



Staff Report to the Agricultural Policy Advisory Commission

Application Number: **221213**

Applicant: Daryl Woods

Owner: Clark

APN: 046-241-39

Address: 193 Crest Drive, La Selva Beach

Date: July 20, 2023

Agenda Item #: 8

Time: 1:30 p.m.

Project Description: Proposal to construct additions of approximately 1,220 square feet to an existing single family dwelling, including an additional two car attached garage and a new master suite on the second floor of the residence.

Location: Property located at 193 Crest Drive in La Selva Beach.

Permits Required: Agricultural Buffer Setback Reduction (Coastal Development Permit to be considered by the Zoning Administrator)

Staff Recommendation:

- Staff recommends that your Commission **RECOMMEND APPROVAL** of the Agricultural Buffer Setback Reduction proposed under Application 221213, to the Zoning Administrator, based on the attached findings and recommended conditions.

Analysis and Discussion

The proposed project is to construct a two story addition of approximately 1,220 square feet to an existing single-family dwelling on a 23,609 square foot (0.54 acre) parcel. The project is located at 193 Crest Drive in La Selva Beach. The building site is within 200 feet of Commercial Agriculture land to the east and south. The applicant is requesting a reduction in the 200 foot agricultural buffer setback to 15 feet from APN 046-241-03 to the east and to 150 feet from APN 046-241-41 to the south.

The subject property is characterized by gently sloping topography. The parcel is located outside of the Urban Services Line and the area can be characterized as a rural residential neighborhood with some agricultural uses. The parcel is located within the AG (Agriculture) General Plan designation and the implementing zone district is RA (Residential Agriculture). Commercial Agriculture zoned land is situated within 200 feet to the east and south of the subject parcel.

A reduced agricultural buffer is recommended due to the fact that the location of the existing residence would not be able to be modified or expanded if the required 200 foot setback was maintained from the adjacent Commercial Agriculture zoned property. The requirement for a 200 foot agricultural buffer setback would essentially preclude development on the property as the property is 232 feet deep with a 25 foot wide right of way at the front of the property reducing the available lot depth to 207 feet.

Staff recommends a solid six-foot fence at the east side of the parcel with an evergreen hedge of plantings to reduce the impact of agricultural activities on the proposed residential use, and to therefore protect the agricultural interests on the Commercial Agriculture zoned parcel to the east. The Commercial Agriculture zoned property to the south is located across another parcel which is developed with a residence and landscaped with vegetation which would provide an adequate barrier to prevent conflicts between the proposed non-agricultural development and the Commercial Agriculture zoned land to the south. The applicant will also be required to record a Statement of Acknowledgement regarding the issuance of a building permit in an area determined by the County of Santa Cruz to be subject to Agricultural-Residential use conflicts.

Recommendation

- Staff recommends that your Commission **RECOMMEND APPROVAL** of the Agricultural Buffer Setback Reduction proposed under Application 221213, to the Zoning Administrator, based on the attached findings and recommended conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

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Development Review

Exhibits

- A. Findings
- B. Conditions
- C. Project plans
- D. Assessor's, Location, Zoning and General Plan Maps
- E. Parcel information

**Required Findings for Agricultural Buffer Setback Reduction
County Code Section 16.50.095(D)**

1. Significant topographical differences exist between the agricultural and non-agricultural uses which eliminates or minimizes the need for a 200 foot agricultural buffer setback; or
2. Permanent substantial vegetation (such as a Riparian Corridor or Woodland protected by the County's Riparian Corridor or Sensitive Habitat Ordinances) or other physical barriers exist between the agricultural and non-agricultural uses which eliminate or minimize the need for a two hundred (200) foot agricultural buffer setback; or

The addition is proposed to be set back 15 feet from the adjacent Commercial Agriculture zoned land to the east and 150 feet from the Commercial Agriculture zoned land to the south. The effective agricultural setbacks are proposed to be 15 feet and 150 feet where 200 feet are required. An effective barrier consisting of a six foot tall solid wood fence enhanced with evergreen shrubs would be adequate to prevent conflicts between the proposed non-agricultural development and the adjacent Commercial Agriculture zoned land of APN 046-241-03 to the east. The Commercial Agriculture zoned property to the south (APN 046-241-41) is located across another parcel (APN 046-241-40) which is developed with a residence and landscaped with vegetation which would provide an adequate barrier to prevent conflicts between the proposed non-agricultural development and the Commercial Agriculture zoned land to the south (APN 046-241-41).

3. A lesser setback is found to be adequate to prevent conflicts between the non-agricultural development and the adjacent agricultural development and the adjacent agricultural land, based on the establishment of a physical barrier (unless it is determined that the installation of a barrier will hinder the affected agricultural use more than it would help it, or would create a serious traffic hazard on a public or private right of way) or the existence of some other factor which effectively supplants the need for a two hundred (200) foot agricultural buffer setback; or
4. The imposition of a two hundred (200) foot agricultural buffer setback would preclude building on a parcel of record as of the effective date of this chapter, in which case a lesser buffer setback distance may be permitted, provided that the maximum possible setback distance is required, coupled with a requirement for a physical barrier (e.g. solid fencing and/or vegetative screening) to provide the maximum buffering possible, consistent with the objective of permitting building on a parcel of record.

This finding can be made, in that the existing residence would not be able to be modified or expanded if the required 200 foot setback was maintained from the adjacent Commercial Agriculture zoned property located to the east. The property is only 232 feet deep with a 25 foot wide right of way at the west side (front) of the property. Staff recommends a solid six-foot fence at the east side of the parcel with an evergreen hedge of plantings to reduce the impact of agricultural activities on the proposed residential use, and to therefore protect the agricultural interests on the Commercial Agriculture zoned parcel to the east.

Conditions of Approval

- I. This permit authorizes an Agricultural Buffer Setback as indicated on the approved Exhibit "C" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit, including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit and Grading Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "C" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "C" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. A development setback of a minimum of 15 feet from the single-family dwelling to the adjacent Commercial Agriculture zoned parcel APN 046-241-03.
 3. A development setback of a minimum of 150 feet from the single-family dwelling to the adjacent Commercial Agriculture zoned parcel APN 046-241-41.
 4. Final plans shall show the location of the vegetative buffering barrier (and any fences/walls used for the purpose of buffering adjacent agricultural land) which shall be composed of drought tolerant shrubbery. The shrubs utilized shall attain a minimum height of six feet upon maturity. Species type, plant sizes and spacing shall be indicated on the final plans for review and approval by Santa Cruz County Planning staff.
 - a. An agricultural buffer barrier consisting of a 6 foot high solid fence

and evergreen vegetation shall be installed and maintained between the proposed addition and the adjacent Commercial Agriculture zoned parcel to the east (APN 046-241-03).

5. A Water Efficient Landscape Plan prepared in accordance with the requirements of the Water Efficient Landscape Ordinance (County Code Chapter 13.13) by a certified/licensed landscape architect, landscape contractor, civil engineer, landscape irrigation designer, landscape irrigation auditor, or water manager. WELO-exempt projects, residential projects of up to two units, or landscapes where at least 30% of the water use is provided by graywater, recycled water or captured rainwater may provide either a signed Water Efficient Landscape Checklist or a Water Efficient Landscape Plan.

- a. Any landscape plan submitted to comply with SCCC Ch. 13.13 shall include a Water Efficient Landscape Plan Submittal Compliance Statement.

- B. The owner shall record a Statement of Acknowledgement, as prepared by Santa Cruz County Planning, and submit proof of recordation to Santa Cruz County Planning. The statement of Acknowledgement acknowledges the adjacent agricultural land use and the agricultural buffer setbacks.

III. All construction shall be performed according to the approved plans for the building permit. Prior to final building inspection, the applicant/owner must meet the following conditions:

- A. The agricultural buffer setbacks shall be met as verified by the County Building Inspector.
 - B. The required vegetative and/or physical barrier shall be installed. The applicant/owner shall contact Santa Cruz County Planning's Agricultural Planner, a minimum of three working days in advance to schedule an inspection to verify that the required barrier (vegetative and/or other) has been completed.
 - C. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official and/or the County Senior Civil Engineer.

IV. Operational Conditions

- A. The vegetative and physical barrier shall be permanently maintained.
 - B. All required Agricultural Buffer Setbacks shall be maintained.
 - C. A Landscape Installation Certificate prepared in accordance with the Water Efficient Landscape Ordinance (County Code Chapter 13.13) shall be provided.
 - D. In the event that future County inspections of the subject property disclose non-compliance with any Conditions of this Approval or any violation of the County

Code, the owner shall pay to the County the full cost of such County inspections, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The "applicant/owner" shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor Variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below or if additional discretionary permits are required for the above permitted project, this permit

shall expire on the same date as any subsequent approved discretionary permit(s) unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Agricultural Policy Advisory Commission under the provisions of County Code Chapter 16.50, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code.

1. These specifications are for the Clark Residence, 193 Crest Drive, LSB, CA. 95076
2. The term "Contractor" as used herein and on the drawings shall also be applicable to each subcontractor as requirements pertain to his/her trade. "Owner" refers to the owner or record or his agent.
3. All applicable provisions of the County of Santa Cruz and the California Building Code 2019 edition shall be adhered to in the construction of this project. It is the Contractor's ultimate responsibility to construct the project as per these codes.
4. Contractor shall comply with all applicable codes and ordinances. Contractor shall pay all fees, miscellaneous cost, and obtain and pay for all permits necessary to complete all work, with the exception of the Building Permit, which the Owner shall pay for prior to the start of work. Before final acceptance of any part of the work, the contractor shall furnish the Architect with appropriate "Certificates of Inspection" stating that work has been inspected and approved by the Building Department.
5. The contractor shall carry in force all needed insurance, licenses, fees, permits, taxes as required by law for the duration of the project.
6. The Contractor shall maintain liability insurance to protect himself and hold the owner harmless from any and all claims for damages, for personal bodily injury or death, or property damage, during the course of the contract. (The Owner shall maintain Fire insurance.)
7. Contractor shall provide sufficient means for protecting existing exposed interior finishes new construction and materials from damage by other trades, weather, or vandals during the course of the project. Contractor shall provide all barricades, fences, and other items required by local ordinances and codes.
8. All plumbing fixtures, finishes, hardware and miscellaneous items shall be selected and/or approved by the Owner unless notes on plans or following specifications. "Or approved equal" means equal approved by the Owner.
9. Field samples and mock-ups shall be prepared at the site by the Contractor as specified in the various sections of this specification. Affected finish work shall not be started until the Owner has accepted as satisfactory the field samples and/or mock-up in writing. Construction and prepare field samples as mock-ups at locations as directed by the Owner. Field samples and mock-ups shall be removed from the site after completion and acceptance of the affected work or otherwise, as directed by the Owner.
10. If the Contractor desires to use any other brand or manufacturer of equal quality, appearance and utility to the product specified, he shall request substitution to the Owner with specification and/or samples. The Owner will accept as satisfactory or reject the request for substitution, and his decision shall be final. Unless substitutions are requested as provided herein, deviations from the drawings and specifications will not be permitted.
11. The Owner and immediate neighbors, or neighbors to be affected, should be made aware 24 hours in advance of construction activities that are potentially disruptive. Use of neighbors' property is expressly forbidden without their permission. Contractor will be responsible for any and all damage to such property in the event that damage is done.
12. The Owner may order extra work or make changes by altering, adding to, or deducting from the work. The contract sum shall be adjusted accordingly. Changes or alteration, etc. shall be approved by the Architect prior to the start of this work.
13. The intent of these documents (i.e., specifications, drawings, and schedules) is to describe the work including all labor, materials, services, equipment, and transportation necessary for complete and proper execution of the work indicated on the drawings or reasonably inferred there from. Where drawings are in conflict, the Contractor is to provide the Owner with the most expensive of conflicting versions.
14. The Architect/Engineer will in no way be responsible for how the work is performed, safety in, on or about the job site, methods of performance or timeliness in the performance of the work.
15. Shop and fieldwork shall be performed by mechanics, craftsmen and workers skilled and experienced in the fabrication and installation of the work involved. All work on this project shall be performed in accordance with the best-accepted practices of the various trades involved and in accordance with the drawings, reviewed shop drawings, and these specifications.
16. The Owner reserves the right to reject any materials and work qualities which are not considered to be up to the highest standards of the various trades involved. Such inferior material or work quality shall be repaired or replaced, as directed, at no additional cost to the Owner.
17. These construction documents are based on observation and documentation of existing conditions from documents provided by the Owner. The Owner makes no claims to the accuracy of such observation. Should the Contractor encounter field conditions which vary from these construction documents which effect the intent of these drawings or the contract/subcontract sum, the Architect shall be immediately notified. The Contractor shall verify at the project site, conditions and measurements related to their work.
18. Contractor shall not scale the drawings. Dimensions of floor plans are shown to face of stud and outside of foundation wall for exterior walls and to centerline of stud for interior walls unless noted otherwise. Written notes take precedence over line drawings.
19. Contractor shall notify Owner immediately for directions in the event that any unusual conditions not covered by these notes and documents are encountered during construction.
20. The Contractor shall be responsible for the accuracy of the building lines and levels. The Contractor shall compare carefully the lines and levels shown on the drawings with existing levels for the location and construction of the work and shall call the Owner's attention to any discrepancies before proceeding with the work.
21. Incidental items, not indicated on the drawings or mentioned in the specifications that can be legitimately and reasonably inferred, belonging to the work described, or are necessary in good practice to provide a complete installation or system shall be provided and be installed at though called out herein in every detail.
22. Contractor shall insure that cutting, filing, patching, etc. by all trades causes all parts to come together properly. The connection of adjoining materials shall be executed according to instruction by the Architect only.
23. Trades shall furnish all labor, equipment, materials and services required to perform all work necessary, indicated, reasonably inferred, or required by any code with jurisdiction to complete their scope of work for a complete and properly finished job using only new material U.N.O. in accordance with the best accepted standards of workmanship. All F.B.O. (furnished by owner) items to be installed by the Contractor.
24. The Contractor shall have a superintendent at the construction site whenever any work under this Contract is being performed in order to provide constant supervision.
25. Contractor shall maintain the job site in a neat and safe condition in accordance with Title 8 or the Construction Safety Orders as enforced by the Division of Industrial Safety at all times throughout the construction period. The Contractor shall weekly cleanup, remove and dispose in a legal manner all debris and waste attributed to the job.
26. Contractor shall coordinate with other contractors directly and separately employed by Owner for timely storage and installation of their products. Only new materials shall be used unless otherwise noted on drawings. Materials and products shall be delivered to the building site in original packages. Materials and products shall be stored off ground on wood blocking in an upright position protected from the elements in a manner to prevent damage or marring of finish.
27. Contractor shall check and verify size and location of openings for vents, ducts, plumbing runs, electrical fixtures, etc. with mechanical, electrical, and architectural drawings, and mechanical and electrical contractors and shall make all changes therewith as approved by the Owner before framing wall and ceilings. Seal between ducts and partitions where required.
28. Contractor shall provide and locate access panels as required after installation of mechanical ducts, plumbing, and electrical work. The Architect shall approve location.
29. All bracing necessary for construction purposes shall be the sole responsibility of the Contractor.
30. Contractor shall provide all necessary blocking, stiffening, bracing, frames, hangers, or other support for all fixtures, equipment, cabinetry, furnishings and all other items requiring the same.
31. At the time of bid submittal, the Contractor shall advise the Owner (in writing) of any specified materials or equipment which are either unavailable or will cause a delay in the construction completion schedule.
32. The Contractor shall identify critical due dates for: A) Owner selections to be purchased and installed by the Contractor. B) Contractor receipt of Owner purchased items to be installed by the Contractor.
33. Contractor shall submit (2) copies of required shop drawings, calculations of fabricated products, all finishes materials and (2) copies of manufacturer's catalog sheets, brochures, color samples, installation instructions, etc. on manufactured products used/or installed in the project for the Owner's acceptance before purchase or delivery to the site. All shop drawings shall be approved by the Engineer. The Engineer's approval of such drawings shall not relieve the Contractor of responsibility for errors of any sort pertaining to shop drawings.
34. Approval of the work in part or as a whole by the Architect/Engineer shall not relieve the Contractor of responsibility for faulty material or workmanship. Such approval may be withdrawn at any time that subsequent examination reveals apparently satisfactory work that is in, fact, defective or otherwise fails to conform to all requirements of the contract documents. Such work form which approval has been withdrawn shall be replaced or executed in accordance with the contract at no expense to the Owner.

35. The Contractor shall be responsible for replacement or repair of any damage caused by him or his subcontractors. The Contractor shall be responsible for any damage to underground utilities encountered in areas where excavations are indicated and shall repair any such damage at his own expense. Where utility lines must be maintained under building, they shall be properly sleeved through foundation walls.

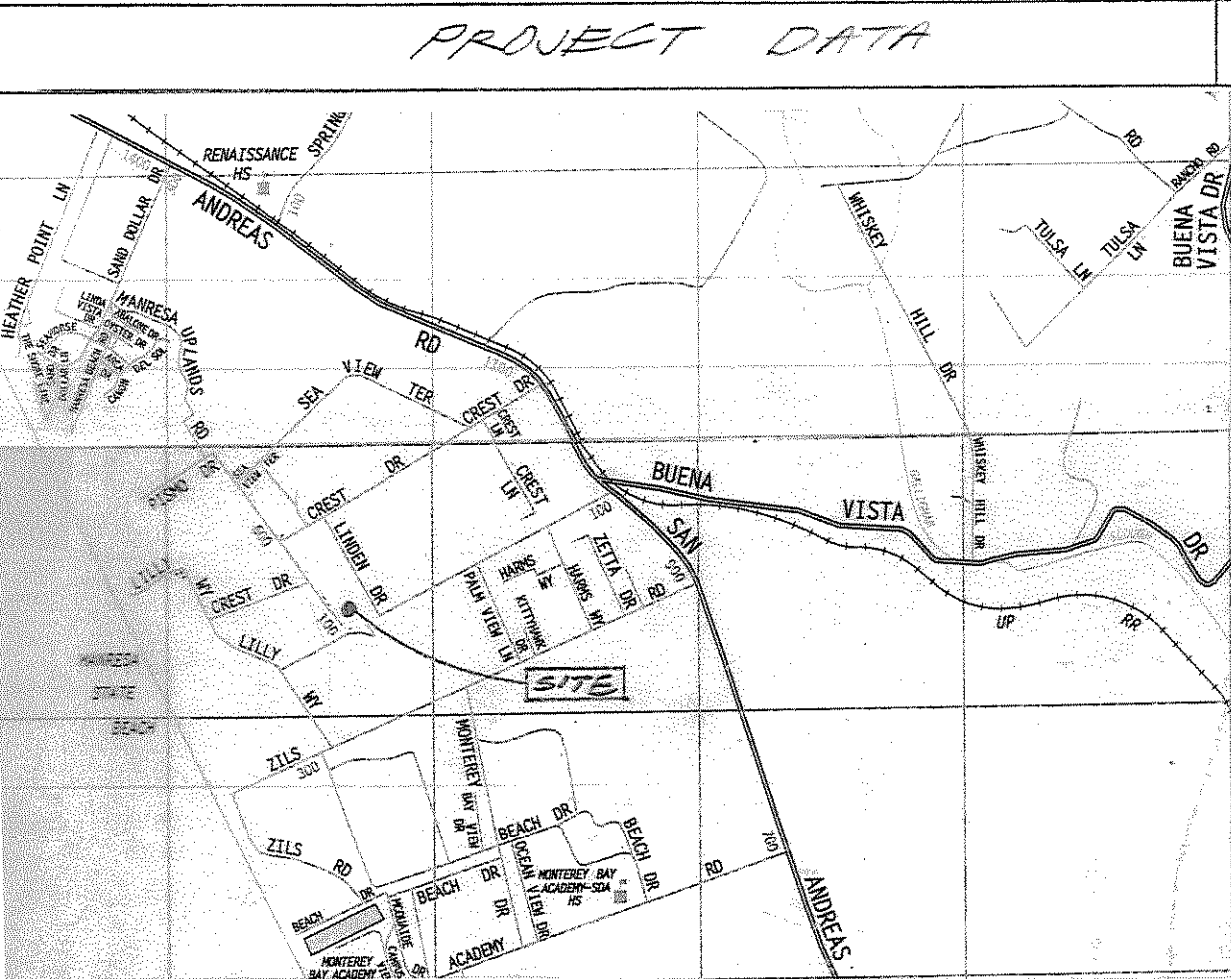
PROJECT OWNER:	Patel and Palsani Group
PROJECT ADDRESS:	193 Crest Drive La Selva Beach, Ca. 95076
PROJECT DESCRIPTION:	Add an attached 496 sf (2) car garage, a second floor 700 sf master suite and 64 sf at the living room, to an existing 2,308 sf two-story family residence with an attached 400SF (2) car garage. Total sf = 3,969 sf.

APN:	046-241-39
LOT SIZE:	+/- 23,609 sf (+/- .54 acres)
ZONING:	RA
OCCUPANCY:	R-3 / U-1
CONSTRUCTION:	Type VB (non-sprinklered)
CODE:	California Residential Code, 2013

ARCHITECT: Daryl Woods Architect
License No. C25147
273 Lindero Dr.
La Selva Beach, Ca. 95076
Tele: 831.234.9853

STRUCTURAL ENGINEER: George Reynolds and Assoc.
111 Younglove Ave.
Santa Cruz, Ca. 95062
Tele: 831.426.3637
Attn: George Reynolds

GEOTECHNICAL: Dees & Associates, Inc.
501 Mission Street, Suite 8A
Santa Cruz, Ca. 95060
Tele: 831.427.1770
Attn: Becky Dees



· VICINITY MAP

T1	SITE PLAN / PROJECT DATA / VICINITY MAP / GENERAL NOTES
C1	STORMWATER CONTROL PLAN / NOTES / MISC. DETAILS
A1.0	EXISTING GROUND AND SECOND FLOOR PLAN / SUPPLEMENTAL APPLICATION REQUIREMENTS
A1.1	PROPOSED GROUND FLOOR PLAN / FLOOR PLAN NOTES
A2.0	PROPOSED SECOND FLOOR PLAN
A3.0	EXTERIOR ELEVATIONS / MATERIAL LEDGEND
A4.0	CROSS SECTIONS

SHILL / INDIAN

CLARK RESIDENCE

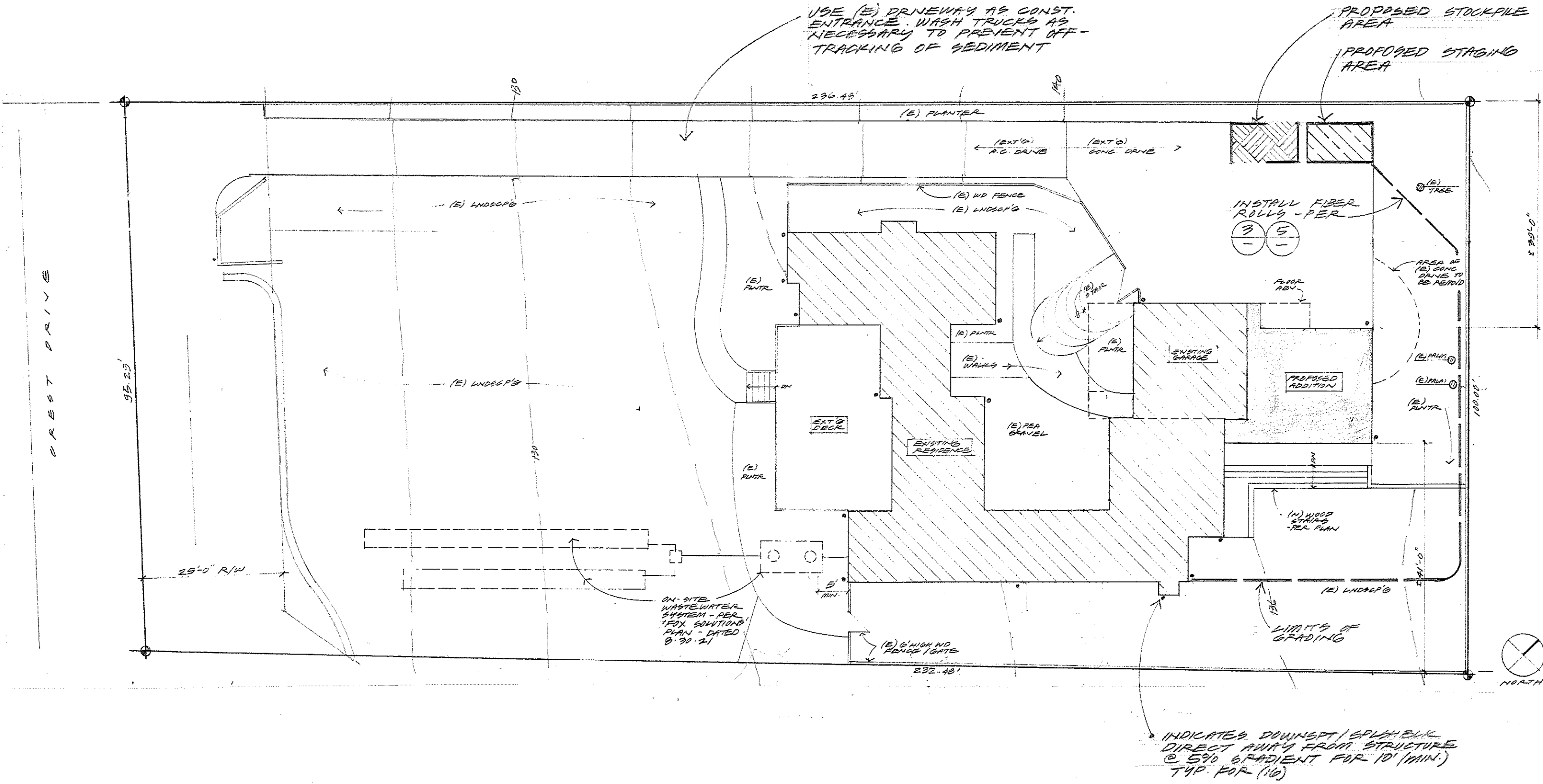
APN: 046-241-39

EXHIBIT C

TOTAL AREA OF DISTURBANCE = 768 S.F.

SITE HOUSEKEEPING REQUIREMENTS

- CONSTRUCTION MATERIALS**
1. ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
 2. ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
 3. EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
 4. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.
- LANDSCAPE MATERIALS**
1. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
 2. CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
 3. DISCONTINUE THE APPLICATION OF ANY ERODABLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIOD OF PRECIPITATION.
 4. APPLY ERODABLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
 5. STACK ERODABLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.
- VEHICLE STORAGE AND MAINTENANCE**
1. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACES WATERS.
 2. ALL EQUIPMENT OR VEHICLES, WHICH ARE THE BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP'S.
 3. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.
- WASTE MANAGEMENT**
1. DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
 2. SANITATION FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
 3. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
 4. COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
 5. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
 6. STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
 7. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
 8. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OR PROPERLY; AND
 9. CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.



- EROSION CONTROL MEASURES**
1. EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BY OCTOBER 15.
 2. UNLESS SPECIFIC MEASURES ARE SHOWN OR NOTED ON THIS PLAN, ALL COLLECTED RUNOFF SHALL BE CARRIED TO DRAINAGE COURSES IN LINED CONDUITS. DISCHARGE SHALL BE IN THE LOCATIONS SHOWN ON THE PLANS.
 3. THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. IF FAILED INSPECTIONS BY COUNTY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
 4. ALL DISTURBED AREAS NOT CURRENTLY BEING USED FOR CONSTRUCTION SHALL BE SEEDED WITH THE FOLLOWING SEED MIXTURE:
WINTER BARLEY 25#/ACRE
 5. AFTER SEEDING, STRAW MULCH WILL BE APPLIED IN 4" (AVG.) LAYERS.
 6. AMMONIUM PHOSPHATE FERTILIZER, 8-3-3, SHALL BE APPLIED AT A RATE OF 30 LBS. PER ACRE, ON SLOPES GREATER THAN 20% EROSION CONTROL BLANKET (NORTH AMERICAN GREEN) SHALL BE APPLIED.
 7. SILT BARRIERS SHALL BE PLACED END TO END AND STAKED DOWN ALONG THE BOTTOM OF ALL GRADED SLOPES.
- ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO SILT FENCES, FIBER ROLLS AND SLOPE PROTECTION SHALL BE IN PLACE BY OCTOBER 15. THE ENGINEER OF RECORD SHALL INSPECT ONCE EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

EXPOSED SLOPE MEASURES

1. COVER ALL EXPOSED SLOPES
2. STRAW 2 TONS/ACRE ON SLOPES $\leq 20\%$ WITH SOIL BINDER
3. USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES $>20\%$

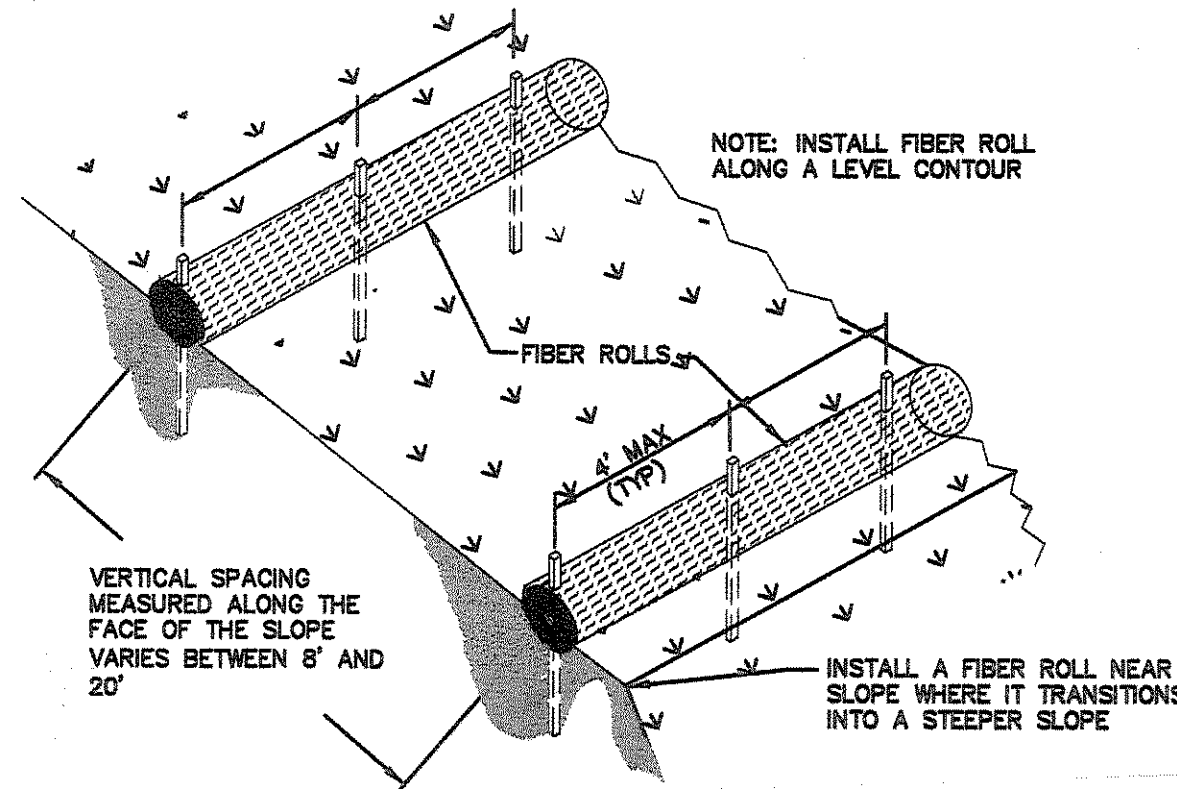
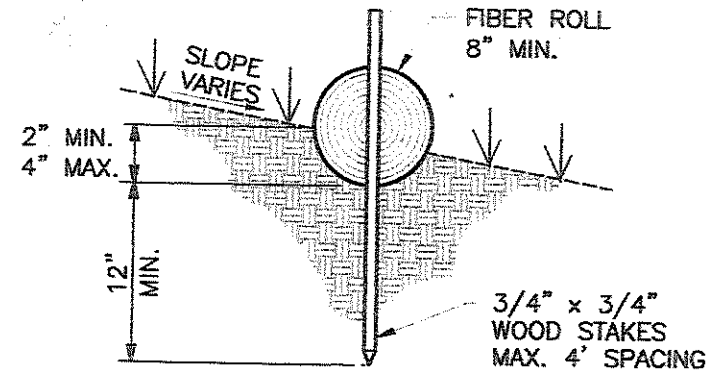
EROSION CONTROL LEGEND

- INSTALL FIBER ROLL PER DETAILS THIS SHEET
- PROPOSED STOCKPILE AREA
- PROPOSED STAGING AREA

EROSION CONTROL PLAN

1" = 16'-0"

2



HOUSEKEEPING NOTES

7

ENTRENCHMENT DETAIL

NTS

5

TYPICAL FIBER ROLL INSTALLATION

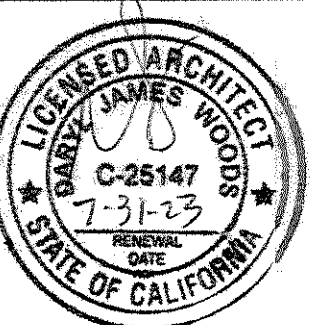
NTS

3

EROSION CONTROL NOTES

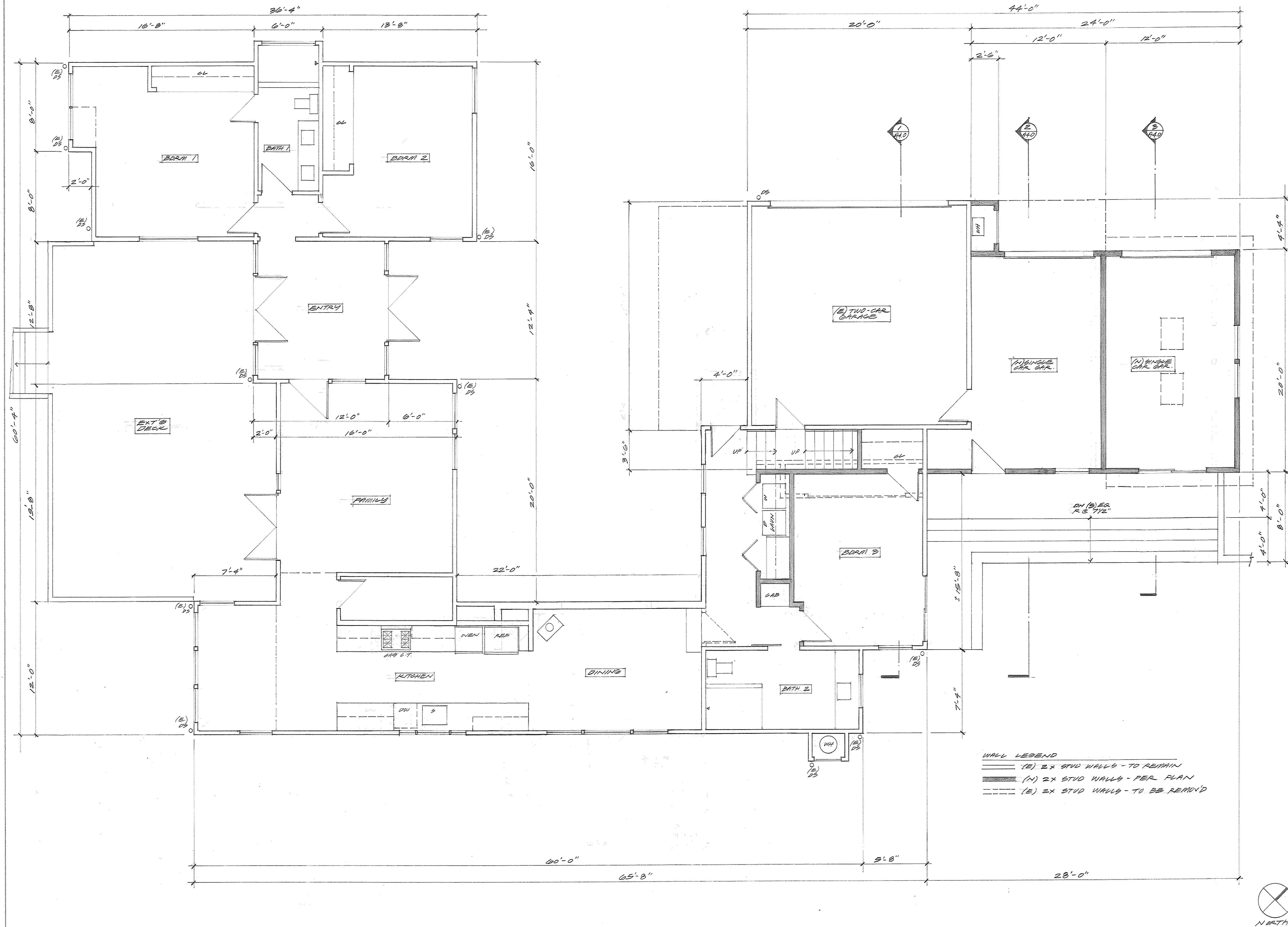
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ISSUE	DATE
PLANNING SUBMITTAL	10-22-2021

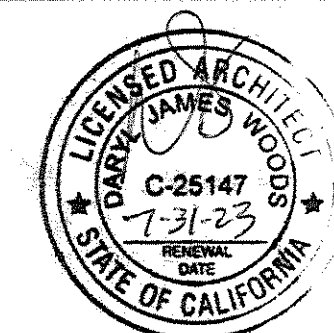


273 Lindero
La Selva beach
California
95076
Daryl Woods Architect
831.234.9853-f

CLARK RESIDENCE C1
APN: 046-241-39

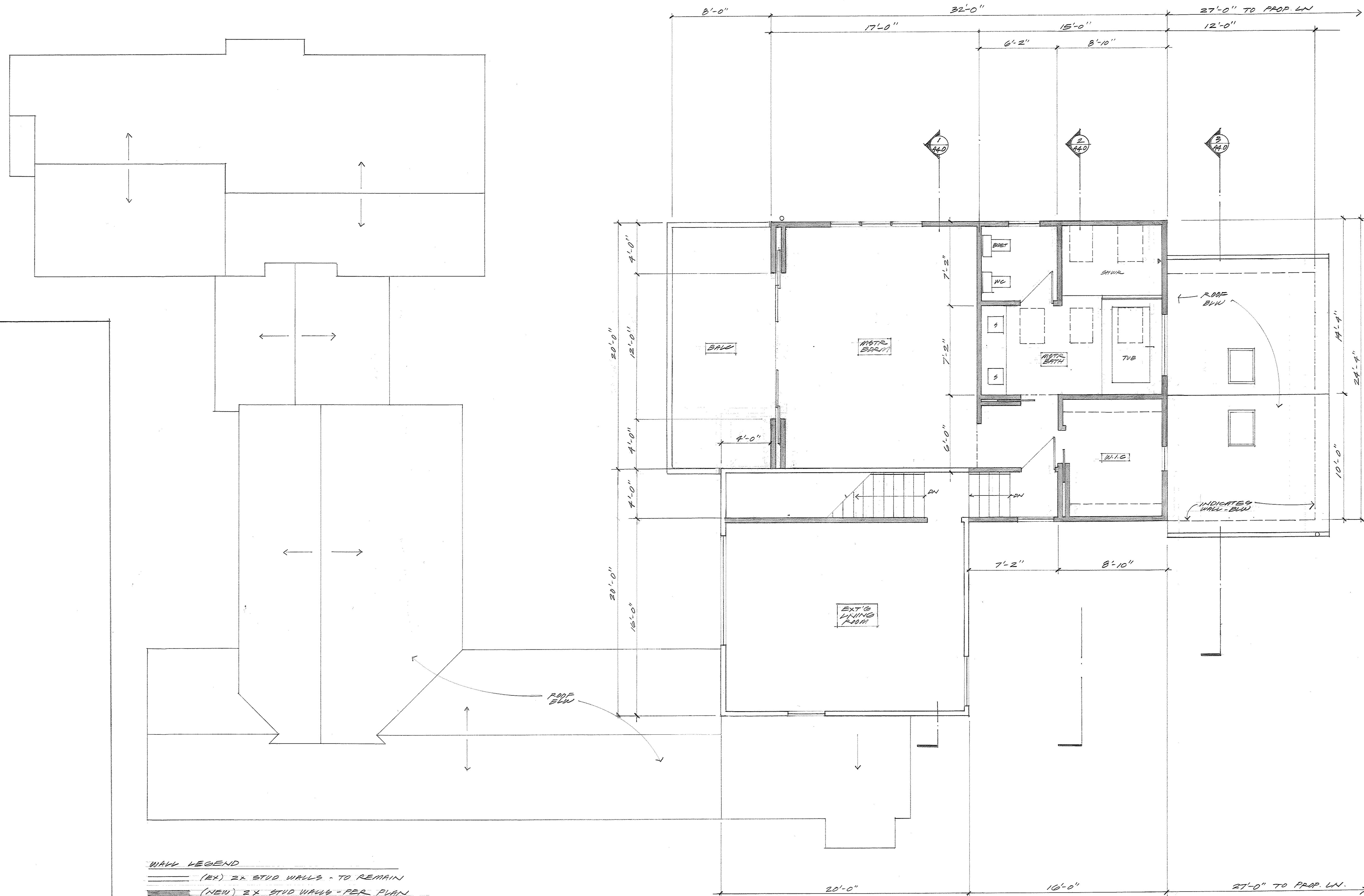


ISSUE	DATE
PLANNING SUBMITTAL	10.22.2021

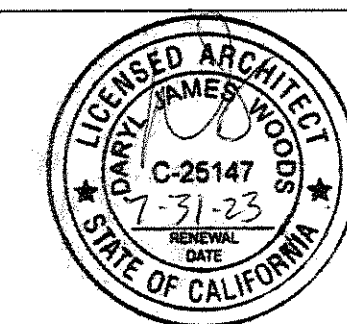


273 Lindero
La Selva beach
California
95076
Darryl Woods Architect
831.234.9853

CLARK RESIDENCE A11
APN: 046-241-39

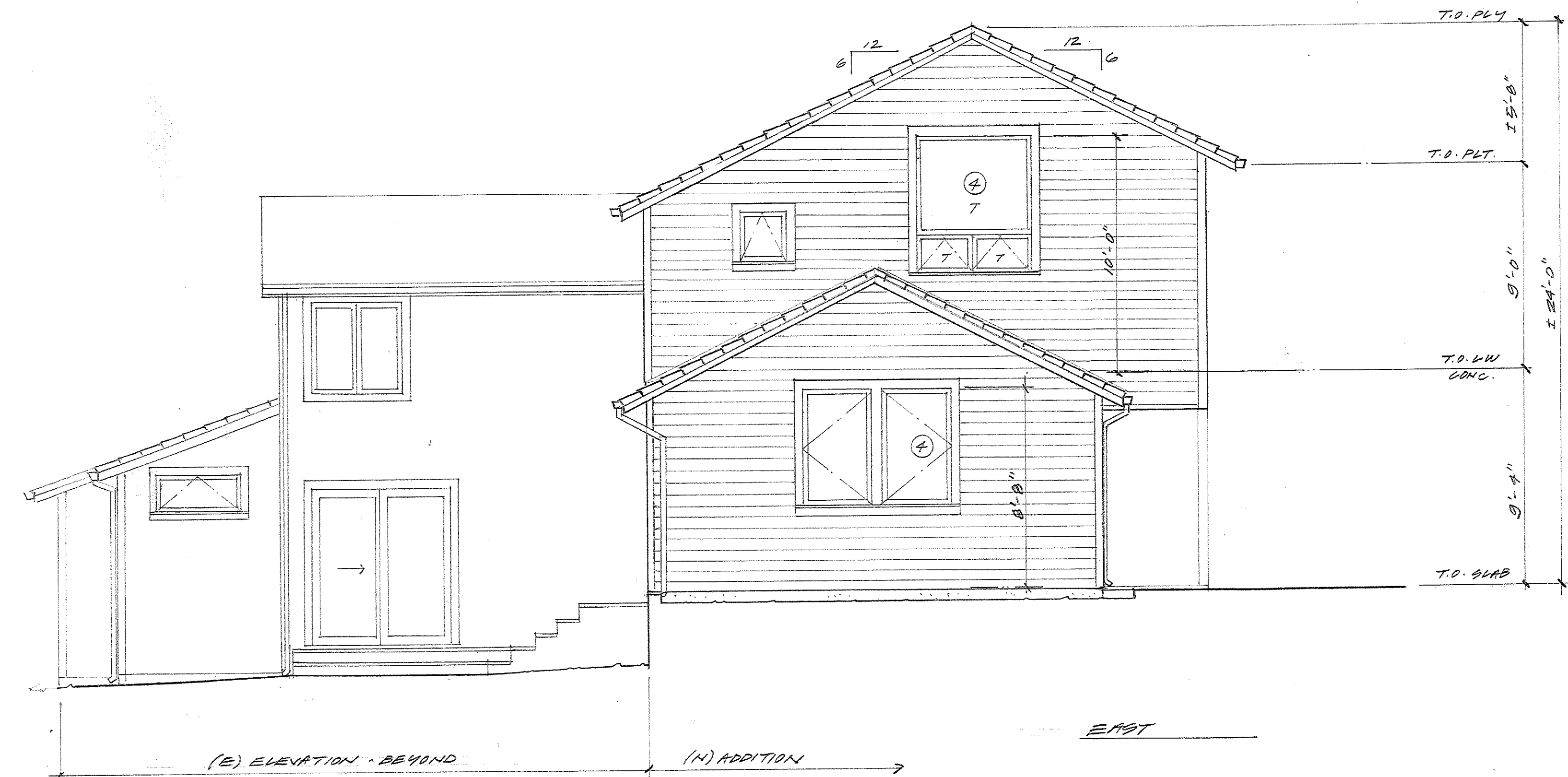
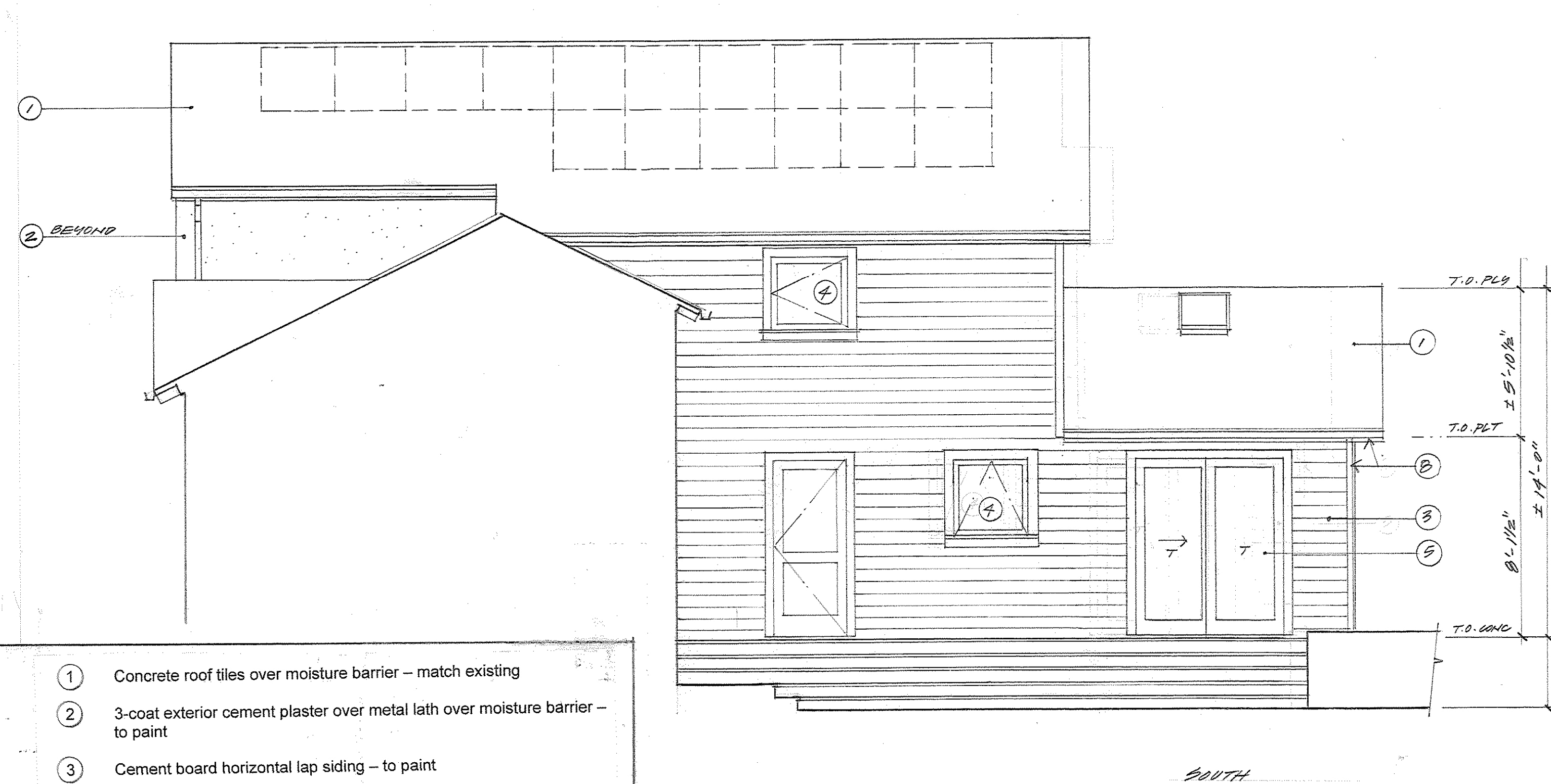
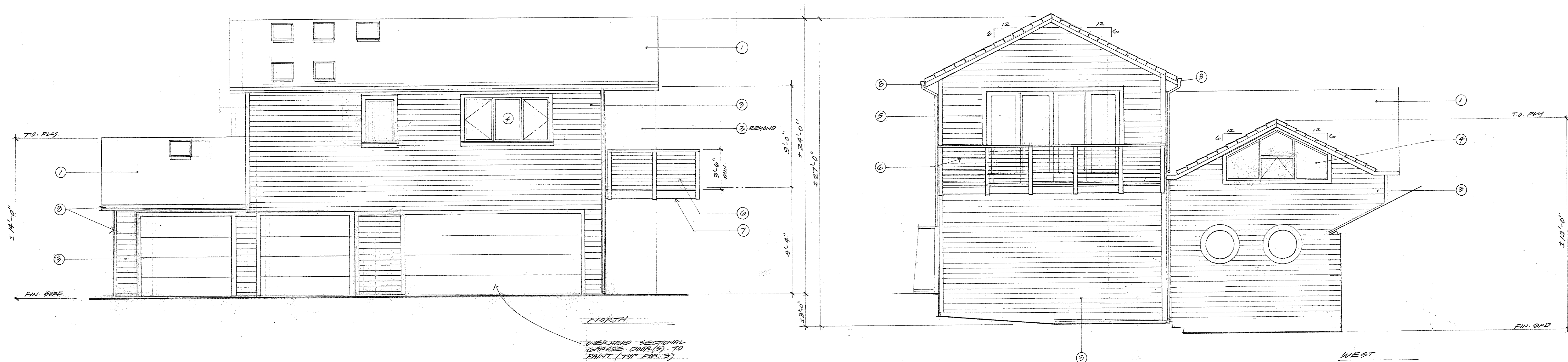


ISSUE	DATE
PLANNING	10.22.2021
SUBMITTAL	



273 Lindero
La Jolla beach
California
95076
Daryl Woods Architect
831.234.9853

CLARK RESIDENCE A2.0
APN: 046-241-39

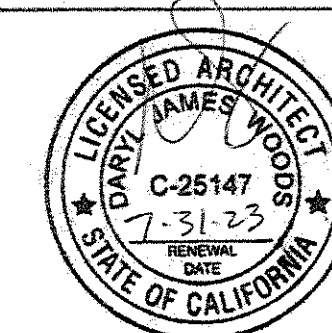


- 1 Concrete roof tiles over moisture barrier - match existing
- 2 3-coat exterior cement plaster over metal lath over moisture barrier - to paint
- 3 Cement board horizontal lap siding - to paint
- 4 Vinyl windows - per schedule
- 5 Exterior doors - per schedule
- 6 Stainless steel cable rail guardrail with painted wood posts
- 7 Exposed wood framing, per plans - to paint
- 8 26 Ga. metal gutter (match existing profile) with hinged gutter screen and 26 Ga. Downspouts - to match existing
- 9 Redwood decking/stairs - to stain

EXTERIOR MATERIALS

2

ISSUE	DATE
PLANNING SUBMITTAL	10.22.2021
	13



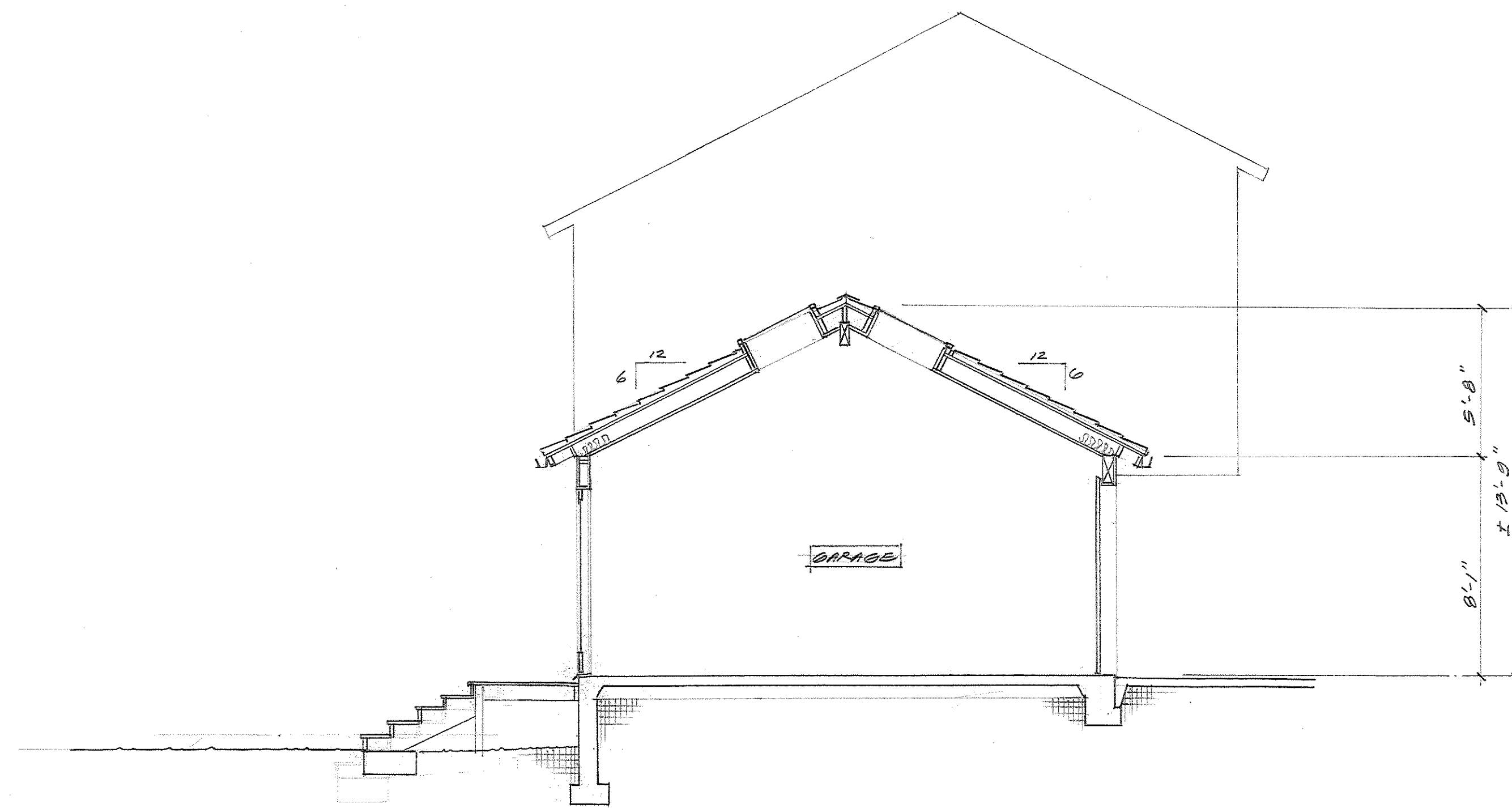
273 Lindero
La Selva beach
California
95076
Daryl Woods Architect
831.234.9853

CLARK RESIDENCE A3.0
APN: 046-241-39

1/4" = 1'-0"

1

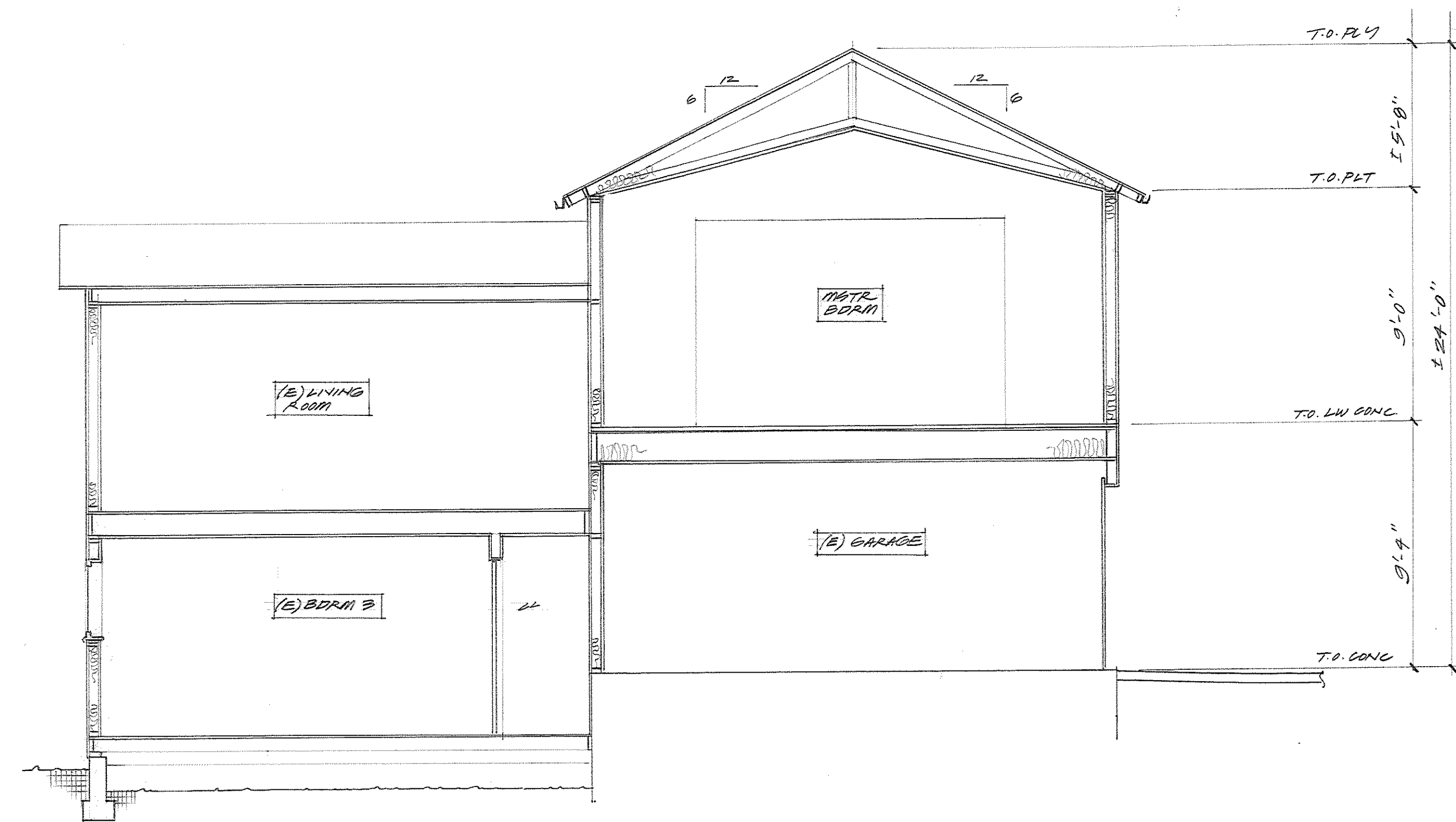
EXTERIOR ELEVATIONS



CROSS SECTION

1/4" = 1'-0"

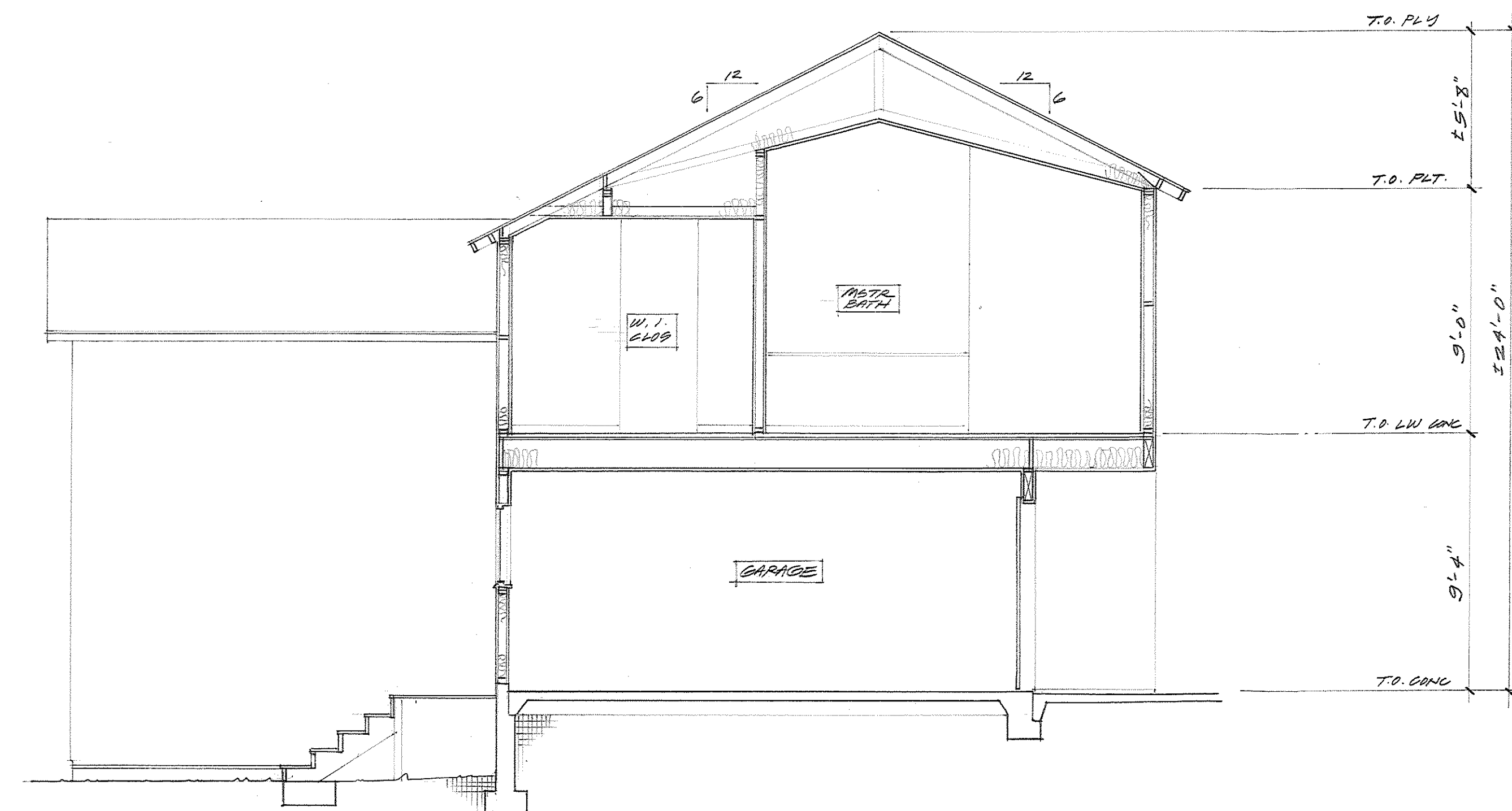
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CROSS SECTION

1/4" = 1'-0"

1

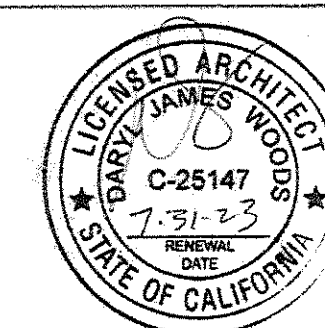


CROSS SECTION

1/4" = 1'-0"

2

ISSUE	DATE
PLANNING SUBMITTAL	10.22.2021



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La Selva beach
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CLARK RESIDENCE A4.0
APN: 046-241-39

FOR TAX PURPOSES ONLY

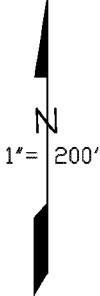
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POR. SAN ANDREAS RANCHO
SEC. 3, T.12S., R.1E., M.D.B. & M.

Tax Area Code
69-278

46-24



Electronically Redrawn 1/22/97 r/w
Rev 5/12/97 CB (0012335 & 6, LBA 1-54 & 55)
Rev 11/20/97 r/w (93RS23)
Rev 5/27/98 r/w (TCA CONSOLIDATION)
Rev 2/28/00 CB (97RS25)
Rev 2/25/02 mvm (st name)

Note - Assessor's Parcel & Block
Numbers Shown in Circles.

EXHIBIT D




Assessor's Map No. 46-24
County of Santa Cruz, Calif.
Jan. 1997



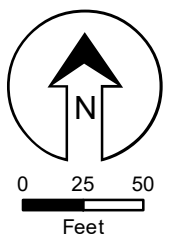
Parcel Location Map



Parcel: 04624139

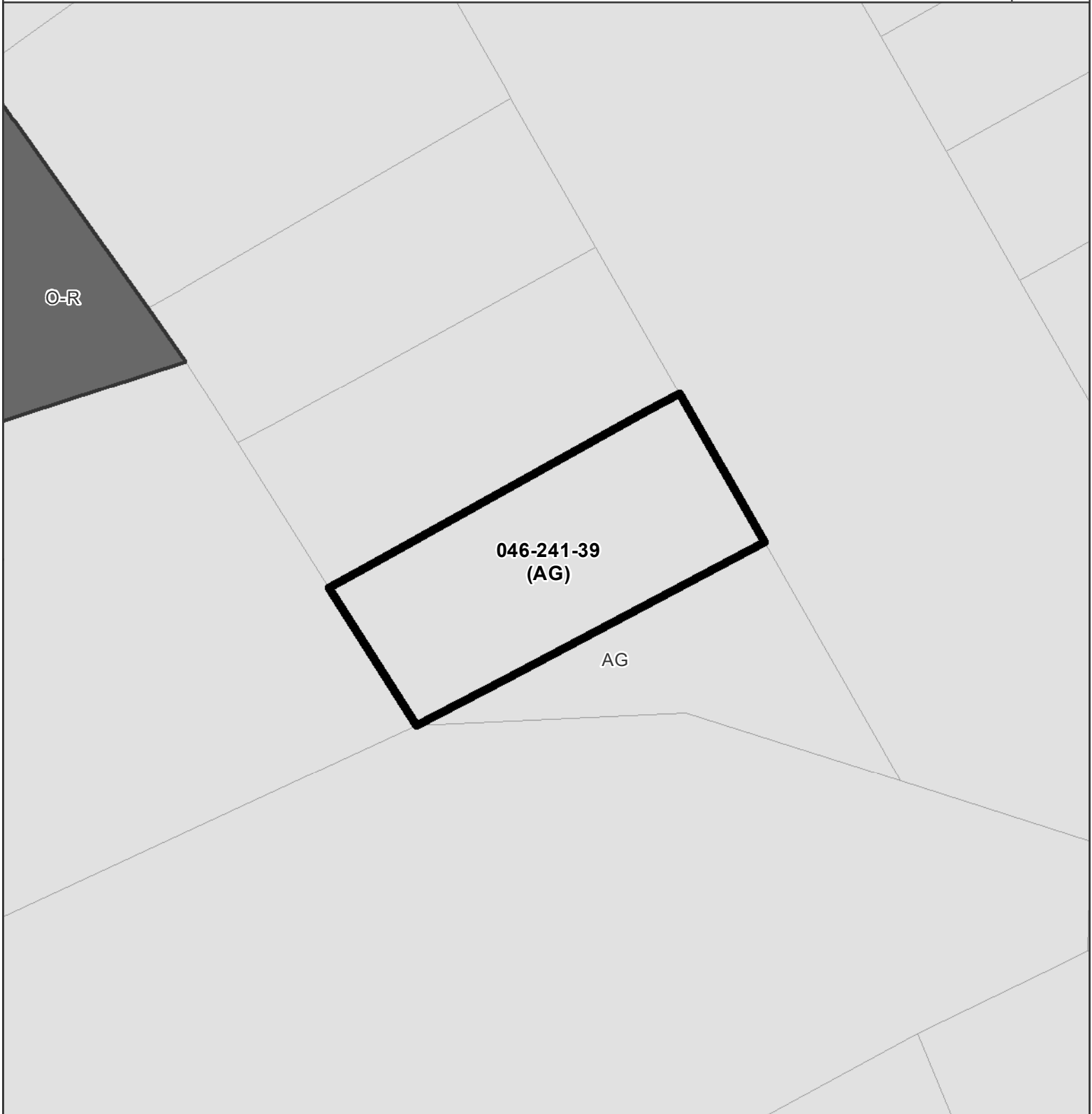
-  Study Parcel
-  Assessor Parcel Boundary
-  Existing Park

Map printed: 17 May. 2023

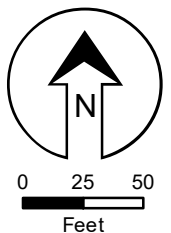




Parcel General Plan Map

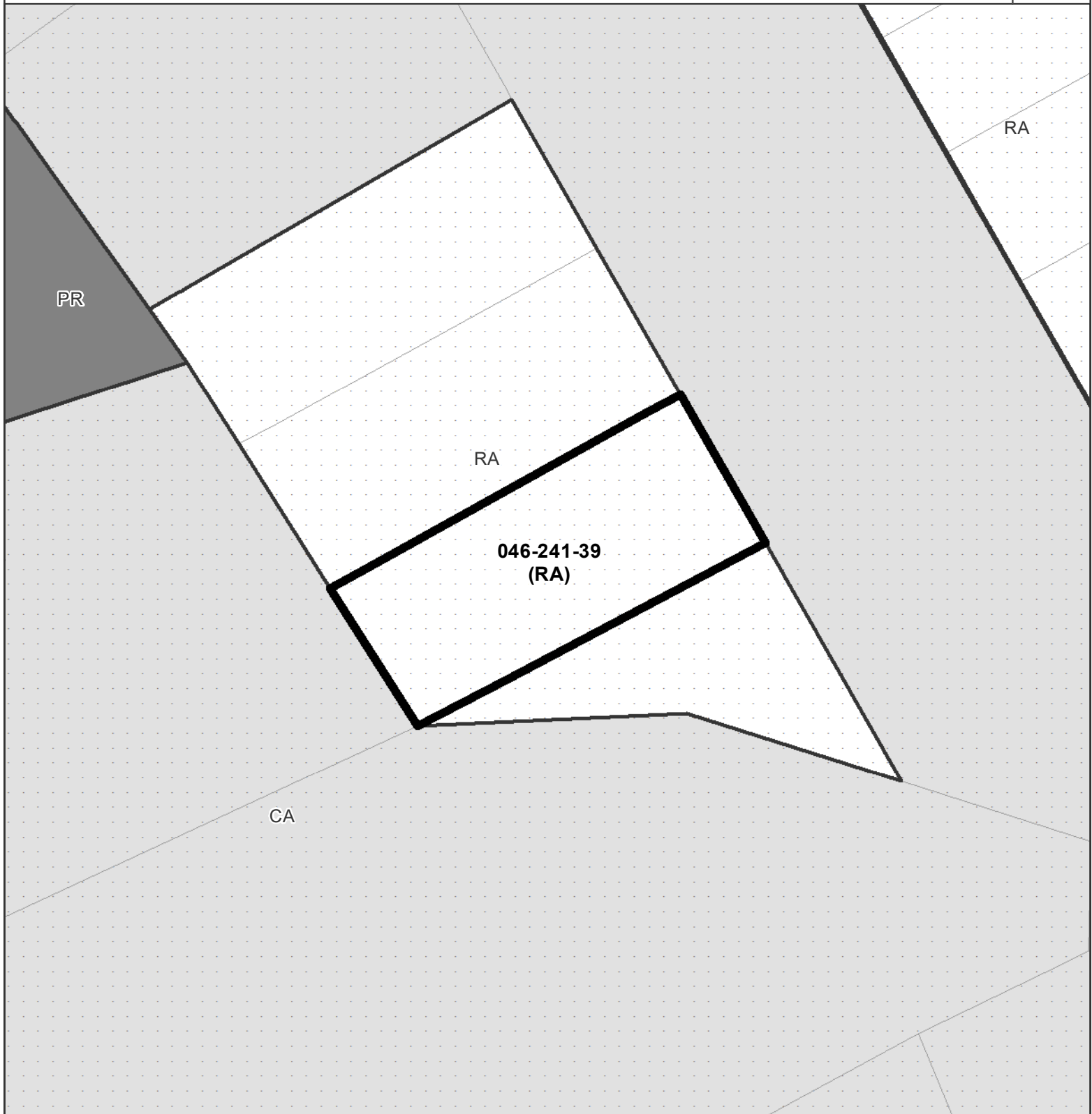


- AG *Agricultural*
- O-R *Parks, Recreation & Open Space*

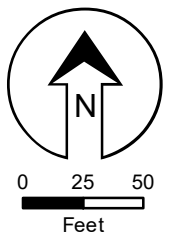




Parcel Zoning Map



- CA Commercial Agriculture
- RA Residential Agricultural
- PR Parks, Recreation, & Open Space



Agricultural Resources



May 17, 2023

Parcels

Parcels

Ag Resource Area

AG-1A

AG-1B

AG-2A

AG-2B

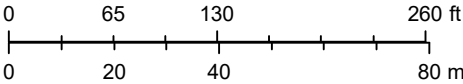
AG-2C

AG-2D

AG-3

AG-PRES

1:1,440



County of Santa Cruz

Parcel Information

Services Information

Urban/Rural Services Line: ☐ Inside ☒ Outside
Water Supply: San Andreas Mutual Water
Sewage Disposal: Santa Cruz County Sanitation District
Fire District: Central (Aptos/La Selva Fire) Protection District
Drainage District: None

Parcel Information

Parcel Size: 23,609 square feet (0.54 acres)
Existing Land Use - Parcel: Single family dwelling
Existing Land Use - Surrounding: Rural residential and agriculture
Project Access: Crest Drive
Planning Area: San Andreas
Land Use Designation: AG (Agriculture)
Zone District: RA (Residential Agriculture)
Coastal Zone: ☒ Inside ☐ Outside
Appealable to Calif. Coastal Comm. ☒ Yes ☐ No

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Fire Hazard: Not a mapped constraint
Slopes: 5-15%
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Archeology: Not mapped/no physical evidence on site