | 1+34.35       | 1+47.41     |
| L9                           | 50.96  | N26° 05' 06"W | 1+48.136      | 2+32.32     |
| L10                          | 29.05  | N65° 15' 39"E | 2+48.34       | 3+12.39     |





EROSION CONTROL PLAN

SITE HOUSEKEEPING REQUIREMENTS

- CONSTRUCTION MATERIALS
- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
  - ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAMINANT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
  - EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNATED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
  - BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

WASTE MANAGEMENT

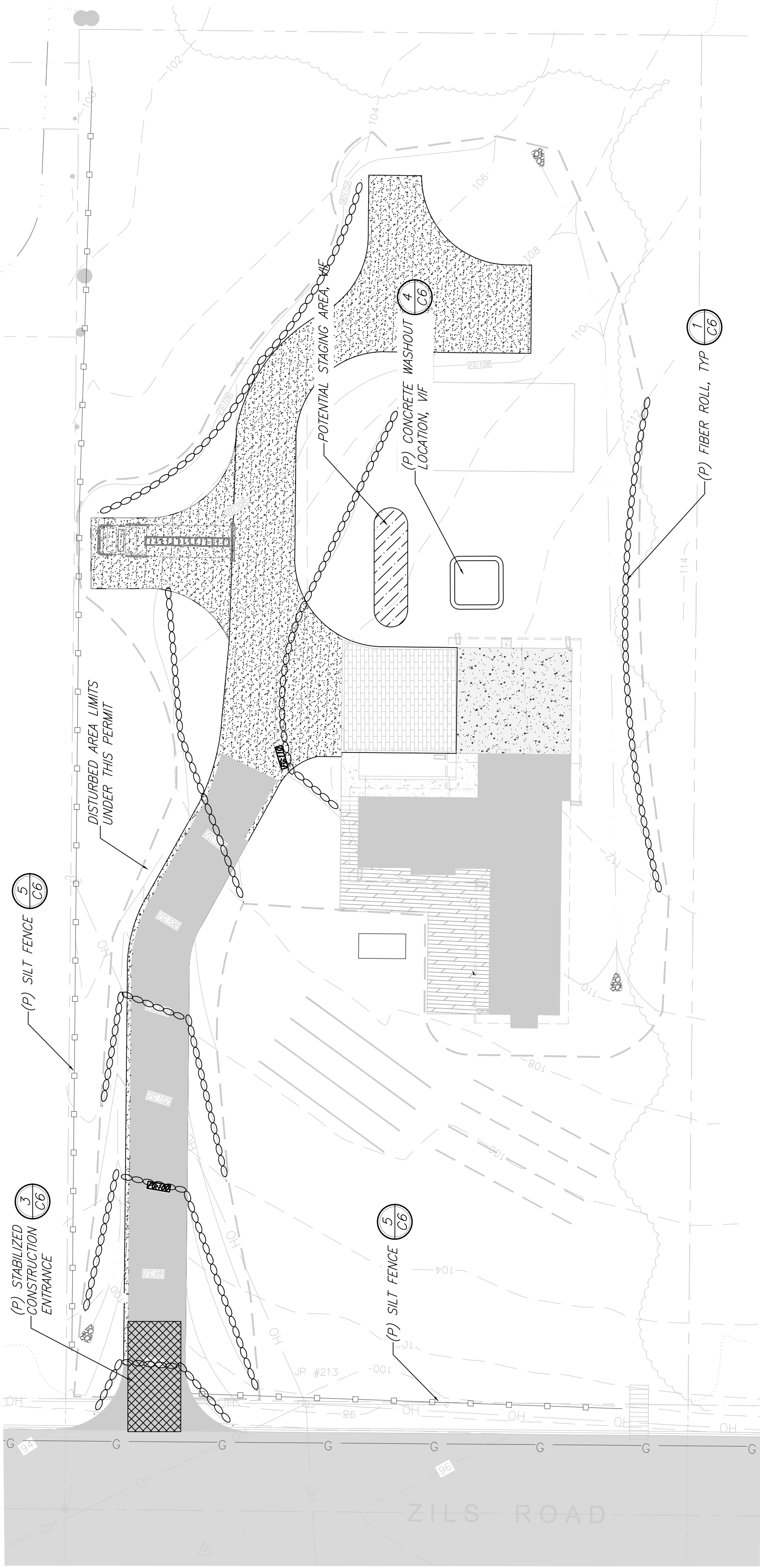
- DISPOSAL OF AND RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
- SAWTOON FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER. AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRAINAGE, STREAM, IRRIGATION AREA OR OTHER DRAINAGE FACILITY.
- SAWTOON FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
- COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
- DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATERS SHALL BE PREVENTED.
- STOCKPILED WASTE MATERIALS SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
- PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
- EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY; AND CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

VEHICLE STORAGE AND MAINTENANCE

- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.
- ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
- LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

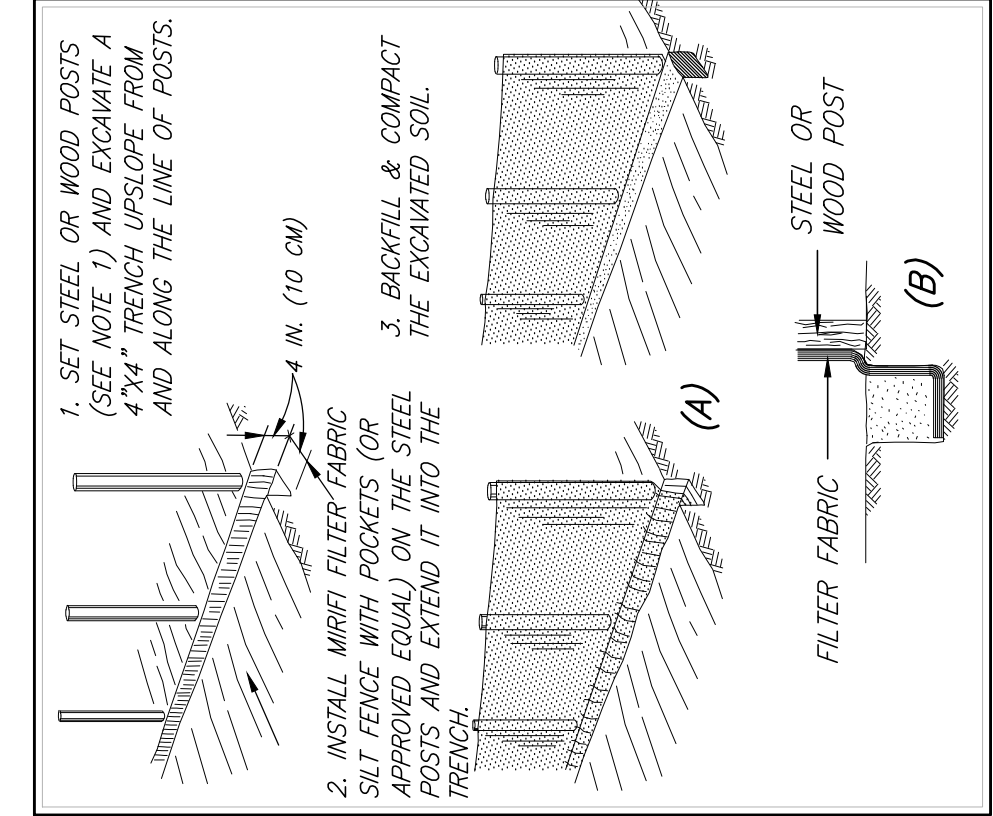
LANDSCAPE MATERIALS

- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
- CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
- DISCONTINUE THE APPLICATION OF AND ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTER RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
- APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
- STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.



1 FIBER ROLL BARRIER

NOTE: INSTALL FIBER ROLL ON CONTOUR.



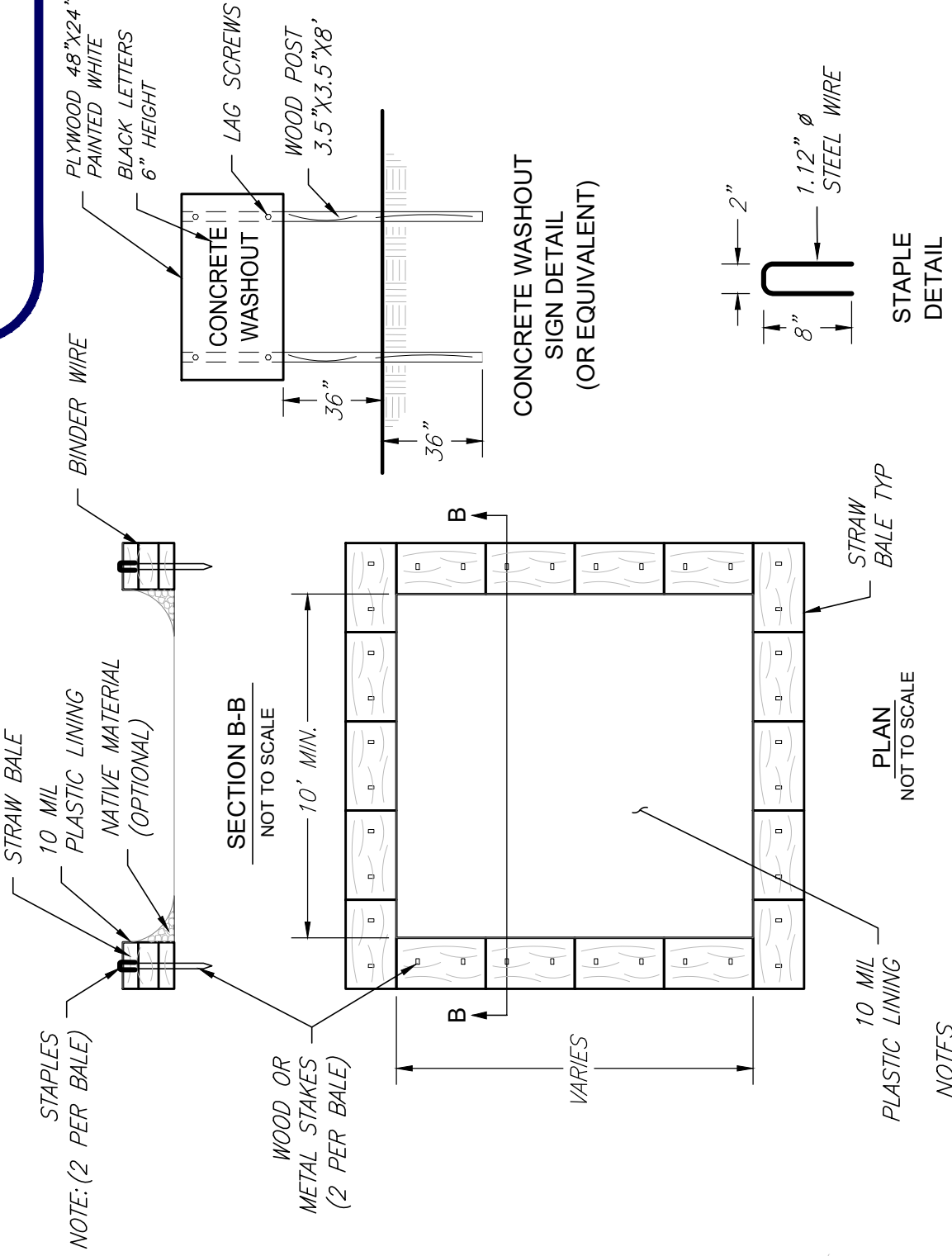
5 SILT FENCE SEDIMENT BARRIER

NTS

CONSTRUCTION OF A SILT FENCE. (A) INSTALLATION SEQUENCE. (B) EXTENSION OF FABRIC INTO THE TRENCH.

- LAY OUT A SUITABLE FENCE LINE AND SET POSTS ALONG IT. ON SLOPES, ALIGN THE FENCE ALONG THE CONTOUR AS CLOSELY AS POSSIBLE. IN SMALL SWALES, CURVE THE FENCE LINE UPSTREAM AT THE SIDES TO DIRECT THE FLOW TOWARD THE MIDDLE OF THE FENCE. THE SIDES SHOULD BE HIGHER THAN THE CENTER AS ILLUSTRATED IN THE FIGURE AT RIGHT. SPACE POSTS ON 6' CENTERS AND DRIVE THEM A MINIMUM OF 12 IN (30 CM) INTO THE GROUND. POSTS FOR SILT FENCES CAN BE EITHER 1 1/2" (3.8 CM) MIN. DIA. HARD WOOD OR 1.33 LB/FT (1.97 KG/M) STEEL WITH A MINIMUM LENGTH OF 5 FT (1.5 M). STEEL POSTS MUST HAVE PROTECTION FOR FASTENERS. FASTEN THE FILTER FABRIC TO THE UPHILL SIDE OF THE FENCE POSTS, AND EXTEND TO 6 TO 8 IN (15 TO 20 CM) INTO THE TRENCH. THE HEIGHT OF THE FENCE SHOULD NOT EXCEED 36 IN (9.1 M). DO NOT STAPLE FABRIC ONTO TREES. CUT THE FILTER FABRIC FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY ANY, SPICE THE FILTER CLOTH AT A SUPPORT POST, WITH A MINIMUM 6 IN (15 CM) OVERLAP, AND SECURELY FASTEN BOTH ENDS TO THE POST.
- BACKFILL THE TRENCH OVER THE JOE OF THE FABRIC AND COMPACT THE SOIL.
- PREFABRICATED SILT FENCE WITH POSTS MAY BE USED AS AN ALTERNATE TO SETTING STEEL OR WOOD POSTS.

INSTALLATION OF SILT FENCE SEDIMENT BARRIER



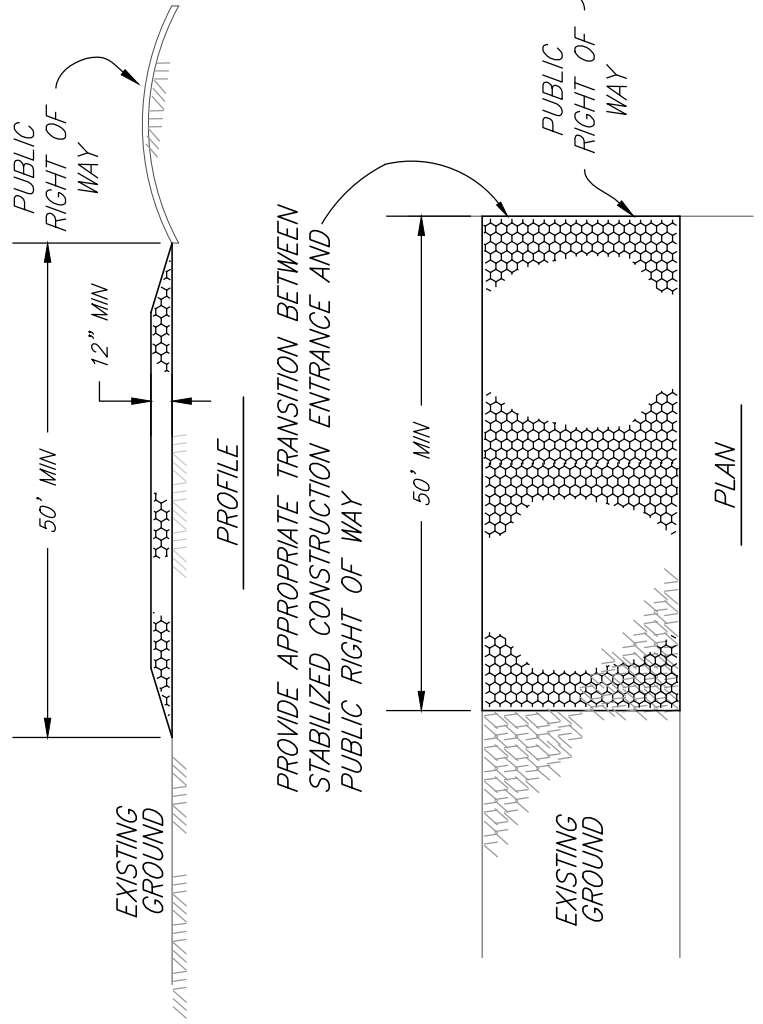
NOTES

- ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
- A CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
- MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.
- HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.
- PLASTIC TUB WITH SIMILAR DIMENSIONS CAN BE USED INSTEAD OF THIS DETAIL.

4 CONCRETE WASHOUT

ON-SITE WASHOUT SHALL BE USED AS A LAST RESOURCE ONLY. INSTRUCT TRUCKS TO RETURN TO PLANT W/ SPOILS.

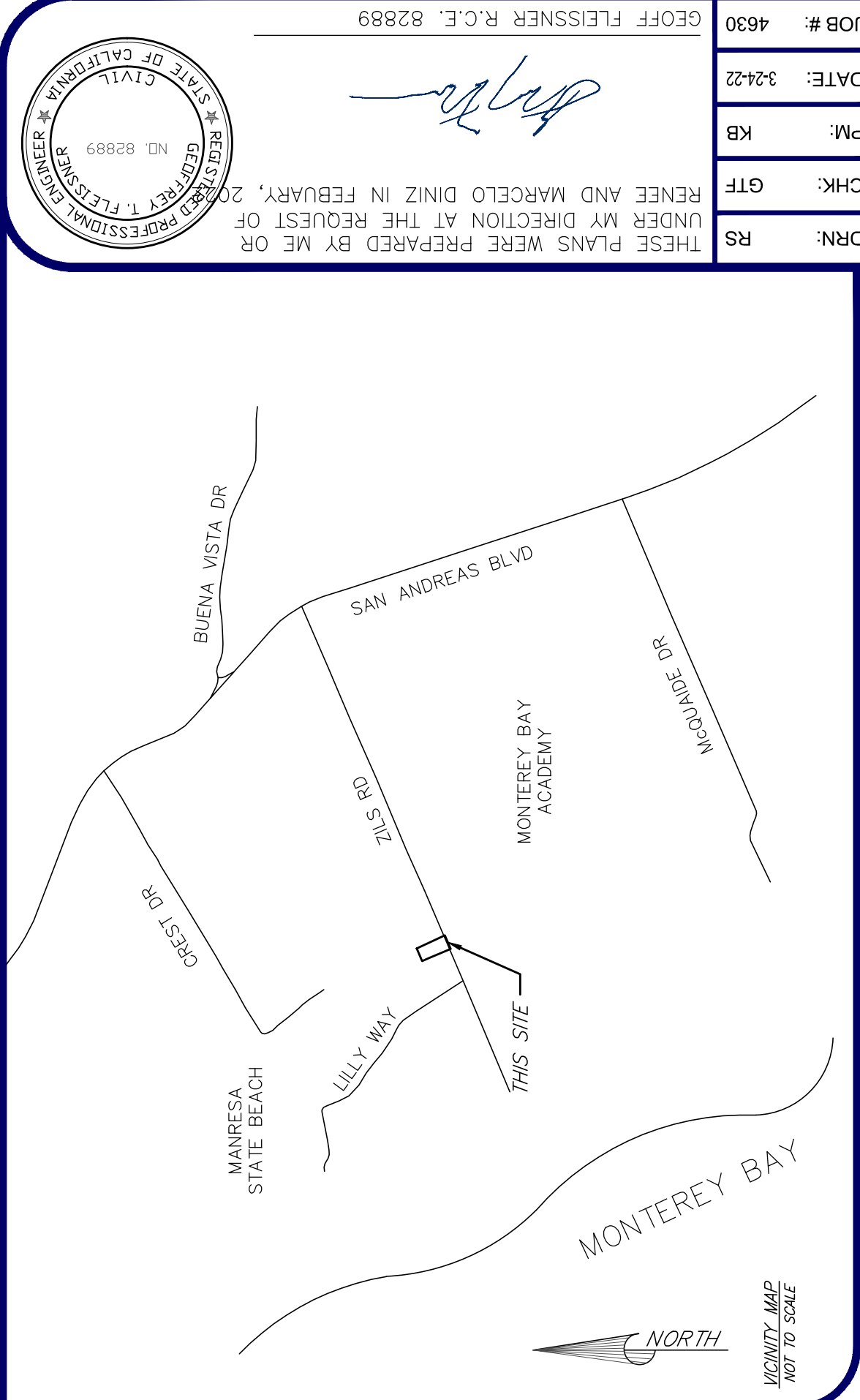
NTS



DESIGN AND CONSTRUCTION SPECIFICATIONS: THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 3 TO 6 INCH STONE. THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12 INCHES. THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS. THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50 FEET. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY. WHEN NECESSARY, WHEELS SHALL BE CLEANED BEFORE ENTRY TO THE ENTRANCE AND BEFORE ANY PUBLIC RIGHTS-OF-WAY. CLEANING SHALL BE REQUIRED. IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.

3 STABILIZED CONSTRUCTION ENTRANCE

NTS



EROSION CONTROL NOTES

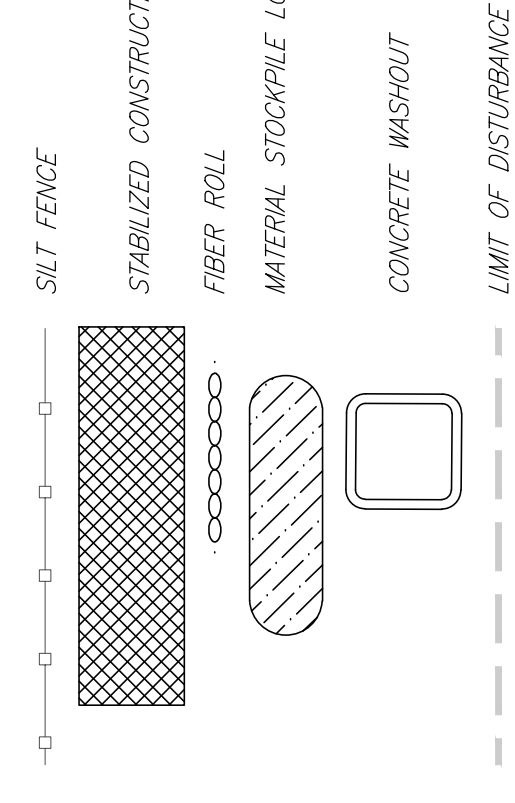
- BETWEEN OCTOBER 15, AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. HAY BALES, FILTER BERMS, OR OTHER MEANS SHALL BE EMPLOYED TO PREVENT UNDESIRED RUNOFF TO ADJOINING PROPERTIES.
- UNNECESSARY GRADING AND DISTURBING OF SOIL SHALL BE AVOIDED.
- ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF-SITE OR STOCKPILED IN A MANNER TO AVOID RUNOFF ONTO ADJOINING PROPERTIES.
- UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED AREAS SHALL BE PERMANENTLY REVEGETATED WITH GRASS.
- ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
- DURING CONSTRUCTION, NO TURBID SITE WATER SHALL BE PERMITTED TO ENTER THE CHANNEL OR STORM DRAIN SYSTEM. USE OF SILT AND GREASE TRAPS, FILTER BERMS, OR HAY BALES MAY BE USED TO PREVENT SUCH DISCHARGE.
- CONTRACTOR SHALL NOTIFY THE COUNTY OF SANTA CRUZ AT LEAST 48 HOURS BEFORE ANY EARTHWORK IS BEGUN.
- ALL CONSTRUCTION SHALL CONFORM TO REQUIREMENTS OF THE COUNTY OF SANTA CRUZ. NO CLEARING, GRADING, OR EXCAVATION SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS THERE IS AN APPROVED WINTER CONSTRUCTION PERMIT. ALL CONSTRUCTION SHALL BE CEASED, MULCHED, OR OTHERWISE PROTECTED BY OCTOBER 15.
- CONTRACTORS SHALL INSTALL UNDERGROUND STORM DRAIN SYSTEM AND STRAW BALE DRAIN BARRIERS PRIOR TO OCTOBER 15.
- BALE SOIL SHALL BE COVERED WITH SEED AND STRAW MULCH AT AN APPLICATION RATE OF 2-3 BALES/1000 S.F.

PROJECT INFORMATION

OWNER/REPRESENTATIVE:  
MARCELO & RENEE DINIZ  
S.W.P.C.P.  
GEOFF FLEISSNER  
2601 41ST AVENUE, SUITE B  
SOUDEL, CA 95073  
TEL (831) 426-0224  
www.hoganis.com

TOTAL AREA OF DISTURBANCE = 0.51 ACRES

EROSION CONTROL LEGEND



THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECTION. THE REQUEST OF RENE AND MARCELO DINIZ IN FEBRUARY, 2017.

PROFESSIONAL SEAL & SIGNATURE OF GEOFF FLEISSNER, R.C.E., 82889

DATE: 3-24-22

PM: KB

CHK: GTF

DRN: RS

JOB #: 4630

TEL (831) 426-0224

FAX (831) 426-0224

www.hoganis.com

HOGAN LAND SERVICES A CALIFORNIA CORPORATION

LANDS OF DINIZ

EROSION CONTROL PLAN

220 ZILS ROAD

WATSONVILLE, CALIFORNIA

APN: 046-221-47

6 OF 6







LANDS OF DINIZ

CONVENTIONAL SEWAGE DISPOSAL SYSTEM

220 ZILS RD, WATSONVILLE

APN: 046-221-47

GENERAL NOTES

IF THE SOIL IS WET AT ALL, CHECK THE MOISTURE CONTENT OF THE SOIL AT TRENCH DEPTH. IF IT IS TOO WET, SHEARING AND COMPACTION WILL RESULT. THIS REDUCES THE INFILTRATION CAPACITY OF THE SOIL.

SOIL MOISTURE CAN BE DETERMINED BY ROLLING A SOIL SAMPLE BETWEEN THE HANDS. IF IT ROLLS INTO A RIBBON, THE SITE IS TOO WET TO PREPARE. IF IT CRUMBLES, SOIL PREPARATION CAN PROCEED. IF ANY DOUBT, CALL HOGAN LAND SERVICES. (877-544-2104).

DISTRIBUTION TRENCHES FOLLOW THE NATURAL CONTOUR OF THE GROUND; TRENCH BOTTOMS SHALL BE LEVEL. THE MAXIMUM DEVIATION ALONG THE DOWNHILL SIDE OF THE TRENCH SHALL NOT VARY MORE THAN 0.25 FEET (THREE INCHES). CHANNELS WITH A DEPTH OF 18" OR MORE SHALL BE CONSTRUCTED WITH A MINIMUM OF 1% SLOPE. DISTRIBUTION TRENCHES SHALL BE ANGLED OR CURVED TO MEET THIS REQUIREMENT.

DRAIN ROCK SHALL BE CLEAN 3/4 TO 2-1/2" IN SIZE AND EITHER COURSE AGGREGATE, CRUSHED ROCK OR WASHED RIVER GRAVEL FROM AN APPROVED SOURCE.

PLACE CLEANOUTS EVERY 100' ON GRAVITY MAIN.

PLACE NON-Biodegradable GEOTEXTILE SYNTHETIC FABRIC (MIRRI 140N OR EQUIVALENT) OVER GRAVEL, OVERLAPPING SECTIONS 9" MINIMUM.

COMPACTED TRENCH SIDES ARE TO BE SCARIFIED TO A DEPTH OF 1" AND THE LOOSE MATERIAL REMOVED BEFORE PLACING THE DRAIN ROCK IN THE TRENCH. CONTACT HOGAN LAND SERVICES (877-544-2104) AND SANTA CRUZ COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH (831-454-2022) A MIN. OF 48 HOURS BEFORE INITIATING CONSTRUCTION AND ALL REQUIRED INSPECTIONS.

A SEPTIC TANK WATER TIGHTNESS TEST IS REQUIRED.

4' MINIMUM OF SOLID PIPE IS REQUIRED BETWEEN THE DISTRIBUTION BOX AND PERFORATE PORTION OF THE LEACHLINE TRENCHES.

MAXIMUM LENGTH OF INDIVIDUAL LEACHLINES SHALL BE 100' (EXCLUDING 4' SOLID SECTION).

EROSION AND SEDIMENT CONTROL

PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH THE LATEST EDITION OF THE CBC AND THE SANTA CRUZ COUNTY CODE.

DURING THE RAINY SEASON, OCT. 1 TO APRIL 30, EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE.

PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE.

THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED ON THE SITE. IF QUESTIONS REGARDING THE COUNTY SPECIFIED BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL, CALL HOGAN LAND SERVICES (877-544-2104).

EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE AND AFTER STORM EVENTS.

CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MAY RESULT IN RESPONSE TO FIELD CONDITIONS.

ENTRANCES TO SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE COUNTY R.O.W. SHALL BE DISPOSED OF AS THEY OCCUR.

EXPOSED SLOPES SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES, FIBER ROLL SILT BARRIERS AND SILT FENCES SHALL BE KEYED INTO THE SOIL AND INSTALLED ON CONTOUR.

ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICABLE. AFTER GRADING, GROUND SHOULD BE COMPLETELY COVERED.

STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS.

SOIL STOCKPILES SHALL BE PROPERLY PROTECTED TO MINIMIZE RUNOFF.

SOLID WASTE AND CONSTRUCTION MATERIALS SHALL BE PLACED IN DESIGNATED COLLECTION AREAS AND DISPOSED OF AT APPROVED DISPOSAL SITES.

ALL UNDERGROUND BOXES REQUIRE INSTALLATION OF GOPHER-RESISTANT BARRIERS.

NO FOUNDATION AND/OR DRIVEWAY CUTS AND NO SURFACE OR SUB-SURFACE DRAINS ARE TO BE LOCATED WITHIN 50 FT DOWN SLOPE OR Laterally OF THE PRIMARY OR RESERVE/REPAIR AREA OF ANY LEACH FIELD. DIRECT DOWN SPOUTS AWAY FROM LEACHFIELD.

NOTES TO OWNER, CONTRACTOR, & OTHERS

1. INSTALLATION OF THIS DESIGN WILL REQUIRE A MINIMUM OF ONE SITE REVIEW BY THE ENGINEER DURING CONSTRUCTION. ADDITIONAL REVIEWS MAY BE REQUIRED DEPENDING ON THE ABILITY OF THE CONTRACTOR TO COMPLETE THE SYSTEM IN A TIMELY MANNER. HOGAN LAND SERVICES WILL FIELD REPAIRS WHEN BE BILLED TO THE OWNER AT THE PRINCIPAL ENGINEER RATE SHOWN IN THE PROFESSIONAL SERVICE AGREEMENT.

2. ADDITIONALLY, SANTA CRUZ COUNTY ENVIRONMENTAL HEALTH REQUIRES A LETTER OF DESIGN CONFORMANCE ISSUED BY THE ENGINEER ASSESSING DESIGN COMPLIANCE. THIS LETTER IS PREPARED AND SENT UPON COMPLETION OF CONSTRUCTION AND SATISFACTION OF ALL OUTSTANDING INVOICES DUE TO THE ENGINEER.

3. SUBSURFACE CONDITIONS MAY BE COMPLEX AND MAY DIFFER FROM THOSE INDICATED ON THE EXISTING TOPOGRAPHIC RECORDS. THE ENGINEER HAS CONDUCTED A PROFILE TRENCH LOCATIONS THEREFORE, OTHER UNUSUAL CONDITIONS IN SUBSURFACE CONDITIONS NOT INDICATED IN REPORTS OR SHOWN ON THIS PLAN COULD BE ENCOUNTERED. THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY IF ANY ADVERSE CONDITIONS ARE DISCOVERED DURING CONSTRUCTION SO THAT TIMELY ACTION CAN BE TAKEN TO MODIFY THIS PLAN AND/OR THE SYSTEM HEREIN DESIGNED.

4. THIS PLAN AND DESIGN IS BASED ON CURRENT STANDARDS AND TECHNICAL DATA REQUIREMENTS OF SANTA CRUZ COUNTY ENVIRONMENTAL HEALTH. THIS PROFESSIONAL COMPLIANCE WITH CURRENTLY APPLIED COUNTY CODES, STANDARDS, AND REQUIREMENTS. THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR ANY SEPTIC SYSTEM FUNCTION OR PERFORMANCE OF THIS SITE.

5. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS. IN ADDITION, THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE FUNCTION OF ANY OF THE SYSTEM COMPONENTS MANUFACTURED/DESIGNED BY OTHERS.

6. THE CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY APPLICABLE CONSTRUCTION PRACTICES, THE ENGINEER HAS PROVIDED TO THE OWNER AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL EXEMPT FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, INCLUDING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

7. PERMITS OF THESE PLANS USED IN CONSTRUCTION MUST HAVE A "WET" STAMP OF APPROVAL APPLIED BY THE SANTA CRUZ COUNTY ENVIRONMENTAL HEALTH DEPARTMENT TO INDICATE THAT A PERMIT TO INSTALL THE SEPTIC SYSTEM HAS BEEN GRANTED. THE ENGINEER ACCEPTS NO RESPONSIBILITY FOR CONSTRUCTION DONE WITHOUT PERMITS OR THE COUNTY APPROVED PLANS).

8. SHOULD TREE ROOT ZONE BE IMPACTED, IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONSULT WITH A QUALIFIED ARBORIST TO DETERMINE THE APPROPRIATE COURSE OF ACTION.

STAGES TO BE INSPECTED

CONTRACTOR IS REQUIRED TO HAVE ENGINEER AND/OR SCC DEH INSPECT THE CONSTRUCTION AT THE FOLLOWING STAGES. FAILURE TO REQUEST THESE INSPECTIONS WILL RESULT IN THE CONTRACTOR HAVING TO UN-EARTH AND REDO THE WORK. THE ENGINEER MUST ISSUE AN INSPECTION REPORT TO THE COUNTY PRIOR TO ACCEPTANCE OF THE SYSTEM BY THE COUNTY. THE CONTRACTOR SHALL GIVE 48-HOUR NOTICE TO HOGAN LAND SERVICES & SCC DEH FOR ANY OF THESE INSPECTIONS:

4. NOTIFY H.S. & SANTA CRUZ COUNTY END A MIN. OF 48 HOURS PRIOR TO INITIALIZING CONSTRUCTION.

INSPECTIONS BY HOGAN LAND SERVICES ONLY:

1. INSPECTION OF IMPORTED MATERIALS AS REQUIRED (FILL MATERIAL AND GRAVEL).

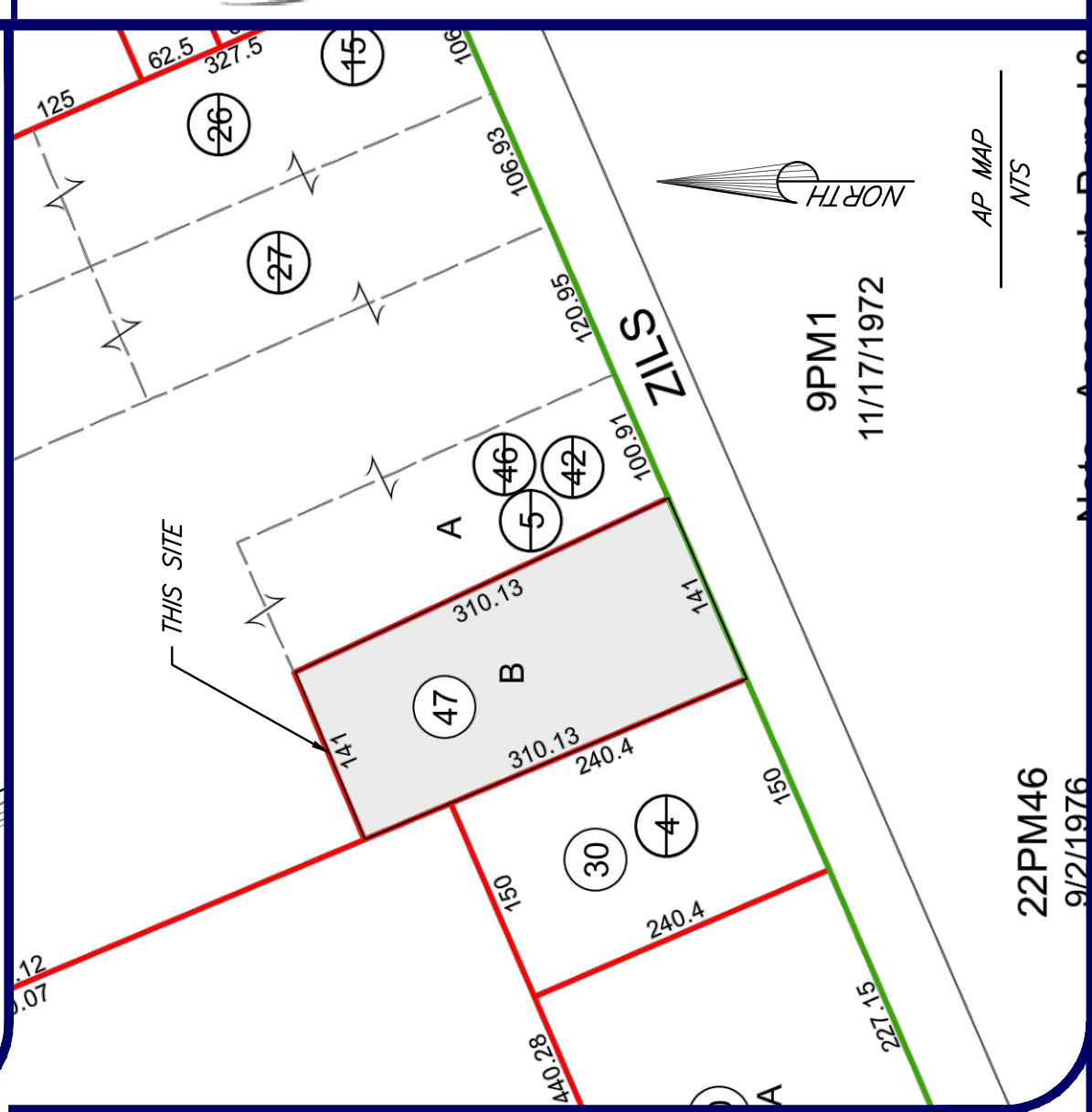
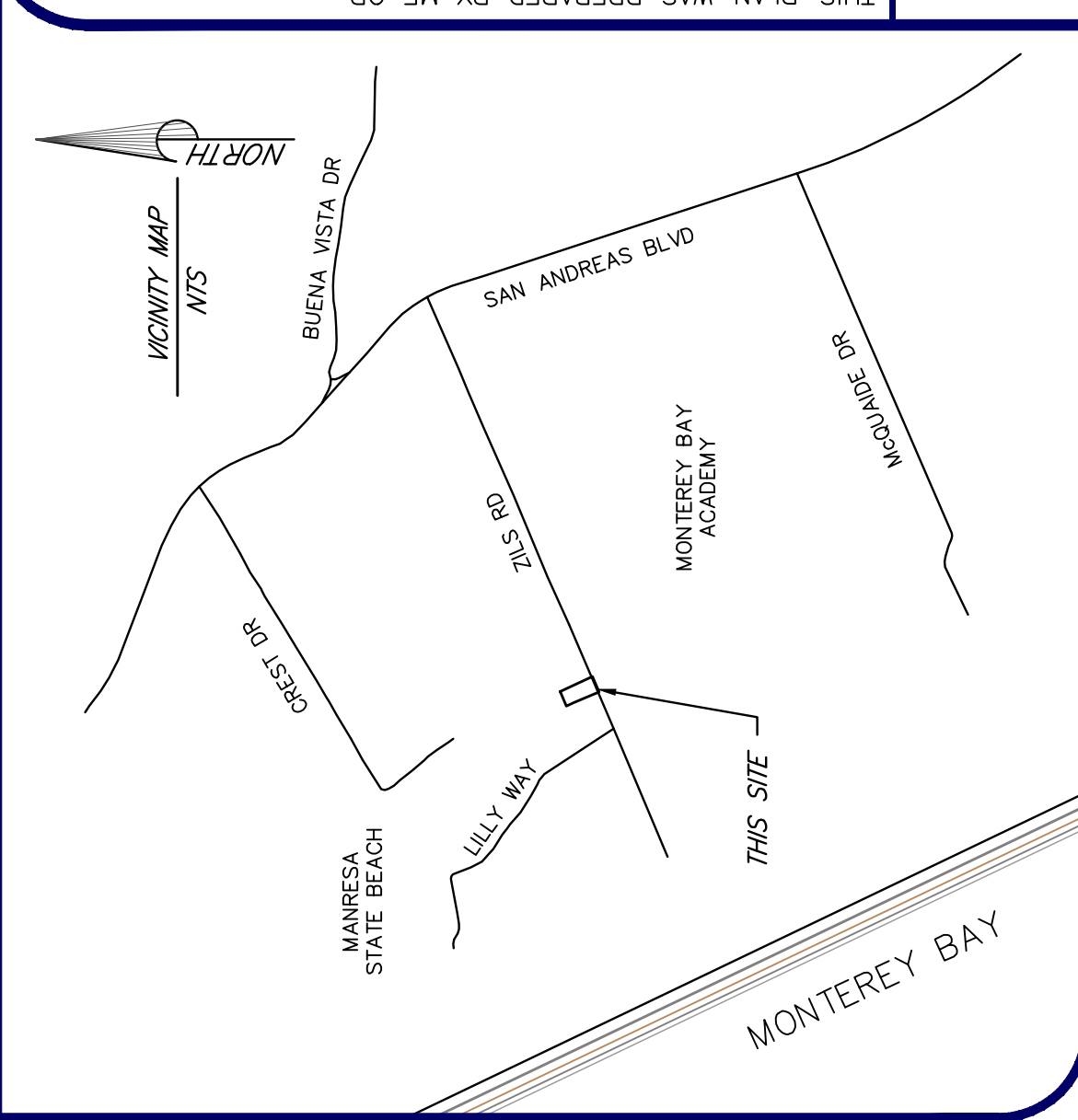
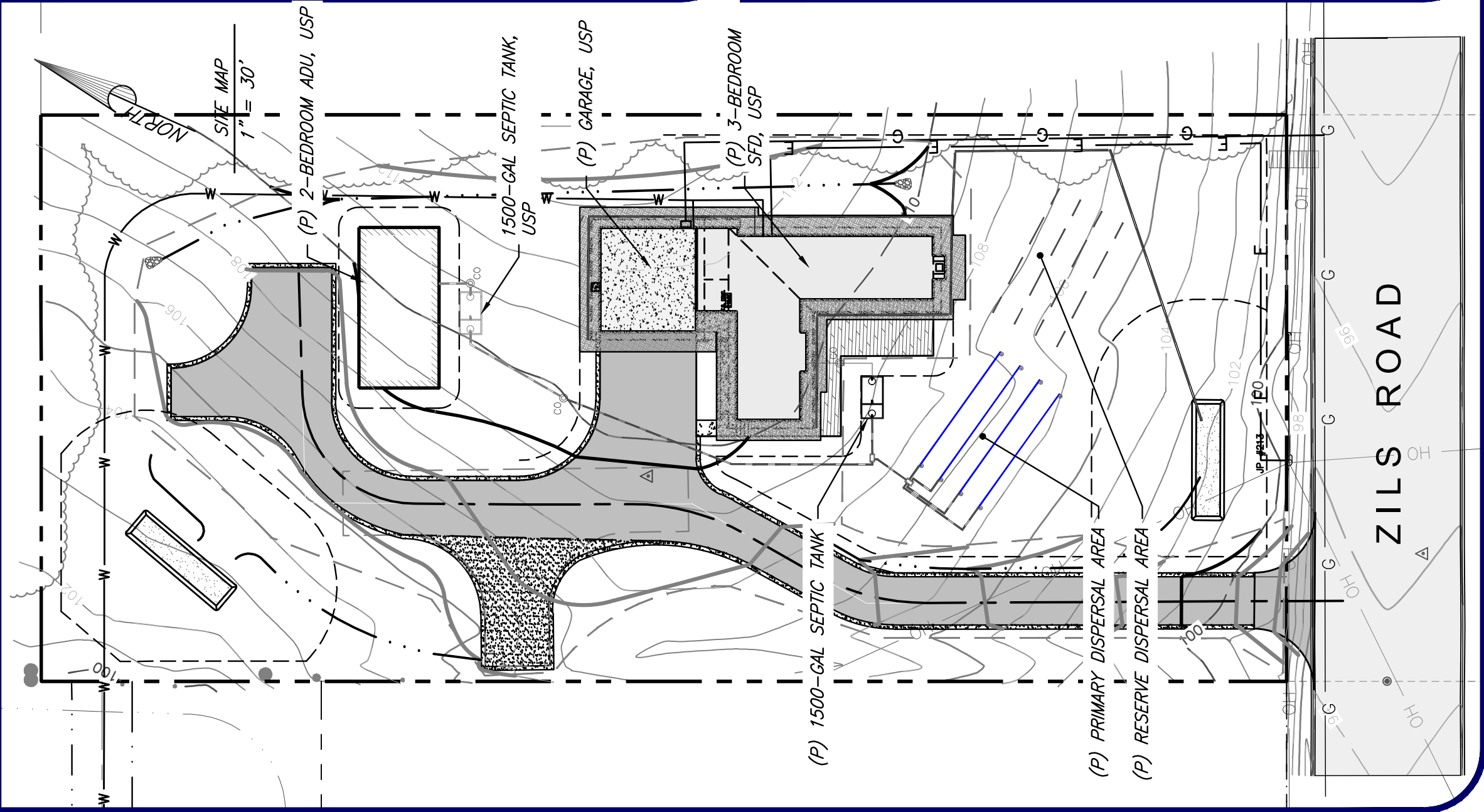
2. CHECKING OF LAYOUT; LINE AND GRADE, STAKES.

FINAL INSPECTIONS BY HOGAN LAND SERVICES AND DEH:

1. SEPTIC TANK WATER TIGHTNESS TANK FULL A MINIMUM OF 2" INTO RISER.

2. LEACH LINE LAYOUT & GRAVEL DEPTH PRIOR TO EARTH BACKFILL.

3. FINAL INSPECTION & EROSION CONTROL.



NOTE: THIS EXHIBIT DOES NOT REPRESENT A COMPLETE TOPOGRAPHIC SURVEY OR BOUNDARY DETERMINATION. BOUNDARY SHOWN IS PER ASSESSOR RECORDS AND RECORD DATA ONLY AND HAS NOT BEEN SURVEYED OR CONFIRMED.

SYSTEM DESIGN CRITERIA

THIS SYSTEM TO SERVE 2 UNITS @ 675 GPD:  
3-BEDROOM STD @ 375 GPD  
2-BEDROOM ADUL @ 300 GPD

THIS UNIT IS NOT BEING BUILT AT THIS TIME, AND WILL BE APPLIED FOR AND CONNECTED TO THE DISPERSAL FIELD UNDER A SEPARATE PERMIT APPLICATION

SITE EVALUATION – 10/21/20

PP1: LOAMY SAND 13.5'; NO SIGN OF GROUNDWATER

PP2: LOAMY SAND 13.5'; NO SIGN OF GROUNDWATER

PH-4 (2'): 0.4 MPI

PH-5 (4'): 1.25 MPI

PH-6 (7'): 1.31 MPI

APPLICATION RATE: 1.2 GAL/SF/DAY  
(PER TABLE 3, CA STATE DOWTS POLICY PG 24)

GEOTECHNICAL EVALUATION – 12/14/21

B-3: 51.5'; NO SIGN OF GROUNDWATER

WATER SERVICE BY SAN ANDREAS MMC

PER TABLE 3-4 AND FIGURE 3-1 OF THE SANTA CRUZ COUNTY LAMP, THIS PARCEL IS EXEMPT FROM ENHANCED TREATMENT REQUIREMENTS FOR FAST-PERCOLATING SOILS BECAUSE IT IS OUTSIDE OF THE DEFINED NITRATE CONCERN AREAS

CONVENTIONAL SYSTEM CALCULATIONS

DESIGN FLOW RATE = 2 UNITS @ 675 GPD  
675 GAL/DAY / 1.2 GAL/SF/DAY = 562.5 SF

WIDTH OF TRENCH: 2'

BOTTOM TRENCH AREA PER LINEAR FOOT = 2 SF/LF

DEPTH OF ROCK BENEATH PIPE = 1'

SIDEWALL AREA PER LINEAR FOOT = 1 SF x 2 = 2 SF/LF

TOTAL ABSORPTION AREA PER LINEAR FOOT = 4 SF/LF

REQUIRED TRENCH LENGTH FOR 2 UNITS = 562.5 SF / 4 SF/LF = 140.625 LF  
TOTAL TRENCH LENGTH PROPOSED = 140 LF

RESERVE LENGTH REQUIRED (100%) = 100% = 140 LF

REVISION BLOCK

|   |  |
|---|--|
| 1 |  |
| 2 |  |
| 3 |  |

LANDS OF DINIZ

CONVENTIONAL SYSTEM NOTES

1 OF 2

220 ZILS RD  
WATSONVILLE, CA

046-221-47

2601 41<sup>ST</sup> AVE, SUITE B  
SOUDEL, CA 95073

www.hoganls.com  
TEL (831) 425-1617  
FAX (707) 522-2105

HOGAN LAND SERVICES  
A CALIFORNIA CORPORATION

JOB #: 4630  
DATE: 3/3/22

PM: KB

CHK: GF

DRN: KB

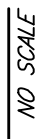
THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF RENE & MARCELO DINIZ  
RENE DINIZ IN MARCH, 2022

GEOFFREY FLEISSNER R.C.E. 82889



NO SCALE

NO SCALE



# FAIL



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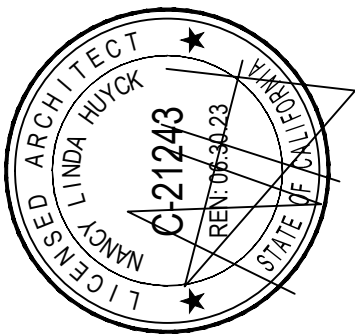
1 INSTALL NEW 1500 CALLOW MIN SEES

- 6 RESERVE AREA INDICATED ON THIS PLAN TO REMAIN



9200 SOQUEL DRIVE  
APTOS, CA 95003  
(T) 831-685-1206

ancy@huyckarchitects.com  
www.huyckarchitects.com

[illegible]

## REVISIONS

PROJECT TITLE:

DINIZ RESIDENCE  
NEW HOUSE

Trails Road,  
Watsonville, CA 95076  
APN: 046-221-47

SHEET TITLE:

## OVERALL SITE PLAN

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SCALE: 1"=20'-0"

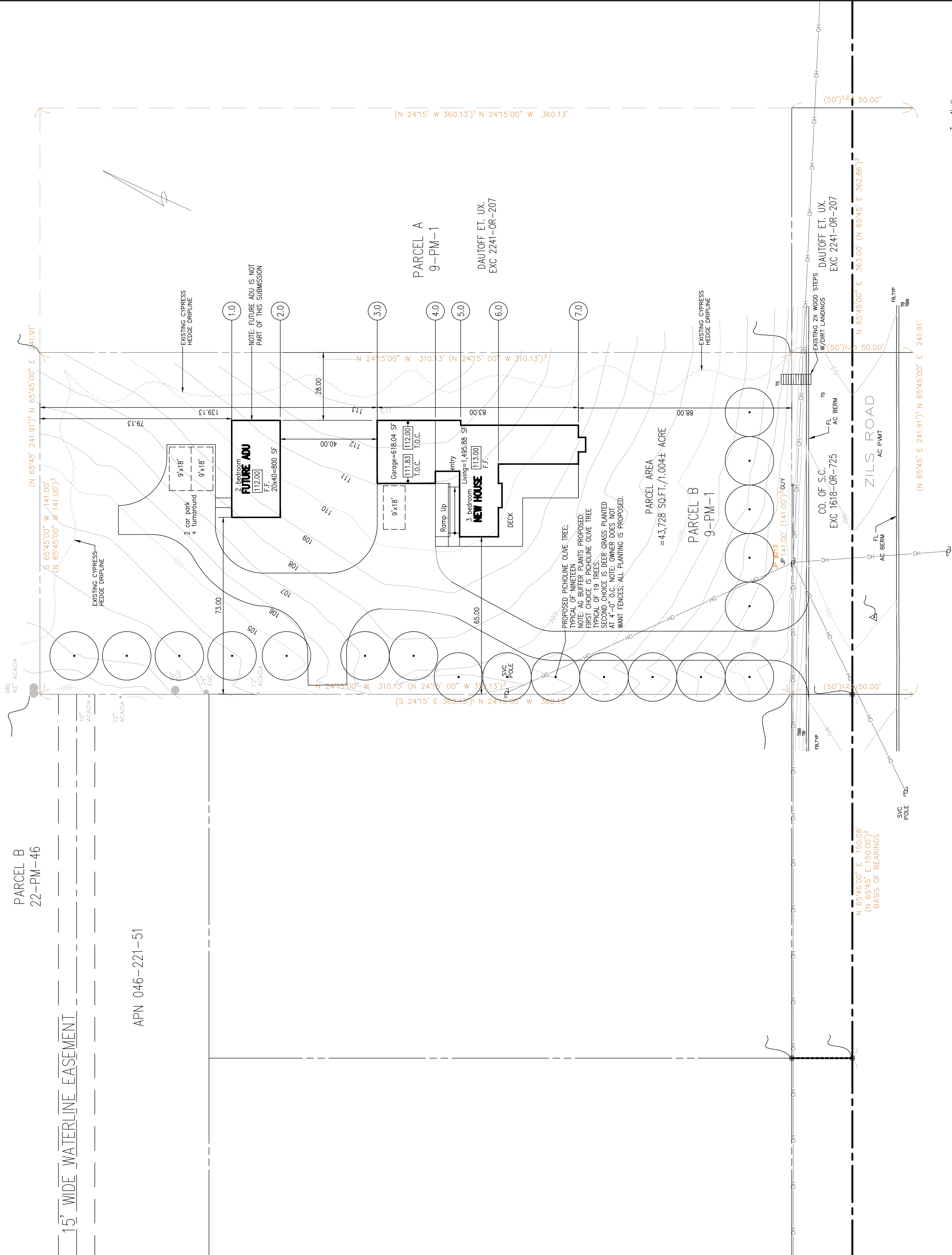
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DRAWN BY: NLH

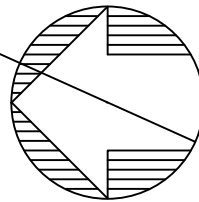
OB NO.: N2170

# A-01

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True, North

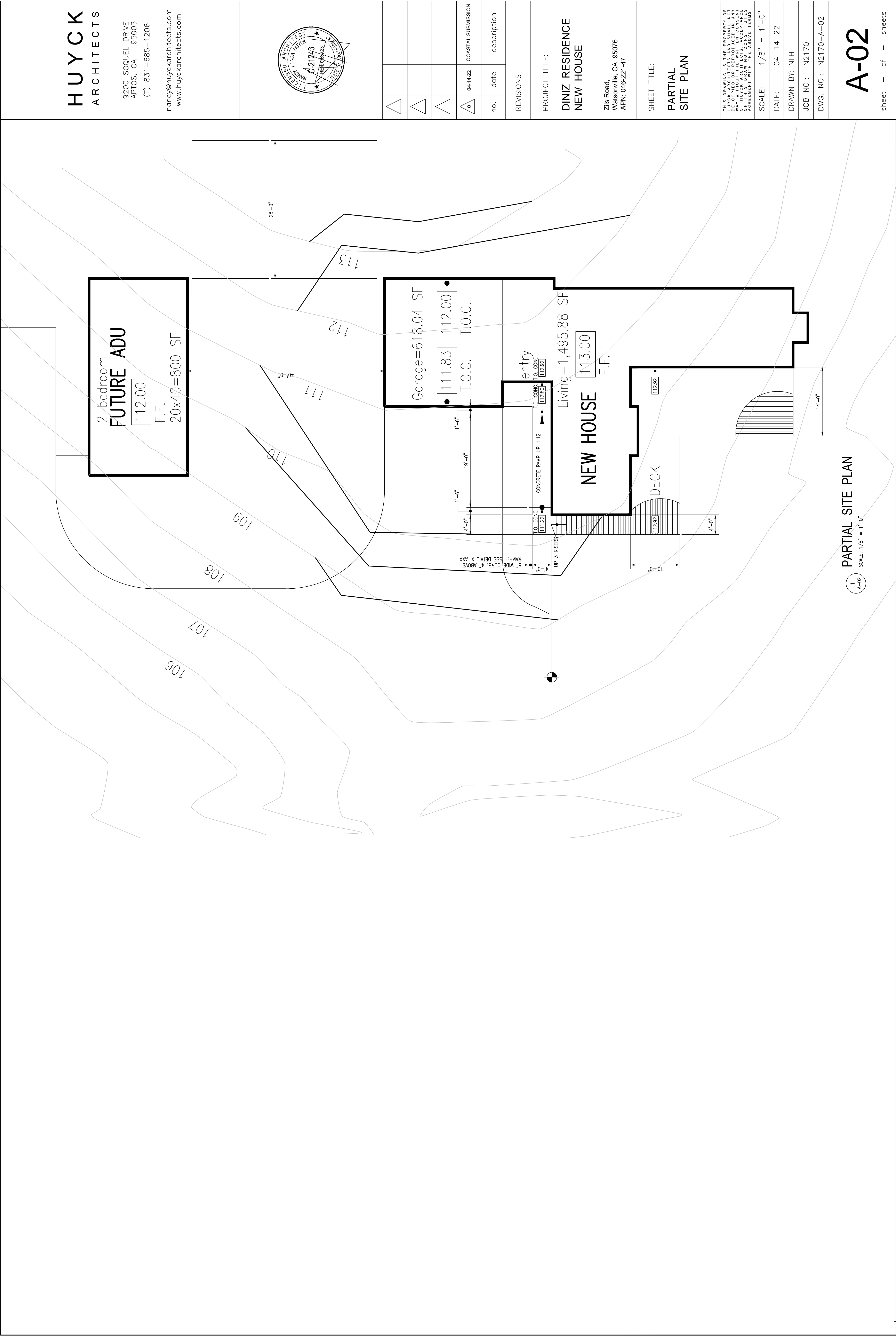


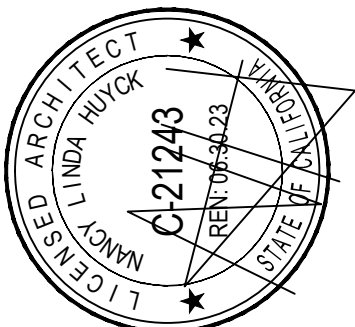
REFERENCE NORTH





## OVERALL SITE PLAN

SCALE:  $1'' = 20' - 0''$ 

NOTE: SEE SHEET A-02 AND CIVIL DRAWINGS FOR PROPOSED NEW CONTOURS





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| no.   | date     | description        |  |

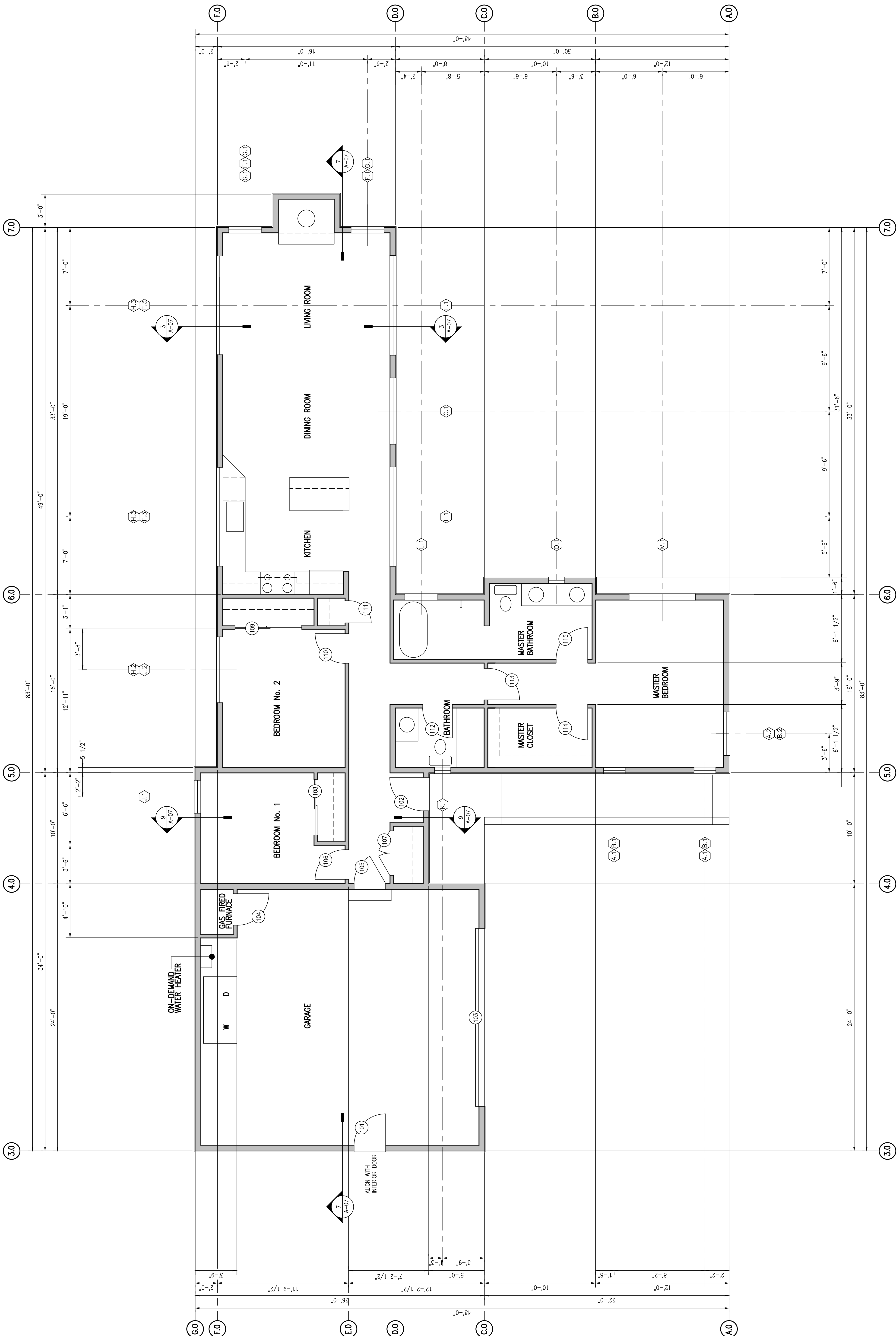
Zils Road,  
Watsonville, CA 95076  
APN: 046-221-47

## FLOOR PLAN

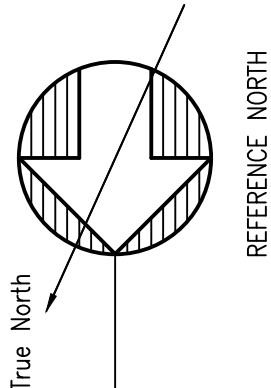
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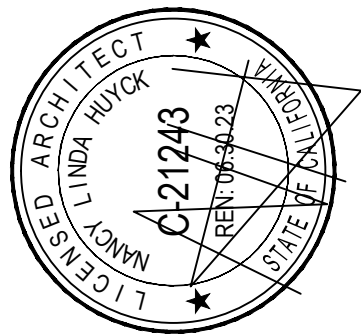
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# FIRST FLOOR PLAN





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|  | 04-14-22 | COASTAL SUBMISSION |  |
| no.   | date     | description        |  |

REVISIONS

PROJECT TITLE:

DINIZ RESIDENCE  
NEW HOUSE

Zils Road,  
Watsonville, CA 95076  
APN: 046-221-47

SHEET TITLE:

# ROOF PLAN

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SCALE:  $1/4" = 1'-0"$

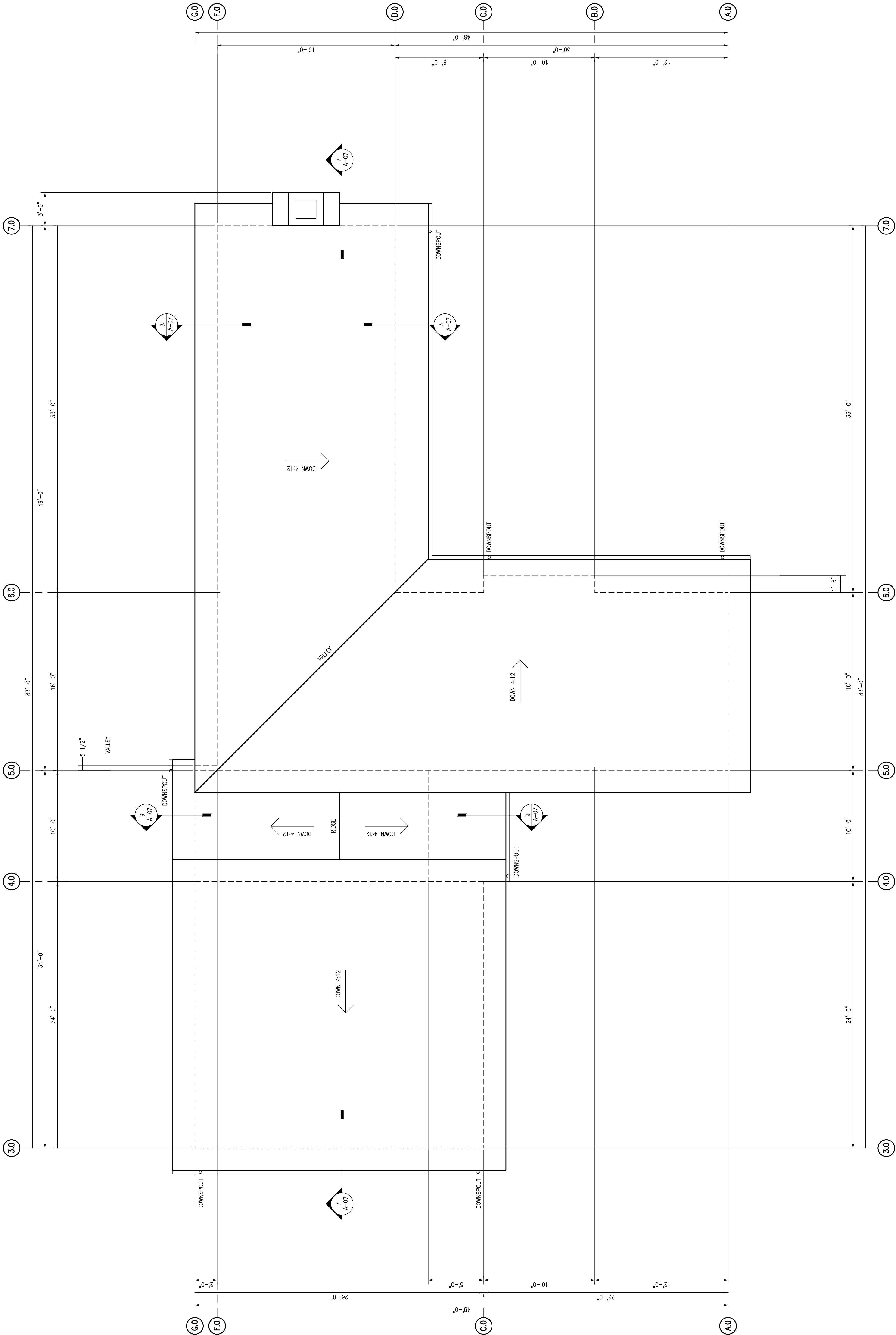
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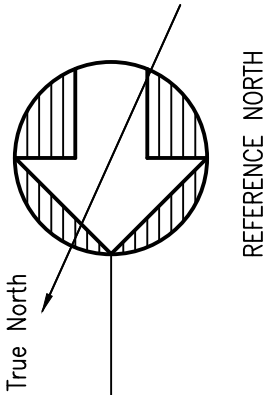
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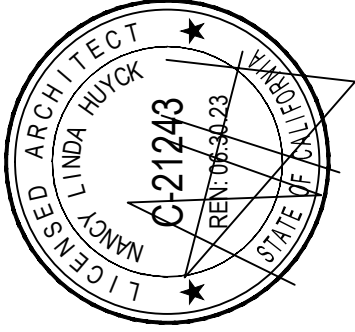
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## ROOF PLAN

SCALE: 1/4" = 1'-0"





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|     |          |                    |
|     |          |                    |
|     |          |                    |
|     | 04-14-22 | COASTAL SUBMISSION |
| no. | date     | description        |

REVISIONS

PROJECT TITLE:  
**DINIZ RESIDENCE  
NEW HOUSE**

Zils Road,  
Watsonville, CA 95076  
APN: 046-221-47

SHEET TITLE:  
**EXTERIOR  
ELEVATIONS**

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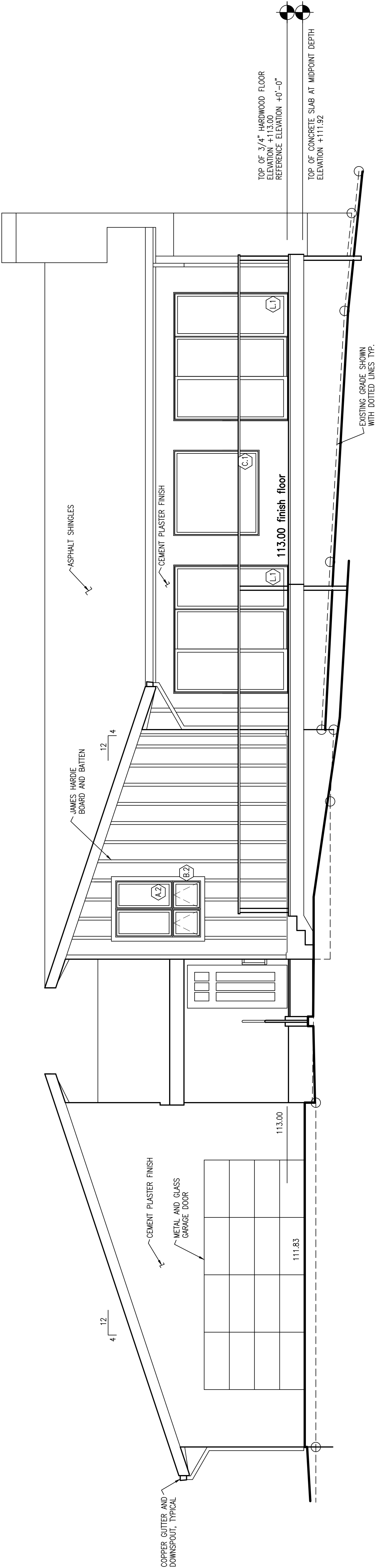
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DATE: 04-14-22

DRAWN BY: NLH

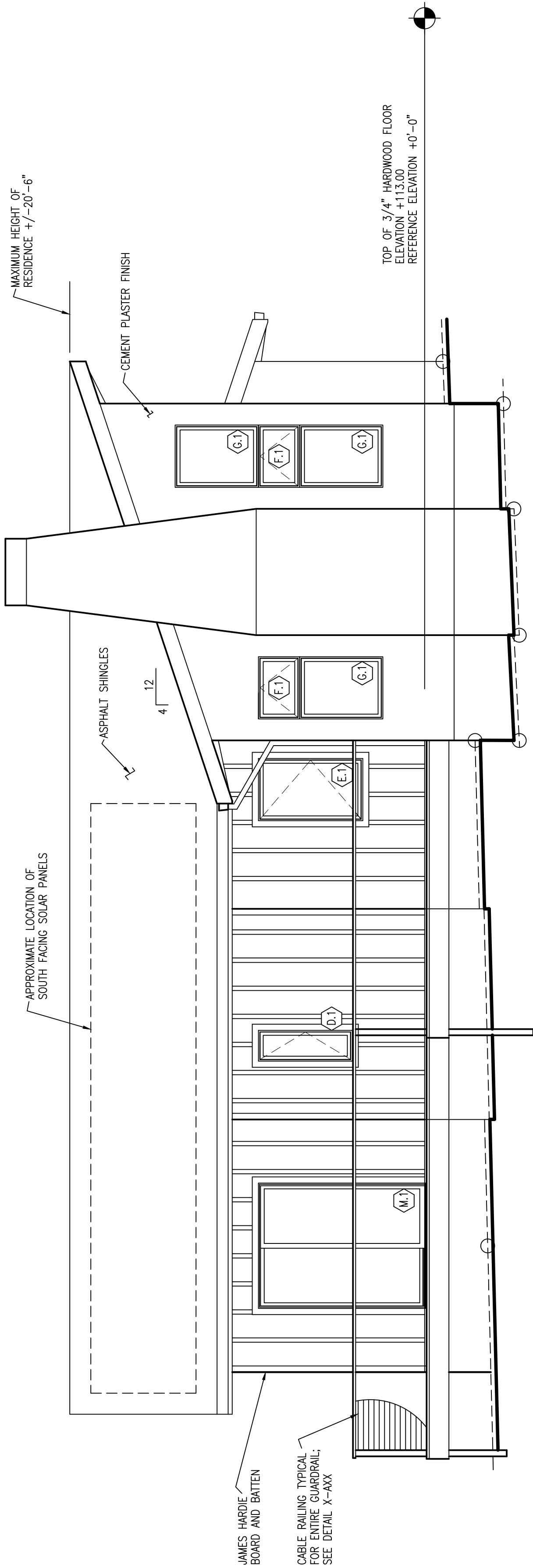
JOB NO.: N2170

DWG. NO.: N2170-A-05



WEST ELEVATION

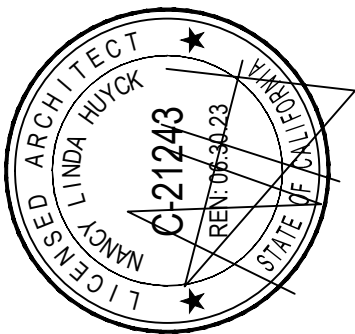
SCALE: 1/4" = 1'-0"







SOUTH ELEVATION

SCALE: 1/4" = 1'-0"





|   |          |                    |  |
|---|----------|--------------------|--|
|   |          |                    |  |
|  |          |                    |  |
|  |          |                    |  |
|  | 04-14-22 | COASTAL SUBMISSION |  |
| no.   | date     | description        |  |

## REVISIONS

PROJECT TITLE:  
DINIZ RESIDENCE  
NEW HOUSE

Zils Road,  
Watsonville, CA 95076  
APN: 046-221-47

SHEET TITLE:

## EXTERIOR ELEVATIONS

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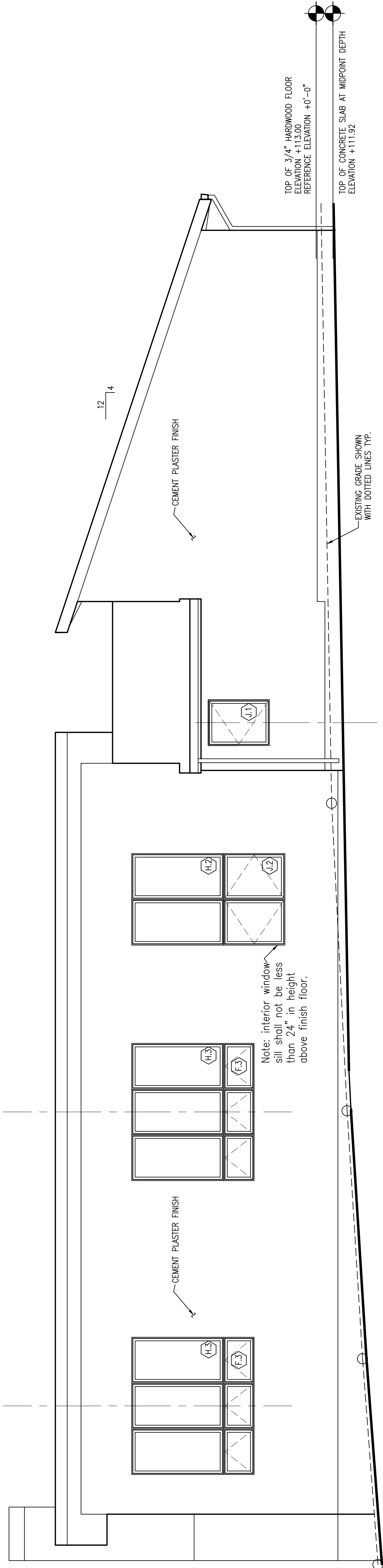
DATE: 04-14-22

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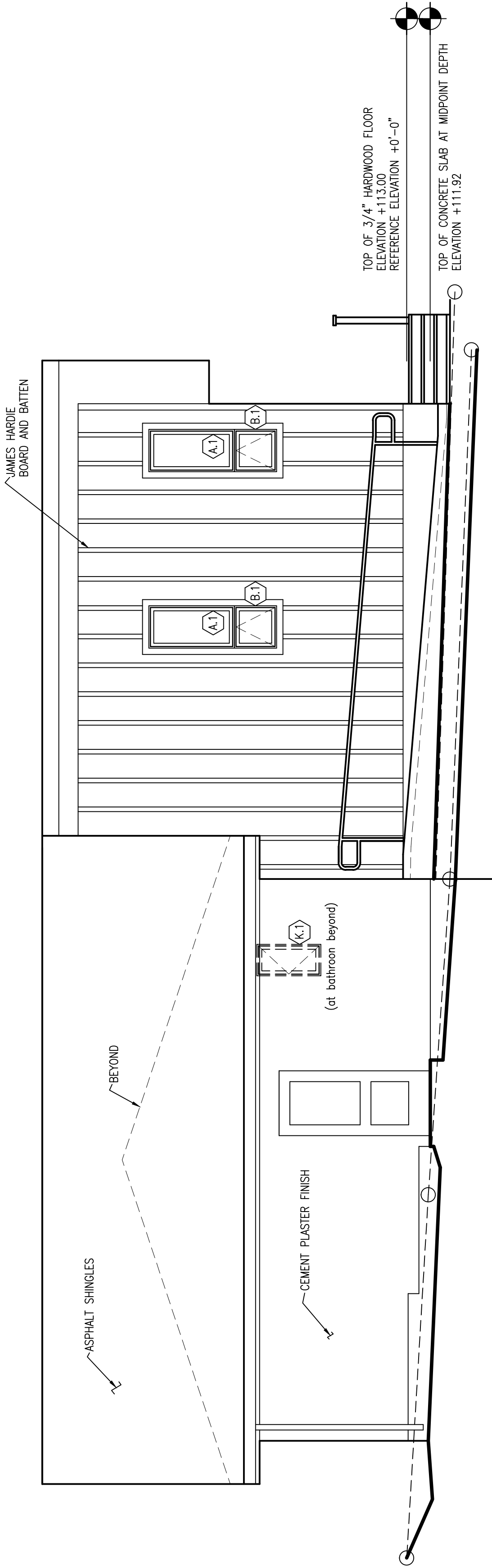
JOB NO.: N2170

# A-06

sheet - of - sheets



# EAST ELEVATION



NORTH ELEVATION

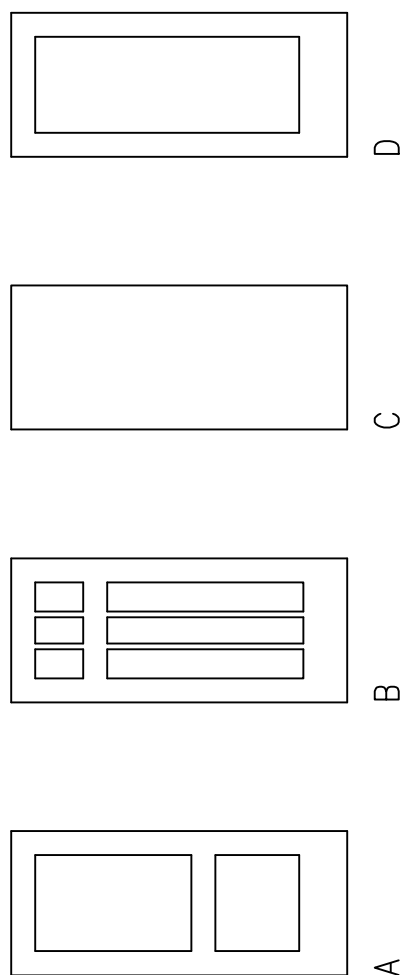




# DOOR SCHEDULE

| NUMBER | TYPE     |   |
|--------|----------|---|
| 101    | EXTERIOR | A — FIBERGLASS  |
| 102    | EXTERIOR | B — WOOD  |
| 103    | EXTERIOR | Garage Door: Manufacturer — Modern Classic (All Aluminum)<br>Insulation — Polystyrene; Glass — Tempered and insulated with the<br>tint pattern satin etched; Finish — Black |
| 104    | INTERIOR | C — WOOD  |
| 105    | INTERIOR | A — WOOD  |
| 106    | INTERIOR | D   |
| 107    | INTERIOR | D   |
| 108    | INTERIOR | D   |
| 109    | INTERIOR | D   |
| 110    | INTERIOR | D   |
| 111    | INTERIOR | D   |
| 112    | INTERIOR | D   |
| 113    | INTERIOR | D   |
| 114    | INTERIOR | D   |
| 115    | INTERIOR | D   |
| 116    | INTERIOR | D   |

## DOOR TYPES



|  |  |  |  |
|--|--|--|--|
|  |  |  |  |
|  |  |  |  |
|  |  |  |  |
|  |  |  |  |

# WINDOW SCHEDULE + SLIDING GLASS DOOR SCHEDULE

MARVIN ESSENTIAL: FIBERGLASS EXTERIOR + INTERIOR; BLACK  
MARVIN ELEVATE: FIBERGLASS EXTERIOR + DESIGNER BLACK INTERIOR

| Type | Quantity  |            |
|------|-----------|------------|
| A.1  | ESCAP2040 | ESSENTIAL  |
| A.2  | ESCAP2040 | ESSENTIAL  |
| B.1  | ESAWN2020 | ESSENTIAL  |
| B.2  | ESAWN2020 | ESSENTIAL  |
| C.1  | ESCAP0600 | ESSENTIAL  |
| D.1  | ESCA1646  | ESSENTIAL  |
| E.1  | ESCA3050  | ESSENTIAL  |
| F.1  | ESAWN3020 | ESSENTIAL  |
| F.3  | ESAWN3020 | ESSENTIAL  |
| G.1  | ESCAP3040 | ESSENTIAL  |
| H.2  | ESCAP3060 | ESSENTIAL  |
| H.3  | ESCAP3060 | ESSENTIAL  |
| J.1  | ESCA3040  | ESSENTIAL  |
| J.2  | ESCA3040  | ESSENTIAL  |
| K.1  | ESCA1630  | ESSENTIAL  |
| L.1  | ELSP09080 | ELEVATE TH |
| M.1  | ELSP06080 | ELEVATE TH |

MARVIN ESSENTIAL SPECIFICATIONS:

FIBERGLASS: BLACK COLOR

XX

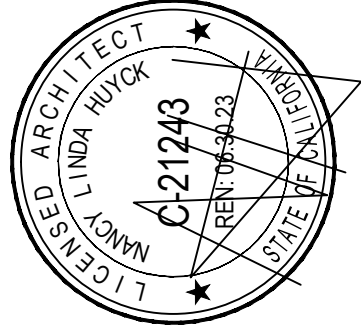
GLASS LOW E2 ARGON ON NORTH AND EAST ELEVATIONS  
GLASS LOW E3 ARGON ON SOUTH AND WEST ELEVATIONS





XX

XX

XX

XX



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|---|----------|--------------------|
|  |          |                    |
|  |          |                    |
|  |          |                    |
|  | 04-14-22 | COASTAL SUBMISSION |
| no.   | date     | description        |

REVISIONS

PROJECT TITLE:

DINIZ RESIDENCE  
NEW HOUSE

Zils Road,  
Watsonville, CA 95076  
APN: 046-221-47

SHEET TITLE:

REFLECTED  
CEILING -  
LIGHTING

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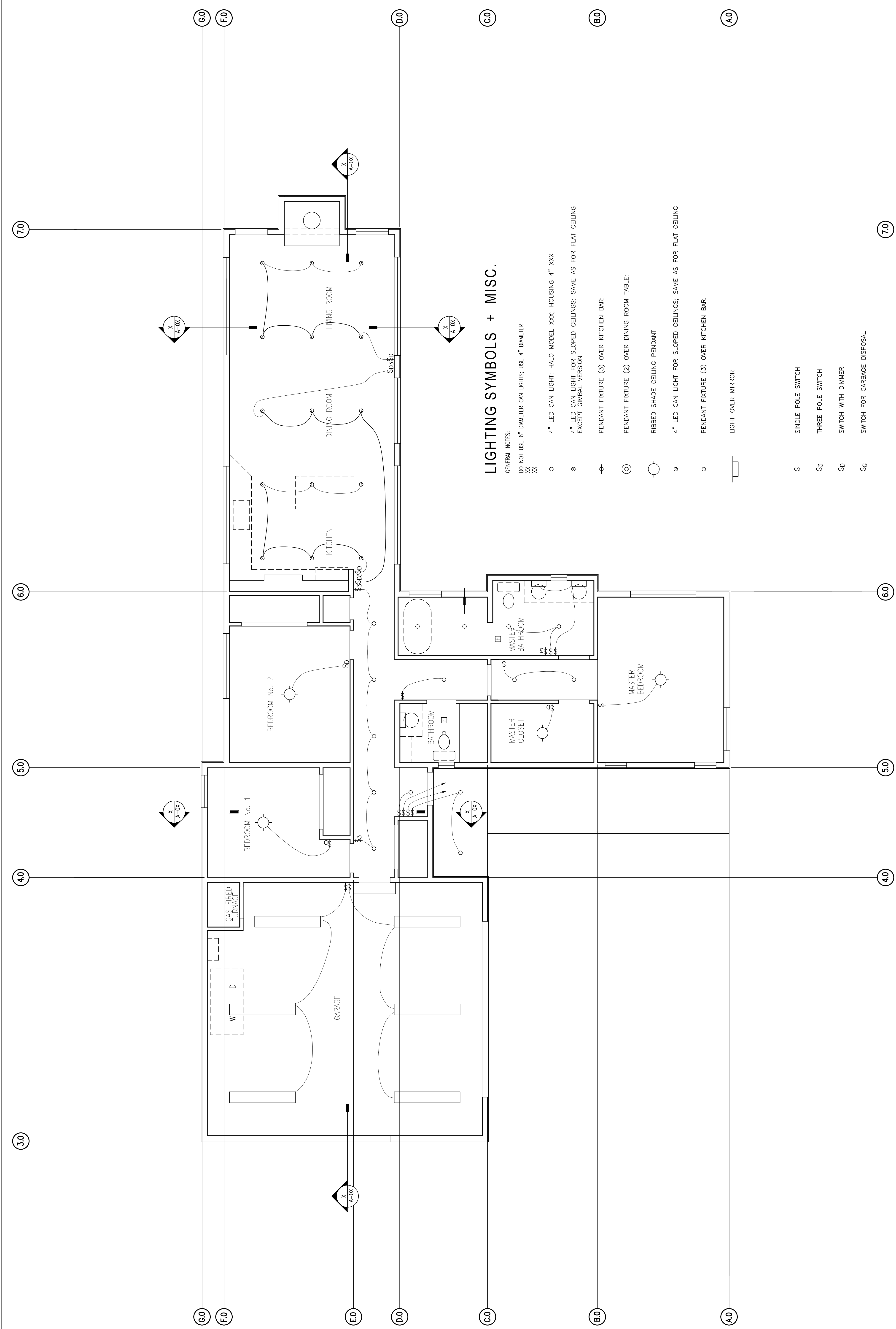
DATE: 04-14-22

DRAWN BY: NLH

JOB NO.: N2170

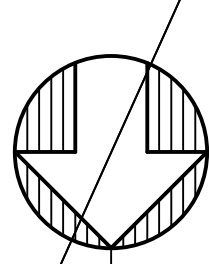
# A-10

sheet - of - sheets



## REFLECTED CEILING - LIGHTING

SCALE: 1/4" = 1'-0"







## Parcel Information

|                                    |   |
|------------------------------------|---|
| Parcel Size:                       | 42,078 square feet or .9 acre                   |
| Existing Land Use – Parcel:        | Vacant  |
| Existing Land Use – Surrounding:   | Agriculture, Pockets of Residential Agriculture |
| Project Access:                    | Zils Road                                       |
| Planning Area:                     | San Andreas                                     |
| Land Use Designation:              | A (Agriculture)                                 |
| Zone District:                     | RA (Residential Agriculture)                    |
| Coastal Zone:                      | <u>X</u> Inside      ___ Outside                |
| Appealable to Calif. Coastal Comm. | <u>X</u> Yes      ___ No                        |

## Services Information

|                            |   |
|----------------------------|---|
| Urban/Rural Services Line: | ___ Inside <u>X</u> Outside             |
| Water Supply:              | San Andreas Mutual Water Company        |
| Sewage Disposal:           | Septic                                  |
| Fire District:             | Aptos/La Selva Fire Protection District |
| Drainage District:         | None                                    |