



Staff Report to the Agricultural Policy Advisory Commission

Application Number: 231125

Applicant: Peter Guiley

Owner: Smith

APN: 046-261-14

Address: 1127 San Andreas Road., La Selva Beach

Date: July 20, 2023

Agenda Item #: 10

Time: 1:30 p.m.

Project Description: Proposal to construct an Accessory Dwelling Unit with an attached garage on site with an existing single family dwelling. Requires an Agricultural Buffer Setback reduction to reduce the required agricultural buffer setback from 200 feet to approximately 143 feet to the adjacent Commercial Agriculture zoned parcel APN 046-261-15 and to approximately 161 feet to the adjacent Commercial Agriculture zoned parcel APN 046-391-01.

Location: Property located at 1127 San Andreas Road in La Selva Beach.

Permits Required: Agricultural Buffer Setback Reduction

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 231125, based on the attached findings and conditions.

Analysis and Discussion

The proposed project is to construct a single story Accessory Dwelling Unit (ADU) of approximately 1,200 square feet with a two car attached garage on a 5.7 acre parcel that is zoned A (Agriculture). The project is located at 1127 San Andreas Road in La Selva Beach. The building site is within 200 feet of Commercial Agricultural land to the west. The applicant is requesting a reduction in the 200 foot agricultural buffer setback to 143 feet from the closest point of the adjacent Commercial Agriculture zoned property to the southwest (APN 046-261-15) and 161 feet to the adjacent Commercial Agriculture zoned property to the southeast (APN 046-391-01).

The subject property is characterized by sloped topography with a ridge where the existing residential development is located. The ADU is proposed adjacent to the existing residence. The topography of the property drops by approximately 40 feet in elevation to the northeast towards San Andreas Road and by approximately 30 feet to the southwest towards Commercial Agriculture zoned property (APN 046-261-15). The parcel is located outside of the Urban Services Line and can be characterized as a rural residential neighborhood along San Andreas Road located adjacent to commercial agricultural properties. The parcel is located within the AG (Agriculture) General Plan designation and the implementing zone district is A (Agriculture). Commercial Agriculture

zoned land is situated within 200 feet to the southwest of the proposed building site at Assessor's Parcel Number 046-261-15 and within 200 feet to the southeast of the proposed building site at Assessor's Parcel Number 046-391-01.

A reduced agricultural buffer is recommended due to the limited width of the subject property (between 266 and 390 feet in width) with Commercial Agriculture property located to the southwest and southeast. A reduced agricultural buffer would allow the proposed Accessory Dwelling Unit to be located in proximity to the existing residence and to the septic leaching area, while maintaining an agricultural buffer setback that is evenly spaced (at 143 feet and 161 feet) from adjacent Commercial Agriculture zoned properties. Alternate locations on the site would either place the ADU closer to Commercial Agriculture zoned boundaries or below the elevation of the leaching area and closer to San Andreas Road.

The proposed building site would be approximately 143 feet from the adjacent Commercial Agriculture zoned property to the southwest (APN 046-261-15) and approximately 161 feet to the adjacent Commercial Agriculture zoned property to the southeast (APN 046-391-01). The applicant is not proposing an agricultural buffer barrier or plantings, as the existing residence is located between the proposed ADU and the Commercial Agriculture zoned property to the southeast and there is sufficient topographic difference with the building site which is more than 15 feet above the elevation of the closest point of the adjacent Commercial Agriculture zoned property to the southwest. This would reduce the impact of agricultural activities on the proposed residential use, and to therefore protect the agricultural interests on the Commercial Agriculture zoned parcels. The applicant will be required to record a Statement of Acknowledgement regarding the issuance of a building permit in an area determined by the County of Santa Cruz to be subject to Agricultural-Residential use conflicts.

Although not related to agricultural resource concerns, it is important to consider that San Andreas road is a designated scenic roadway in the County General Plan and Local Coastal Program. The lower portion of the property (adjacent to San Andreas Road) is also located closer to potential Santa Cruz Long Toed Salamander habitat, with a known breeding pond site located across San Andreas Road from the subject property. For these reasons, it would be desirable to cluster residential development and structures together (as proposed) and to locate any new residential structures away from San Andreas Road to the extent feasible.

Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Staff recommends that your Commission **APPROVE** the Agricultural Buffer Reduction from 200 feet to about 143 feet to the proposed Accessory Dwelling Unit from the adjacent CA zoned property known as APN 046-261-15 and to about 161 feet from the adjacent CA zoned property known as APN 046-391-01, proposed under Application 231125, based on the attached findings and recommended conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the

administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

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Report Reviewed By: Jocelyn Drake
Principal Planner
Development Review

Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 231125

Assessor Parcel Number: 046-261-14

Project Location: 1127 San Andreas Road, La Selva Beach

Project Description: Agricultural Buffer Setback Reduction

Person or Agency Proposing Project: Peter Guiley

Contact Phone Number: (831) 566-3062

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. ☒ **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. Reasons why the project is exempt:

Construction of an Accessory Dwelling Unit in an area where residential uses are allowed.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Randall Adams, Project Planner

Date: _____

EXHIBIT A

Required Findings for Agricultural Buffer Setback Reduction
County Code Section 16.50.095(D)

1. Significant topographical differences exist between the agricultural and non-agricultural uses which eliminates or minimizes the need for a 200 foot agricultural buffer setback; or

Significant topographical differences exist between the subject parcel and the Commercial Agricultural zoned property to the southwest (APN 046-261-15), to allow for a reduction in the required 200 foot setback to about 143 feet. The proposed building site is 15 feet above the elevation of the closest point of the adjacent Commercial Agriculture zoned parcel, so additional landscaping and solid fences have not been required.

2. Permanent substantial vegetation (such as a Riparian Corridor or Woodland protected by the County's Riparian Corridor or Sensitive Habitat Ordinances) or other physical barriers exist between the agricultural and non-agricultural uses which eliminate or minimize the need for a two hundred (200) foot agricultural buffer setback; or

The existing residence is located between the proposed building site and the adjacent Commercial Agricultural zoned property to the southeast (APN 046-391-01), which provides a physical barrier between the proposed ADU and the adjacent Commercial Agricultural zoned property to the southeast so additional landscaping and solid fences have not been required.

3. A lesser setback is found to be adequate to prevent conflicts between the non-agricultural development and the adjacent agricultural development and the adjacent agricultural land, based on the establishment of a physical barrier (unless it is determined that the installation of a barrier will hinder the affected agricultural use more than it would help it, or would create a serious traffic hazard on a public or private right of way) or the existence of some other factor which effectively supplants the need for a two hundred (200) foot agricultural buffer setback; or
4. The imposition of a two hundred (200) foot agricultural buffer setback would preclude building on a parcel of record as of the effective date of this chapter, in which case a lesser buffer setback distance may be permitted, provided that the maximum possible setback distance is required, coupled with a requirement for a physical barrier (e.g. solid fencing and/or vegetative screening) to provide the maximum buffering possible, consistent with the objective of permitting building on a parcel of record.

Conditions of Approval

- I. This permit authorizes an Agricultural Buffer Setback as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit, including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit and Grading Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. A development setback of a minimum of 143 feet from the proposed Accessory Dwelling Unit to the adjacent Commercial Agriculture zoned parcel APN 046-261-15.
 3. A development setback of a minimum of 161 feet from the proposed Accessory Dwelling Unit to the adjacent Commercial Agriculture zoned parcel APN 046-391-01.
 4. A Water Efficient Landscape Plan prepared in accordance with the requirements of the Water Efficient Landscape Ordinance (County Code Chapter 13.13) by a certified/licensed landscape architect, landscape contractor, civil engineer, landscape irrigation designer, landscape irrigation auditor, or water manager. WELO-exempt projects, residential projects of up to two units, or landscapes where at least 30% of the water use is provided by graywater, recycled water or captured rainwater may provide either a signed Water Efficient Landscape Checklist or a Water

Efficient Landscape Plan.

- a. Any landscape plan submitted to comply with SCCC Ch. 13.13 shall include a Water Efficient Landscape Plan Submittal Compliance Statement.
 - B. The owner shall record a Statement of Acknowledgement, as prepared by Santa Cruz County Planning, and submit proof of recordation to Santa Cruz County Planning. The statement of Acknowledgement acknowledges the adjacent agricultural land use and the agricultural buffer setbacks.
- III. All construction shall be performed according to the approved plans for the building permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
 - A. The agricultural buffer setbacks shall be met as verified by the County Building Inspector.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official and/or the County Senior Civil Engineer.
- IV. Operational Conditions
 - A. All required Agricultural Buffer Setbacks shall be maintained.
 - B. A Landscape Installation Certificate prepared in accordance with the Water Efficient Landscape Ordinance (County Code Chapter 13.13) shall be provided.
 - C. In the event that future County inspections of the subject property disclose non-compliance with any Conditions of this Approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, up to and including permit revocation.
- V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad

and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The “applicant/owner” shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor Variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below or if additional discretionary permits are required for the above permitted project, this permit shall expire on the same date as any subsequent approved discretionary permit(s) unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

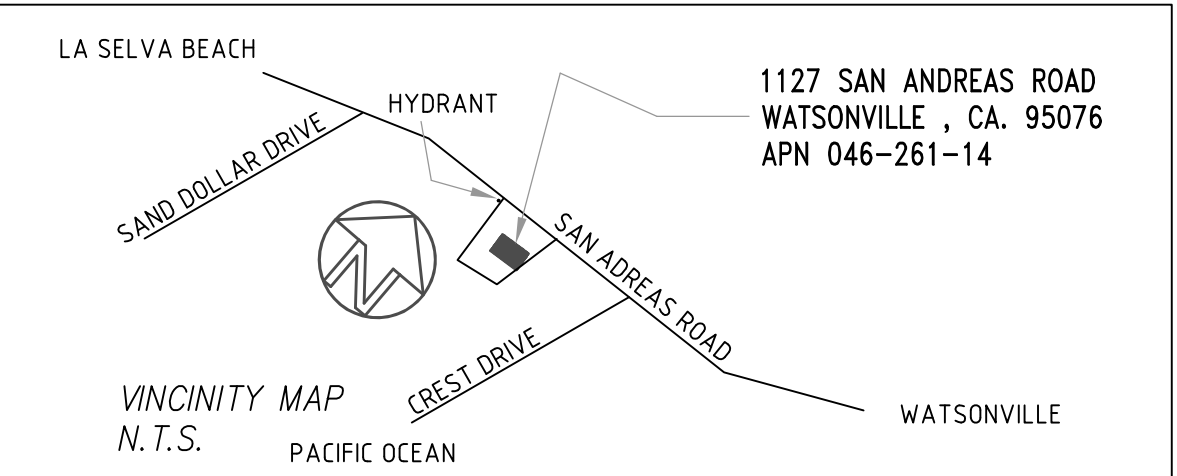
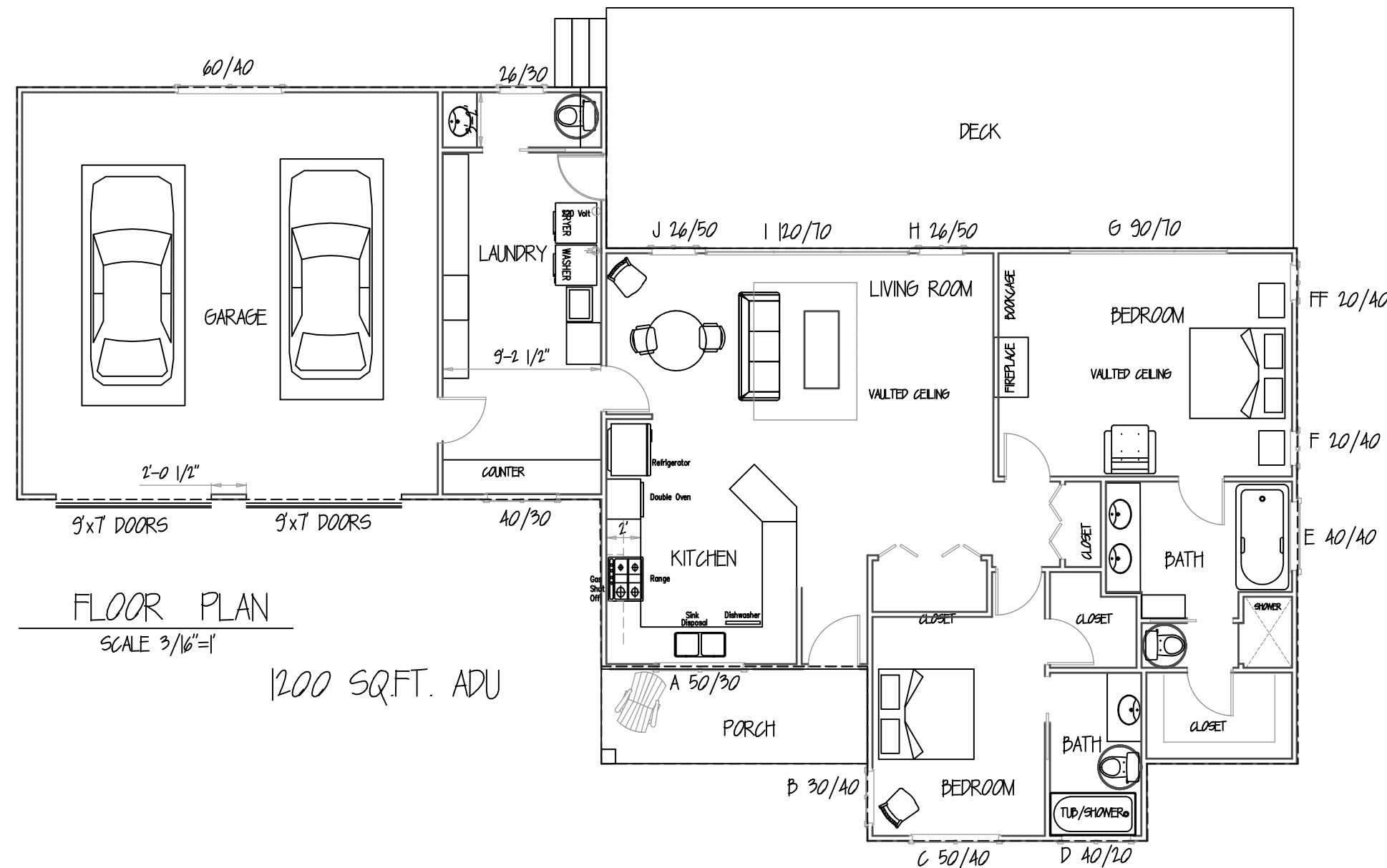
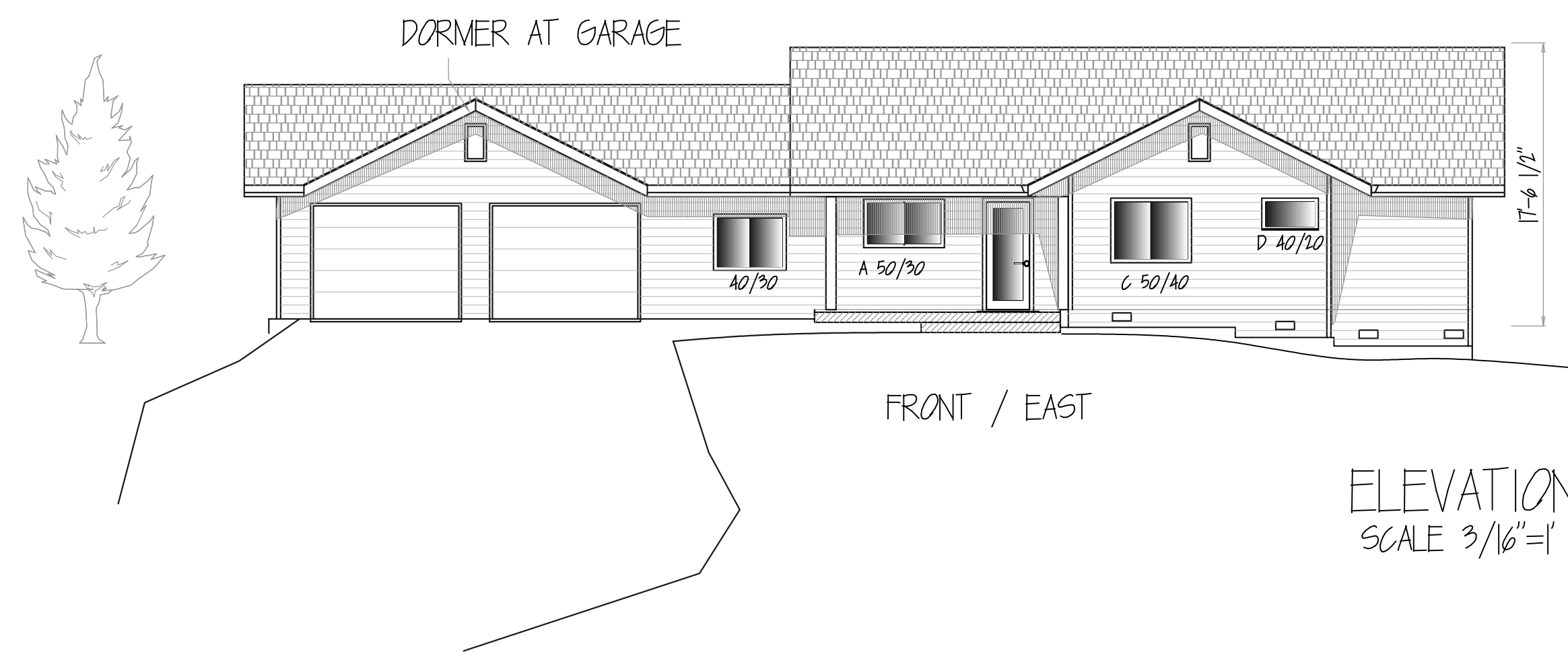
Approval Date: _____

Effective Date: _____

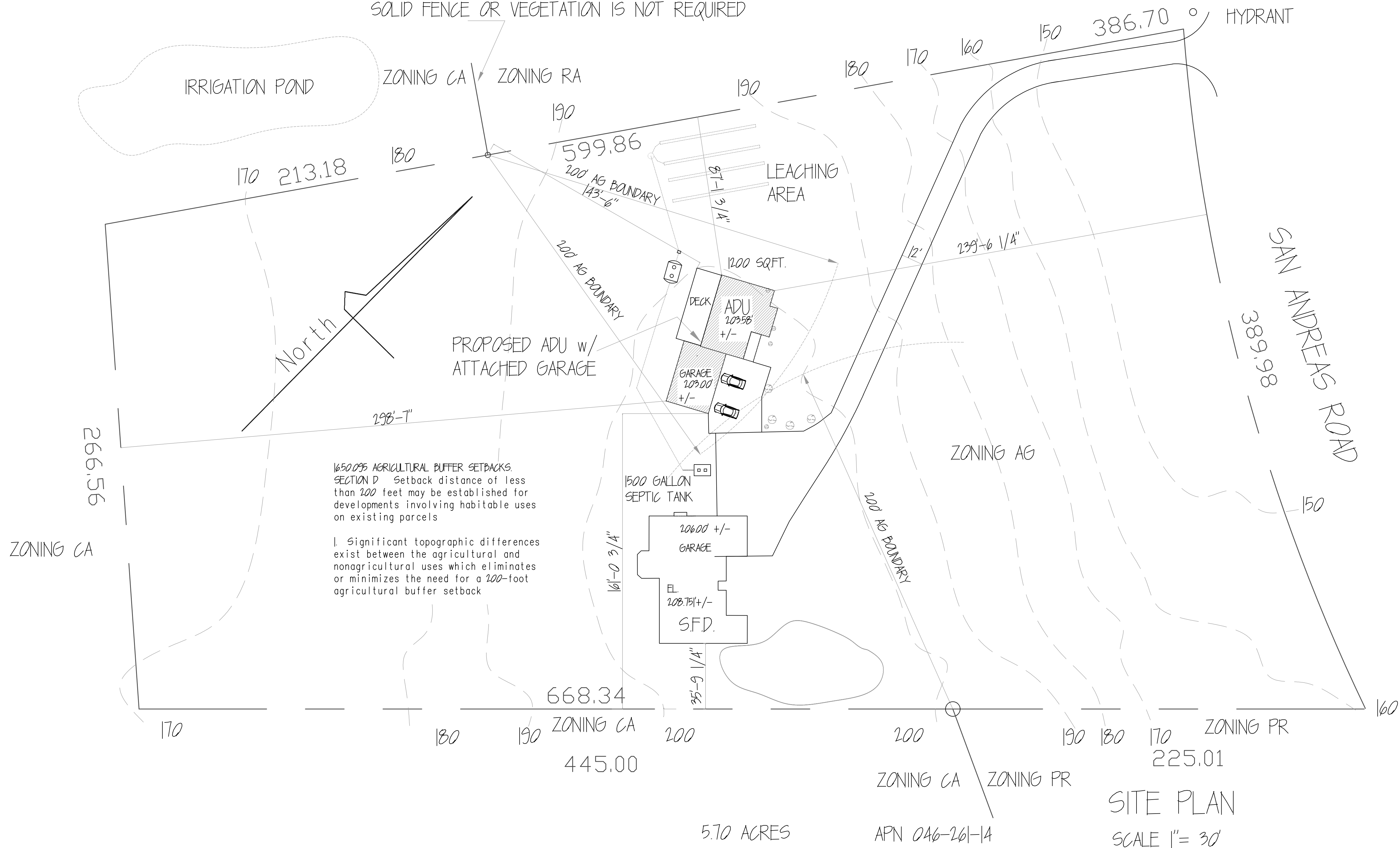
Expiration Date: _____

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected

by any act or determination of the Agricultural Policy Advisory Commission under the provisions of County Code Chapter 16.50, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code.



COMMERCIAL AG BOUNDARY STARTS 15' +/- BELOW PROPOSED RESIDENCE
SOLID FENCE OR VEGETATION IS NOT REQUIRED



PROPOSED PROJECT
2 BEDROOM 2 BATH 1200 SQFT. ADU
w/ 810 SQFT. ATTACHED GARAGE
ON SITE WITH A SINGLE FAMILY DWELLING
ZONING AG
5.70 ACRES
PROJECT REQUIRES A AG BUFFER REDUCTION
TOPOGRAPHY SLOPES AWAY FROM DWELLING
APN 046-261-14
FIRE LRA
OCCUPANCY & CONSTRUCTION
R-3/ VB SPRINKLERED

LIVING 1200 SQFT.
GARAGE 810 SQFT.

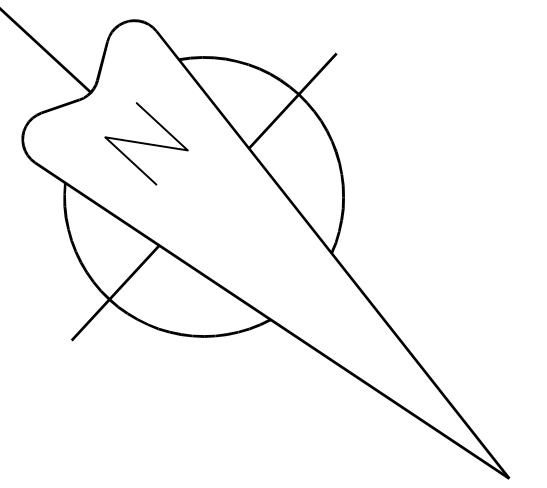
- A1 SITE PLAN
- A2 FLOOR PLAN
- A3 ELEVATION PLAN

EXHIBIT D

Peter Guiley
1206 Day Valley Ridge
Aptos, Ca 95003 831-566-3062
peterguiley@sbcglobal.net
DRAFTING
SMITH
1127 SAN ANDREAS ROAD
WATSONVILLE, CA 95076
PH 831-247-7333 APN 046-261-14
OWNER
2-23-23
A1

SMITH
2-23-23

| GLAZING



60/40 GARAGE
26/30 BATH
40/30 LAUNDRY
VERIFY ALL OPENINGS BEFORE ORDERING
PRODUCT

PETER GUINNEY
1206 Day Valley Ridge
Aptos, Ca 95003 831-566-3062
peterguinley@sbcglobal.net

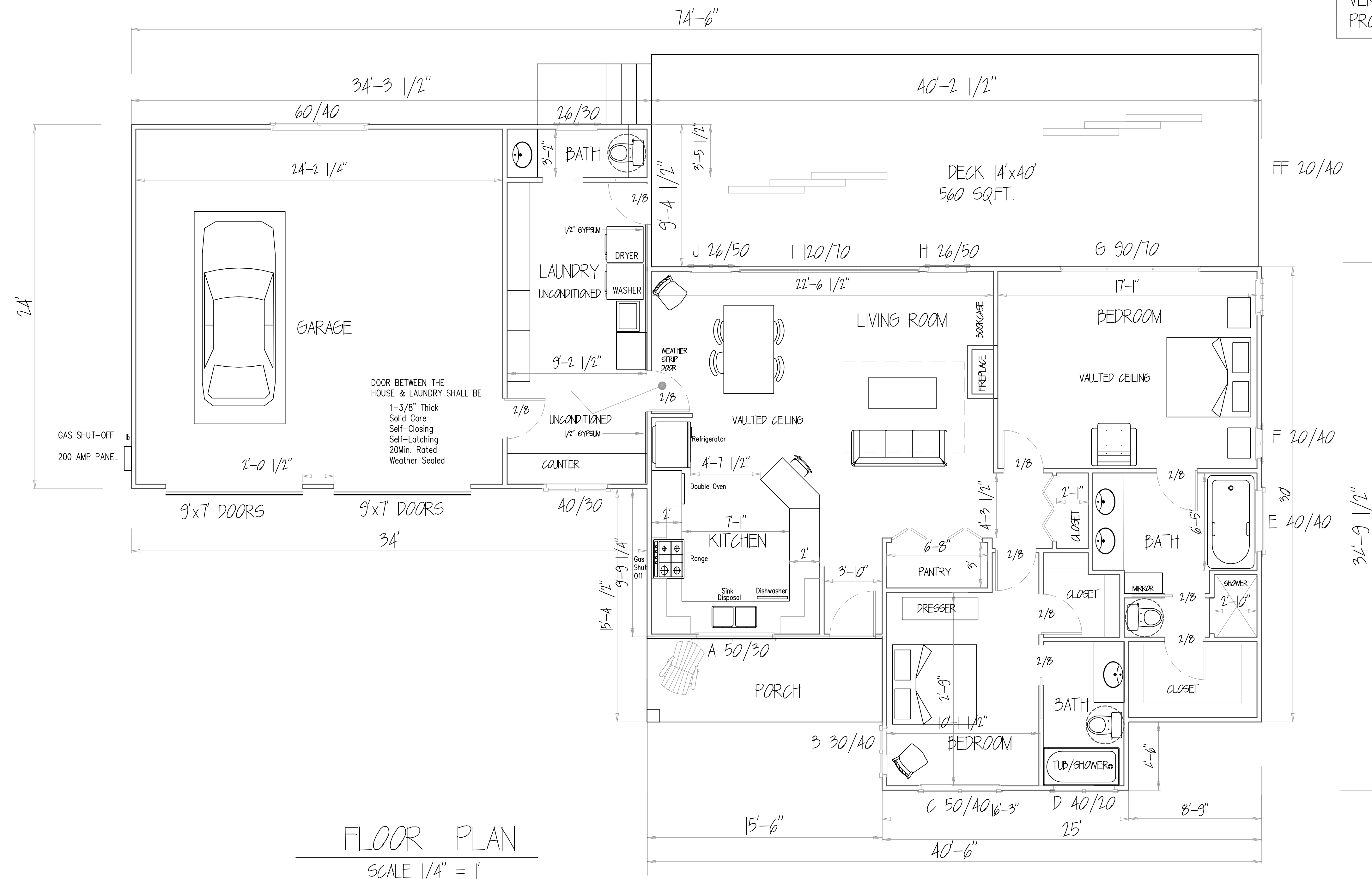
OWNER
1127 SAN ANDREAS ROAD
WATSONVILLE, CA. 95076
PH 831-247-7333 APN 046-261-14

-23-23

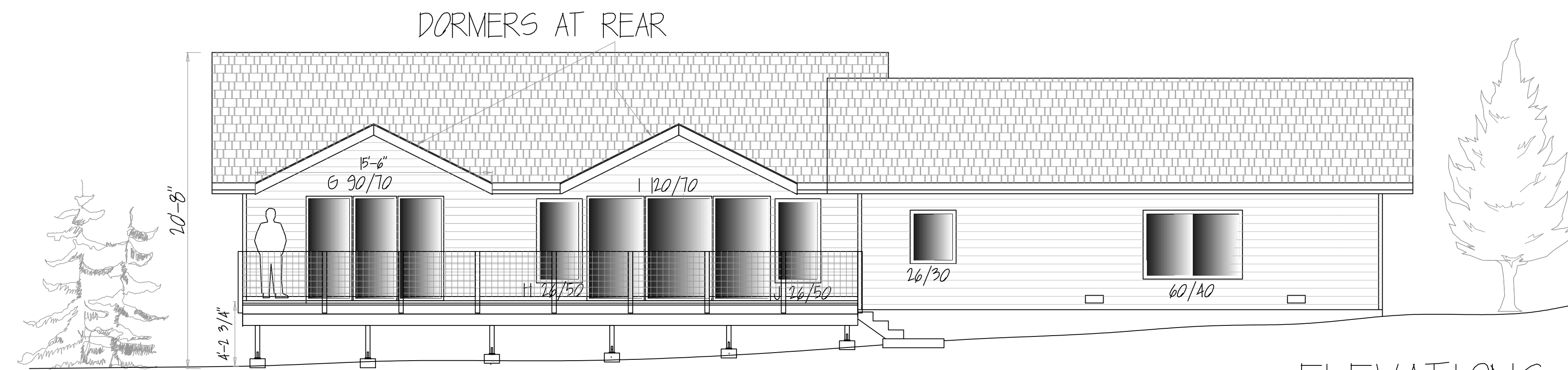
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MITH

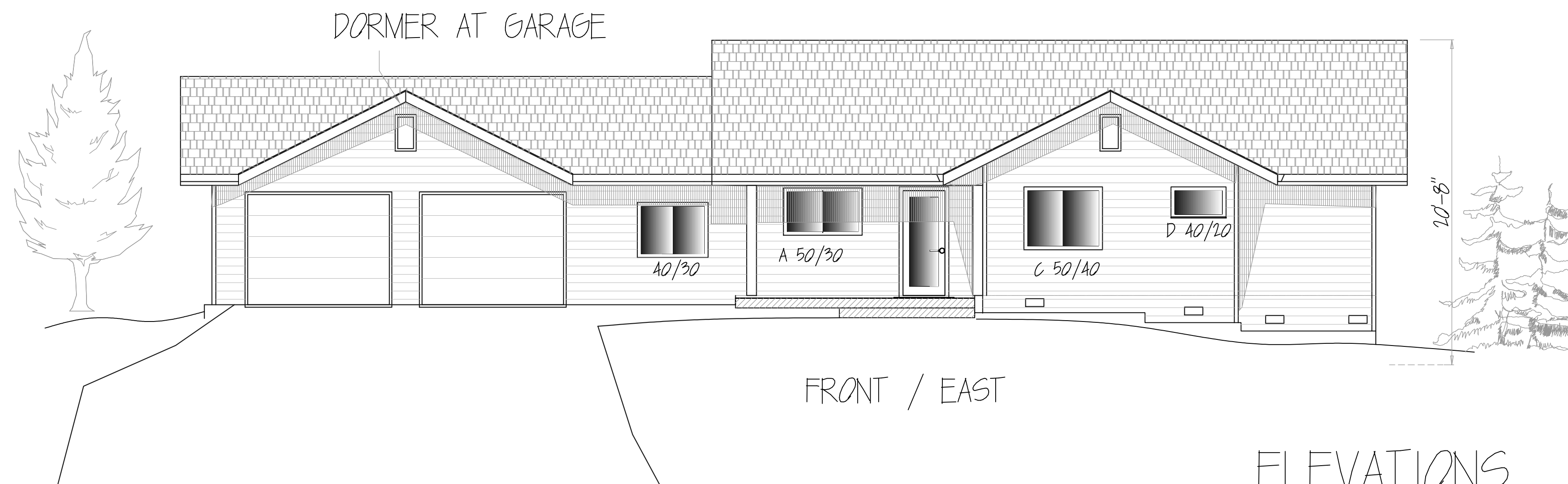
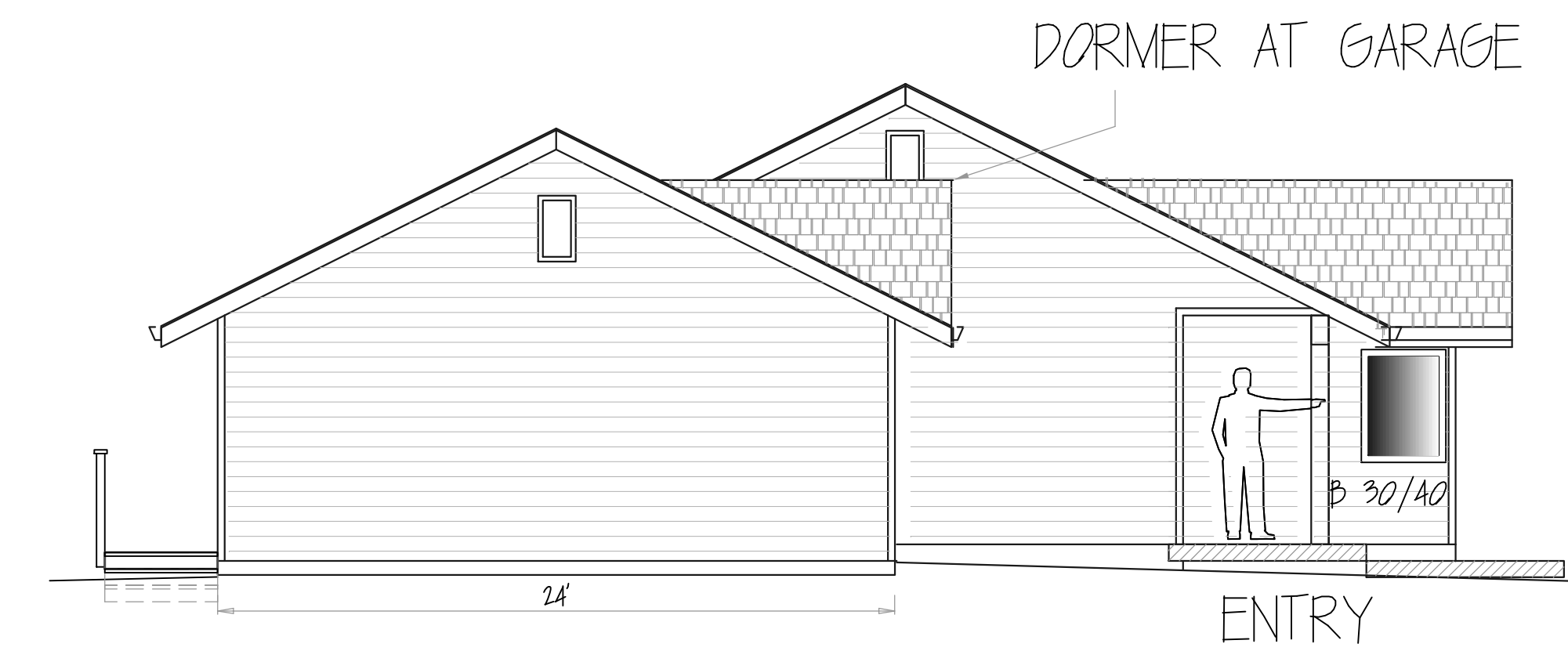
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1200 SQ.FT. ADU
820 SQ.FT. GARAGE

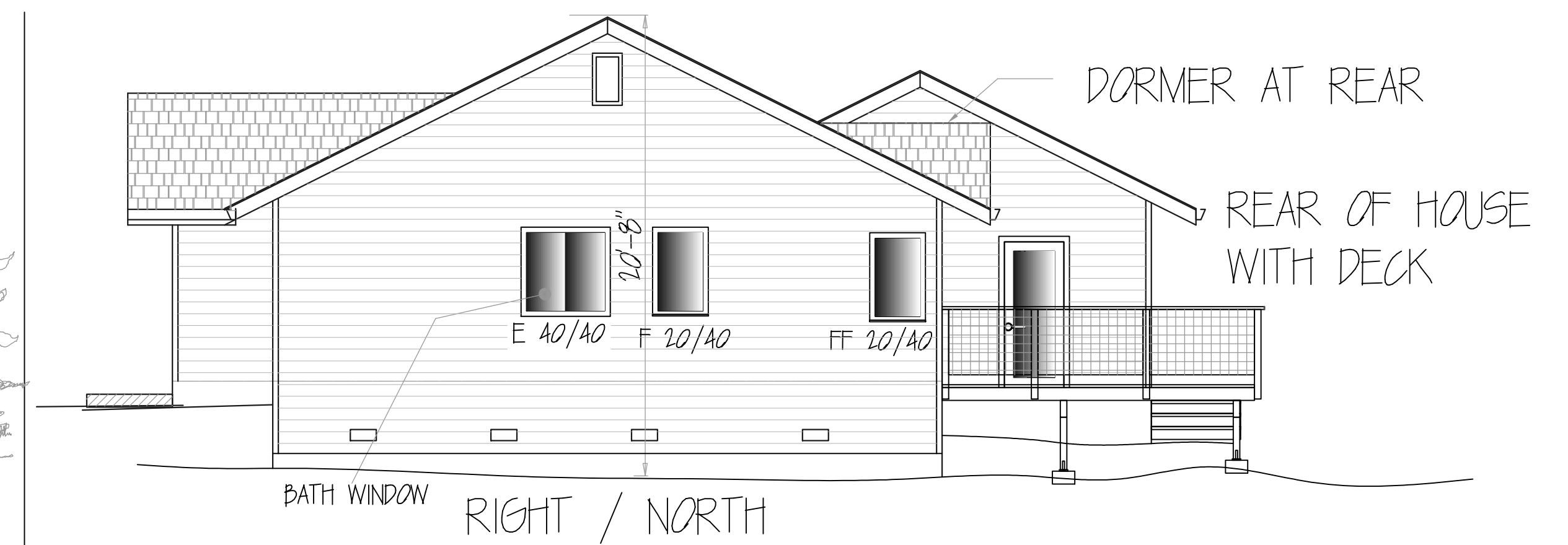


ELEVATIONS
SCALE 3/16"=1'



FRONT / EAST

ELEVATIONS
SCALE 3/16"=1'



RIGHT / NORTH

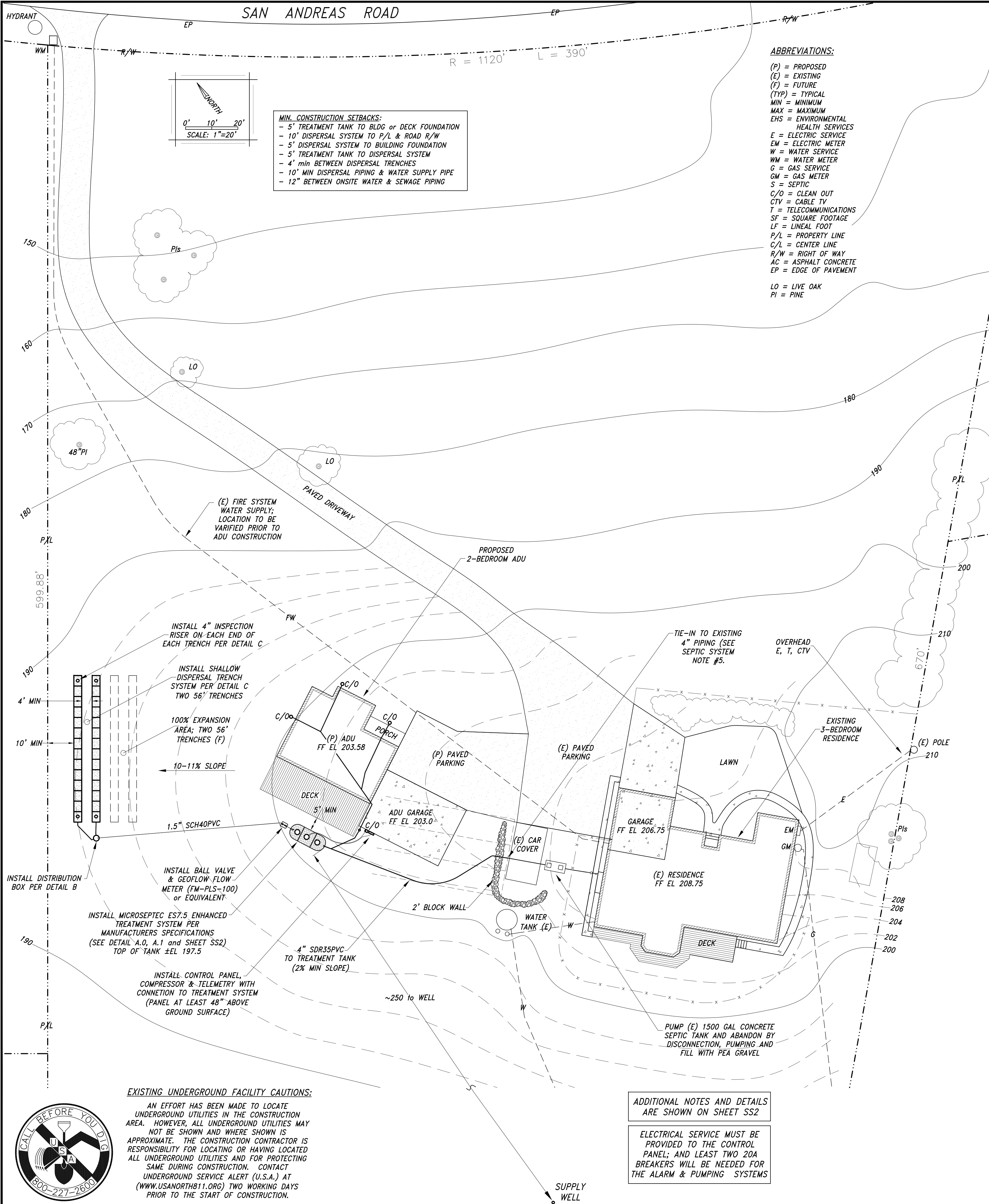
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DRAFTING

SMITH
1127 SAN ANDREAS ROAD
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PH 831-247-7333 APN 046-261-14
OWNER

2-23-23

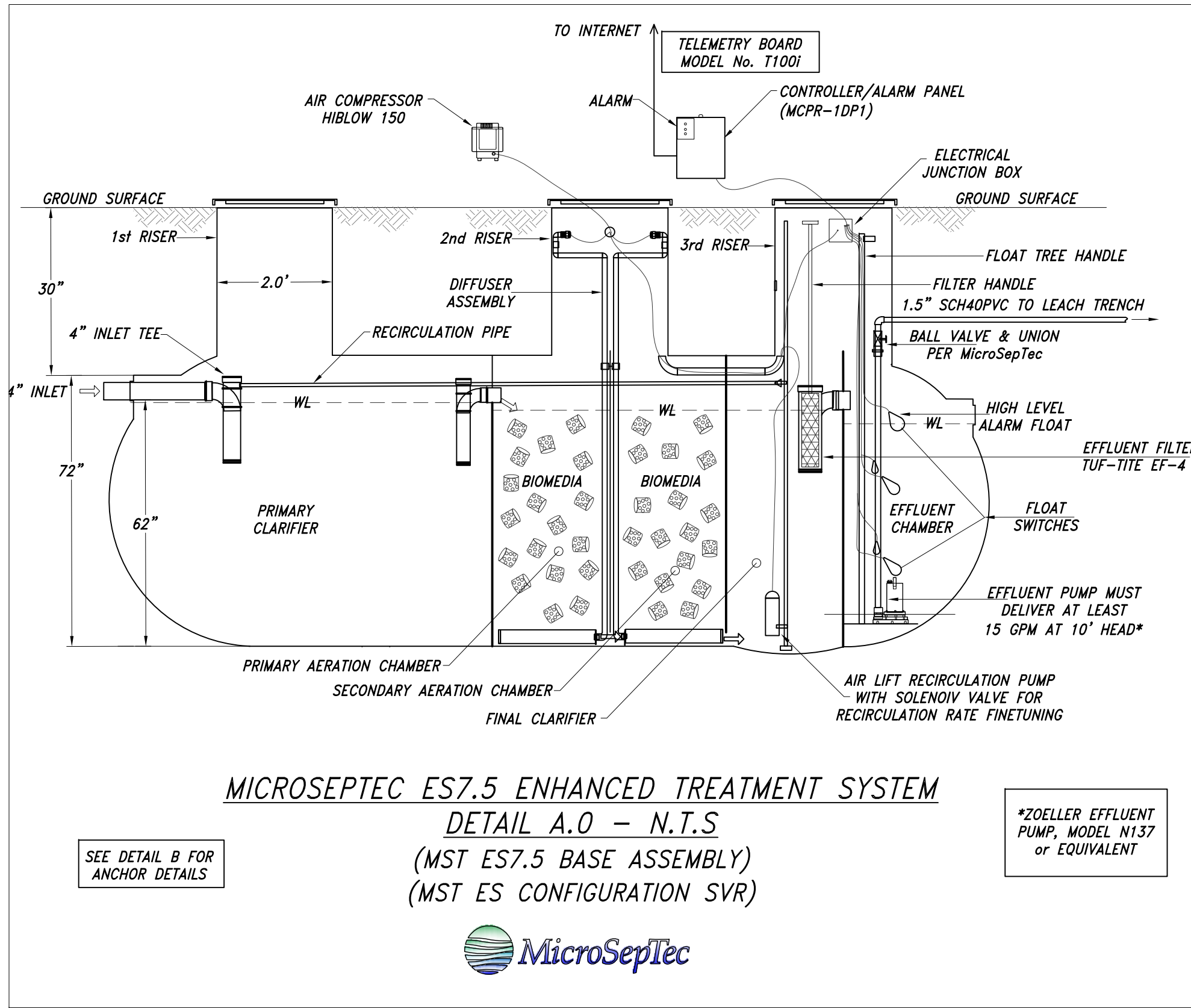
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SMITH
2-23-23



SEPTIC SYSTEM UPGRADE PLAN

DENNIS & DEANNA SMITH RESIDENCE
1127 SAN ANDREAS ROAD, WATSONVILLE
PARCEL B, 39PM30, PORTION APTOS RANCHO; APN: 041-761-04



SCOPE OF WORK:

THIS PROJECT IS INTENDED TO INSTALL A NEW (UPGRADE) SEPTIC SYSTEM FOR EXISTING PRIMARY RESIDENCE AND THE PROPOSED ADU. NO REMODELING IS PLANNED FOR THE 3-BEDROOM PRIMARY RESIDENCE. THE DETACHED ADU WILL HAVE 2-BEDROOMS. A SEPARATE BUILDING PERMIT WILL BE REQUIRED FOR ASSOCIATED ADU CONSTRUCTION. THE EXISTING SEPTIC TANK WILL BE REPLACED WITH AN ENHANCED TREATMENT SYSTEM BECAUSE THIS IS IN A FAST PERCOLATION AREA. THE EXISTING LEACH SYSTEM WILL BE REPLACED WITH A NEW SHALLOW LEACH TRENCH SYSTEM.

THE EXISTING 1500 GALLON CONCRETE SEPTIC TANK WILL BE ABANDONED IN PLACE BY DISCONNECTION, PUMPING AND BACKFILLING WITH PEA GRAVEL.

THE EXISTING LEACH SYSTEM WAS SIZED BASED ON FAST PERCOLATION (1-5 MIN/IN) PER PERCOLATION REPORT BY STEVE HOMAN, REHS, DATED 11/10/1989.

THE NEW DISPERSAL SYSTEM IS BASED ON THE RECENTLY APPROVED LOCAL AGENCY MANAGEMENT PROGRAM, L.A.M.P. THE PROPERTY HAS SUFFICIENT SUITABLE AREA FOR THE NEW SEPTIC SYSTEM AND 100% EXPANSION.

THE PROPOSED 100% EXPANSION AREA IS BASED ON FAST PERCOLATION AND A CONVENTIONAL SHALLOW LEACH TRENCH SYSTEM (4 SF/LF PER L.A.M.P. STANDARDS).

SEPTIC SYSTEM NOTES:

1. THE EXISTING SEPTIC TANK SERVING THE PRIMARY RESIDENCE WILL BE ABANDONED AND AN UPGRADED SYSTEM TO PROPERLY SUPPORT THE 3-BEDROOM MAIN RESIDENCE AND THE PROPOSED 2-BEDROOM DETACHED ADU. BESIDES THE PROPOSED ADU, NO BUILDING ADDITIONS ARE PLANNED THAT WOULD INCREASE THE NUMBER OF BEDROOMS. THE EXISTING CONCRETE SEPTIC TANK WILL BE ABANDONED BY PEA GRAVEL FILL. A PORTION OF THE EXISTING LEACH SYSTEM MAY NEED TO BE REMOVED TO BUILD THE ADU. THE EXTENT WILL BE DETERMINED IN THE FIELD ONCE THE EXISTIN SYSTEM IS LOCATED.
2. AN ENHANCED TREATMENT SYSTEM (MICROSEPTIC ES7.5) WILL BE INSTALLED PER DETAILS A.0 & A.1 AND NOTES SHOWN ON SHEETS SS1 AND SS2.
3. A NEW SHALLOW TRENCH DISPERSAL SYSTEM WILL BE INSTALLED PER DETAIL C. A DISTRIBUTION BOX SHALL BE INSTALLED PER DETAIL B.
4. ALL PIPING TO THE TREATMENT TANK SHALL BE 4 INCH ASTM APPROVED SEWER PIPE (SDR35PVC). MINIMUM PIPE SLOPE SHALL BE 2%. THIS INCLUDES THE PIPING FROM THE DETACHED UNIT. PIPING FROM THE PUMP TO THE DISTRIBUTION BOX SHALL BE 1.5" SCH40PVC. PIPING TO THE LEACH TRENCHES SHALL BE 4" SDR35PVC WITH MINIMUM 2% PIPE SLOPE.
5. ALL EXISTING PIPING TO REMAIN IN USE (FROM THE MAIN HOUSE TO THE SYSTEM TIE-IN) SHALL BE SCOPED TO ENSURE INTEGRITY AND REPLACED IF NECESSARY. EXTERNAL CLEANOUTS SHALL BE INSTALLED APPROXIMATELY AS SHOWN.
6. THE PROPOSED AND ANY FUTURE DISPERSAL SYSTEM SHALL CONFORM TO ALL APPLICABLE COUNTY STANDARDS AND DESIGN RECOMMENDATIONS.
7. SYSTEM INSTALLATION SHALL BE INSPECTED BY COUNTY ENVIRONMENTAL HEALTH (EHS) OFFICIALS. A MINIMUM 48 HOUR NOTICE IS REQUIRED. A PRE-CONSTRUCTION MEETING IS REQUIRED BY EHS TO INCLUDE THE INSTALLER, SYSTEM DESIGNER, THE ONSITE SEPTIC SYSTEM SERVICE PROVIDER (OSSP) AND EHS OFFICIALS. THE INSTALLING CONTRACTOR SHALL ARRANGE THE MEETING.
8. FINISH GRADING SHALL DIRECT ALL SURFACE RUNOFF AROUND THE SEPTIC TANK AND LEACH AREAS. UPON INSTALLATION COMPLETION, THE SITE MUST BE RESTORED WITH PROPER MATERIALS AND MEASURES TO ENSURE STABILIZATION OF ALL DISTURBED SOILS PER SANTA CRUZ COUNTY SEWAGE DISPOSAL ORDINANCE CHAPTER 7.38.130 (S). ALL DISTURBED SOILS INCLUDING ANY EXCESS FILL RESULTING FROM SEPTIC SYSTEM INSTALLATION SHALL BE SEEDED AND MULCHED OR OTHERWISE TREATED TO PREVENT EROSION.
9. ALL UTILITY COMPANIES TO BE NOTIFIED PRIOR TO START OF CONSTRUCTION BY THE CONTRACTOR BY CALLING 1-800-227-2600.

PROJECT & SITE INFORMATION

GENERAL: SEPTIC SYSTEM UPGRADE FOR THE EXISTING 3-BEDROOM RESIDENCE AND PROPOSED 2-BEDROOM ADU.

DESIGN FLOW: 3-BDRM + 2 BDRM (375+300 = 675 GPD)

PERCOLATION RATE: 3-4 MIN/IN (PER EXISTING PERC REPORT)

APPLICATION RATE: 1.6 GPD/SF PER L.A.M.P. STANDARDS AT 1-5 MIN/IN WITH ENHANCED TREATMENT

EHS DESIGN PARAMETERS: FAST PERCOLATION IN BAYWOOD LOAMY SAND

ENHANCED TREATMENT SEPTIC SYSTEM; SITE MEETS L.A.M.P. STANDARDS FOR CONVENTIONAL DISPERSAL; EXISTING SEPTIC TANK WILL BE ABANDONED BY PUMPING AND PEA GRAVEL FILL

DISPERSAL SYSTEM PROPOSED: SHALLOW LEACH TRENCHES (SEE CALCS THIS SHEET)

SOILS: BAYWOOD LOAMY SAND; SAND AND SILTY SAND TO 25' PER GEOTECHNICAL REPORT DATED 1/26/2023

NO GROUNDWATER TO 25' PER 1/26/2023 GEOTECHNICAL REPORT

SANDHILL HABITAT: NO
NITROGEN CONCERN AREA: NO
WATER SUPPLY: PRIVATE WELL
WATERSHED: SAN ANDREAS WATERSHED, PAJARO VALLEY GW BASIN, GW RECHARGE IN UPPER PORTION OF SITE; BIOTIC RESOURCES, NO FISHERY RESOURCES
LANDSLIDES: NONE KNOWN
LAND USE: ZONED RA
FLOODWAY: N/A
COASTAL ZONE: YES

DISPERSAL SYSTEM DESIGN:

THE SEPTIC SYSTEM IS SIZED FOR A COMBINED SYSTEM. THE PRIMARY RESIDENCE (3-BDRM) PLUS THE ADU (2-BDRM) AND THE FAST PERCOLATION SOILS (3-4 MIN/IN PER PERCOLATION TEST REPORT).

SINCE THE COUNTY L.A.M.P. WAS APPROVED BY THE CA WATER BOARD ON OCTOBER 14, 2021 AND ADOPTED BY THE COUNTY BOARD OF SUPERVISORS IN 2022, IT IS THE BASIS FOR THE DISPERSAL SYSTEM DESIGN (1.6 GPD/SF WITH ENHANCED TREATMENT).

LEACH SYSTEM DESIGN (PER LAMP)

DESIGN FLOW (Q): 375 GPD + 300 GPD = 675 GPD
FAST PERCOLATION: 3-4 MIN/IN
APPLICATION RATE (a): 1.6 GPD/SF (WITH ENHANCED TREATMENT)
LEACH AREA (A): A = Q/a
TRENCH LENGTH (L) = A/4 SF/LF (4 SF/LF IS THE SHALLOW TRENCH INFILTRATION RATE)
A = 675 GPD / 1.6 GPD/SF = 422 SF
L = 422 SF/4 SF/LF = 106 LF
TWO 56 FT TRENCHES, SINCE CHAMBERS ARE 4 FT LONG EACH
DESIGN LEACH TRENCH AREA WILL BE 448 SF (4 x 112)

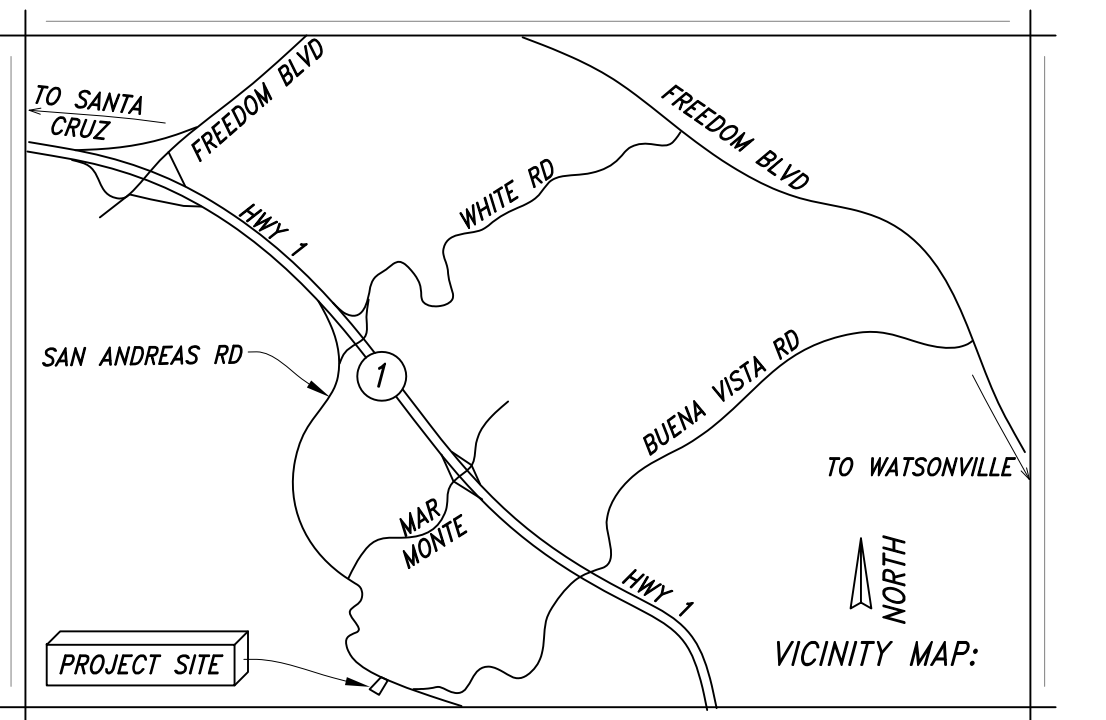
EXPANSION AREA: THE 100% EXPANSION WILL MATCH THE NEW LEACH TRENCH DESIGN; TWO 56 FT TRENCHES (448 SF)

APPLICABLE CURRENT CONSTRUCTION CODES:

NO CONSTRUCTION SHALL BE STARTED WITHOUT PLANS AND PERMITS APPROVED BY THE COUNTY. ALL PLANS AND CONSTRUCTION SHALL CONFORM TO THE FOLLOWING:

- * 2019 CALIFORNIA BUILDING CODE, VOLUMES 1 & 2
- * 2019 CALIFORNIA ELECTRICAL CODE
- * 2019 CALIFORNIA ENERGY CODE
- * 2019 CALIFORNIA FIRE CODE
- * 2019 CALIFORNIA GREEN BUILDING CODE
- * 2019 CALIFORNIA MECHANICAL CODE
- * 2019 CALIFORNIA PLUMBING CODE
- * 2019 CALIFORNIA REFERENCE STANDARDS
- * 2019 CALIFORNIA RESIDENTIAL CODE
- * TITLE 24 - CALIFORNIA STATE ENERGY & ACCESSIBILITY STANDARDS
- * CURRENT COUNTY ENVIRONMENTAL HEALTH SERVICES SEPTIC SYSTEM CRITERIA & REQUIREMENTS, INCLUDING L.A.M.P. CRITERIA
- * PLANS & RECOMMENDATIONS FROM THE SEPTIC SYSTEM DESIGN ENGINEER

SYSTEM MANUFACTURER:
MICROSEPTIC
MIKE SUNDBERG
775-354-3150
msundberg@microseptic.com



EXISTING UNDERGROUND FACILITY CAUTIONS:

AN EFFORT HAS BEEN MADE TO LOCATE UNDERGROUND UTILITIES IN THE CONSTRUCTION AREA. HOWEVER, ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN AND WHERE SHOWN IS APPROXIMATE. THE CONSTRUCTION CONTRACTOR IS RESPONSIBILITY FOR LOCATING OR HAVING LOCATED ALL UNDERGROUND UTILITIES AND FOR PROTECTING SAME DURING CONSTRUCTION. CONTACT UNDERGROUND SERVICE ALERT (U.S.A.) AT (WWW.USANORTH811.ORG) TWO WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.

ADDITIONAL NOTES AND DETAILS ARE SHOWN ON SHEET SS2

ELECTRICAL SERVICE MUST BE PROVIDED TO THE CONTROL PANEL; AND AT LEAST TWO 20A BREAKERS WILL BE NEEDED FOR THE ALARM & PUMPING SYSTEMS

REVISIONS		TOPOGRAPHIC SURVEY BY:		ENGINEER OF WORK:	
1		PROPERTY BOUNDARIES ARE TAKEN FROM RECORD DATA. TOPOGRAPHY, EXISTING AND PROPOSED IMPROVEMENTS TAKEN FROM SITE PLAN. PROVIDED BY PETER GUILLEY, DATED FEBRUARY 10, 2023. COUNTY GIS INFORMATION AND FIELD OBSERVATIONS.		ERIC J. GOBLER, P.E. LIC. #30438 P.O. BOX 474 MT. WATSON, CA. 95041 (805) 459-3268 CELL egcivlpe@gmail.com	
2		PROPRIETARY NOTES: THESE PLANS, SPECIFICATIONS AND DESIGNS ARE INSTRUMENTS OF WORK AND SERVICES PREPARED FOR THIS PROJECT BY ERIC J. GOBLER, CIVIL ENGINEERING. NO PART OF THESE PLANS SHALL BE USED IN PART OR IN WHOLE FOR ANY OTHER PROJECT UNLESS WRITTEN CONSENT IS OBTAINED FROM ERIC J. GOBLER, CIVIL ENGINEER.		PROJECT DESCRIPTION: DENNIS & DEANNA SMITH RESIDENCE 1127 SAN ANDREAS ROAD, WATSONVILLE PARCEL B, 39PM30, PORTION APTOS RANCHO; APN: 041-761-04	
3		SERVICE CONSULTANT: STEVE JOHNSON SJ PUMPS AND CONTROLS 25 CROW AVENUE CORRALITOS, CA 95073 (831) 335-4500 Steve53y@icloud.com		SHEET DESCRIPTION: SITE & SEPTIC SYSTEM UPGRADE PLAN PLAN #1 FEBRUARY 2023	
		ARCHITECTURAL DESIGN: PETER GUILLEY 831-566-3068 peterguly@sbeglobal.net		DESIGN/DRAWN: E.J.G. COUNTY PLAN CHECKER: [Signature] APPROVING ENGINEER FOR COUNTY REQUIREMENTS: [Signature] DATE: 2-16-2023	
		JOB NUMBER: 22-040 CO. PERMIT NUMBER: [Blank] CALIFORNIA COORDINATES: 36°55'21.03" N 121°50'36.26" W		DATE: 2-16-2023 DATE: [Blank]	

SEPTIC SYSTEM UPGRADE PLAN

DENNIS & DEANNA SMITH RESIDENCE

1127 SAN ANDREAS ROAD, WATSONVILLE

PARCEL B, 39PM30, PORTION APTOS RANCHO; APN: 041-761-04

CONSTRUCTION & MAINTENANCE NOTES:

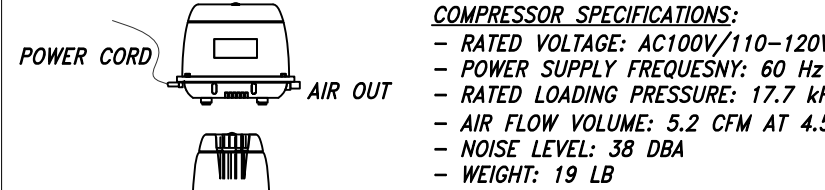
- THIS PROJECT REQUIRES INSTALLATION BY A QUALIFIED INSTALLER WITH MONITORING AND MAINTENANCE BY A QUALIFIED SERVICE PROVIDER.
- ALL MicroSepTec COMPONENTS AND CONTROL SYSTEMS FOR THE ES7.5 ENHANCED TREATMENT SYSTEM WILL BE PROVIDED BY GREEN TECHNOLOGIES SOLUTIONS (KEVIN GREEN 949-305-0651). NOT ALL COMPONENTS SHOWN ARE PART OF THE MicroSepTec PACKAGE; CONTRACTOR TO CONFIRM PRIOR TO BIDDING.
- ALL INSTALLATION SHALL CONFORM TO MANUFACTURERS SPECIFICATIONS. UPON INSTALLATION COMPLETION, THE CONTRACTOR SHALL PROVIDE WRITTEN CERTIFICATION THAT THE SYSTEM HAS BEEN INSTALLED IN CONFORMANCE TO THE MANUFACTURERS SPECIFICATIONS.
- SEPARATE ELECTRICAL SUPPLY AND BREAKERS ARE TO BE INSTALLED FOR THE PUMP AND ALARM SYSTEMS.
- CONNECTION TO THE NEW LEACH SYSTEM SHALL BE MADE IN CONFORMANCE TO DETAIL C ON SHEET SS2, ONCE APPROVED BY THE SANTA CRUZ COUNTY ENVIRONMENTAL HEALTH SERVICES.
- UPON COMPLETION ALL DISTURBED SOILS SHALL BE STABILIZED WITH PERMANENT LANDSCAPING, HYDROSEEDING or HAND SEEDING COVERED WITH 1" STRAW MULCH IN CONFORMANCE TO COUNTY ORDINANCE 7.38.130 S.
- ONGOING MONITORING AND MAINTENANCE SHALL MANAGED BY THE SERVICE PROVIDER AND MUST CONFORM TO ANY ADDITIONAL REQUIREMENTS SPECIFIED BY THE SANTA CRUZ COUNTY ENVIRONMENTAL HEALTH SERVICES.

ES7.5 INSTALLATION INSTRUCTIONS

- THE ENTIRE TREATMENT TANK SYSTEM MUST BE VISUALLY INSPECTED IN THE FIELD TO ENSURE NO DAMAGE HAS OCCURRED FROM SHIPPING AND HANDLING.
- IN ADDITION TO THE MANUFACTURER'S INSTRUCTIONS, THE INSTALLATION MUST COMPLY WITH ALL APPLICABLE BUILDING CODES.
- SHIP TANKS ON SUPPORT SADDLES PROVIDED.
- PLACE SADDLES NEAR EACH END OF TANK, DISTRIBUTING WEIGHT EVENLY.
- MOVE TANKS BY LIFTING, USING LIFTING LUGS PROVIDED. DO NOT REMOVE TANKS BY DRAGGING OR ROLLING OFF OF CARRIER. USE DOUBLE SLING WITH A MINIMUM OF 8" OF CABLE ON EACH SIDE FOR LIFTING. PLACE TANKS ON GROUND USING SADDLES PROVIDED, AND CHOCK BOTH SIDES OF TANK TO ENSURE IT WILL NOT ROLL IN WINDY CONDITIONS.
- RECOMMENDED LIFTING EQUIPMENT:
 - EXCAVATION EQUIPMENT THAT IS CAPABLE OF PRODUCING A LEVEL BOTTOM HOLE AND CAN PLACE BACKFILL MATERIAL AT ALL POINTS OF THE EXCAVATION
 - CRANE AND OR LIFTING EQUIPMENT THAT IS CAPABLE OF LIFTING AND PLACING TANKS AND ANCHORING DEVICES
 - TAPE MEASURE
 - SPIRIT LEVEL OR TRANSIT
 - TAMPING ROD
 - HAND SHOVELS
 - 8' LIFTING CHAIN OR SLING WITH HOOK ENDS. LARGER TANKS REQUIRE USE OF SPREADER BAR
 - SOIL COMPACTING EQUIPMENT.
- VISUAL INSPECTION:
 - ALL TANKS SHALL BE VISUALLY INSPECTED OVER THE ENTIRE VESSEL, PAYING PARTICULAR ATTENTION TO LOCATION OF SHIPPING CRADLES AND STRAPPING. INSPECT FOR THE FOLLOWING DEFECTS:
 - VISIBLE FRACTURES IN THE WALL OR RIBS.
 - DELAMINATING.
 - SCRATCHES, ABRASIONS, OR GAUGES EXTENDING MORE THAN 1/16" INTO THE LAMINATE OF THE FIBERGLASS.
 - STRESS CRACKS (FINE SPIDER WEB LIKE CRACKS DEEP INTO THE STRUCTURE).
- IF ANY DAMAGE IS PRESENT, THE TANK SHALL NOT BE INSTALLED UNTIL IT IS INSPECTED AND REPAIRED BY AN AUTHORIZED PERSON.
- BACKFILL SPECIFICATIONS:
 - THE CONTRACTOR, ENGINEER, ARCHITECT, OR OWNER SHALL DETERMINE IF A TRAFFIC-RATED INSTALLATION IS REQUIRED. EXCAVATION SIZE AND BACKFILL SPECIFICATIONS WILL DIFFER WHEN TANK IS INSTALLED TO MEET TRAFFIC RATING REQUIREMENTS, AS DETAILED ON SUBSEQUENT DRAWINGS.
 - THE TANK MUST BE INSTALLED WITH SPECIFIED PRIMARY BACKFILL ONLY IN THE REGION IMMEDIATELY AROUND THE TANK. THE PRIMARY BACKFILL MUST EXTEND A MINIMUM OF 12 INCHES ON SIDES AND ENDS. PRIMARY BACKFILL UNDER THE TANK IS TO BE A MINIMUM OF 12 INCHES.
- SPECIFIED BACKFILL MATERIALS:
 - PEA GRAVEL:
 - NATURALLY ROUNDED AGGREGATE WITH A PARTIAL SIZE OF NOT LESS THAN 1/4 INCH AND NOT GREATER THAN 3/4 INCH. GRAVEL MUST BE CLEAN AND FREE FLOWING, AND FREE FROM DEBRIS.
- SECONDARY BACKFILL SPECIFICATION:
 - SECONDARY BACKFILL CAN ONLY BE USED AT THE ABOVE-SPECIFIED DISTANCE FROM THE TANK WALLS. SECONDARY BACKFILL CAN BE USED AT MORE THAN 18 INCHES ABOVE TANK.
 - COURSE SAND OR GRAVEL:
 - COURSE SAND OR GRAVEL CONTAINING ROCKS NO LARGER THAN 1 1/2 INCHES.
 - BACKFILL SHALL BE CLEAN AND FREE FROM DEBRIS.
 - DURING PLACEMENT THIS BACKFILL MATERIAL MUST BE COMPACTED TO 95% RELATIVE COMPACTION. (AS MEASURED BY ASTM D1557 PROCEDURE)
 - SELECT NATIVE BACKFILL:
 - SELECT NATIVE BACKFILL CONTAINING ROCKS NO LARGER THAN 1 1/2 INCHES. THIS MATERIAL CAN BE USED OUTSIDE OF ABOVE NOTED DISTANCES FROM THE TANK.
 - DURING PLACEMENT THIS BACKFILL MATERIAL MUST BE COMPACTED TO 95% RELATIVE COMPACTION. (AS MEASURED BY ASTM D1557 PROCEDURE.)
- ALL BACKFILL MATERIAL MUST BE FREE OF ICE AND SNOW AT TIME OF INSTALLATION, AND SHALL NOT CONTAIN LUMPS OR FROZEN MATERIAL AT ANY TIME DURING INSTALLATION.
- USE OF BACKFILL AND BEDDING MATERIAL OTHER THAN THAT SPECIFIED ABOVE WITHOUT PRIOR WRITTEN APPROVAL WILL VOID TANK WARRANTY.
- FILTER FABRIC LINER:
 - IT IS GEOLOGIST, GEOTECHNICAL ENGINEER OR OTHER QUALIFIED PROFESSIONAL RESPONSIBILITY TO DETERMINE IF A FILTER FABRIC LINER IS REQUIRED. THE FILTER FABRIC PREVENTS THE MIXING OF PEA GRAVEL WITH NATIVE SOIL AND KEEPS THE BACKFILL STABLE.
- BEDDING AND BACKFILL INSTRUCTIONS FOR WET HOLE INSTALLATION:
 - PREPARE EXCAVATION ACCORDING TO REQUIRED SIZE AND DEPTH. LEVEL BOTTOM OF HOLE. INSTALL APPROPRIATE PUMPING EQUIPMENT AT SIDE OF EXCAVATION LOWER THAN INTENDED BOTTOM OF EXCAVATION. MAINTAIN WATER LEVEL AS LOW AS POSSIBLE. LEVEL BOTTOM OF HOLE USING PRIMARY BACKFILL MATERIAL.
- PLACEMENT OF TANK ANCHORS (NOT ANTICIPATED WITH THIS PROJECT):
 - PLACE TANK ANCHORS INTO EXCAVATION AT DESIRED DISTANCE APPROPRIATE FOR TANK DIAMETER. USE SETS OF CONCRETE DEADMEN DEPENDING ON THE LENGTH OF TANK. ALWAYS PROVIDE SUFFICIENT CLEARANCE TO ALLOW THE DEADMEN ANCHOR POINT TO BE SET OUTSIDE OF THE TANK "SHADOW". SEE STRUCTURAL DRAWINGS FOR DETAILS.

GENERAL NOTES:

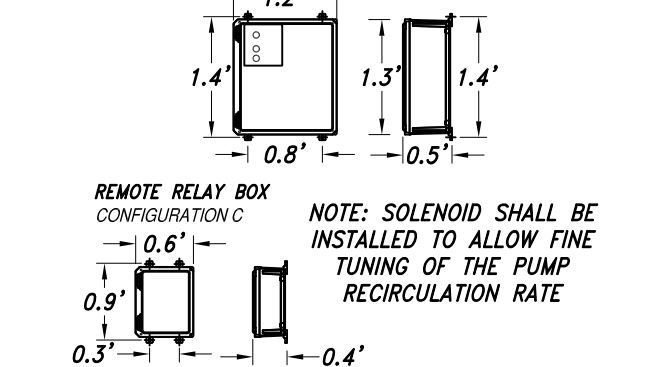
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, AND THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION AND SHALL TAKE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO, SHORING, BRACING, AND TEMPORARY EXCAVATIONS, AND SHALL BE IN ACCORDANCE WITH ALL STATE AND FEDERAL SAFETY REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS BEFORE STARTING WORK AND SHALL NOTIFY THE MANUFACTURER AND THE DESIGN ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- ALL OMISSIONS AND CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH WORK SO INVOLVED.
- ANY CONFLICTS ON THE DRAWINGS MUST BE RESOLVED WITH THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL DETERMINE THE LOCATION OF UTILITY SERVICES IN THE AREA TO BE EXCAVATED PRIOR TO BEGINNING EXCAVATION.
- NO PIPES, DUCTS, SLEEVES, CHASES, ETC. SHALL BE PLACED IN SLABS, BEAMS, OR WALLS UNLESS SPECIFICALLY SHOWN OR NOTED. NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS, OR OTHER ITEMS UNLESS OTHERWISE NOTED. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATION OF ANY ADDITIONAL PIPES, DUCTS, OR OTHER ITEMS. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR LOCATIONS.
- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE LOCAL BUILDING CODE AND SHALL COMPLY WITH AND BE INSTALLED IN ACCORDANCE WITH ALL THE REQUIREMENTS OF ALL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION, INCLUDING ALL COUNTY AND LOCAL ORDINANCES, AND THE SAFETY ORDERS OF THE STATE INDUSTRIAL ACCIDENT COMMISSION, OSHA.
- WHERE A SECTION OR TYPICAL DETAIL IS SHOWN FOR ONE CONDITION IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF MICROSEPTEC MANUFACTURING, LLC.
- ANY REFERENCE TO THE WORDS APPROVED, OR APPROVAL IN THESE DOCUMENTS SHALL BE HERE DEFINED TO MEAN GENERAL ACCEPTANCE OR REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND/OR HIS SUB-CONTRACTORS OF ANY LIABILITY IN FURNISHING THE REQUIRED MATERIALS OR LABOR SPECIFIED.
- CONCRETE SLAB-ON-GRADE HAS NOT BEEN DESIGNED FOR CONSTRUCTION LOADS OR SPECIFIC OCCUPANT SERVICE LOADS BY THE STRUCTURAL ENGINEER.
- VIBRATIONAL EFFECTS OF MECHANICAL EQUIPMENT HAVE NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER.
- THIS SHEET AND SUBSEQUENT DRAWINGS CONTAIN MANUFACTURER'S MINIMUM RECOMMENDATIONS ONLY. SPECIFICATIONS OF PROJECT STRUCTURAL ENGINEER SUPERCEDE THESE RECOMMENDATIONS.
- SEE ENGINEER'S SPECIFICATIONS AND ADDITIONAL REQUIREMENTS. OBSERVATION VISITS TO THE SITE BY THE STRUCTURAL ENGINEER SHALL NOT INCLUDE OBSERVATION OF SAFETY METHODS, BRACING, OR SUPPORT AND SHALL NOT BE CONSTRUED AS INSPECTION NOR APPROVAL OF CONSTRUCTION.



AIR COMPRESSOR - HIBLOW HP-150 N.T.S.

- COMPRESSORS SHOULD BE LOCATED IN A WELL-VENTILATED SHADY OR INDOOR PLACE.
- COMPRESSORS MUST BE ELEVATED OFF THE GROUND SO THAT SURFACE WATER CANNOT ENTER THE ELECTRICAL TERMINALS WITHIN THE COMPRESSOR.
- COMPRESSORS SHOULD BE LOCATED AS CLOSE TO THE TANK AS POSSIBLE. DO NOT EXCEED 50' DISTANCE FROM TANK.
- 1" SCH 80 PVC PIPE IS REQUIRED FOR PLUMBING THE COMPRESSOR(S) TO THE MIDDLE RISER; ONE PIPE PER COMPRESSOR.
- THE PIPE MUST SLOPE TOWARD THE TANK WITH NO LOW POINTS.
- COMPRESSORS MUST BE LOCATED AT THE SAME ELEVATION OR HIGHER THAN THE LID OF THE MIDDLE RISER.

ALARM CONTROL PANEL (MCPR-DP) CONFIGURATION B or C



LARGE CONTROLLER/ALARM PANEL PUMP SYSTEM - N.T.S.

CONFIGURATION B - AIRLINES FOR PRESSURE SWITCHES AND ALL CABLES FOR FLOATS, PUMP AND UP ROUTED DIRECTLY TO CONTROLLER, WHICH IS WITHIN 15 FEET OF 3RD RISER. (NO INTERMEDIATE JUNCTIONS)

CONFIGURATION C - AIRLINES FOR PRESSURE SWITCHES AND ALL CABLES FOR FLOATS, PUMP AND UP ROUTED DIRECTLY TO AN ABOVE-GROUND REMOTE RELAY BOX, WHICH IS WITHIN 15 FEET OF 3RD RISER.

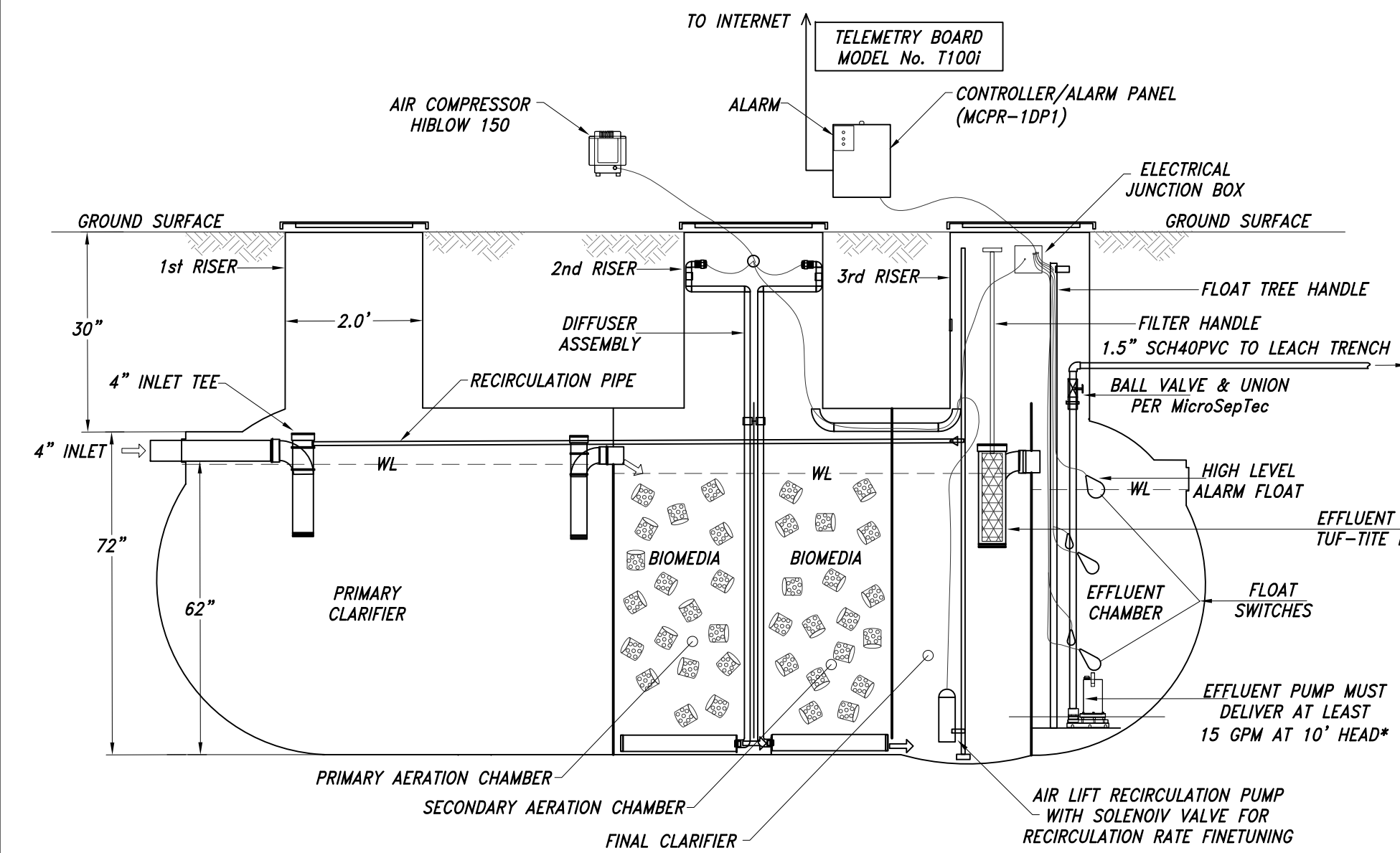
MICROSEPTEC ES7.5 ENHANCED TREATMENT SYSTEM

DETAIL A.0 - N.T.S.

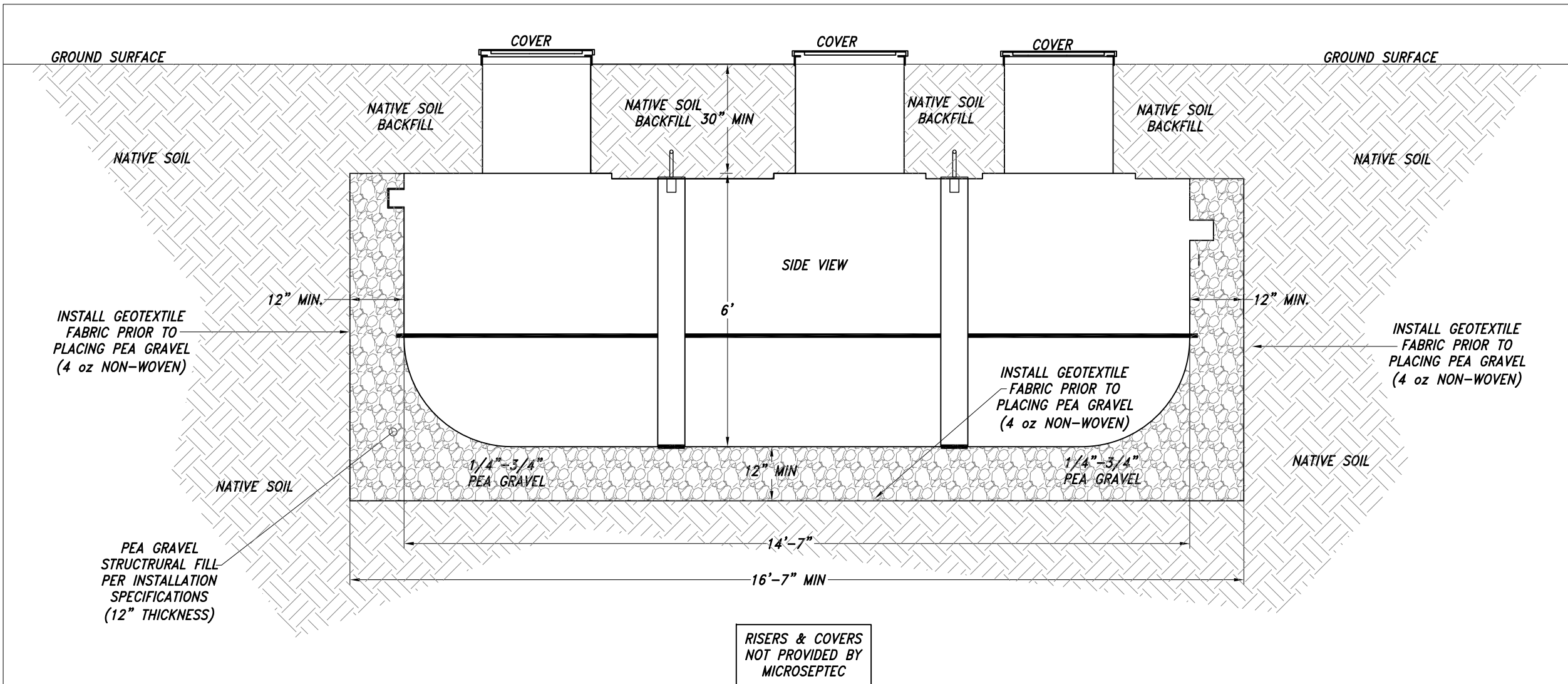
(MST ES7.5 BASE ASSEMBLY)
(MST ES CONFIGURATION SVR)



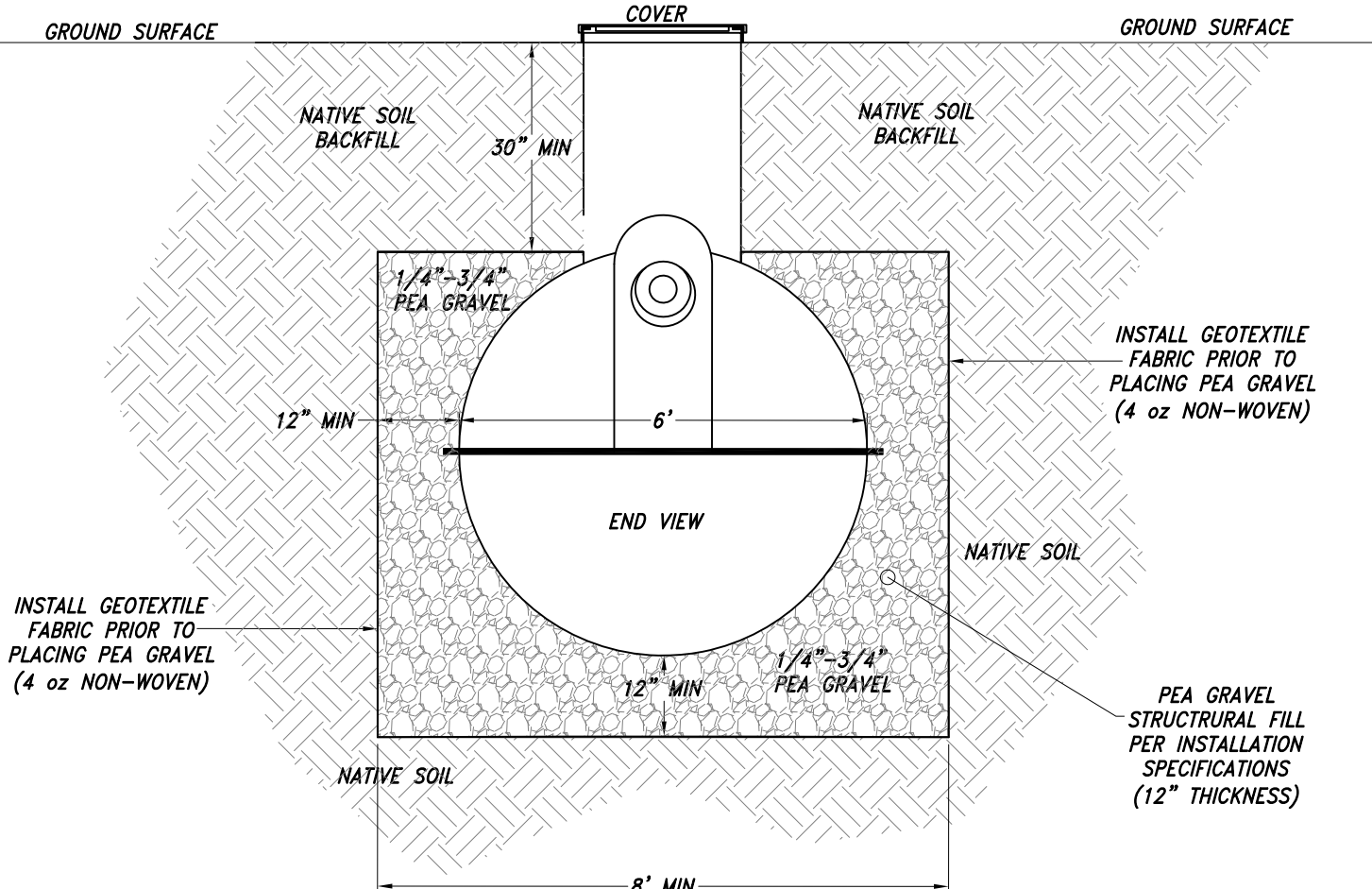
*ZOLLER EFFLUENT PUMP, MODEL N137 or EQUIVALENT



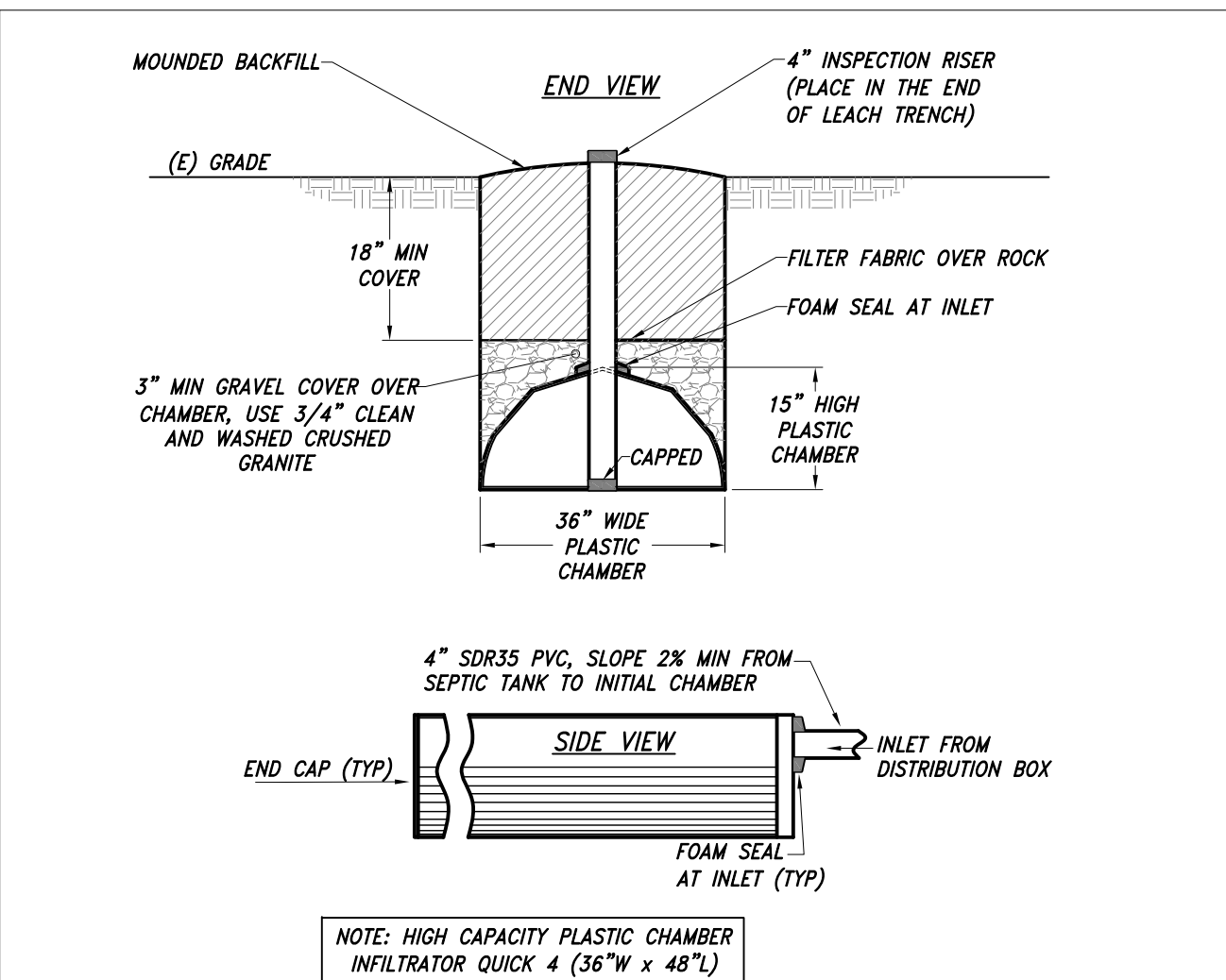
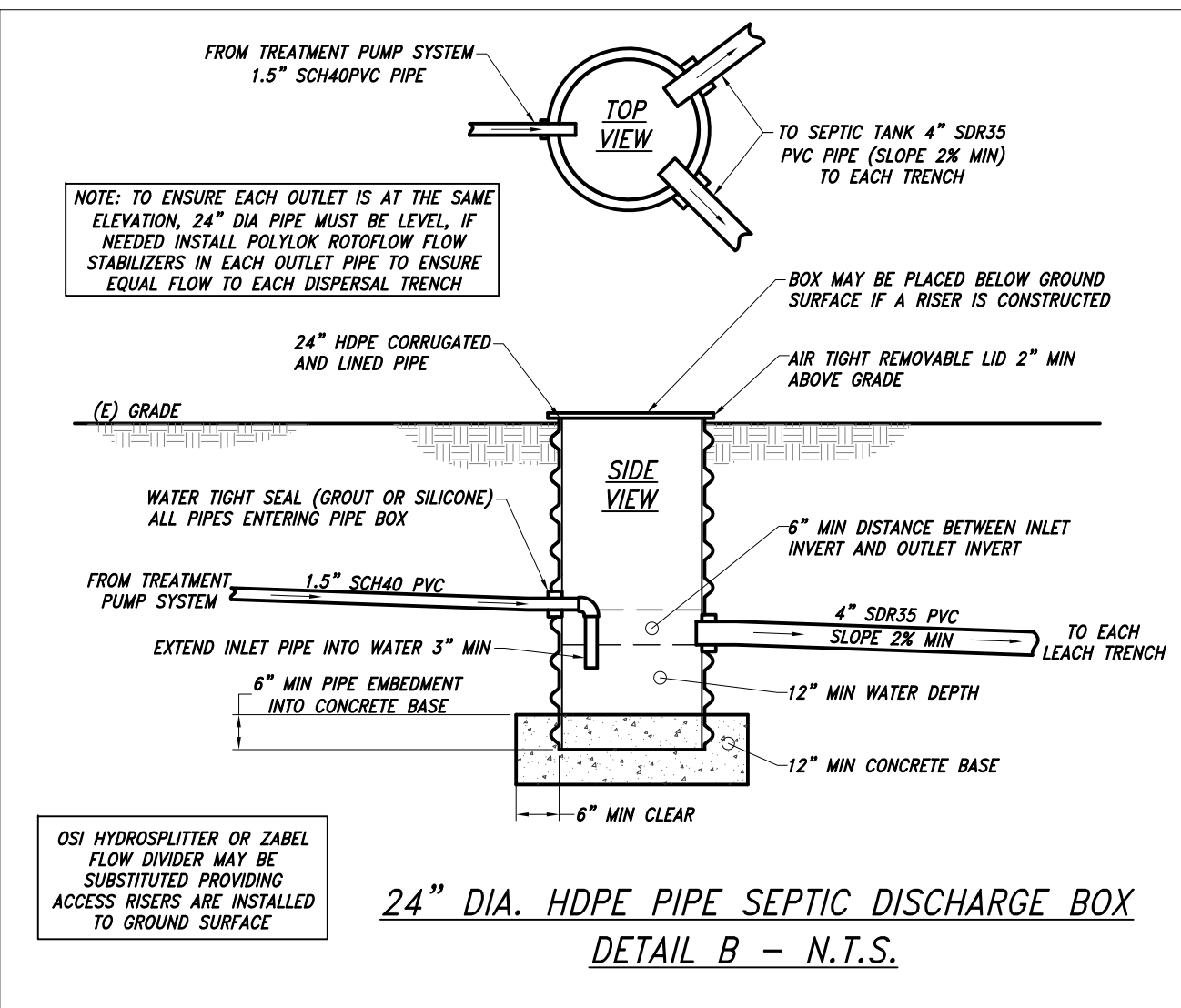
SEE DETAIL B FOR ANCHOR DETAILS



- NOTES:
- THE DESIGNED TANK BURY DEPTH IS 2' TO 6'. ANY TANK BURIED BEYOND THAT RANGE NEEDS TO BE ANALYZED BY A QUALIFIED CIVIL OR GEOTECHNICAL ENGINEER.
 - THE GEO TEXTILE FABRIC IS TO BE INSTALLED, BUT AN ANCHOR SYSTEM IS NOT REQUIRED.
 - GEOLOGIST or SOILS CONSULTANT SHOULD DETERMINE IF CORROSIVE RESISTANT MATERIAL SHOULD BE USED IN ANY STEEL PARTS EXPOSED IN THE SOIL.
 - THE MIDDLE THREE CHAMBERS SHOULD NEVER BE PUMPED DRY, ESPECIALLY IN A HIGH-WATER CONDITION.
 - RISERS, LIDS AND TRAFFIC-RATED COVERS ARE NOT SUPPLIED BY MicroSepTec.
 - THE CONTRACTOR TO PROVIDE ADDITIONAL PLUMBING FOR ANY BURIAL GREATER THAN 4 FEET.
 - VERTICAL CUT FOR TANK PLACEMENT MAY BE MADE PROVIDING INSTALLATION CAN BE PERFORMED SAFELY.



MICROSEPTEC ENHANCED TREATMENT SYSTEM INSTALLATION DETAIL A.1 - N.T.S.



HIGH CAPACITY PLASTIC LEACHFIELD CHAMBER

DETAIL C - N.T.S.

TREATMENT SYSTEM DISTRIBUTOR:
GREEN TECHNOLOGIES SOLUTIONS, INC.
23362 MADERO, SUITE C
MISSION VIEJO, CA 92691
KEVIN GREEN
949-305-0651
kevin@gtsinc.com

SERVICE CONSULTANT:
STEVE JOHNSON
SJ PUMPS AND CONTROLS
25 CROW AVENUE
CORRALITOS, CA 95073
(831) 335-4500
Steve53@icloud.com

SYSTEM MANUFACTURER:
MICROSEPTEC
MIKE SUNDBERG
775-354-3150
msundberg@microseptic.com

OWNER:
DENNIS & DEANNA SMITH
1127 SAN ANDREAS ROAD
WATSONVILLE, CA 95076
831-247-7333
foursmiths@gmail.com

DESIGN CONSULTANT:
ERIC J. GOBLER, PE
P.O. BOX 474
MT HERMON, CA 95041
805-459-3268
egcville@gmail.com

REVISIONS

1	
2	
3	

PROPRIETARY NOTES:
THESE PLANS, SPECIFICATIONS AND DESIGNS ARE INSTRUMENTS OF WORK AND SERVICES PREPARED FOR THIS PROJECT BY ERIC J. GOBLER, CIVIL ENGINEERING. NO PART OF THESE PLANS SHALL BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT UNLESS WRITTEN CONSENT IS OBTAINED FROM ERIC J. GOBLER, CIVIL ENGINEER.

ENGINEER OF WORK:

ERIC J. GOBLER, P.E.
LIC. #C30438
P.O. BOX 474
MT HERMON, CA 95041
(805) 459-3268 CELL
egcville@gmail.com

PROJECT DESCRIPTION:

DENNIS & DEANNA SMITH RESIDENCE
1127 SAN ANDREAS ROAD, WATSONVILLE
PARCEL B, 39PM30, PORTION APTOS RANCHO; APN: 041-761-04

SHEET DESCRIPTION:

DESIGN/DRAWN: EJV
JOB NUMBER: 22-040
CALIFORNIA COORDINATES: 36°55'21.03" N

COUNTY PLAN CHECKER:

APPROVING ENGINEER FOR COUNTY REQUIREMENTS: EJV
DATE: 2-16-2023

NOTES AND DETAILS

DATE: 2-16-2023
DATE: 2-16-2023
DATE: 2-16-2023

PLAN #1

FEBRUARY 2023

DATE:

2-16-2023

SHEET:

SS2

FOR TAX PURPOSES ONLY

THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
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Electronically redrawn 2/16/00 KSA
Rev. 5/30/01 mvm (changed page refs)
Rev. 1/16/03 mvm (change R/W 1.06 as per 1837/682)
Rev. 10/29/03 CB (Removed Ease 1-05)
Rev. 3/20/17 Jg (123RS21)

POR. SAN ANDREAS RANCHO
SECS. 3, T.12S. & T.12S., R.1E., M.D.B. & M.

Tax Area Code
69-278

46-26

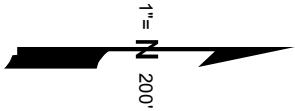
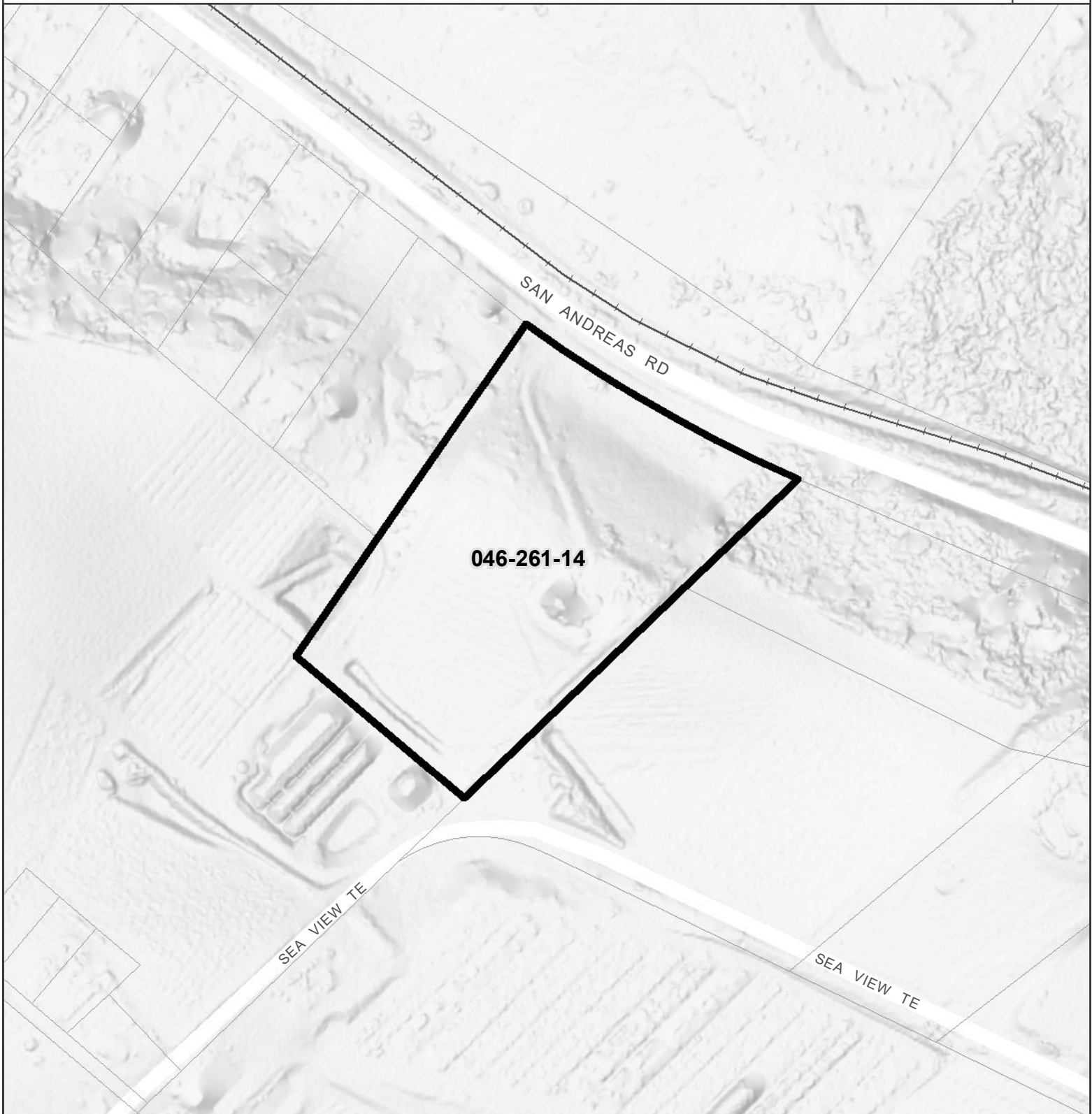


EXHIBIT E



Assessor's Map No. 46-26
County of Santa Cruz, Calif.
Feb. 2000

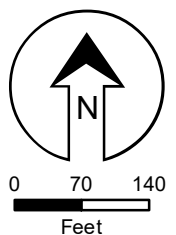


Parcel Location Map



Parcel: 04626114

-  Study Parcel
-  Assessor Parcel Boundary

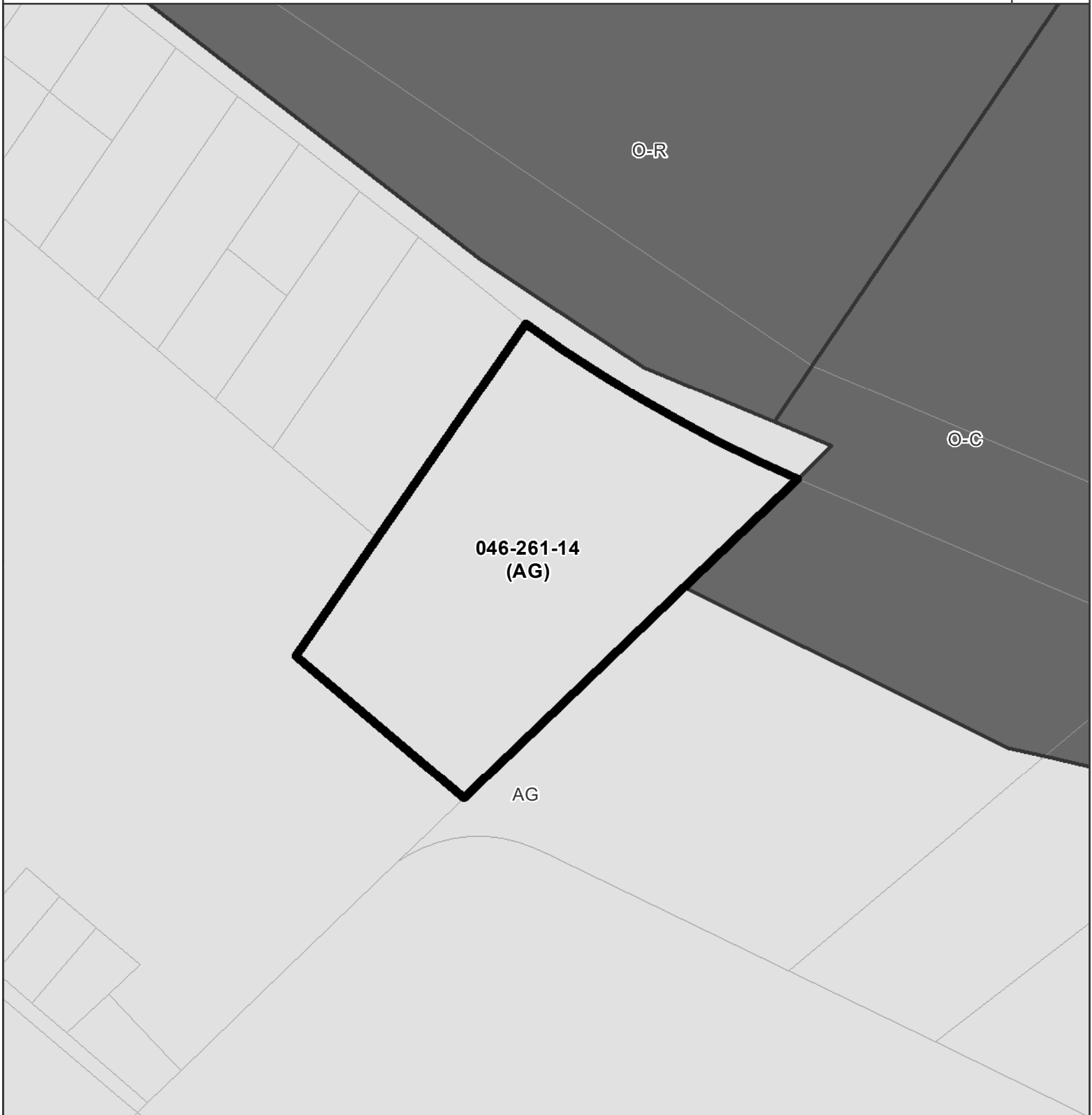




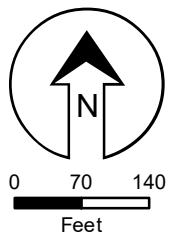
Parcel General Plan Map



Mapped
Area



- AG *Agricultural*
- O-C *Resource Conservation*
- O-R *Parks, Recreation & Open Space*

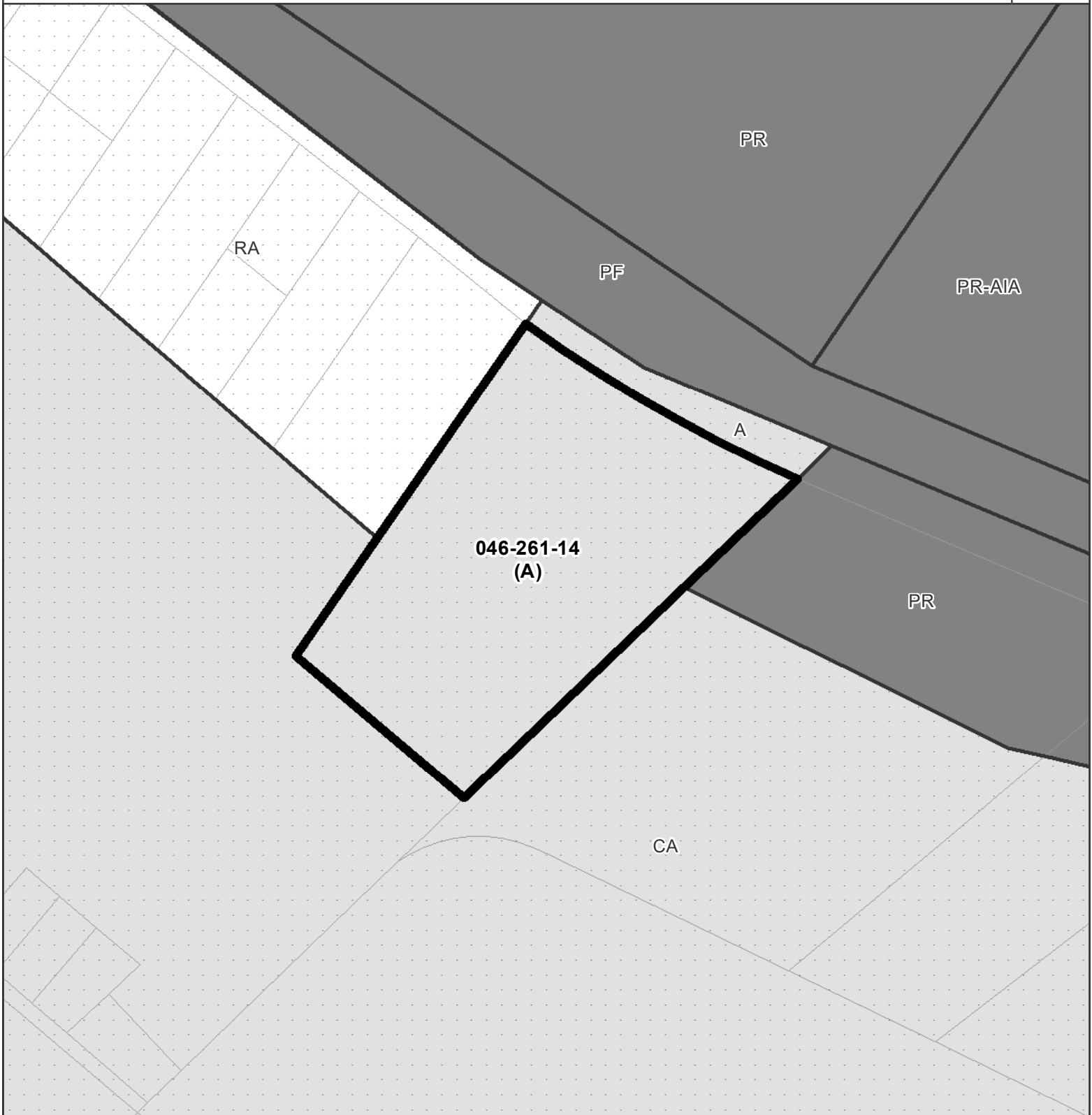




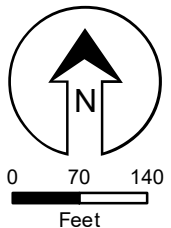
Parcel Zoning Map



Mapped
Area



-  A Agriculture
-  CA Commercial Agriculture
-  RA Residential Agricultural
-  PF Public/Community Facilities
-  PR Parks, Recreation, & Open Space



Agricultural Resources



June 9, 2023

Parcels

□ Parcels

Ag Resource Area

■ AG-1A

■ AG-1B



AG-2A



AG-2B



AG-2C



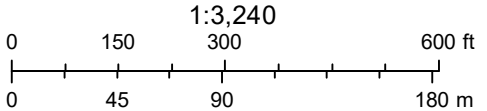
AG-2D



AG-3



AG-PRES



County of Santa Cruz

Topography



June 9, 2023

Parcel APN labels

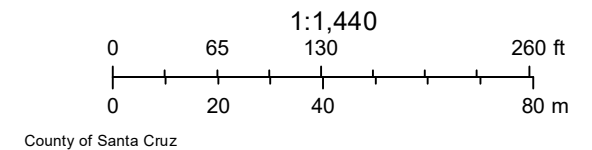
Parcels



Parcel APN labels



Parcels



County of Santa Cruz

Parcel Information

Services Information

Urban/Rural Services Line: ___ Inside X Outside
Water Supply: San Andreas Mutual Water Company
Sewage Disposal: Septic
Fire District: Central (Aptos/La Selva) Fire Protection District
Drainage District: None

Parcel Information

Parcel Size: 5.7 acres
Existing Land Use - Parcel: Rural residential homesite
Existing Land Use - Surrounding: Rural residential, commercial agriculture
Project Access: San Andreas Road
Planning Area: San Andreas
Land Use Designation: AG (Agriculture)
Zone District: A (Agriculture)
Coastal Zone: X Inside ___ Outside

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Fire Hazard: Not a mapped constraint
Slopes: 3-5% at building site, up to 15-30% in other portions of property
Env. Sen. Habitat: Potential Santa Cruz Long Toed Salamander habitat
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Mapped scenic resource - San Andreas Road viewshed
Archeology: Not mapped/no physical evidence on site