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## Staff Report to the Agricultural Policy Advisory Commission

Application Number: **04-0292**

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**Applicant:** Gregory C. Smith, Architect  
**Owner:** Brian D. Liddicoat  
**APN:** 108-171-49

**Date:** July 15, 2004  
**Agenda Item #:** 10  
**Time:** 1:30 p.m.

**Project Description:** Proposal to construct a four bedroom, two-story single-family dwelling. Requires an Agricultural Buffer Determination.

**Location:** Property located on the west side of Skylark Lane (333 Skylark Lane), approximately 2,000 feet west of the intersection with Corralitos Road in Watsonville.

**Permits Required:** Agricultural Buffer Setback Determination.

### Staff Recommendation:

- Approval of Application 04-0292, based on the attached findings and conditions.
- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.

### Exhibits

- |    |  |    |                                     |
|----|--|----|-------------------------------------|
| A. | Project plans                              | E. | Assessor's parcel map, Location map |
| B. | Findings                                   | F. | Zoning map, General Plan map        |
| C. | Conditions                                 | G. | Site photograph                     |
| D. | Categorical Exemption (CEQA determination) |    |                                     |

### Parcel Information

Parcel Size:	7.54 acres
Existing Land Use - Parcel:	Vacant
Existing Land Use - Surrounding:	Single-family residential, Commercial Agriculture
Project Access:	Corralitos Road to Skylark Lane
Planning Area:	Eureka Canyon
Land Use Designation:	R-R (Rural Residential)
Zone District:	RA (Residential Agriculture)
Supervisory District:	Second (District Supervisor: Pirie)

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Within Coastal Zone:             Inside             Outside  
Appealable to Calif. Coastal Comm.    Yes             No

### Environmental Information

Geologic Hazards:            Not mapped/no physical evidence on site  
Soils:                            170, 175, 177 Soquel/Watsonville loams, Tierra Watsonville complex  
Fire Hazard:                   Not a mapped constraint  
Slopes:                         0 – 50 percent slopes  
Env. Sen. Habitat:            Not mapped/no physical evidence on site  
Grading:                       No grading proposed  
Tree Removal:                No **trees** proposed to be removed  
Scenic:                         Not a mapped resource  
Drainage:                      Existing drainage adequate  
Traffic:                         No significant impact  
Roads:                         Existing roads adequate  
Parks:                         Existing **park** facilities adequate  
Archeology:                   Mapped/no physical evidence on site

### Services Information

Inside Urban/Rural Services Line:    Yes             No  
Water Supply:                   Private well, PVWMA  
Sewage Disposal:               CSA#12, private septic system  
Fire District:                   Pajaro Valley Fire Protection District  
Drainage District:               Zone 7 flood control/water conservation district

### Analysis and Discussion

The proposed project is to construct a two story single-family dwelling of approximately 3,274 square feet on a 7.54-acre parcel. Building Permit Application 52286H is in process. The project is located at 333 Skylark Lane in Watsonville. The building site is within 200 feet of Commercial Agricultural land to the southwest. The applicant is requesting a reduction in the 200 foot agricultural buffer setback to about 80 feet from APN 108-171-11.

The subject property is characterized by sloping topography. The parcel is not located within the Urban Services Line and may be characterized as rural agricultural neighborhood. The **parcel** carries a Rural Residential (R-R) General Plan designation and the implementing zoning is (RA ) Residential Agriculture . Commercial Agriculture zoned land is situated within 200 feet at the southwest side of the parcel at Assessor's Parcel Number 108-171-11, the 37-acre Faggioli farm. The farm is engaged in row crop production and grazing. The project site is elevated above the farm operations and **an** existing evergreen vegetative buffer separates the proposed development from the adjacent farm operation.

A reduced agricultural buffer is recommended due to the fact that the required setback would not allow sufficient building area if the required 200 foot setbacks were maintained from the adjacent Commercial Agriculture zoned property. The subject parcel configuration is divided with a deeded right-of-way that was approved with Lot Line Adjustment #00-055 1.

Due to the 250-foot difference in elevation of the project site from the adjacent agricultural operations and the existing dense, native evergreen vegetative barrier, the impact of the proposed residence on existing agricultural activities on the Commercial Agriculture zoned parcel shall not have a negative impact. The applicant shall be required to record a Statement of Acknowledgement regarding the issuance of a county building permit in an area determined by the County of Santa Cruz to be subject to Agricultural-Residential use conflicts.

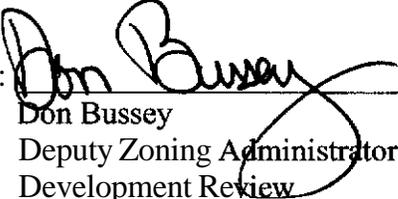
### **Recommendation**

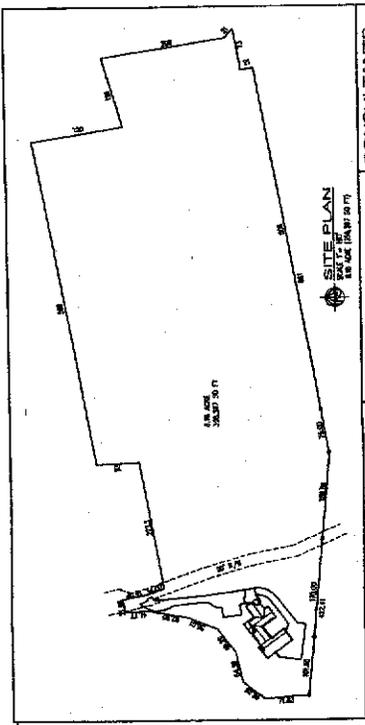
- Staff recommends that your Commission **APPROVE** the Agricultural Buffer Reduction from 200 feet to about about 80 feet feet to the single-family dwelling from the adjacent CA zoned property known as APN 108-171-11, proposed under Application # 04-0292, based on the attached findings and recommended conditions.
- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.

**Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.**

**The County Code and General Plan, as well as hearing agendas and additional information are available online at: [www.co.santa-cruz.ca.us](http://www.co.santa-cruz.ca.us)**

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Santa Cruz County Planning Department  
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Santa Cruz CA 95060  
Phone Number: (831) 454-5174  
E-mail: [pln140@co.santa-cruz.ca.us](mailto:pln140@co.santa-cruz.ca.us)

Report Reviewed By:   
Don Bussey  
Deputy Zoning Administrator  
Development Review



**CONSULTANTS**

**GRADING**  
 ALL GRADING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA GRADING LAW (CIVIL CODE SECTION 87000). ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE GRADING PLAN AND THE SPECIFICATIONS THEREON. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE GRADING PLAN AND THE SPECIFICATIONS THEREON. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE GRADING PLAN AND THE SPECIFICATIONS THEREON.

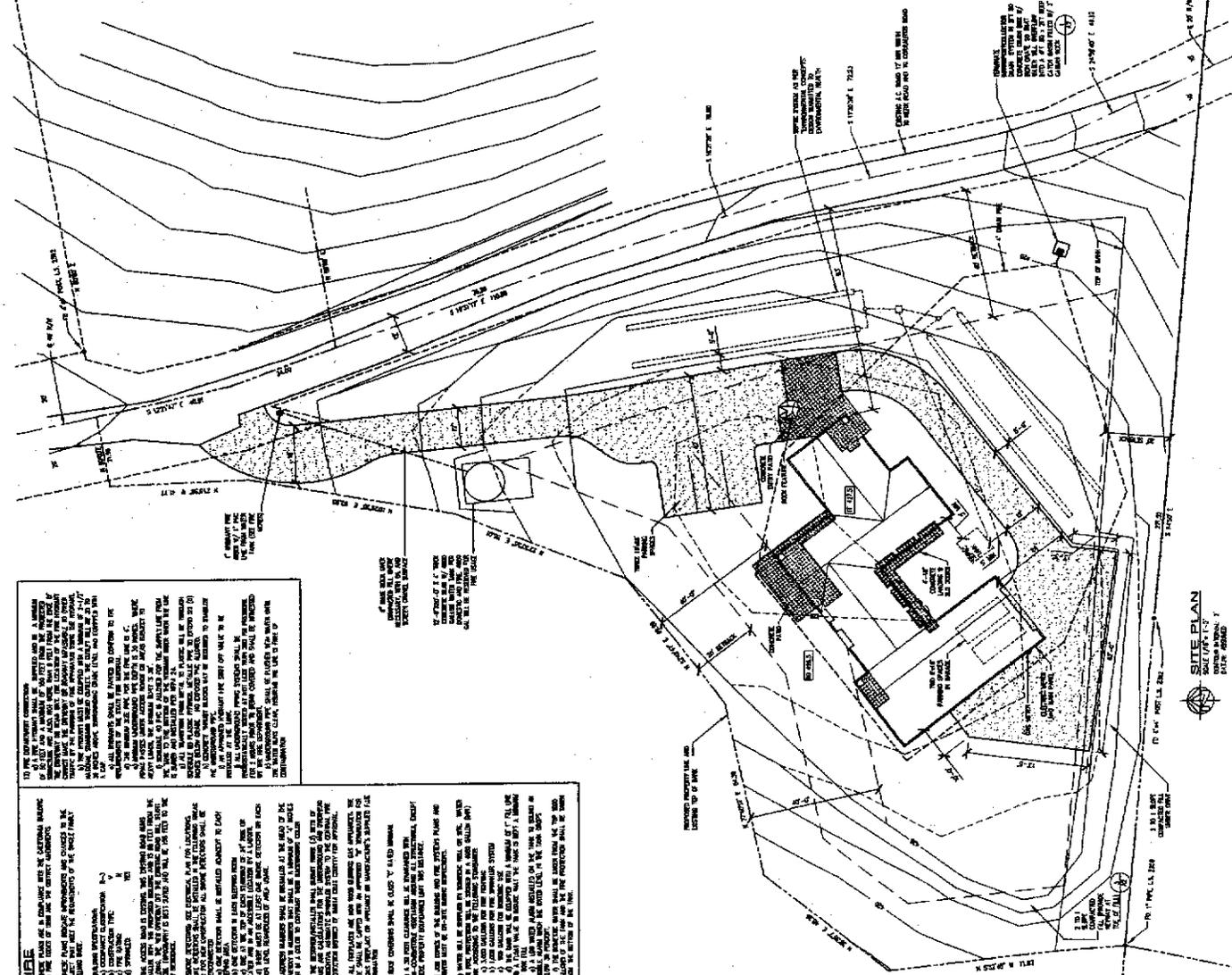
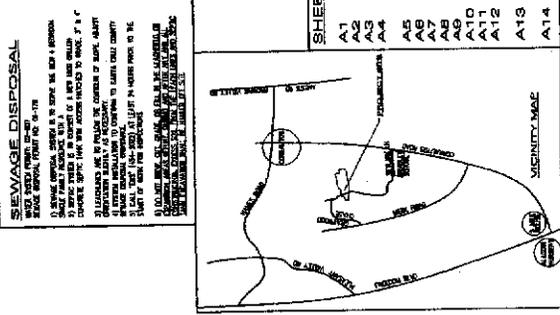
**EROSION CONTROL**  
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**SEWAGE DISPOSAL**  
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**PROJECT DATA**  
 PROJECT NO. 108-171-49  
 PROJECT NAME: LIDICAT RESIDENCE  
 PROJECT ADDRESS: WATSONVILLE, CA  
 PROJECT DATE: 10/15/08

**SHEET INDEX**

A1	SITE PLAN
A2	SITE DETAILS
A3	1st FLOOR PLAN
A4	2nd FLOOR PLAN
A5	SECTIONS
A6	FOUNDATION
A7	FRAMING
A8	SHEAR PLAN
A9	DETAILS
A10	DETAILS
A11	DETAILS
A12	ELECTRICAL
A13	MECHANICAL
A14	TITLE & SPECIFICATIONS



**NOTE**

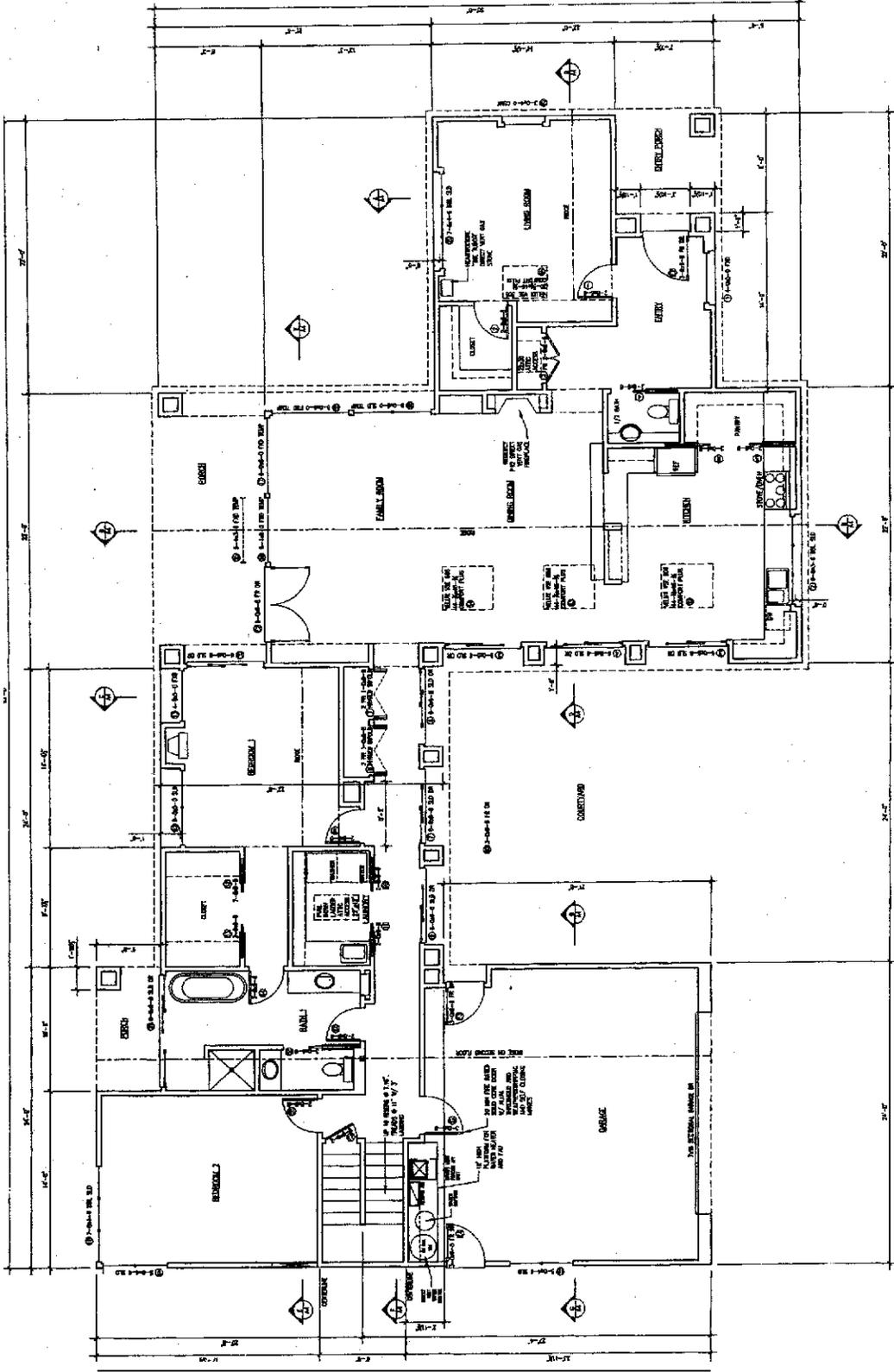
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**CONSTRUCTION SPECIFICATIONS**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA CONSTRUCTION LAW (CIVIL CODE SECTION 87000). ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CONSTRUCTION PLAN AND THE SPECIFICATIONS THEREON. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CONSTRUCTION PLAN AND THE SPECIFICATIONS THEREON.

GREGORY ARCHITECT SMITH  
 1000 AVENUE 100, SUITE 100, SAN ANTONIO, TEXAS 78205  
 (512) 343-1111  
 FAX (512) 343-1112  
 WWW.GREGORYARCHITECTSMITH.COM  
 THE ARCHITECT'S OBLIGATION IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AND NOT TO ANY OTHER MATTER. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER MATTER. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER MATTER. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER MATTER.

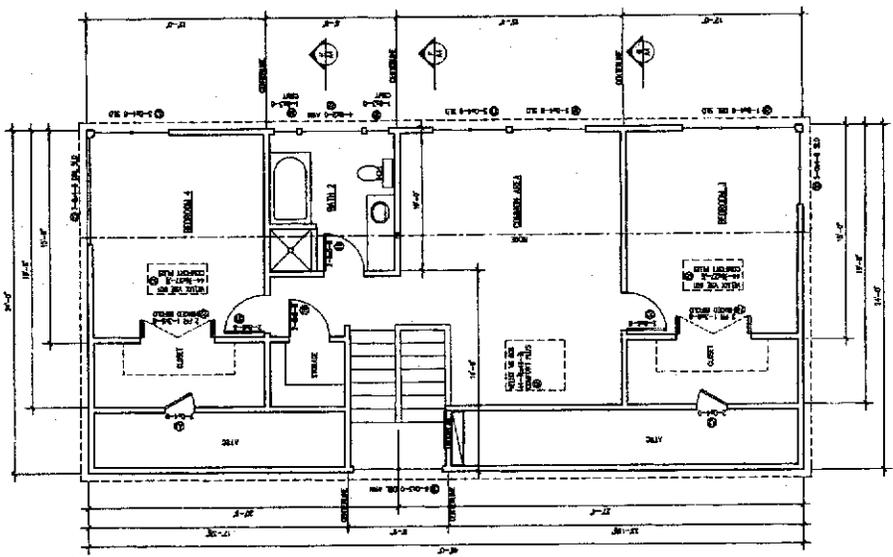
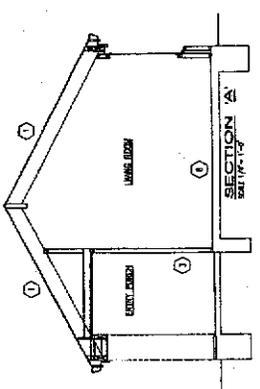
LIDICAT RESIDENCE  
 SAN ANTONIO, TX  
 (512) 688-3569  
 108-171-49  
 SHEET NO. A3  
 OF 115  
 TOTAL NO. OF SHEETS 14



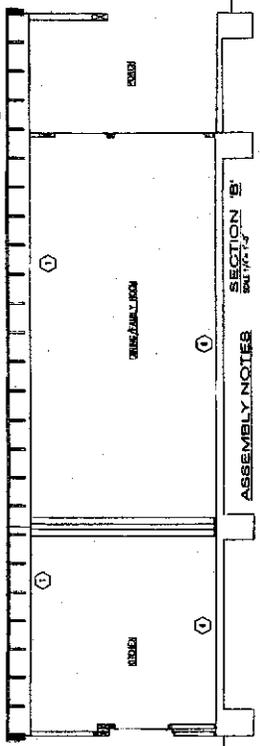
FIRST FLOOR PLAN  
 FIRST FLOOR 2008' 9"

THESE DOCUMENTS ARE THE PROPERTY OF GREGORY ARCHITECT AND SHALL REMAIN THE PROPERTY OF GREGORY ARCHITECT. ANY REPRODUCTION OR TRANSMISSION OF THESE DOCUMENTS WITHOUT THE WRITTEN PERMISSION OF GREGORY ARCHITECT IS STRICTLY PROHIBITED. THE ARCHITECT HAS REVIEWED THE CONTRACT DOCUMENTS AND HAS FOUND THEM TO BE COMPLETE AND CORRECT. THE ARCHITECT HAS REVIEWED THE CONTRACT DOCUMENTS AND HAS FOUND THEM TO BE COMPLETE AND CORRECT. THE ARCHITECT HAS REVIEWED THE CONTRACT DOCUMENTS AND HAS FOUND THEM TO BE COMPLETE AND CORRECT.

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 WATSONVILLE, CA  
 08-17-49  
 SHEET NO. A4  
 OF 14  
 TOTAL SHEETS 14

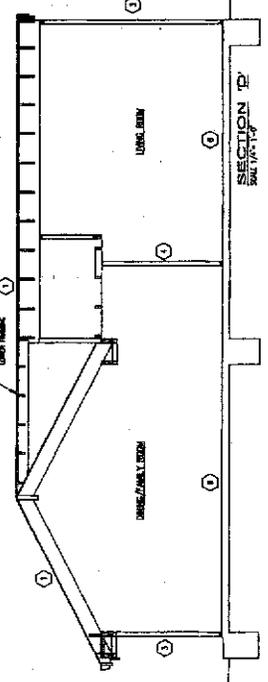


SECOND FLOOR PLAN  
 SCALE: 1/8" = 1'-0"  
 14

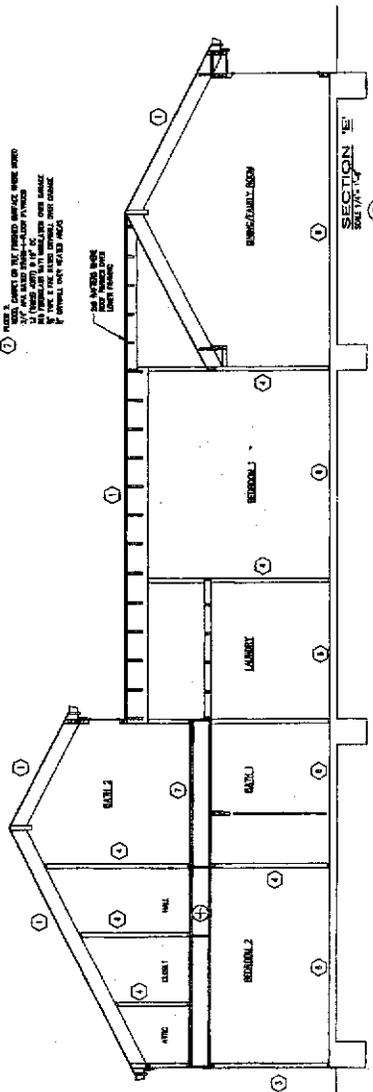


SECTION 'B'

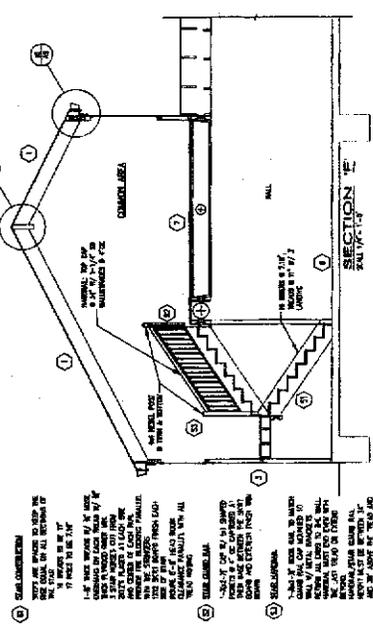
- ASSEMBLY NOTES
1. UNLESS OTHERWISE NOTED, ALL WORK SHALL BE IN ACCORDANCE WITH THE 2001 CALIFORNIA BUILDING CODE.
  2. ALL WALLS SHALL BE 8" THICK CMU WITH 1/2" MIN. INSULATION EXTERIOR AND INTERIOR.
  3. ROOFING SHALL BE 2" MIN. INSULATION WITH 1/2" MIN. GYP BOARD ON TOP.
  4. FLOORING SHALL BE 1/2" MIN. GYP BOARD ON TOP OF 2" MIN. INSULATION.
  5. ALL INTERIORS SHALL BE FINISHED WITH 1/2" MIN. GYP BOARD.
  6. ALL EXTERIORS SHALL BE FINISHED WITH 1/2" MIN. GYP BOARD.
  7. ALL ROOFING SHALL BE 2" MIN. INSULATION WITH 1/2" MIN. GYP BOARD ON TOP.



SECTION 'C'

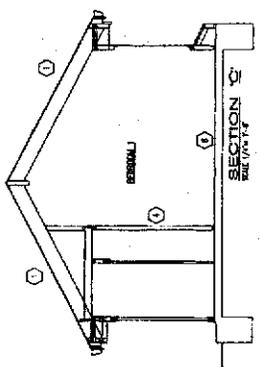


SECTION 'D'

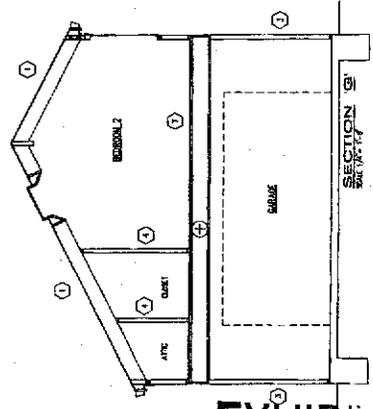


SECTION 'E'

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SECTION 'F'

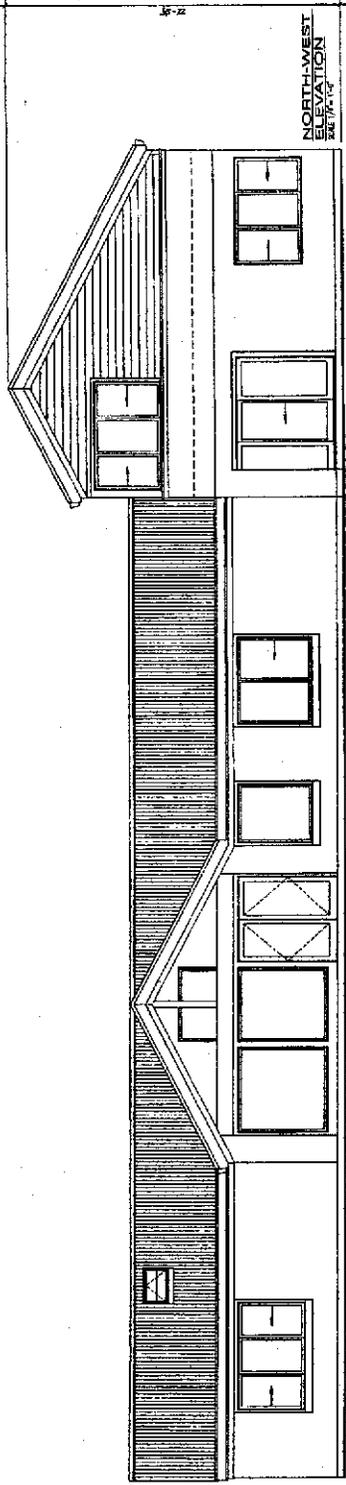


SECTION 'G'

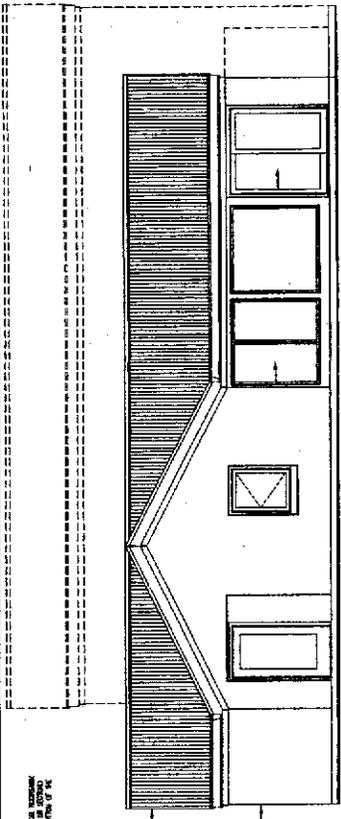
EXHIBIT

THE ARCHITECT SHALL BE ADVISED OF ANY DISCREPANCIES IN DIMENSIONS OR MATERIALS FROM THE DOCUMENTS THAT ARE DISCOVERED BY THE ARCHITECT AND SHALL BE RESPONSIBLE FOR CORRECTING THEM. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

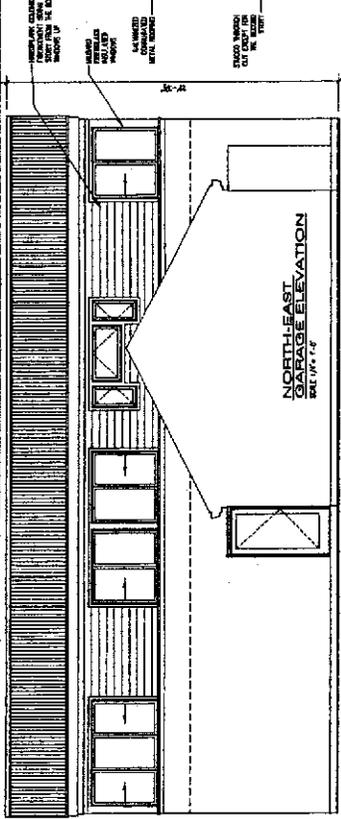
LUDICAT RESIDENCE  
 108-171-49  
 688-3565  
 SAN JOSE, CA  
 SHEET NO. A5  
 OF 11  
 14



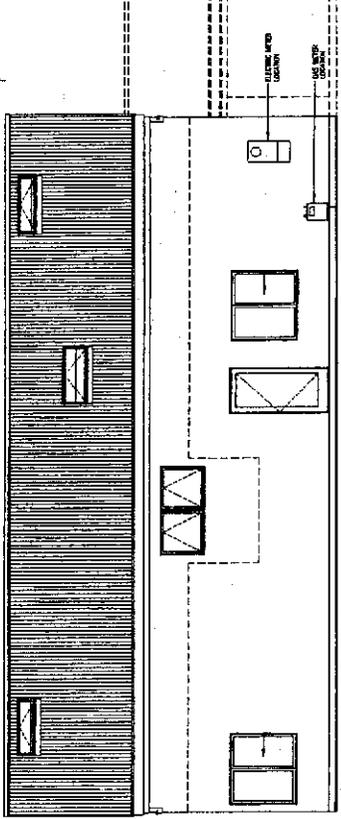
NORTH-WEST ELEVATION  
SHEET NO. A5



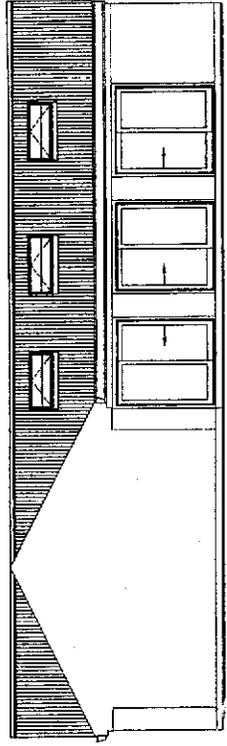
NORTH-EAST ENTRY ELEVATION  
SHEET NO. A5



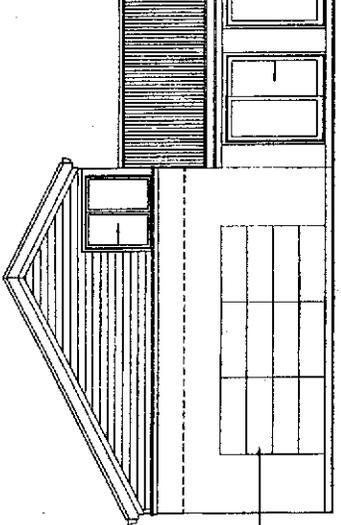
NORTH-EAST GARAGE ELEVATION  
SHEET NO. A5



SOUTH-WEST GARAGE ELEVATION  
SHEET NO. A5



SOUTH-WEST KITCHEN ELEVATION  
SHEET NO. A5



SOUTH-EAST ELEVATION  
SHEET NO. A5

EXHIBIT

**Required Findings for Agricultural Buffer Setback Reduction  
County Code Section 16.50.095(b)**

1. Significant topographical differences exist between the agricultural and non-agricultural uses which eliminate the need for a 200 foot setback; or

Significant topographical differences exist between the subject parcel and APN 108-171-11, to allow for a reduction in the required 200 foot setback to about about 80 feet feet. The proposed building site is about 250 feet above the elevation of the adjacent Commercial Agriculture zoned parcel, so additional landscaping and solid fences have not been required.

2. Permanent substantial vegetation or other physical barriers exist between **the** agricultural and non-agricultural uses which eliminate the need for a 200 foot buffer setback; or a lesser setback distance is found to be adequate to prevent conflicts between the non-agricultural development and the adjacent agricultural uses, based on the establishment of a physical barrier, unless it is determined that the installation of a barrier will hinder the affected agricultural use more than it would help it, or would create a serious traffic hazard on a public or private right-of-way; and/or some other factor which effectively supplants the 200 foot buffering distance to the greatest degree possible; **or**

The habitable structure is proposed to be set back about 80 feet feet from the adjacent Commercial Agriculture zoned land. An effective barrier consisting of existing native, evergreen vegetation is adequate to prevent conflicts between the non-agricultural development and the adjacent Commercial Agriculture zoned land of APN 108-171-11. This barrier, as proposed, shall not create a hazard in terms of the vehicular sight distance necessary for safe passage of traffic.

3. The imposition of a 200 foot agricultural buffer setback would preclude building on a parcel of record as of the effective date of this chapter, in which case a lesser buffer setback distance may be permitted, provided that **the** maximum possible setback distance is required, coupled with a requirement for a physical barrier, **or** vegetative screening or other techniques to provide the maximum buffering possible, consistent with the objective of permitting building on a parcel of record.

**CONDITIONS OF APPROVAL**

Exhibit A: Project Plans by Gregory C. Smith, 4 sheets dated 6/17/04.

- I. **This** permit authorizes an Agricultural Buffer Setback reduction from the proposed residential use to APN (108-171-11). Prior to exercising any rights granted by this permit, including, without limitation, any construction or site disturbance, the applicant/owner shall:
  - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Complete requirements for obtaining Building Permit **52286H** and any required Grading Permit from the Santa **Cruz** County Building Official.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
  - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with Exhibit A on file with the Planning Department. The final plans shall include the following additional information:
    - 1. A development setback of a minimum of about **80** feet from the proposed single-family dwelling to the adjacent Commercial Agriculture zoned parcel APN 108-171-11.
    - B. The owner shall record a Statement of Acknowledgement, as prepared by the Planning Department, and submit proof of recordation to the Planning Department. The statement of Acknowledgement acknowledges the adjacent agricultural land use and the agricultural buffer setbacks.
- III. All construction shall be performed according to the approved plans for the building permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
  - A. The agricultural buffer setbacks shall be met as verified by the County Building Inspector.
  - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official and/or the County Senior Civil Engineer.
- IV. Operational Conditions
  - A. The vegetative barrier shall be permanently maintained.



# CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and **has** determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 04-0292  
Assessor Parcel Number: 108-171-49  
Project Location: 333 Skylark Lane, Watsonville

**Project Description: Proposal to construct a two-story single-family dwelling. Requires an Agricultural Buffer Setback Determination**

**Person or Agency Proposing Project: Gregory C. Smith, Architect**

**Contact Phone Number: (831)458-1080**

- A.  The proposed activity is not a project under CEQA Guidelines Section 15378.
- B.  The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060(c).
- C.  **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D.  **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).

Specify type:

E.  **Categorical Exemption**

Specify type: Class 1 – New Construction of small structures (Section 15303)

F. **Reasons why the project is exempt:**

New Construction of Small Structures

In addition, none of the conditions described in Section 15300.2 apply to this project.

Jean Van der Hoeven  
Jean Van der Hoeven, Project Planner

Date: July 5, 2004

FOR TAX PURPOSES ONLY  
 THE ASSessor MAKES NO GUARANTEE AS TO THE ACCURACY NOR ASSUMES ANY  
 LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.  
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RANCHO DE LOS CORRALITOS  
 PAR. SEC. 13, T.11S, R.1E, M.D.B. & M.

Tax Area Code  
 69-262

108-17

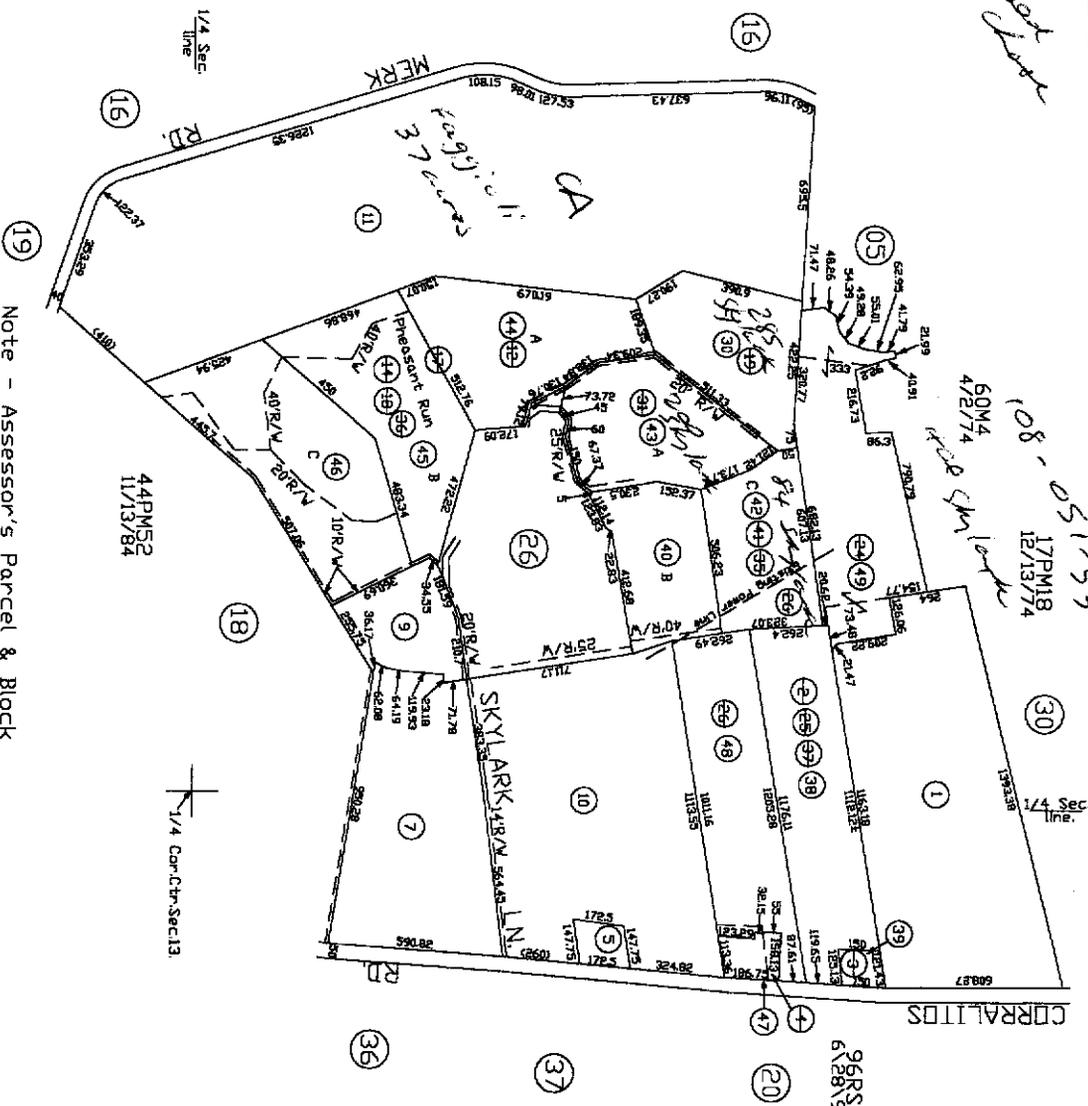
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*Handwritten notes:*  
 108-05153  
 17PM18  
 12/13/74  
 60M4  
 4/28/74  
 408 S.W. 10th

Electronically Redrawn 2/6/97 by  
 4/8/98 CB (Tax Consolidation)  
 8/5/99 CB (96RSS)  
 10/10/01 rev (changed page refs.)  
 7/15/02 DD (2-0025902 LBA, 1-49 per to pg 05.)

Note - Assessor's Parcel & Block  
 Numbers shown in Circles

Assessor's Map No. 108-17  
 County of Santa Cruz, Calif.  
 File 1007



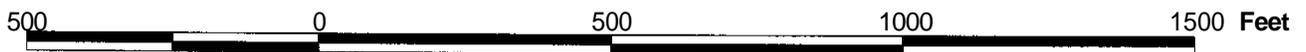
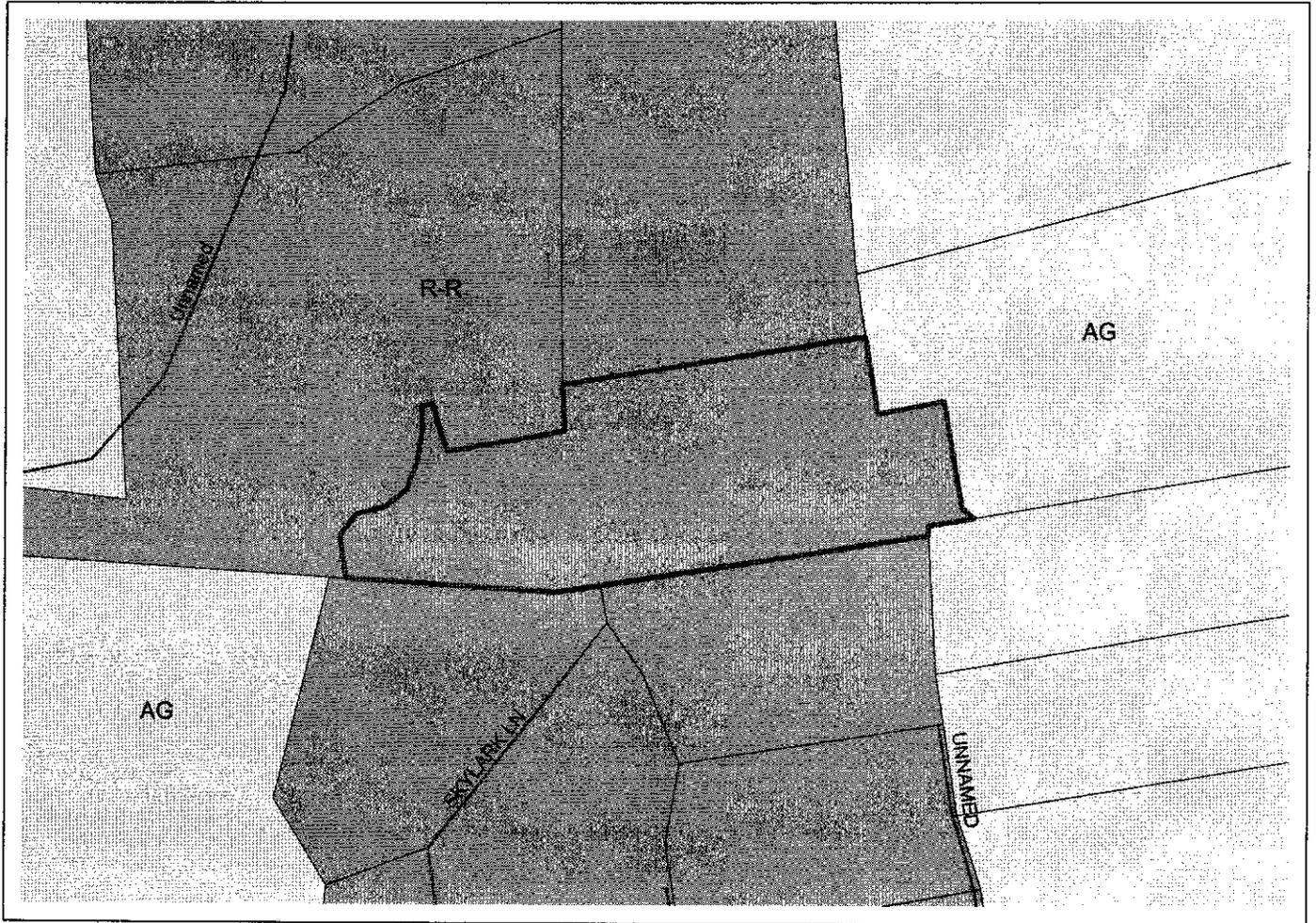
# Location Map



Map created by Santa Cruz County  
Planning Department:  
June 2004



# General Plan Map



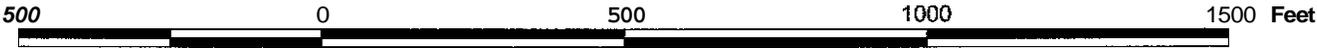
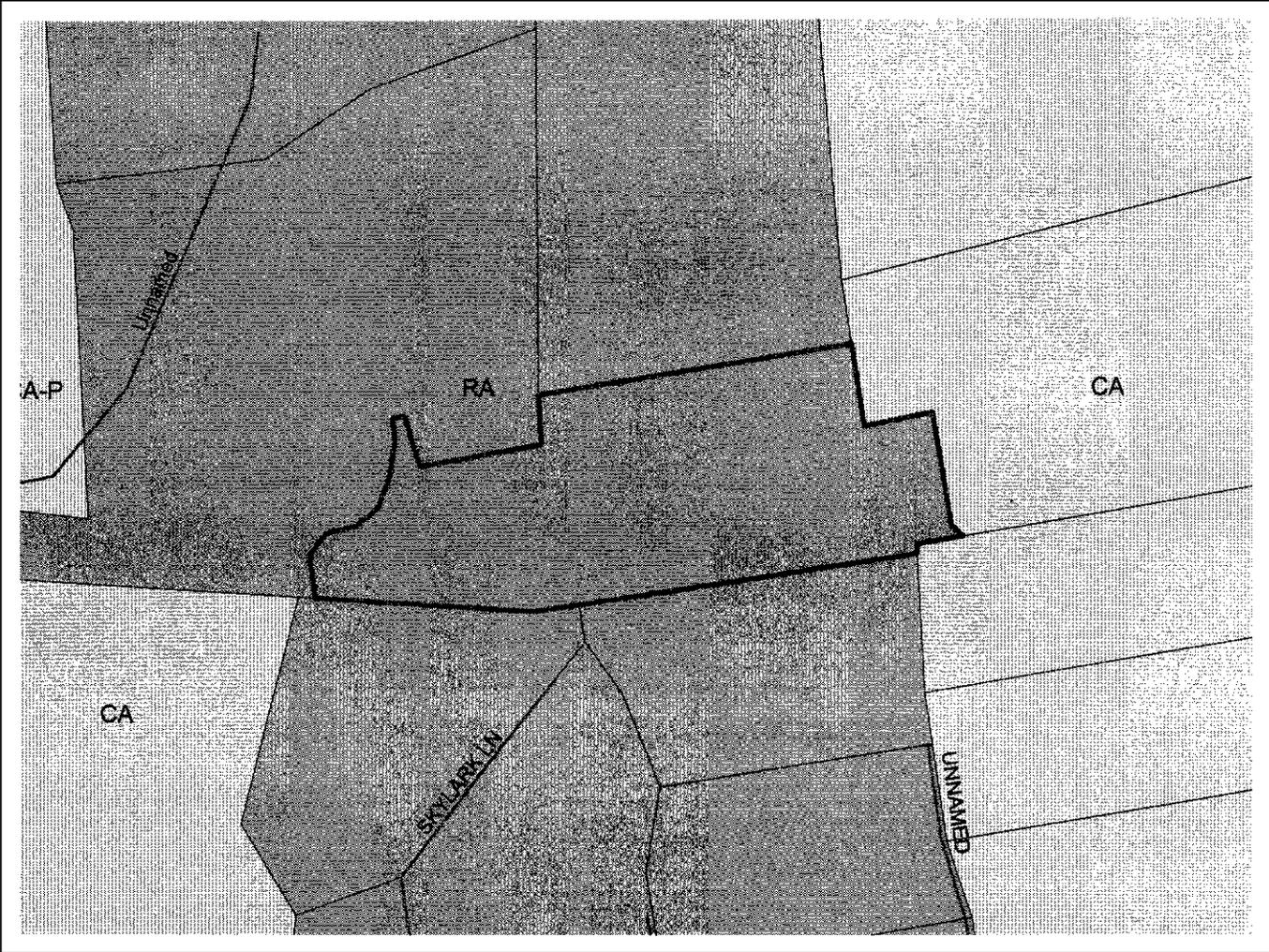
## Legend

	APN 108-171-49
	Streets
	Agriculture
	Rural Residential

Map created by Santa Cruz County  
Planning Department:  
June 2004

**EXHIBIT F**

# Zoning Map



### Legend

	APN 108-171-49
	Streets
	CA
	RA



Map created by Santa Cruz County  
Planning Department:  
June 2004

EXHIBIT F

