



Staff Report to the Agricultural Policy Advisory Commission

Application Number: **231026**

Applicant: LeiLani Vevang

Date: November 16, 2023

Owner: Stacey

Agenda Item #: 8

APN: 046-231-71

Time: 1:30 p.m.

Address: 175 Palm View Lane, La Selva Beach

Project Description: Proposal to remodel and construct additions of approximately 650 square feet to an existing two story single family dwelling with an attached garage and recognize conversion of an attached habitable accessory structure (approximately 1,110 square feet) to an Accessory Dwelling Unit.

Location: Property located at 175 Palm View Lane in La Selva Beach.

Permits Required: Agricultural Buffer Setback Reduction

Staff Recommendation:

- Recommend Approval of Application 231026 to the Zoning Administrator, based on the attached findings and conditions.

Analysis and Discussion

The proposed project is to remodel and expand an existing single-family dwelling with additions of approximately 650 square feet and to recognize conversion of an attached habitable accessory structure (approximately 1,110 square feet) to an Accessory Dwelling Unit (ADU) on a parcel approximately one acre in size. The project is located at 175 Palm View Lane in La Selva Beach. The building site is within 200 feet of Commercial Agriculture zoned land to the northwest and northeast. The applicant is requesting a reduction in the 200 foot agricultural buffer setback to 34 feet from APN 046-251-08 to the single family dwelling and to 38 feet from APN 046-251-17 to the existing attached habitable accessory structure proposed to be converted to an ADU.

The subject property is characterized by topography sloping down to the west. The parcel is located outside of the Urban Services Line and can be characterized as a rural residential neighborhood with commercial agricultural uses in the surrounding area. The parcel is located within the AG (Agriculture) General Plan designation and the implementing zone district is RA (Residential Agriculture). Commercial Agriculture zoned land is situated within 200 feet at the north side of the parcel at Assessor's Parcel Number(s) 046-251-08 & 046-251-17.

A reduced agricultural buffer is recommended due to the fact that the narrow width of the property (at approximately 180 feet in width) would not allow sufficient building area if the required 200 foot setback was maintained from the adjacent Commercial Agriculture zoned properties and the existing habitable structures are already located within the 200 foot setback. The applicant is

proposing an evergreen hedge of landscape plantings along the existing fence line to reduce the impact of agricultural activities on the residential use, and to therefore protect the agricultural interests on the Commercial Agriculture zoned parcel(s). The applicant will also be required to record a Statement of Acknowledgement regarding the issuance of a building permit in an area determined by the County of Santa Cruz to be subject to Agricultural-Residential use conflicts.

Recommendation

- Staff recommends that your Commission **RECOMMEND APPROVAL** of the Agricultural Buffer Setback Reduction proposed under Application 231026, to the Zoning Administrator, based on the attached findings and recommended conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

Report Prepared By: Randall Adams
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Report Reviewed By: Jocelyn Drake
Assistant Director
Development Review

Exhibits

- A. Findings
- B. Conditions
- C. Project plans
- D. Assessor's, Location, Zoning and General Plan Maps
- E. Parcel information

**Required Findings for Agricultural Buffer Setback Reduction
County Code Section 16.50.095(D)**

1. Significant topographical differences exist between the agricultural and non-agricultural uses which eliminates or minimizes the need for a 200 foot agricultural buffer setback; or
2. Permanent substantial vegetation (such as a Riparian Corridor or Woodland protected by the County's Riparian Corridor or Sensitive Habitat Ordinances) or other physical barriers exist between the agricultural and non-agricultural uses which eliminate or minimize the need for a two hundred (200) foot agricultural buffer setback; or
3. A lesser setback is found to be adequate to prevent conflicts between the non-agricultural development and the adjacent agricultural development and the adjacent agricultural land, based on the establishment of a physical barrier (unless it is determined that the installation of a barrier will hinder the affected agricultural use more than it would help it, or would create a serious traffic hazard on a public or private right of way) or the existence of some other factor which effectively supplants the need for a two hundred (200) foot agricultural buffer setback; or
4. The imposition of a two hundred (200) foot agricultural buffer setback would preclude building on a parcel of record as of the effective date of this chapter, in which case a lesser buffer setback distance may be permitted, provided that the maximum possible setback distance is required, coupled with a requirement for a physical barrier (e.g. solid fencing and/or vegetative screening) to provide the maximum buffering possible, consistent with the objective of permitting building on a parcel of record.

This finding can be made, in that the subject property is less than 200 feet wide and the existing residential development is located within the 200 foot agricultural buffer setback from APN(s) 046-251-08 & 046-251-17. The proposed addition and conversion of the existing habitable accessory structure into an accessory dwelling unit would not further reduce the existing agricultural buffer setback for the existing residential structures and evergreen vegetation is proposed along the existing fence line to provide an agricultural buffer barrier.

Conditions of Approval

- I. This permit authorizes an Agricultural Buffer Setback as indicated on the approved Exhibit "C" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit, including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit and Grading Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "C" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "C" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. A development setback of a minimum of 34 feet from the single-family dwelling addition to the adjacent Commercial Agriculture zoned parcel APN 046-251-08.
 3. A development setback of a minimum of 38 feet from the existing attached habitable accessory structure proposed to be converted to an ADU to the adjacent Commercial Agriculture zoned parcel APN 046-251-17.
 4. Final plans shall show the location of the vegetative buffering barrier (and any fences/walls used for the purpose of buffering adjacent agricultural land) which shall be composed of drought tolerant shrubbery. The shrubs utilized shall attain a minimum height of six feet upon maturity. Species type, plant sizes and spacing shall be indicated on the final plans for review and approval by Santa Cruz County Planning staff.

5. A Water Efficient Landscape Plan prepared in accordance with the requirements of the Water Efficient Landscape Ordinance (County Code Chapter 13.13) by a certified/licensed landscape architect, landscape contractor, civil engineer, landscape irrigation designer, landscape irrigation auditor, or water manager. WELO-exempt projects, residential projects of up to two units, or landscapes where at least 30% of the water use is provided by graywater, recycled water or captured rainwater may provide either a signed Water Efficient Landscape Checklist or a Water Efficient Landscape Plan.
 - a. Any landscape plan submitted to comply with SCCC Ch. 13.13 shall include a Water Efficient Landscape Plan Submittal Compliance Statement.
 - B. The owner shall record a Statement of Acknowledgement, as prepared by Santa Cruz County Planning, and submit proof of recordation to Santa Cruz County Planning. The statement of Acknowledgement acknowledges the adjacent agricultural land use and the agricultural buffer setbacks.
- III. All construction shall be performed according to the approved plans for the building permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. The agricultural buffer setbacks shall be met as verified by the County Building Inspector.
 - B. The required vegetative and/or physical barrier shall be installed. The applicant/owner shall contact Santa Cruz County Planning's Agricultural Planner, a minimum of three working days in advance to schedule an inspection to verify that the required barrier (vegetative and/or other) has been completed.
 - C. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official and/or the County Senior Civil Engineer.
- IV. Operational Conditions
- A. The vegetative and physical barrier shall be permanently maintained.
 - B. All required Agricultural Buffer Setbacks shall be maintained.
 - C. A Landscape Installation Certificate prepared in accordance with the Water Efficient Landscape Ordinance (County Code Chapter 13.13) shall be provided.
 - D. In the event that future County inspections of the subject property disclose non-compliance with any Conditions of this Approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The "applicant/owner" shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor Variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below or if additional discretionary permits are required for the above permitted project, this permit

shall expire on the same date as any subsequent approved discretionary permit(s) unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Agricultural Policy Advisory Commission under the provisions of County Code Chapter 16.50, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code.

PROJECT DATA

APN. 046-231-71

LOCATION:

175 Palm View Ln. La Selva Beach, Ca. 95076

OWNERS:

Robert Michellie & Karen Stacey Michellie
175 Palm View Ln.
La Selva Beach, Ca. 95076

PROPOSAL:

To remodel an existing 2,870 sq.ft. 3 Bed, 3 Bath SFR resulting in a 3,521 sq.ft. 4 Bed, 4 Bath SFR. Additionally, we will be converting an existing attached 1,113 sq.ft. 2 Bedroom 2 bath guest quarters, laundry, & attached 1 car garage into a 1,113sq.ft 2 Bedroom 2 bath ADU with an attached 1 car garage. This is also, a proposal to recognize a conversion of a structure to an ADU that has already occurred.

SIGHT STATISTICS

ASSESSORS PARCEL NUMBER:

APN. 046-231-71

ZONING:

RA

LOT AREA:

46,923.06 SQUARE FEET = 1.0772 ACRE

LOT COVERAGE: (Existing)

4235.38 sq.ft. = .09 %

LOT COVERAGE: (Proposed)

4,923 sq.ft. = .0993%

MAX PARCEL COVERAGE:

10% = 4,692.3 sq.ft.

AREA CALCULATIONS:

	(E) EXISTING	(P) PROPOSED	(T) TOTAL
HEATED BASEMENT FLOOR	627 sq.ft.	906 sq.ft.	906 sq.ft.
HEATED 1ST FLOOR	1,460 sq.ft.	1,580 sq.ft.	1,580 sq.ft.
HEATED 2ND FLOOR	783 sq.ft.	1,035 sq.ft.	1,035 sq.ft.
TOTAL HEATED (Main House only)	2,870 sq.ft.	3,521 sq.ft.	3,521 sq.ft.
A.D.U CONVERSION	1,113 sq.ft.	1,113 sq.ft.	1,113 sq.ft.
TOTAL HEATED (with A.D.U.)	3,983 sq.ft.	4,634 sq.ft.	4,634 sq.ft.

UN-HEATED COVERED AREAS

	(E) EXISTING	(P) PROPOSED	(T) TOTAL
GARAGE (Main House)	980 sq.ft.	744 sq.ft.	744 sq.ft.
GARAGE (ADU)	282 sq.ft.	282 sq.ft.	282 sq.ft.
STORAGE SHED	180 sq.ft.	180 sq.ft.	180 sq.ft.
PUMP HOUSE	28 sq.ft.	28 sq.ft.	28 sq.ft.
ADU LAUNDRY SHED	23 sq.ft.	23 sq.ft.	23 sq.ft.
MECHANICAL ROOM	30 sq.ft.	30 sq.ft.	30 sq.ft.

TOTAL UN-HEATED SPACE=

1,523 sq.ft.

1,287 sq.ft.

1,287 sq.ft.

NEW HEATED MAIN HOUSE sq. ft.=

651 sq.ft.

COVERED DECKS LOCATED ON 2ND FLOOR sq.ft. =

195 sq.ft.

UN-COVERED DECKS. =

903 sq.ft.

OFF STREET PARKING :

COVERED PARKING:

UNCOVERED PARKING :

3 SPACES

4+ SPACES

EXTERIOR HOUSE "SPEC"

ROOFING :

COLOR:

STANDING SEAM SNAP LOCK, CLASS A METAL ROOFING

CHARCOAL GREY, MATT

SIDING :

COLOR:

A) STUCCO: SAND FINISH, 3-COAT SYSTEM, 7/8" MIN. THICK.
KELLY MOORE LOW VOC SWISS COFFEE-WHITE

B) WOOD SIDING BOARD AND BATTEN:
5/8" RESAWN PLYWD. w/ 1x3 R.SAWN BATTENS @ 8" o.c.
CABOT: LOW VOC SEMITRANSSPARENT STAIN, "CHESTNUT BROWN"

COLOR:

TRIM:

COLOR:

KNEE BRACES AND WINDOW TRIM IN FIR

CABOT: LOW VOC SEMI TRANSPARENT STAIN, "DARK BROWN"

COLOR:

WINDOWS:

COLOR:

ANDERSON: WOOD CLAD

MATT BLACK, CLAD

CONSULTANTS

BUILDING DESIGNER:

Kevin & Leilani Vevang RESIDENTIAL DESIGN (831)331-5402
P.O.Box 1315 Penn Valley, Ca. 95946

STRUCTURAL ENGINEER:

Don Blessen Engineering (916)985-3594
301 Natoma Street #106 Folsom, Ca. 95630

LAND SURVEYOR:

Roper Engineering (831)724-5300
Civil Engineering & Land Surveying
48 Main Ave Corralitos, Ca. 95076

IMPERVIOUS SURFACE CALCULATIONS			
IMPERVIOUS SURFACE CALCULATIONS:	(E) EXISTING	(P) PROPOSED	(T) TOTAL
TOTAL HOUSE FOOTPRINT WITH TILE DECKS & ALL CANTILEVERS	4,197 sq.ft.	4,899 sq.ft.	4,875 sq.ft.
(E) SHED DRIVEWAY, CONC. DRAINAGE SWALE WALKWAYS ON SOUTH SIDE OF HOUSE	180 sq.ft.	180 sq.ft.	180 sq.ft.
	7,730 sq.ft.	7,730 sq.ft.	7,730 sq.ft.
CONC. BACK WALKWAY SLAB	382 sq.ft.	382 sq.ft.	382 sq.ft.
CONC. WALKWAY AT SHED	48 sq.ft.	48 sq.ft.	48 sq.ft.
CONC. SLAB AT WEST SIDE	266 sq.ft.	0 sq.ft.	0 sq.ft.
STONE WALKWAY AT EAST SIDE	350 sq.ft.	350 sq.ft.	350 sq.ft.
TOTALS =	13,153 sq.ft.	13,589 sq.ft.	13,589 sq.ft.
PROPOSED IMPERVIOUS TOTAL =			13,589 sq.ft.
NEW IMPERVIOUS AREA =			436 sq.ft.

SHEET	INDEX
A0.1	TITLE PAGE & NOTES
A1.0	SITE PLAN/ DRAINAGE PLAN
A1.1	LANDSCAPE PLAN WITH AGRICULTURAL BUFFER SETBACKS
A2.0	EXISTING & PROPOSED SOUTH ELEVATIONS
A2.1	EXISTING & PROPOSED NORTH ELEVATIONS
A2.2	EXISTING & PROPOSED EAST & WEST ELEVATIONS
A3.0	EXISTING BASEMENT FLOOR PLAN
A3.1	EXISTING 1 ST & 2ND FLOOR PLANS
A3.2	PROPOSED BASEMENT FLOOR PLAN
A3.3	PROPOSED 1ST FLOOR PLAN
A3.4	PROPOSED 2ND FLOOR PLAN, WINDOW & DOOR SCHEDULES
A4.0	CROSS SECTIONS
A4.1	CROSS SECTIONS
A4.2	CROSS SECTIONS
C1.0	DETAILS
T1	TOPOGRAPHICAL SURVEY WITH EASEMENTS (Roper Eng.)
T2	ROOF GRADES BY SURVEYOR (Roper Eng.)

LOCATE MAP

DEFERRED SUBMITTAL ITEMS

ROOF TRUSS DESIGN:

FINAL TRUSS DESIGN DRAWINGS BY TRUSS CO. ARE TO BE SUBMITTED TO THE CITY AS A DEFERRED SUBMITTAL. NOTE THAT PROJECT ENGINEER IS TO REVIEW AND APPROVE THE TRUSS DESIGNS PRIOR TO SUBMITTING THEM TO THE CITY AS A DEFERRED SUBMITTAL.

FIRE SPRINKLERS:

FINAL DESIGN DRAWINGS FOR FIRE SPRINKLERS. ARE TO BE SUBMITTED TO THE CITY AS A DEFERRED SUBMITTAL.

HVAC:

FINAL DESIGN DRAWINGS FOR THE HEATING SYSTEM. ARE TO BE SUBMITTED TO THE CITY AS A DEFERRED SUBMITTAL.

CALIFORNIA ENERGY CODE REQUIREMENTS-TITLE 24

2016 ENERGY FORMS SHALL BE INCORPORATED INTO THE DRAWINGS. INDICATE SPECIFIC ITEMS ON APPROPRIATE PLAN PAGES. ALL SIGNATURE BLOCKS AND FORMS MUST BE SIGNED. THE CF1R-NCB-01-E FORM SHALL HAVE A REGISTRATION NUMBER.

ENERGY COMPLIANCE SOFTWARE USED SHALL BE AN APPROVED VERSION OF 2016 STANDARDS

FIRE NOTES:

ALL CONSTRUCTION IS TO COMPLY WITH CALIFORNIA BUILDING & FIRE CODES (2019) & DISTRICT AMENDMENTS.

OCCUPANCY R-3

TYPE: VB

NON SPRINKLERED

FIRE HYDRANT IS LOCATED AT THE FRONT OF PROPERTY 80' FROM STRUCTURE ON PALM VIEW LN.

WATER PRESSURE IS AROUND 8LBS

WATER PROVIDED BY SAN ANDREAS MUTUAL WATER COMPANY.

ALL CONSTRUCTION TO COMPLY WITH CALIFORNIA (2019) BUILDING & FIRE CODES AND DISTRICT AMENDMENTS.

ROOF COVERINGS MIN. CLASS "B" OR BETTER

THE CHIMNEY OF ALL WOOD BURNING APPLIANCES SHALL HAVE APPROVED SPARK ARRESTERS MADE OF METAL OR WIRE MESH OF MIN. 16 GA. WITH 1/2" MAX. OPENINGS.

MAINTAIN 30' OF NON-COMBUSTABLE VEGETATION AROUND ALL STRUCTURES.

ROOF COVERINGS MIN. CLASS "B" OR BETTER

PROVIDE 4" IN HT. MIN. ADDRESS NUMBERS WITH CONTRASTING COLORS VISIBLE FROM STREET

EROSION CONTROL NOTES:

Measures shall be employed during construction phases to protect exposed soils from erosion.

Site development shall be fitted to the topography and soil so as to create the least potential for erosion.

Vegetation removal shall be limited to that amount necessary and as indicated on approved erosion control plans.

As the permanent vegetation cover is maturing, temporary vegetation, sufficient to stabilize the soil, shall be established on all disturbed areas as needed and as each stage of grading is completed. New planting shall be protected by using jute netting, mulching, fertilizing, and irrigation.

Protection of tree crowns and root zones shall be required for all trees planned for retention.

Land shall be developed in increments of workable size which can be completed in a single construction season. Erosion and sediment control measures shall be coordinated with a sequence of grading, development, and construction operations. Erosion control measures shall be put into effect prior to the commencement of the next increment period.

All on-site erosion-control facilities, both temporary and permanent, shall be properly maintained by the owners so that they do not become nuisances with stagnant water, odors, insect breeding heavy algae growth, debris, and/or safety hazards.

GENERAL NOTES

1. ALL WORK ON THIS PROJECT SHALL COMPLY WITH THE 2016 CRC,CMC,CEC,CPC,CGBSC AND 2016 CALIFORNIA ENERGY CODE. IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND THE REQUIREMENTS OF THE REFERENCED STANDARDS OF THESE NOTES, THE PROVISIONS OF THE MORE STRINGENT SHALL GOVERN.

2. THE CONTRACTOR SHALL VERIFY ALL THE INFORMATION IN THE DRAWINGS AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCY PRIOR TO ORDERING MATERIALS OR COMMENCING WITH WORK. THE CONTRACTOR SHALL VISIT THE SITE AND SHALL NOTIFY THE DESIGNER IF THERE ARE ANY OBSERVED DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS.

3. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK EXCEPT THOSE ITEMS NOTED AS N.I.C. (NOT IN CONTRACT). IF HIDDEN OR UNUSUAL SITUATIONS ARE ENCOUNTERED DURING CONSTRUCTION, WHICH COULD NOT HAVE BEEN FORESEEN PRIOR TO CONSTRUCTION, NOTIFY THE DESIGNER BEFORE PROCEEDING WITH WORK.

4. THE CONTRACTOR SHALL NOT ENCUMBER ANY PUBLIC OR PRIVATE PROPERTY OTHER THAN THE SITE WITHOUT ENCROACHMENT PERMITS OR WRITTEN PERMISSION FROM THE OWNERS OF THE PROPERTY TO BE ENCUMBERED.

5. THE CONTRACTOR SHALL PROVIDE FENCING, BARRICADES, WARNING SIGNS/SIGNAL OR OTHER PROTECTIVE MEASURES AS NEEDED TO PROVIDE FOR THE PUBLIC SAFETY

6. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL INSPECTIONS AND AT THE END OF THE WORK PROVIDE THE OWNER WITH ALL THE ORIGINAL SIGNED DOCUMENTS FROM THE INSPECTING ENTITY.

7. TYPICAL DETAILS AND NOTES SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS FOR SIMILAR CONDITIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWINGS. SCALE DRAWINGS TO DETERMINE DIMENSIONS IS NOT VALID.

8. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DESIGN AND PROVIDE SHORING, BRACING, FORMWORK, ETC. AS REQUIRED TO PROTECT LIFE AND PROPERTY.

9. JOB COPIES OF BUILDING, FIRE SYSTEM PLANS, AND PERMITS SHALL BE ON-SITE DURING INSPECTIONS

10. IN AS MUCH AS THE REMODELING AND/ OR REHABILITATION OF EXISTING BUILDINGS REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS AND BECAUSE SOME OF THESE ASSUMPTIONS CANNOT BE VERIFIED WITHOUT EXPENDING GREAT SUMS OF ADDITIONAL MONEY, OR DESTROYING OTHERWISE ADEQUATE OR SERVICEABLE PORTIONS OF BUILDING, THE OWNER AGREES, EXCEPT FOR NEGLIGENCE ON THE PART OF THE DESIGN PROFESSIONAL, TO HOLD HARMLESS AND INDEMNIFY THE DESIGN PROFESSIONAL AGAINST ANY AND ALL DAMAGES, AWARDS, AND COSTS OF DEFENSE ARISING OUT OF PROFESSIONAL SERVICES PROVIDED HEREIN.

EXHIBIT C

OWNERS

APN 046-231-71

Robert Michellie & Karen Stacey Michellie
175 Palm View Ln. La Selva Beach,
Ca. 95076

REVISION TABLE

NUMBER	DATE	REVISOR	DESCRIPTION
10-25-22	Kevin Vevang	Coastal Comments	
4-19-23	Kevin Vevang	Coastal Comments	
7-24-23	Kevin Vevang	Coastal Comments	

TITLE PAGE & NOTES

Kevin Vevang

DRAWINGS PROVIDED BY:
Kevin & Leilani Vevang
RESIDENTIAL DESIGN
P.O. Box 1315 Penn Valley, Ca. 95946

(831)331-5037

DATE:

07-24-23

SCALE:

SHEET:

A0.1

NOTE:
THE GUEST QUARTERS TO BE
CONVERTED IS THE ORIGINAL HOUSE
STRUCTURE ON THE PROPERTY.

NOTE:
See sheet T1 for Survey with easements
and T2 for roof grades.

A1.0

LARGE ANGLE HATCHING
REPRESENTS AREA
WITHIN THE 200' AGG
BUFFER AREA

APN 046-251-06
AGG RESOURCE AREA

NO AGG BUFFER

(N) CALIF. LILAC CEANOTHUS

APN 046-231-71

APN 046-251-08
AGG RESOURCE AREA

6 foot Cyclone Fencing

- 6 foot redwood fencing

PN 046-231-71


















(N) TILE DECK
786 sq.ft.

Existing concrete
patio/sidewalk
(TBR)

SHADED AREA REPRESENTS
NEW TILE DECKS "NOT" OVER
LIVING SPACE

Existing Landscaping

PLANT LEDGEND

PLANT I.D.	QTY.	BOTANICAL & COMMON NAME	WATER
		<u>NEW PLANTS & TREES</u>	
	7	CALIF. LILAC CEANOTHUS	LOW
		<u>EXISTING PLANTS & TREES</u>	
	11	NEW ZEALAND TEA TREE	LOW
	2	FAN PALM	LOW
	2	BLUE TIP HYDRANGEA	LOW
	6	EMERALD CEDAR	LOW
	2	PALM TREE	LOW
	17	BOX WOOD HEDGE	LOW
	6	CALIF WAX MYRTLE	LOW
	2	CARMEL GROUND CEANOTHUS	LOW
	4	MONTEREY CYPRUS	LOW
	3	COYOTE BUSH	LOW
	11	MEXICAN SAGE	LOW
	10	LAVENDER	LOW
	3	COFFEE BERRY	LOW
	4	WATSONIA	LOW
	3	ROCK ROSE	LOW
	1	Olive Tree, <i>Olea europaea</i>	LOW

REVISION TABLE		
NUMBER	DATE	REVISION BY DESCRIPTION
<u>A</u>	10-25-22	Kevin Vevang Coastal Comments
<u>A</u>	4-19-23	Kevin Vevang Coastal Comments
<u>A</u>	7-24-23	Kevin Vevang Coastal Comments

OWNERS **APN. 046-231-71**
Robert Michellic & Karen Stacey Michellic
175 Palm View Ln. La Selva Beach,
Ca. 95076

PROPOSED LANDSCAPE PLAN WITH AGG BUFFER SETBACKS

DRAWINGS PROVIDED BY:
Kevin & Leilani Vevang
RESIDENTIAL DESIGN
P.O. Box 1315 Penn Valley, Ca. 95946
(931) 331-5037

DATE:

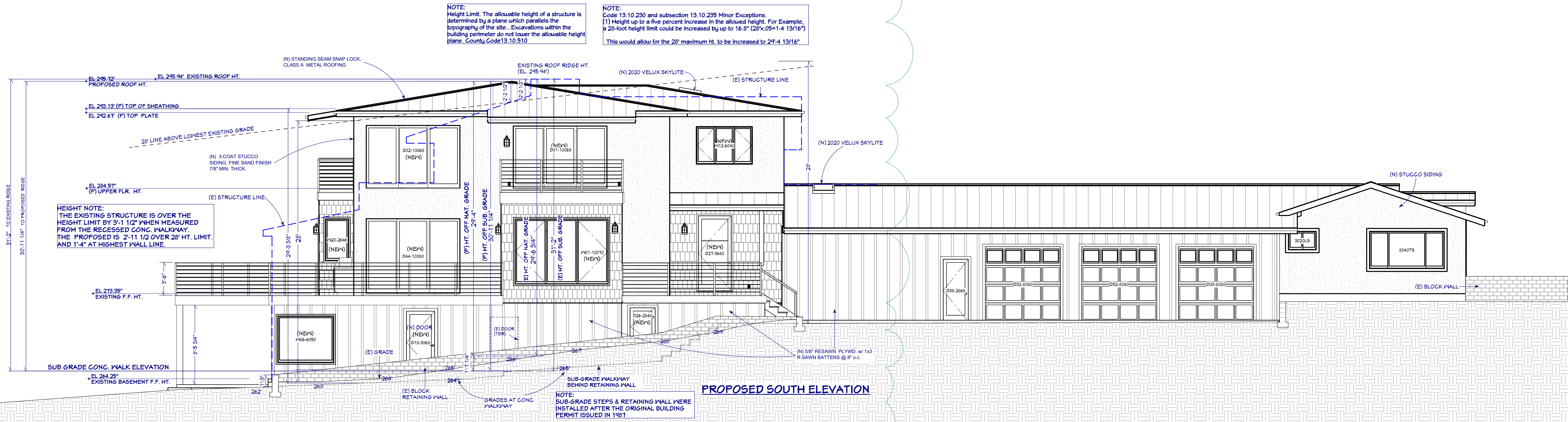
07-24-23

SCALE:

$$1'' = 10'$$

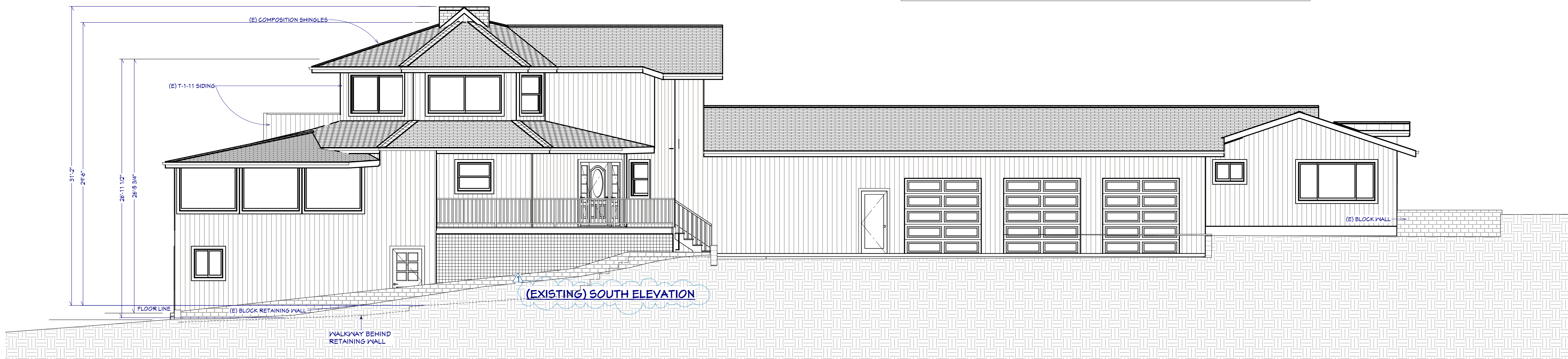
SHEET:

A1.1



PROPOSED SOUTH ELEVATION

EXTERIOR HOUSE "SPEC"		
ROOFING :	COLOR:	STANDING SEAM SNAP LOCK, CLASS A METAL ROOFING CHARCOAL GREY, MATT
SIDING :	COLOR:	A) STUCCO: SAND FINISH, 3-COAT SYSTEM, 7/8" MIN. THICK. KELLY MOORE LOW VOC SWISS COFFEE-WHITE B) WOOD SIDING BOARD AND BATTEN: 5/8" RESAWN PLYWD. w/ 1x3 R.SAWN BATTENS @ 8" o.c. CABOT: LOW VOC SEMITRSPARENT STAIN, "CHESTNUT BROWN"
TRIM:	COLOR:	KNEE BRACES AND WINDOW TRIM IN FIR CABOT: LOW VOC SEMI TRANSPARENT STAIN, "DARK BROWN"
WINDOWS:	COLOR:	ANDERSON: WOOD CLAD MATT BLACK, CLAD



(EXISTING) SOUTH ELEVATION

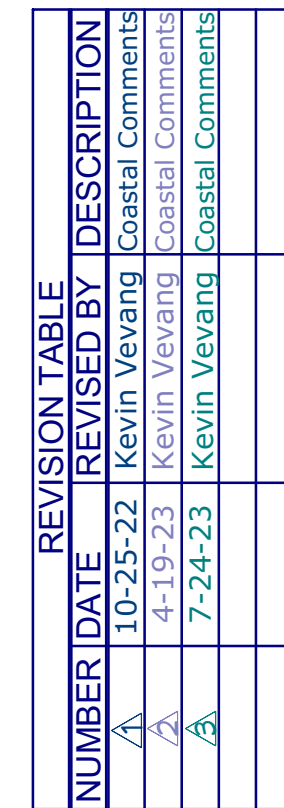
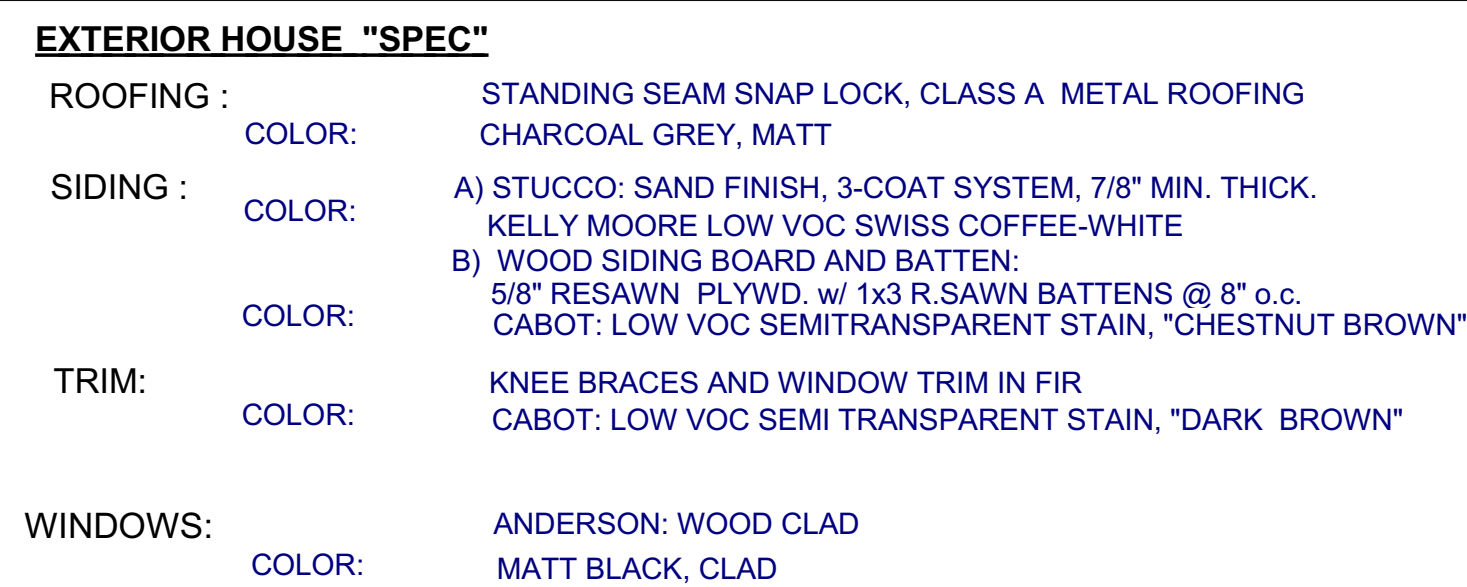
NUMBER	DATE	REVISION	TABLE	DESCRIPTION
10-25-22	Kevin Vevang	Coastal Comments		
4-19-23	Kevin Vevang	Coastal Comments		
7-24-23	Kevin Vevang	Coastal Comments		

OWNERS APN 046-231-71
Robert Michellie & Karen Stacey Michellie
175 Palm View Ln. La Selva Beach,
Ca. 95076

EXISTING & PROPOSED SOUTH ELEVATIONS

DRAWINGS PROVIDED BY:
Kevin & Leilani Vevang
RESIDENTIAL DESIGN
P.O. Box 1315 Penn Valley, Ca. 95946
(831)331-5037

DATE:	07-24-23
SCALE:	3/16"=1'-0"
SHEET:	A2.0



OWNERS **APN: 046-231-71**
Robert Michelic & Karen Stacey Michelic
175 Palm View Ln. La Selva Beach,
Ca. 95076

EXISTING & PROPOSED NORTH ELEVATIONS

DRAWINGS PROVIDED BY:
Kevin & Leilani Vevang
RESIDENTIAL DESIGN
P.O. Box 1315 Penn Valley, Ca. 95946
(931) 331-5037

DATE:

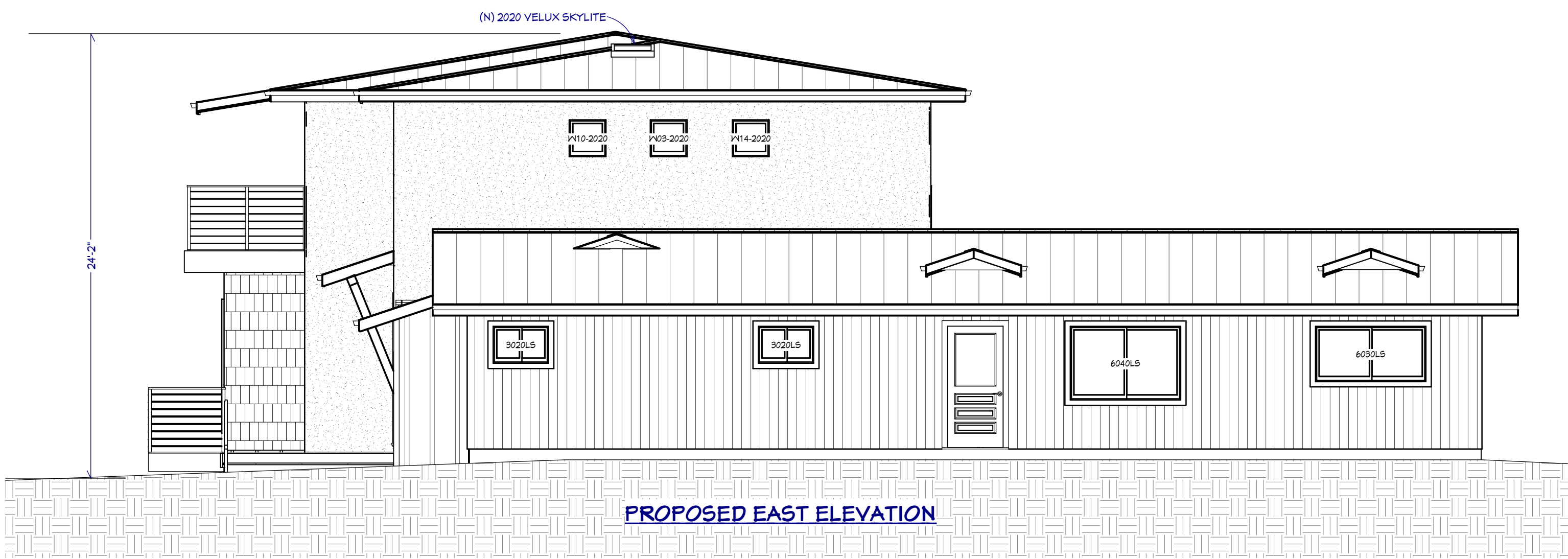
07-24-23

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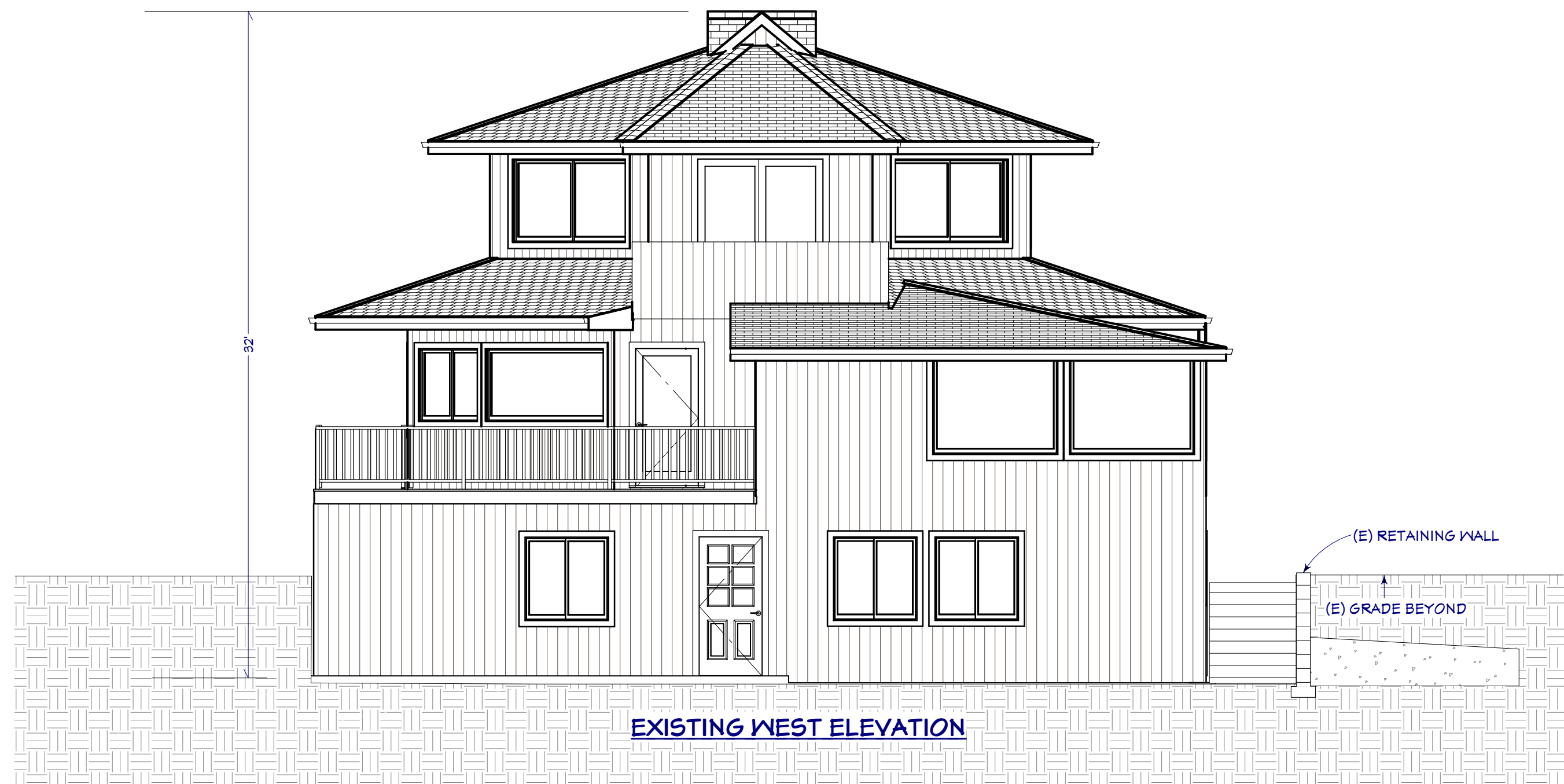
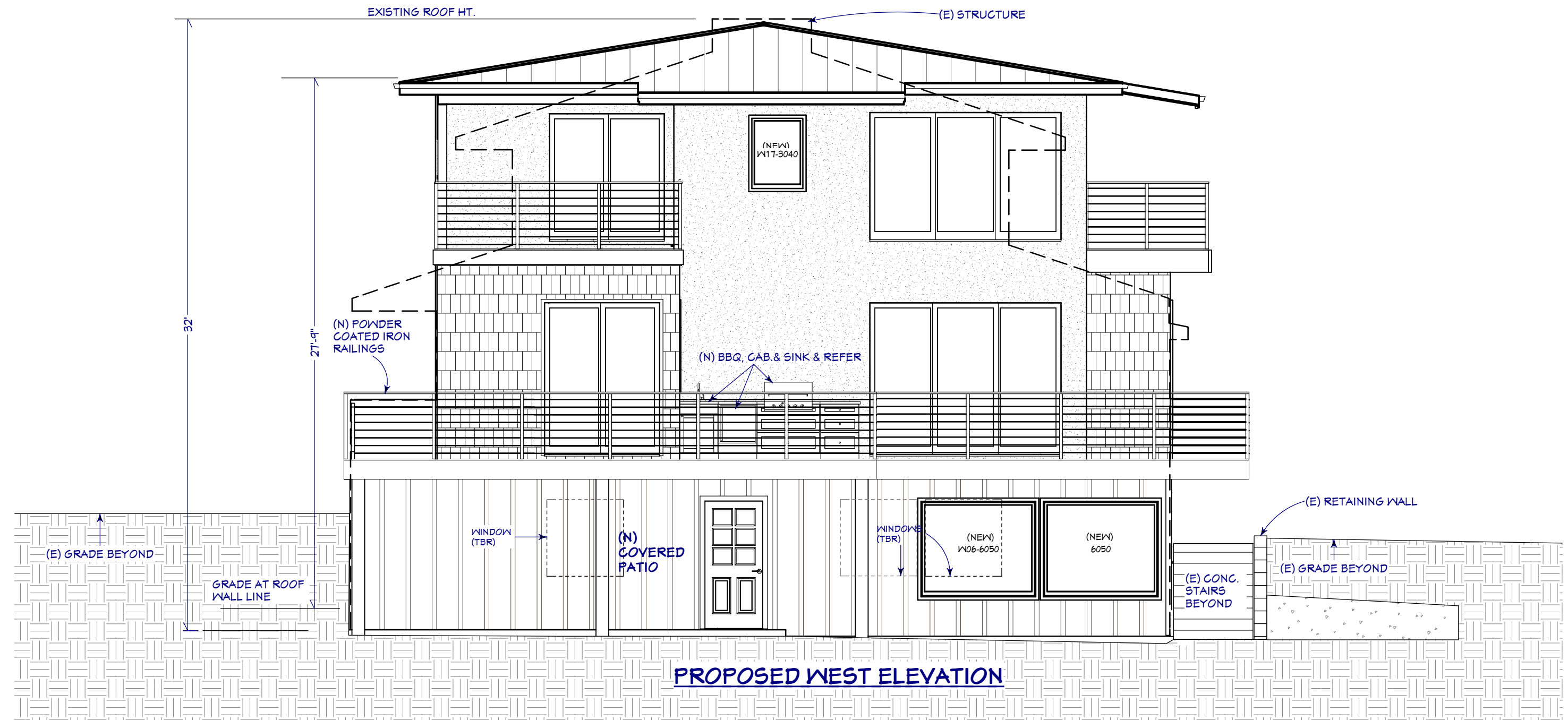
 $3/16" = 1'-0"$

SHEET:

A2.1



EXTERIOR HOUSE "SPEC"			
ROOFING :	COLOR:	STANDING SEAM SNAP LOCK, CLASS A METAL ROOFING	
		CHARCOAL GREY, MATT	
SIDING :	COLOR:	A) STUCCO: SAND FINISH, 3-COAT SYSTEM, 7/8" MIN. THICK.	
		KELLY MOORE LOW VOC SWISS COFFEE-WHITE	
		B) WOOD SIDING BOARD AND BATTEN:	
TRIM:	COLOR:	5/8" RESAWN PLYWD. w/ 1x3 R.SAWN BATTENS @ 8" o.c.	
		CABOT: LOW VOC SEMITRANSSPARENT STAIN, "CHESTNUT BROWN"	
		KNEE BRACES AND WINDOW TRIM IN FIR	
WINDOWS:	COLOR:	ANDERSON: WOOD CLAD	
		MATT BLACK, CLAD	



NUMBER	DATE	REVISION	BY	DESCRIPTION
1	10-25-22	Kevin Vevang	Coastal Comments	
2	4-19-23	Kevin Vevang	Coastal Comments	
3	7-24-23	Kevin Vevang	Coastal Comments	

OWNERS APN 046-231-71
 Robert Michelle & Karen Stacey Michelle
 175 Palm View Ln. La Selva Beach,
 Ca. 95076

**EXISTING &
 PROPOSED EAST &
 WEST ELEVATIONS**

DRAWINGS PROVIDED BY:
 Kevin & Leilani Vevang
 RESIDENTIAL DESIGN
 P.O. Box 1315 Fern Valley, Ca. 95946
 (831) 331-5037

DATE:

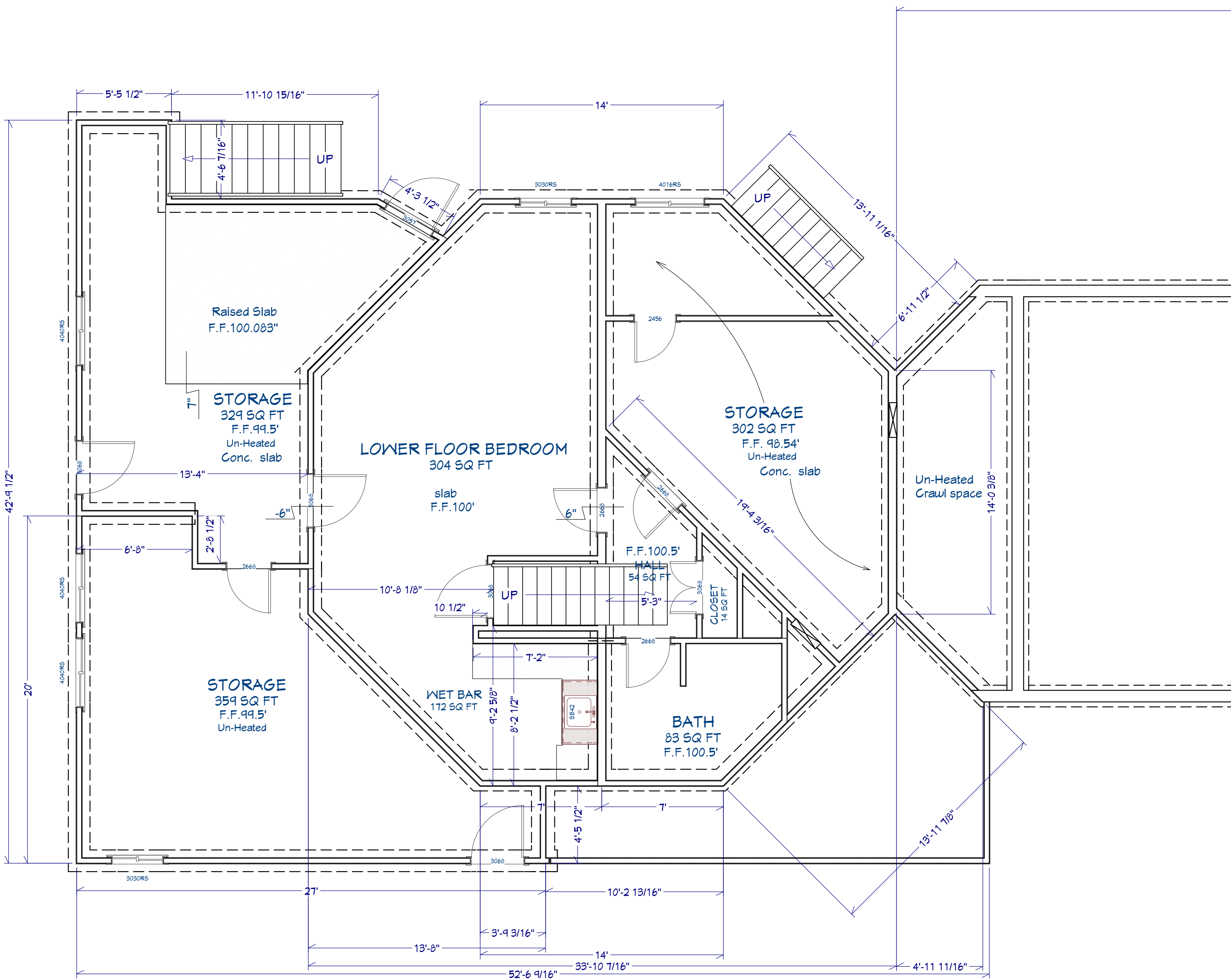
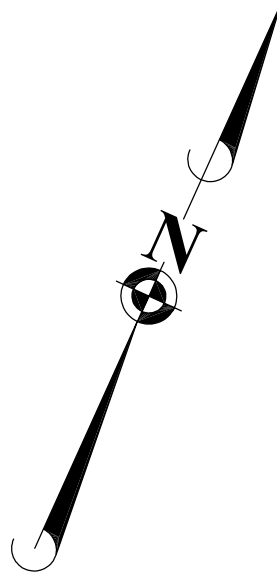
07-24-23

SCALE:

3/16"=1'-0"

SHEET:

A2.2



LIVING AREA
627 SQ FT

EXISTING BASEMENT (LOWER LEVEL)

WALL LEGEND	
	SOLID RAILINGS
	OPEN RAILINGS
	(N) 2"x4" D.F.#2 16" O.C. WALLS
	(N) 2"x6" D.F.#2 16" O.C. WALLS, UNO
	(N) CONG. FND. WALLS
	(N) 2x4 PONY WALL ABOVE FOUNDATION WALL
	(E) 2x4 PONY WALL ABOVE FOUNDATION WALL

REVISION TABLE	
NUMBER	DATE
1	10-25-22
2	4-19-23
3	7-24-23

OWNERS APN 046-231-71
Robert Michellc & Karen Stacey Michellc
175 Palm View Ln. La Selva Beach,
Ca. 95076

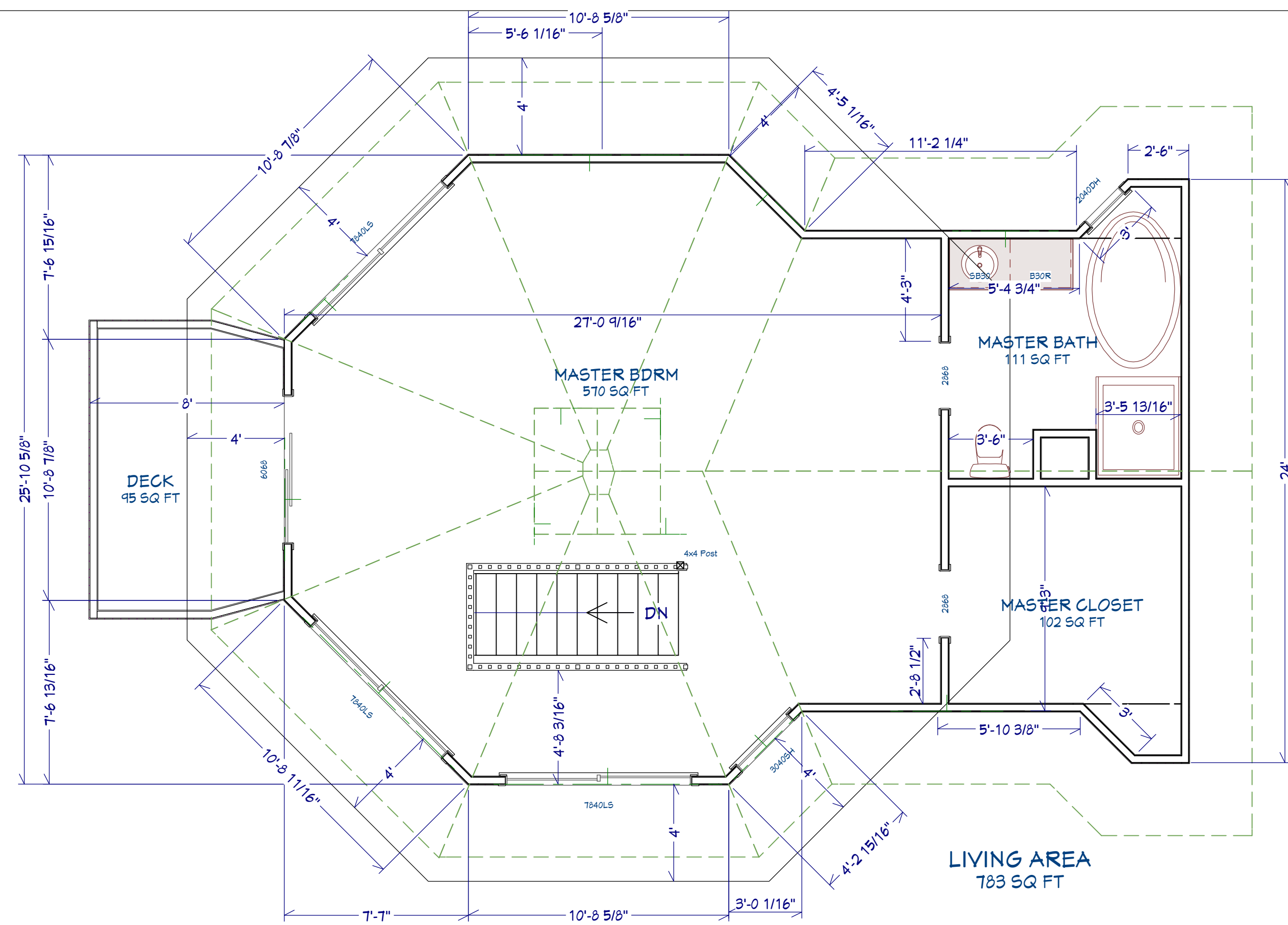
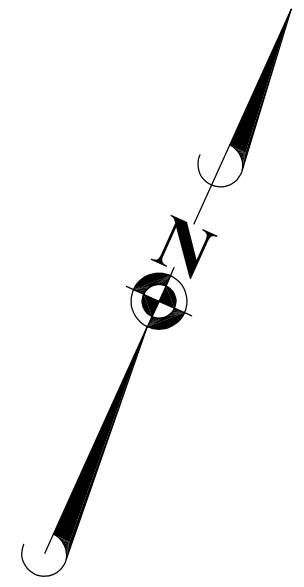
**EXISTING BASEMENT
FLOOR PLANS**

DRAWINGS PROVIDED BY:
Kevin & Leilani Vevang
RESIDENTIAL DESIGN
P.O. Box 1315 Penn Valley, Ca. 95946
(831)331-5037

DATE:
07-24-23

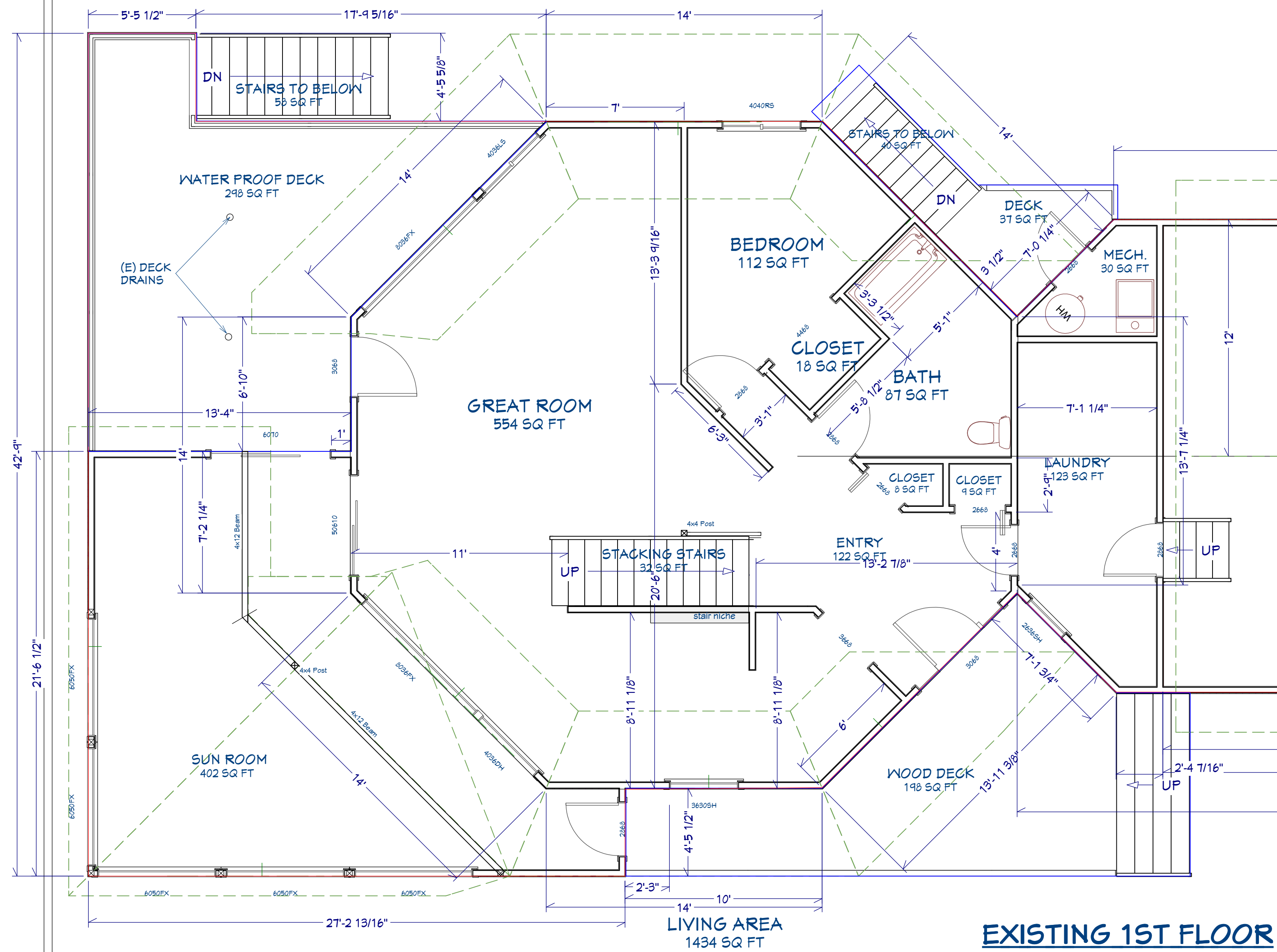
SCALE:
1/4"=1'-0"

SHEET:
A3.0



EXISTING 2ND FLOOR

"ADU" NOTE:
THE EXISTING USE OF THIS STRUCTURE HAS BEEN A GUEST QUARTERS.
THIS IS A PROPOSAL TO RECOGNIZE THE CONVERSION OF A 1,113 sq.ft. STRUCTURE TO AN "ADU" UNIT THAT HAS ALREADY OCCURRED.



EXISTING 1ST FLOOR

WALL LEGEND	
	SOLID RAILINGS
	OPEN RAILINGS
	(N) 2"x4" D.F.#2 16" O.C. WALLS
	(N) 2"x6" D.F.#2 16" O.C. WALLS, UNO
	(N) CONC. FND. WALLS
	(N) 2x4 PONY WALL ABOVE FOUNDATION WALL
	(E) 2x4 PONY WALL ABOVE FOUNDATION WALL

REVISION TABLE	
NUMBER	DATE
1	10-25-22
2	4-19-23
3	7-24-23

REVISION BY	DESCRIPTION
Kevin Vevang	Coastal Comments
Kevin Vevang	Coastal Comments
Kevin Vevang	Coastal Comments

OWNERS APN 046-231-71
Robert Michell & Karen Stacey Michell
175 Palm View Ln. La Selva Beach,
Ca. 95076

EXISTING 1 ST &
2ND FLOOR PLANS

DRAWINGS PROVIDED BY:
Kevin & Leilani Vevang
RESIDENTIAL DESIGN
P.O. Box 1315 Penn Valley, Ca. 95946
(831)331-5037

DATE:

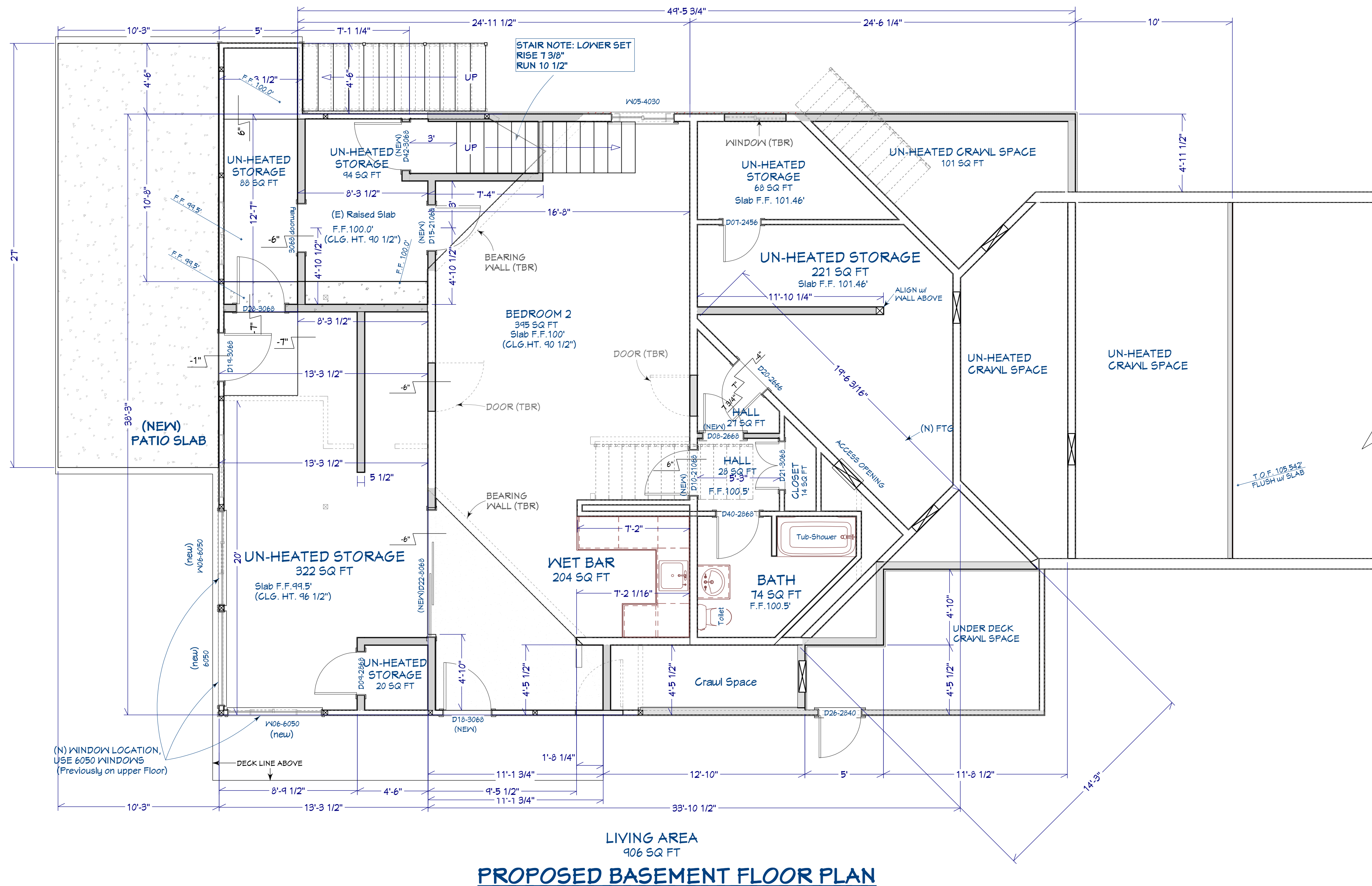
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






SCALE:

1/4"=1'-0"

SHEET:

A3.1



WALL LEGEND	
	SOLID RAILINGS
	OPEN RAILINGS
	EXISTING 2"x4" D.F.#2 16" O.C. WALLS TO REMAIN
	WALLS TO BE REMOVED
	(N) 2"x4" D.F.#2 16" O.C. WALLS
	(N) 2"x6" D.F.#2 16" O.C. WALLS
	(N) CONC. FND. WALLS
	(E) CONC. FND. WALLS TO REMAIN
	(N) 2x4 PONY WALL ABOVE FOUNDATION WALL

REVISION TABLE		
NUMBER	DATE	REVISION BY DESCRIPTION
<u>A</u>	10-25-22	Kevin Vevang Coastal Comments
<u>A</u>	4-19-23	Kevin Vevang Coastal Comments
<u>A</u>	7-24-23	Kevin Vevang Coastal Comments

OWNERS APN. 046-231-71
Robert Michellic & Karen Stacey Michellic
175 Palm View Ln. La Selva Beach,
Ca. 95076

PROPOSED
BASEMENT FLOOR
PLAN

Kevin Vevang

DRAWINGS PROVIDED BY:
Kevin & Leilani Vevang
RESIDENTIAL DESIGN
P.O. Box 1315 Penn Valley, Ca.
95946

DATE:

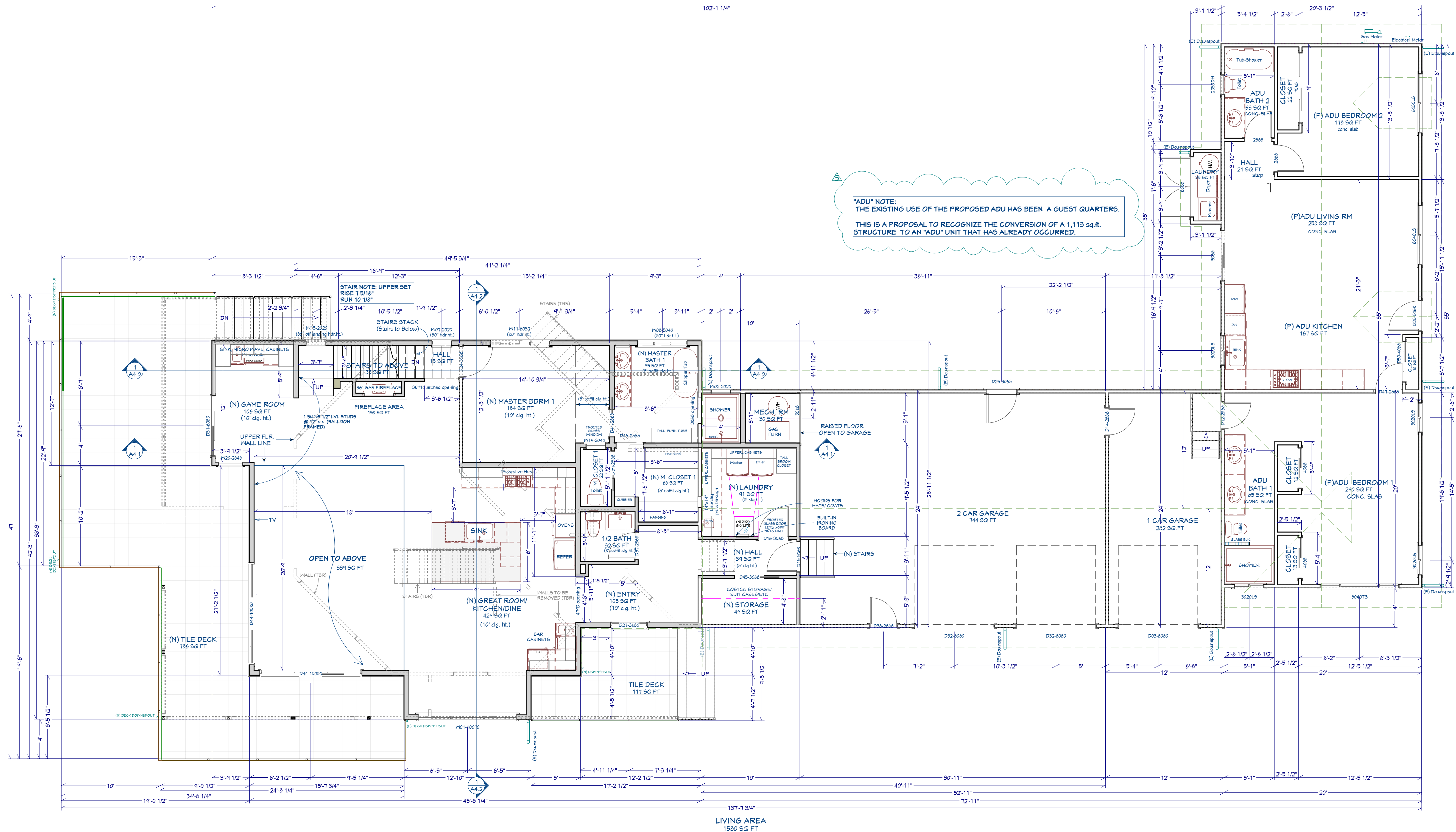
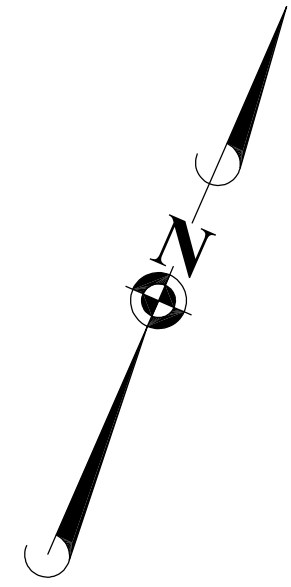
07-24-23

SCALE:

$$1/4" = 1'-0"$$

SHEET:

A3.2



PROPOSED 1ST FLOOR PLAN

INSULATION SCHEDULE	
Floors over Crawl Space R-19 in 5 1/2" cavity (R-18)	
Attic Space	R38
All New 2 x 4 Ext Walls:	R15
All New 2 x 6 Ext Walls:	R21
New Roof: at Deck #2	
Spray Foam Insul. Use QUICK-SHIELD 118	
Closed-Cell Spray Foam @ R-6.5 per in. x7 1/2"	
Thickness = R-48.7	

WALL LEGEND	
	SOLID RAILINGS
	OPEN RAILINGS
	EXISTING 2"x4" D.F.#2 16" O.C. WALLS TO REMAIN
	WALLS TO BE REMOVED
	(N) 2"x4" D.F.#2 16" O.C. WALLS
	(N) 2"x6" D.F.#2 16" O.C. WALLS
	(N) CONC. FND. WALLS
	(E) CONC. FND. WALLS TO REMAIN
	(N) 2x4 PONY WALL ABOVE FOUNDATION WALL

NUMBER	DATE	REVISION	BY	DESCRIPTION
10-25-22	10-25-22	1	Kevin Vevang	Coastal Comments
4-19-23	4-19-23	2	Kevin Vevang	Coastal Comments
7-24-23	7-24-23	3	Kevin Vevang	Coastal Comments

OWNERS APN 046-231-71
Robert Michelle & Karen Stacey Michell
175 Palm View Ln. La Selva Beach,
Ca. 95076

PROPOSED 1ST FLOOR
PLAN

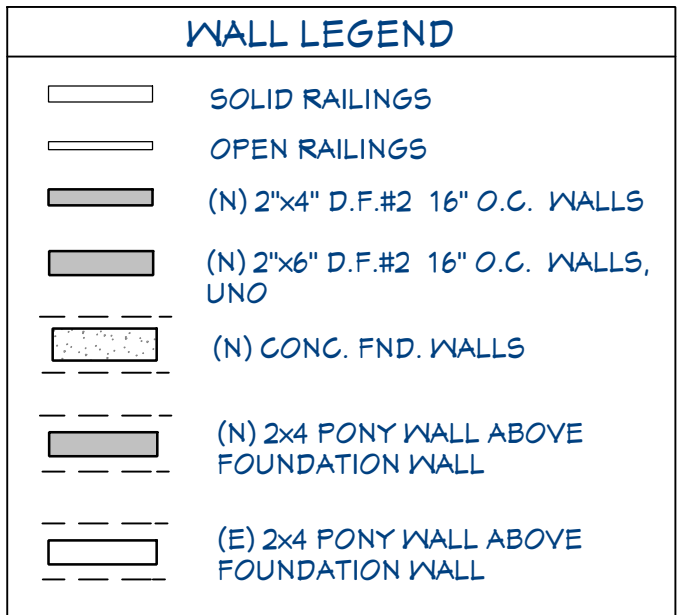
DRAWINGS PROVIDED BY:
Kevin & Leilani Vevang
RESIDENTIAL DESIGN
P.O. Box 1315 Penn Valley, Ca.
95946
(931)331-5037

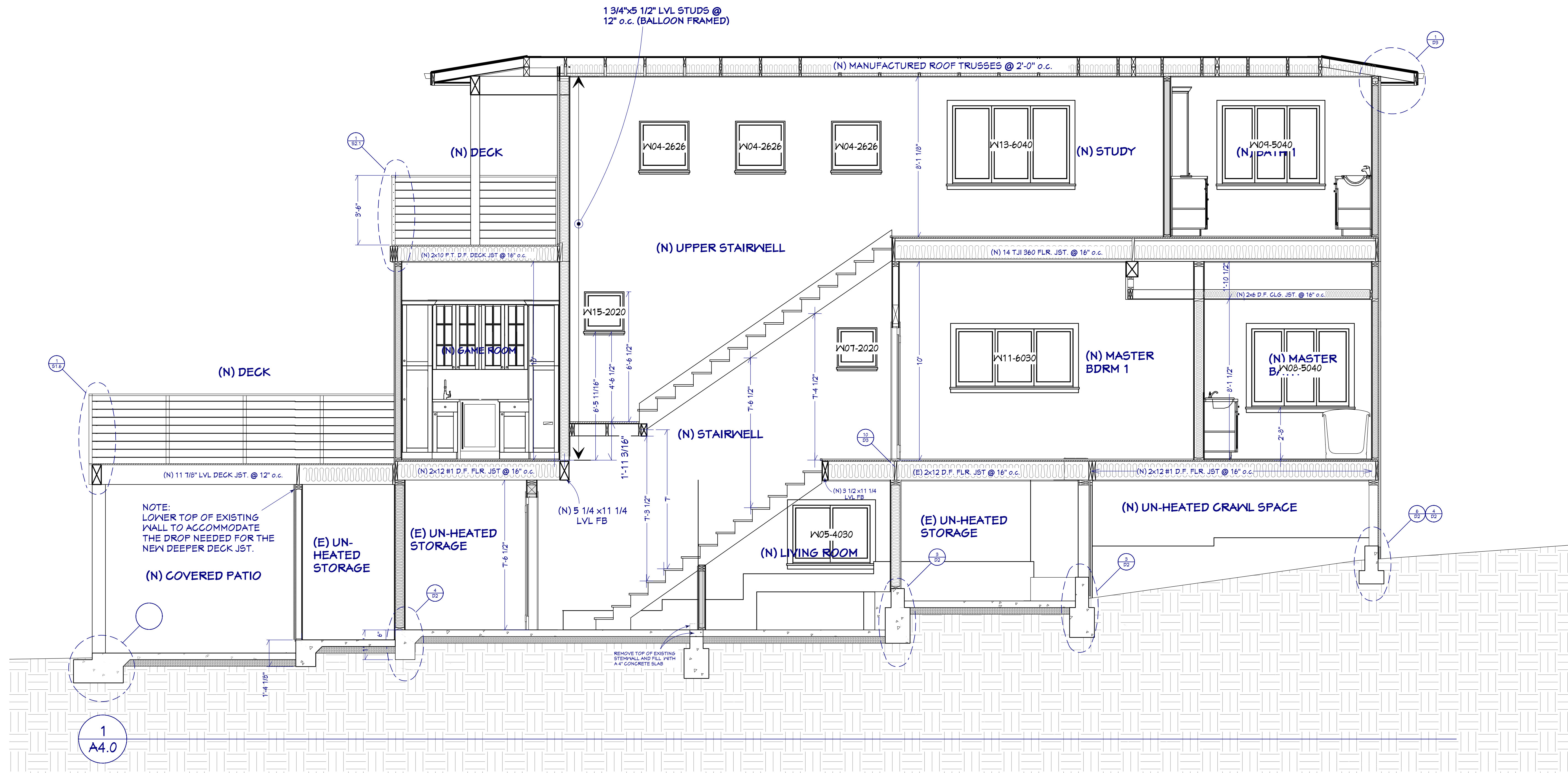
DATE:
07-24-23

SCALE:
3/16"=1'-0"

SHEET:
A3.3

WINDOWN SCHEDULE														
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	AREA, STANDARD (SQ FT)	TEMPERED	EGRESS	U-FACTOR	DESCRIPTION	MANUFACTURER	COMMENTS	ROOM NAME
W01	W01-10070	1	2	10070	120 "	34 "	70.0			0.3	TRIPLE CASEMNT-LHL/RHR			(N) GREAT ROOM/KITCHEN/ DINE
W02	W02-2020	1	2	2020	24 "	34 "	4.0			0.3	AXINING			MASTER BATH 1
W03	W03-2020	1	3	2020	24 "	24 "	4.0			0.3	AXINING			M. WATER CLOSET 2
W04	W04-2636	3	3	2636	30 "	30 "	6.25			0.3	AXINING			(N) STAIRS
W05	W05-4030	1	1	4030	48 "	36 "	12.0		YES	0.3	RIGHT SLIDING			BEDROOM 2
W06	W06-6050	2	1	6050	72 "	60 "	30.0			0.3	FIXED GLASS			UN-HEATED STORAGE
W07	W07-2020	1	2	2020	24 "	24 "	4.0			0.3	AXINING			HALL
W08	W08-5040	1	2	5040	60 "	48 "	20.0			0.3	TRIPLE CASEMNT-LHL/RHR			(N) MASTER BATH 1
W09	W09-5040	1	3	5040	60 "	48 "	20.0			0.3	TRIPLE CASEMNT-LHL/RHR			(N) BATH 1
W10	W10-2020	1	3	2020	24 "	24 "	4.0			0.3	AXINING			(N) MASTER BATH 2
W11	W11-2030	1	2	2030	24 "	36 "	8.0			0.3	TRIPLE CASEMNT-LHL/RHR			(N) MASTER BATH 1
W12	W12-6040	1	3	6040	71 5/8 "	48 "	29.88			0.3	TRIPLE CASEMNT-LHL/RHR			(N) MASTER BATH 2
W13	W13-6040	1	3	6040	72 "	48 "	24.0			0.3	TRIPLE CASEMNT-LHL/RHR			(N) MEZZANINE
W14	W14-2020	1	3	2020	24 "	24 "	4.0			0.3	TRIPLE CASEMNT-LHL/RHR			WATER CLOSET 1
W15	W15-2020	1	2	2020	24 "	24 "	4.0			0.3	AXINING			FIREPLACE AREA/STAIRS TO BELOW
W16	W16-5040	1	3	5040	60 "	48 "	20.0			0.3	FIXED GLASS			(N) MASTER BDRM 2/OPEN TO BELOW
W17	W17-3040	1	3	3040	36 "	48 "	12.0			0.3	FIXED GLASS			OPEN TO BELOW
W18	W18-5040	1	3	5040	60 "	48 "	20.0			0.3	FIXED GLASS			(N) BEDROOM 1/OPEN TO BELOW
W19	W19-2040	1	2	2040	24 "	48 "	8.0			0.3	FIXED GLASS			M. CLOSET 1/(N) MASTER BDRM 1
W20	W20-2646	1	2	2646	30 "	54 "	11.25			0.3	FIXED GLASS			(N) GAME ROOM/(N) TILE DECK
W21	W21-6050	1	1	6050	72 "	60 "	30.0			0.3	FIXED GLASS			UN-HEATED STORAGE
TOTALS:							341.88							





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OWNERS APN 046-231-71
Robert Michellie & Karen Stacey Michellie
175 Palm View Ln. La Selva Beach,
Ca. 95076

CROSS SECTIONS

Kevin Vevang
DRAWINGS PROVIDED BY:
Kevin & Leilani Vevang
RESIDENTIAL DESIGN
P.O. Box 1315 Fern Valley, Ca. 94546
(831) 331-5037

DATE:

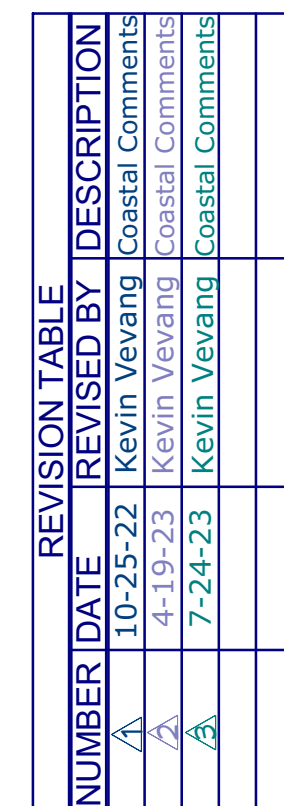
07-24-23

SCALE:

3/8"=1'-0"

SHEET:

A4.0



OWNERS APN. 046-231-71
Robert Michelic & Karen Stacey Michelic
175 Palm View Ln. La Selva Beach,
Ca. 95076

CROSS SECTION

Kevin Vevang

DRAWINGS PROVIDED BY:
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RESIDENTIAL DESIGN
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95946
(931) 331-5037

DATE:

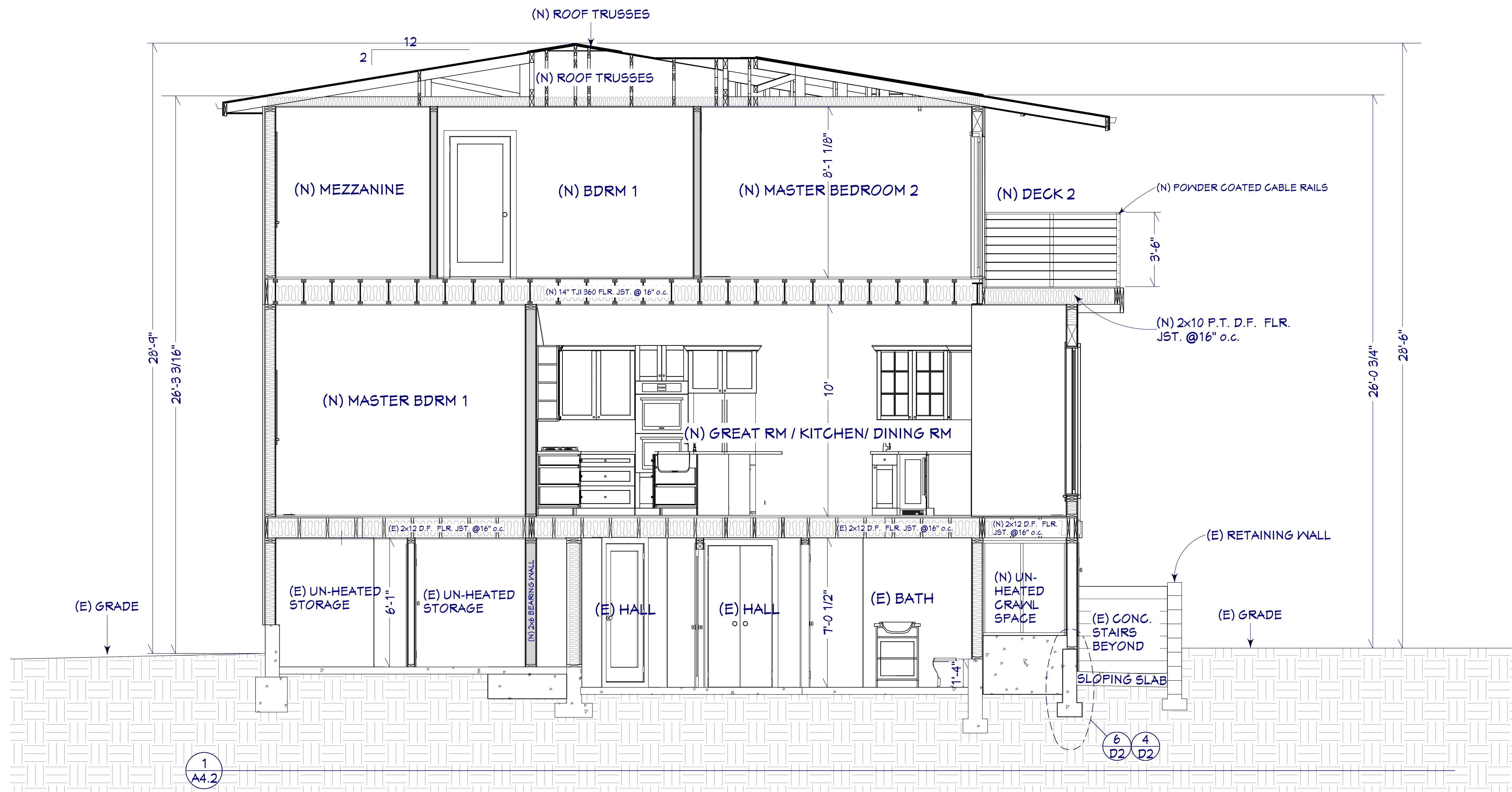
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SCALE:

$$3/8" = 1'-0"$$

SHEET:

A4.1



NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION
1	10-25-22	Δ	Kevin Vevang	Coastal Comments
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3	7-24-23	Δ	Kevin Vevang	Coastal Comments

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CROSS SECTION

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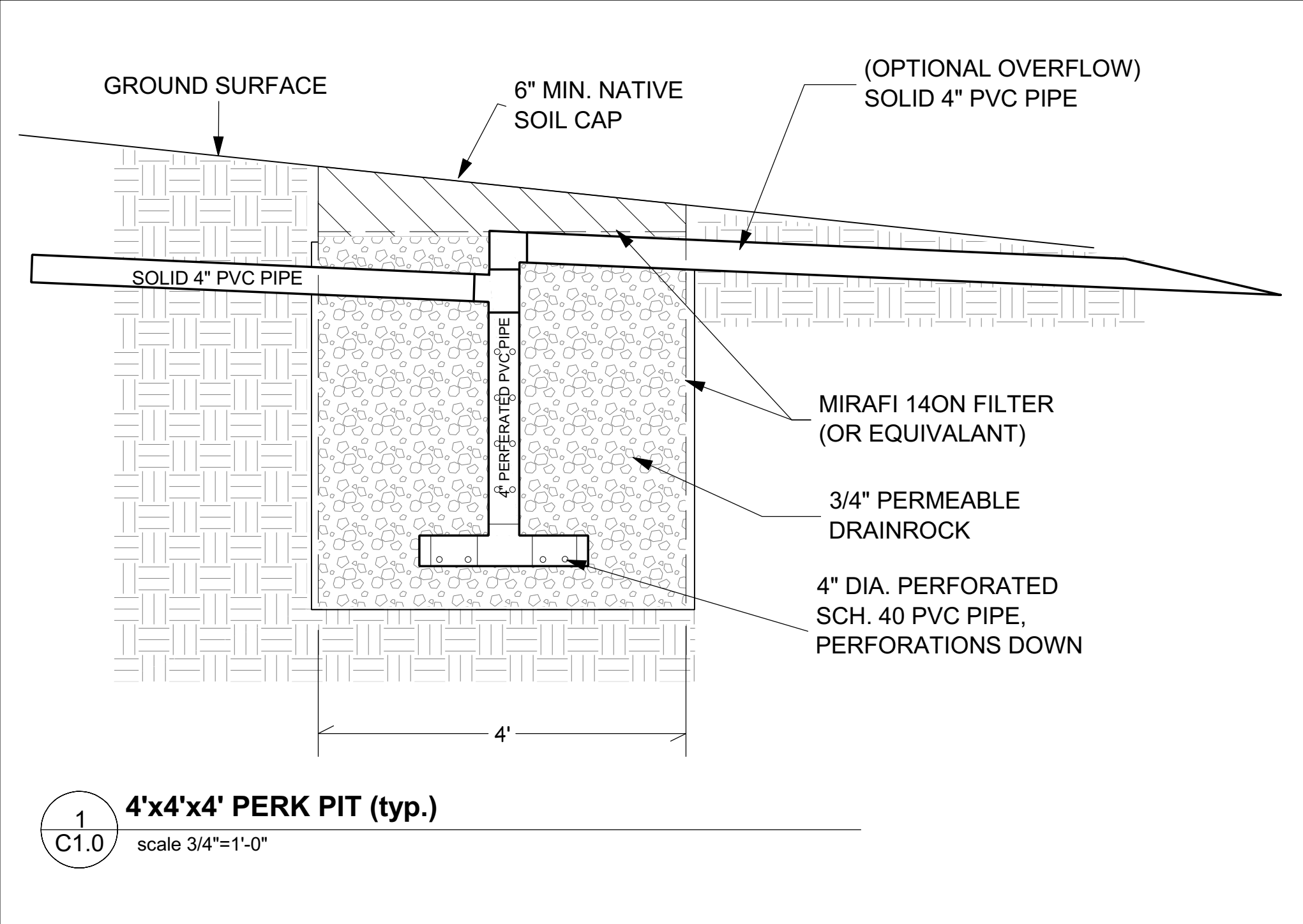
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SCALE:

3/8"=1'-0"

SHEET:

A4.2



NUMBER	DATE	REVISION TABLE	REVISED BY	DESCRIPTION
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A	4-19-23		Kevin Vevang	Coastal Comments
A	7-24-23		Kevin Vevang	Coastal Comments

OWNERS APN 046-231-71
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DETAILS

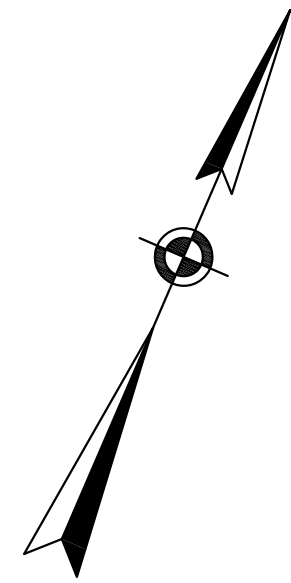
DRAWINGS PROVIDED BY:
Kevin & Leilani Vevang
RESIDENTIAL DESIGN
P.O. Box 1315 Penn Valley, Ca. 95946
(831)331-5037

DATE: 07-24-23

SCALE: AS NOTED

SHEET: C1.0

TOPOGRAPHIC MAPPING BASED UPON A FIELD SURVEY DATED 3-13-23 NAVD 1988 DATUM
BOUNDARY LINES COMPILED FROM RECORD INFORMATION
THIS IS NOT A BOUNDARY SURVEY



N 24°15' W 174.43

EASEMENT LEGEND

- SAMWAC EASEMENT 1621 O.R. 260
- PG&E EASEMENT 2334 O.R. 70
- ROAD & UTILITY EASEMENT 1689 O.R. 743

LEGEND

- EXISTING CONTOUR
- FLOWLINE
- FENCE
- PROPERTY LINE

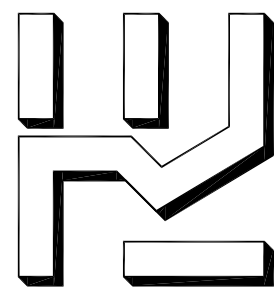
TOPOGRAPHIC SURVEY

SCALE: 1"=10'
0 5 10 20
FEET



UNLESS SIGNED BY THE ENGINEER, THIS PLAN IS FOR REFERENCE ONLY. THE SIGNED PLAN IS THE ONLY PLAN TO BE USED FOR CONSTRUCTION.

ROPER ENGINEERING
CIVIL ENGINEERING & LAND SURVEYING
48 MANN AVENUE CORRALITOS, CA 95076
(831) 724-5300 jeff@roperengineering.com



RESIDENTIAL REMODEL FOR
ROBERT MICHELIC & KAREN STACEY
175 PALM VIEW LANE LA SELVA BEACH APN 046-231-71

TOPOGRAPHIC SURVEY

SCALE: AS NOTED
DESIGNED BY: JR
DRAWN BY: JR
DATE: MAR. 21, 2023
REVISED:
JOB NO.: 23007
SHEET

T1

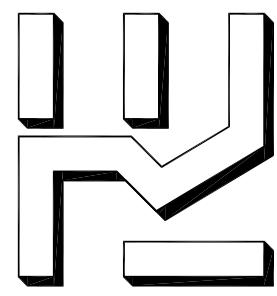
OF 2 SHEETS

TOPOGRAPHIC MAPPING BASED UPON A FIELD SURVEY DATED 3-13-23 NAVD 1988 DATUM
BOUNDARY LINES COMPILED FROM RECORD INFORMATION
THIS IS NOT A BOUNDARY SURVEY



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CIVIL ENGINEERING & LAND SURVEYING
48 MANN AVENUE CORRALITOS, CA 95076
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RESIDENTIAL REMODEL FOR
ROBERT MICHELIC & KAREN STACEY
175 PALM VIEW LANE LA SELVA BEACH APN 046-231-71

ROOF GRADES

SCALE:	AS NOTED
DESIGNED BY:	JR
DRAWN BY:	JR
DATE:	MAR. 21, 2023
REVISED:	
JOB NO.:	23007
SHEET	

T2

OF 2 SHEETS

LEGEND

- EXISTING CONTOUR
- FLOWLINE
- FENCE
- PROPERTY LINE

ROOF GRADES

SCALE: 1"=5'
0 2.5 5 10
FEET

(E)ELEC
BOX

(E)CB

18"PALM

24"PALM

EXISTING RESIDENCE
1ST FLR FF=273.35
BASEMENT FF=264.25

EXISTING RESIDENCE
FF=270.19 @ DOOR

EXISTING ADU
FF=272.62

EXISTING CONCRETE
DRIVEWAY

TYPE DRAINAGE ROOF (E)

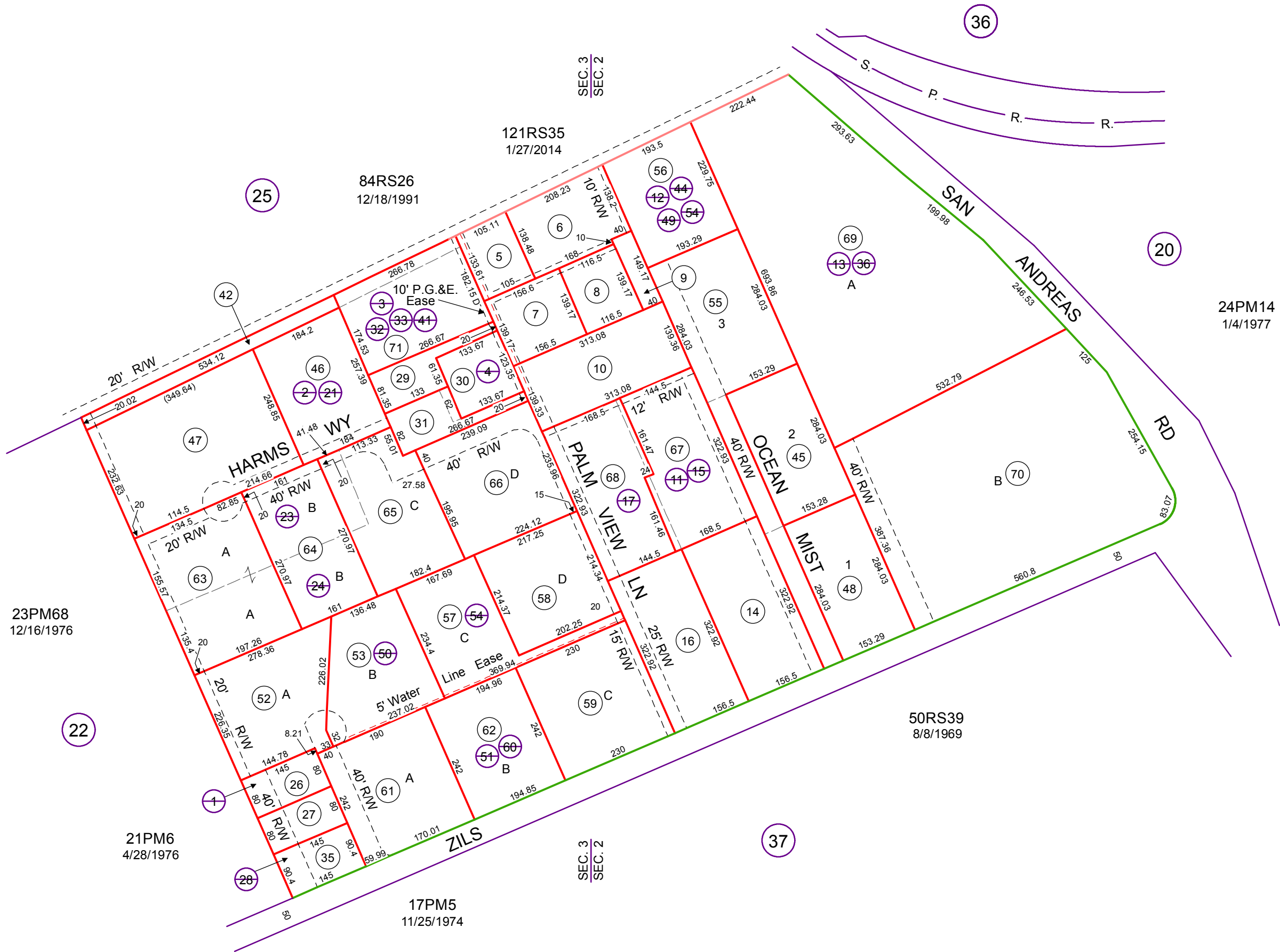
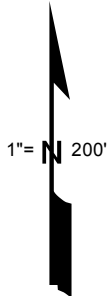
FOR TAX PURPOSES ONLY

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POR. SAN ANDREAS RANCHO
SECS. 2 & 3, T.12S., R.1E., M.D.B. & M.

Tax Area Code
69-278

46-23



Electronically redrawn 2/10/00 KSA
Rev 3/20/00 CB (Added Ocean Mist)
Rev 6/23/00 GG (Cor. Remove R/W from 1-14 & 67)
Rev 5/30/01 mvm (changed page refs.)
Rev 6/1/04 CB (Cor to st name Palm View Ln)
Rev 5/12/14 CB (121RS35)

Note - Assessor's Parcel & Block
Numbers Shown in Circles.



EXHIBIT D
Assessor's Map No. 46-23
County of Santa Cruz, Calif.
Feb. 2000

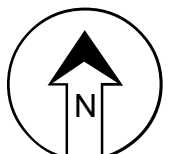


Parcel Location Map



Parcel: 04623171

-  Study Parcel
-  Assessor Parcel Boundary



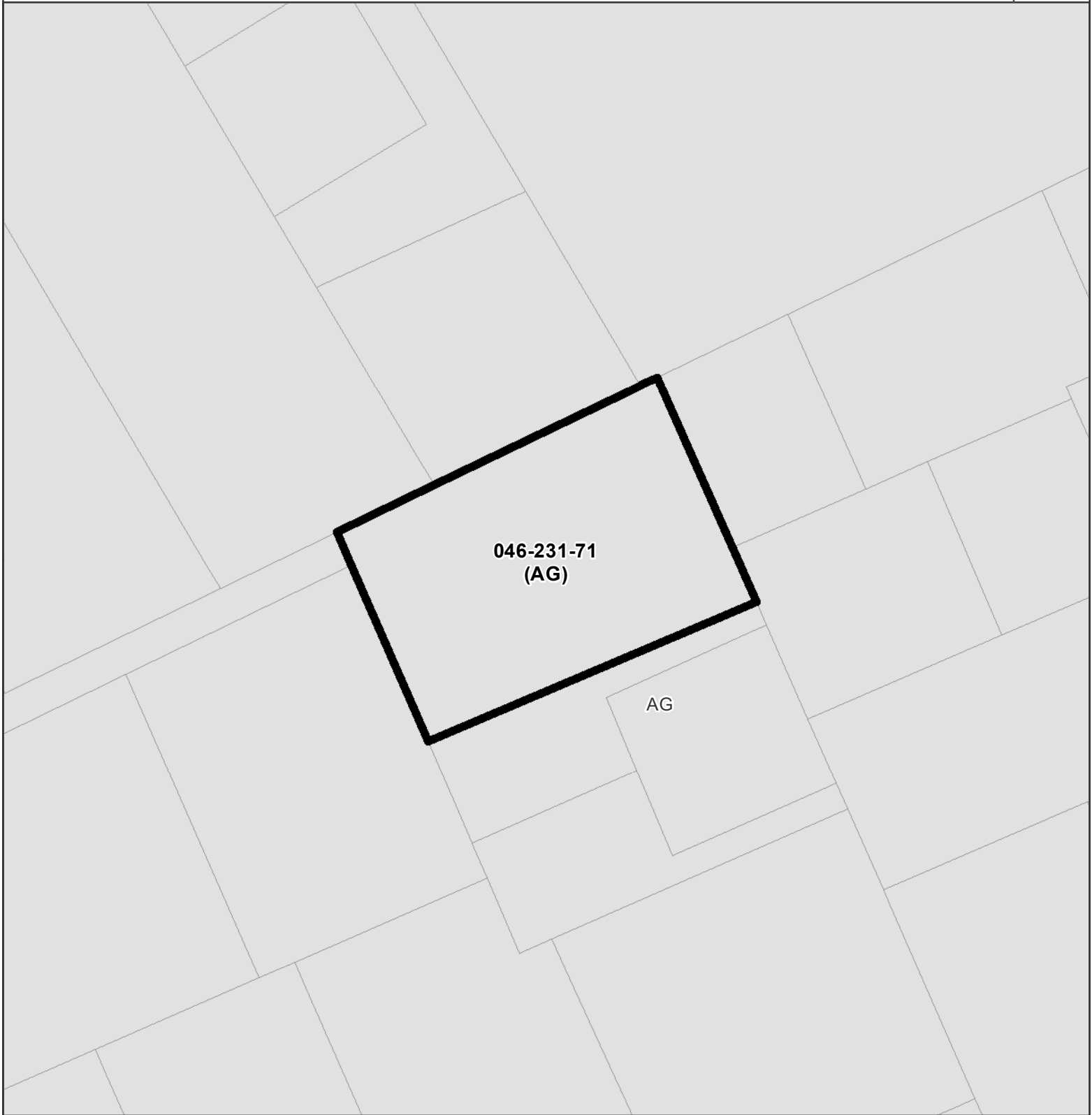
0 30 60
Feet



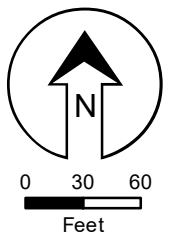
Parcel General Plan Map



Mapped
Area






AG Agricultural

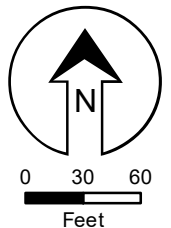




Parcel Zoning Map



-  A Agriculture
-  CA Commercial Agriculture
-  RA Residential Agricultural



This is an aerial map of a residential neighborhood, likely in a coastal area given the street names. The map displays numerous property parcels, each identified by a unique parcel number. A specific parcel, 046-231-71, is highlighted with a blue outline. The map also shows several streets: CREST LN running diagonally from the top left, HARMS WY running horizontally across the middle, PALM VIEW LN running diagonally from the bottom center, OCEAN MIST running vertically on the right, and ZILS RD at the bottom right. A large green-shaded area on the left side of the map is labeled 'AG-3'. The parcel numbers are distributed across the map, with some parcels having multiple numbers (e.g., 046-231-57 appears twice). The map provides a clear view of the layout and boundaries of the properties in this area.

1:2,160

0 100 200 400 ft

0 30 60 120 m

County of Santa Cruz

Parcel Information

Services Information

Urban/Rural Services Line: ☐ Inside ☒ Outside
Water Supply: San Andreas Mutual Water Company
Sewage Disposal: Septic
Fire District: Central (Aptos/La Selva) Fire Protection District
Drainage District: None

Parcel Information

Parcel Size: 1 acre
Existing Land Use - Parcel: Rural residential homesite
Existing Land Use - Surrounding: Rural residential neighborhood, commercial agriculture
Project Access: San Andreas Road
Planning Area: San Andreas
Land Use Designation: AG (Agriculture)
Zone District: RA (Residential Agriculture)
Coastal Zone: ☒ Inside ☐ Outside
Appealable to Calif. Coastal Comm.: ☒ Yes ☐ No

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Fire Hazard: Not a mapped constraint
Slopes: 5-10%
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Archeology: Not mapped/no physical evidence on site