



# COUNTY OF SANTA CRUZ

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## PLANNING DEPARTMENT

701 OCEAN STREET, 4<sup>TH</sup> FLOOR, SANTA CRUZ, CA 95060  
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123

**TOM BURNS, PLANNING DIRECTOR**

August 3, 2009

**AGENDA: August 13, 2009**

### **CONTINUED REVIEW OF PORTIONS OF THE DRAFT APTOS VILLAGE PLAN REVISION AND HISTORIC REPORT**

Commissioners:

Planning staff is in the process of updating the current Aptos Village Plan. Since Aptos Village contains several historic structures, staff is bringing those portions of the draft Plan revisions related to historic resources to your Commission for review and recommendation to the Board of Supervisors. Your Commission first reviewed this item on April 9, 2009 and continued consideration until expanded historic report materials were prepared and reviewed. Those materials have been submitted, reviewed and are now ready for your consideration.

#### Background

The Aptos Village Community Design Framework (usually referred to as the Aptos Village Plan) is the oldest of the County's area plans -- adopted in 1979 and updated in 1985. Its focus was on providing a framework for the development of the Village Core: the undeveloped area behind the Bayview Hotel and Aptos Station.

While there were several proposed developments of this area over the years, the irregular lot configurations, number of property owners affected and infrastructure challenges resulted in these proposals not proceeding. Currently, there is a developer interested in developing the Village Core.

The Aptos Village Plan is being updated to provide a new framework to allow for the orderly development of the Village Core area. This process has involved numerous meetings with the Aptos community to capture their visions for their Village.

#### Historic Resources

In 2003, your Commission reviewed the historic resources of the Aptos Planning Area and designated/redesignated historic structures within Aptos Village. Aptos Village currently contains eighteen structures with a NR rating of 5 or greater (see Figure 3 of draft Plan).

The majority of these structures are located within the Hihn subdivision to the east of Trout Gulch Road. The Village Core (the area north of Soquel Drive between Aptos Creek Road and Trout Gulch Road contains three historic structures:

- Bayview Hotel: NR 1
- Apple Barn: NR3
- Aptos firehouse/VFW Hall: NR5

### Plan Recommendations

In order for the area behind Aptos Station and the Bayview Hotel to be developed, adequate road access needs to be provided. To that end, the draft Aptos Village Plan recommends the creation of a new street to connect Aptos Creek and Trout Gulch Roads. In addition, it was important to the Aptos community to create a Village Common: a center of town that would anchor the Village and provide a place to meet and relax. A new access street to connect Soquel Drive to the Village Common is proposed to the west of the Aptos firehouse/VFW Hall (see Figure 9 of Draft Plan for these key features).

Commercial and mixed uses are envisioned along these two new streets. The prime commercial area will be around the proposed Village Common. It is proposed that the Apple Barn be relocated from its current location and become one of the anchor buildings of the Village Common area. In addition, to accommodate new development along the proposed north-south street, it is proposed that the Aptos firehouse/VFW Hall be relocated and re-purposed elsewhere in Aptos Village (see Draft Plan language and Figure 10 for additional information).

No change is proposed to the Bayview Hotel property.

### Albion Historic Report

A Cultural Resources Study was prepared by Albion Environmental, Inc. in January 2009 and revised in February 2009 (Attachment 7). The Study focused on archaeological and historic characteristics of the Village Core and drew several conclusions (see Pages 19-22 of the Study), including:

- The Apple Barn and Aptos firehouse/VFW Hall do not meet the criteria for inclusion in the CRHR and would not be considered important historical resources for purposes of CEQA compliance;
- The Bayview Hotel has no aspects of setting (other than the railroad) that contribute to its significance;
- The Bayview Hotel will not be directly impacted by the proposed Aptos Village Plan revision nor will its integrity and/or significance be indirectly (visually) affected by surrounding new development; and
- Relocation and reuse of the Apple Barn, relocation of the Aptos firehouse/VFW Hall and proximity of future development to the Bayview Hotel will not result in substantial adverse changes to a historical resource as defined by CEQA.

### Peer Review of Albion Historic Report

The January 2009 Cultural Resources Study was referred to the County's historic consultant—Circa: Historic Property Development—for peer review. A review of the Study, dated March 24, 2009, was sent to the Planning Department (Attachment 8). Circa had concerns that there was insufficient discussion of how the conclusions of no

substantial adverse impacts were determined. It was recommended that the Study thoroughly discuss potential impacts and proposed mitigation measures. In addition, it was recommended that the Draft Aptos Village Plan contain language directing rehabilitation and new construction to follow the Secretary of the Interior's Standards for Rehabilitation.

The January 2009 Study was revised to include additional specificity (this February 2009 Study is attached) and resubmitted to Circa for review. Circa reviewed this revision and still concluded that additional discussion was warranted (Attachment 9).

#### April 9, 2009 Historic Resources Commission Meeting

Your Commission reviewed relevant portions of the draft Aptos Village Plan, the Albion Historic Report and Circa's comments at your April 2009 meeting. Staff recommended and Barry Swenson Builder requested that the item be continued for additional information. Your comments focused on both the draft Plan language and the Historic Report (see Attachment 3 for the meeting minutes).

Regarding the draft Aptos Village Plan language, your Commission had the following comments:

- Delete reference to the name "Aptos" as an Ohlone word referring to the meeting of two streams;
- Standardize the term for the Apple Barn in the document;
- Correct the reference to the Hihn Subdivision being created in the 1920s-1940s.

These requested changes have been made and are illustrated in the revised Draft document (Attachment 1).

Regarding the Albion report and Circa review comments, your Commission had a number of comments and clarifications of Aptos history. Your main concerns were:

- The report lacked a discussion of the reasoning that lead to the conclusion that relocating the two historic structures would have no significant impact under CEQA;
- That relocation of the two historic structures might affect their integrity, not meet the Secretary of the Interior's standards and result in a downgrading or loss of their current NR ratings. You requested that these concerns be addressed.

#### Urban Programmers Historic Report

In July 2009, Urban Programmers (the new consultant for Barry Swenson Builders) submitted materials—consisting of three documents—to the County (See Attachment 10):

1. "Aptos Village Plan—Comments in Response to the Historic Resource Commission's Questions";
2. "Questions and Comments from the Historical Resources Commission"; and
3. "U.S. Department of the Interior, National Park Service--VII. How To Apply The Criteria Considerations."

The documents contain the following statements/conclusions<sup>1</sup>:

- The Apple Barn (Hihn Apple Warehouse) is potentially eligible for National Register listing under Criteria A and/or C;
- The Apple Barn may retain eligibility, if relocated, due to its association with Frederick Hahn and the apple industry;
- For CEQA purposes, conformance with the Secretary of the Interior's Standards for the Treatment of Historic Buildings for historic structures eligible for California Register listing generally mitigates impacts to less than significant;
- For the Apple Barn and Aptos firehouse/VFW Hall, suggested mitigations include a photographic survey at its current site and project plans showing relocation methods and subsequent construction work;
- It appears that the Aptos firehouse location was based on the building availability and cost rather than proximity to the Bayview Hotel, which is important for the determination of potential loss of historic relationship with the Bayview Hotel;
- The integrity of the Aptos firehouse/VFW Hall building has been compromised by interior and exterior alterations. Relocating and rehabilitation consistent with Department of Interior standards would retain eligibility for the structure;
- Under the Secretary of the Interior's standards for rehabilitating historic buildings, "Rehabilitation" is the appropriate category of treatment that should be applied to the Apple Barn and Bayview Hotel;
- No nearby buildings should copy or dominate the Bayview Hotel. Sufficient open space should be retained to provide for an adequate setting.

#### Peer Review of the Urban Programmers Materials

The Urban Programmers materials were referred to the County's historic consultant—Circa: Historic Property Development—for peer review. A review of the materials, dated July 29, 2009, was sent to the Planning Department (Attachment 11).

Circa concluded that the Urban Programmers materials adequately addressed the concerns your Commission posed. Future preservation plans for the historic buildings will need to be specific in their requirements and protections.

#### Staff Recommendation

Additional information has been provided to conclude that the proposed relocation of the Apple Barn and Aptos firehouse/VFW Hall, if in compliance with the Secretary of the Interior's Standards, will not result in the degradation of their current NR ratings and that significant adverse impacts, relating to CEQA, can be mitigated.

It is important to note that what is before your Commission for review is a planning document that does not authorize any development at this time. Any future proposed development that involves or affects an historic structure in Aptos Village will be subject to preparation of a Historic Preservation Plan and review by your Commission.

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<sup>1</sup> It should be noted that the consultant has reviewed proposed development plans prepared for Barry Swenson and is, in part, responding to its proposed treatment of the Apple Barn building. Review of those plans are not within the purview of your Commission at this time.

Staff is, therefore, recommending that your Commission:

1. Conduct the continued public hearing on this matter; and
2. Adopt the attached Resolution (Attachment 2) recommending that the proposed amendments to the Aptos Village Plan regarding historic resources be approved by the Board of Supervisors.

Sincerely,



Glenda Hill, AICP  
Principal Planner

Attachments:

1. Portions of the Draft Aptos Village Plan
2. Resolution
3. Meeting Minutes of April 9, 2009
4. DSR Form for the Apple Packinghouse (Apple Barn)
5. DSR Form for the Aptos firehouse/VFW Hall
6. DSR Form for the Bayview Hotel
7. Cultural Resources Study dated February 2009
8. Circa review of Cultural Resources Study (January 2009) dated March 24, 2009
9. Circa review of Cultural Resources Study (February 2009) dated April 3, 2009
10. Urban Programmers materials (3 documents) dated July 16, 2009
11. Circa review of Urban Programmers materials dated July 29, 2009

## VILLAGE PLAN HISTORY

### PAST PLANNING EFFORTS

Since 1979, land use in Aptos Village has been governed by the Aptos Village Community Design Framework, which was originally adopted by the Board of Supervisors on April 17, 1979 and amended on June 18, 1985. The only major new buildings constructed since the late 1960s include the Aptos Station in 1981, the Founders Title Building in 1985, and the Appenrodt building at the southeast corner of Soquel Drive and Post Office Drive in 2006. There were several previous attempts to develop the vacant parcels adjacent to Aptos Station, the Bayview Hotel, and the Hihn apple packing shed (Apple Barn), but for a variety of reasons (including parcel configuration and lack of coordinated planning among all parties regarding development) none of those ever came to fruition.

The Aptos Village Community Design Framework covered an area of about 100 acres, including the area covered by this Village Plan. Even though the Framework covered an area larger than the Village, its primary focus was on future development of the Village core area. Due to the lack of progress over the years following approval of the Framework, members of the community felt that a more detailed plan would encourage the Framework vision to be realized. In addition to updating the Framework and re-evaluating the mix of land uses, it was critical to review parcel configuration and infrastructure planning. Therefore, this Plan, which builds upon the Framework, is structured to provide more clarity to guide possible new development. It is intended that, upon adoption of this Plan by the Board of Supervisors, it will replace the Aptos

Village Community Design Framework, focusing on the Village Core area.

### SETTING THE STAGE FOR A NEW PLAN

In 2001, the Aptos business community and the County began discussing the possibilities of coordinated development of the vacant parcels in the context of the overall development of Aptos Village. In mid-2002, the County conducted two public meetings to elicit comments from area residents, business owners, and other interested parties about what future development, if any, should occur in the Village.

On a parallel track to that process, the County has, through its Capital Improvement Program (CIP), established a plan for upgrading infrastructure in the Village area. Those efforts will serve to complement the activities called for in this Plan.

## HISTORIC ISSUES

### HISTORIC CONTEXT

~~"Aptos" is an Ohlone word meaning "the meeting of two creeks" and is an apt name for the area where Aptos and Valencia Creeks meet.~~ The name "Aptos" has been associated with the area since as early as 1791 when reference was made to a Costanoan native village. In 1833, Mexican Governor Jose Figueroa granted Rafael Castro 5,500 acres of land known as Aptos Rancho. In 1855, Rafael Castro deeded most of the property, which is now known as Aptos Village, to Maria Antonia Castro and her husband Guadalupe Bernal who were already living on the property. On their ranch, the Bernals produced stock, grain, and other agricultural products. The

Bernal property was accessed by a spur off the "Old Coach Road" which entered the ranch at what is today the junction of Soquel Drive and Trout Gulch Road. In 1857, access to the Bernal property was improved when a new road alignment was constructed that corresponds roughly with present-day Soquel Drive.

The first commercial activity in Aptos began in the late 1860s with the construction of the Arano Store on Aptos Wharf Road. In 1874, Frederick Hihn began buying rights-of-way from Rafael Castro, the Bernals, and others for his Santa Cruz Railroad Company.

Construction of the railroad, connecting Pajaro to Santa Cruz with a narrow gauge line, began in 1874 and was completed to Aptos by 1875. Commercial activity in what is now Aptos Village began in earnest during the 1870s, spurred on by the arrival of the railroad.

Tourism in Aptos dates back to the early 1870s when Claus Spreckles, the millionaire sugar baron, bought 6,685 acres of Rancho Aptos and developed the elegant Aptos Hotel, located south of Aptos. The lumber industry dates to the early 1850s when Rafael Castro authorized the construction of the first sawmill (1851) south of present-day Aptos Village and the construction of Judge John Watson's shingle mill in 1852 (later known as Nichols Mill). By 1870, lumbering was a major economic activity, with the resulting products being shipped from the Aptos Wharf.

Agriculture was another prominent industry in Aptos during the late 1800s, with a grain warehouse located on one of the railroad spurs west of the Bay View Hotel. With the development of orchards on the farms in the vicinity, Aptos became a center for the packing

and shipping of apples by the late 1890s, continuing until the late 1950s. The earliest packing house, then known as the Valencia Orchards & Packinghouse (located behind the Bay View Hotel), was constructed between 1892 and 1899 by F. A. Hihn. Added to over the years, it was most recently known as the Village Fair, an antique collective. By 1959, succumbing to public concern about inadequate sewer facilities and pollution of the creek, Western Frozen Foods relocated their operation to Watsonville, ending Aptos's tenure as a fruit-processing center.

The Hihn Subdivision, to the east of Trout Gulch Road, was created in the 1890s. During the 1920s through the 1940s, the subdivision of many of the nearby farms and the large Spreckles holdings brought many new residents into the area, including the Hihn Subdivision. During the 1930s and 1940s new construction waned. After the war, construction resumed in the Village as Fred Toney, one of the prominent entrepreneurs in Aptos, spearheaded modernizing the Village by building several new commercial buildings.

From 1960 on, the area experienced little new construction. Unfortunately, during that time many of the older buildings in the Village were demolished.

## **HISTORIC RESOURCES**

Since the creation of the County's first historic preservation ordinance in the 1970s, a significant number of buildings have been designated as historically significant and have been protected. These buildings add to the character of the Village and County policies require that they be respected by new development in

terms of design and scale. The following list contains the sites currently identified in the County's Historic Inventory as historically significant in the Village area, which are illustrated on

Figure 3.

1. Aptos Creek Bridge - Soquel Dr. at Spreckles Dr.
2. General Store and Post Office - 8040, 8042 Soquel Dr.
3. Village House - 8044 Soquel Dr.
4. Aptos Firehouse/VFW Hall - 8037 Soquel Dr.
5. Anchor Hotel - Bay View - 8041 Soquel Dr.
6. Apple ~~Barn~~ Packing Shed - 417 Trout Gulch Rd.
7. ----- 502 Trout Gulch Rd.
8. Bonner House - 420a Trout Gulch Rd.
9. Ray McCawley Real Estate - 408 Trout Gulch Rd.
10. Hihn - Aptos Subdivision - 8055 Valencia Street
11. Hihn - Aptos Subdivision - 8057 Valencia Street
12. Hihn - Aptos Subdivision - 8059 Valencia Street
13. Somerset House - 8061 Valencia Street
14. Calvary Chapel - 8065 Valencia Street
15. Hihn - Aptos Subdivision - 8067 Aptos Street
16. Hihn - Aptos Subdivision - 8065 Aptos Street
17. Hihn - Aptos Subdivision - 8063 Aptos Street
18. Twitchell House - 8061 Aptos Street

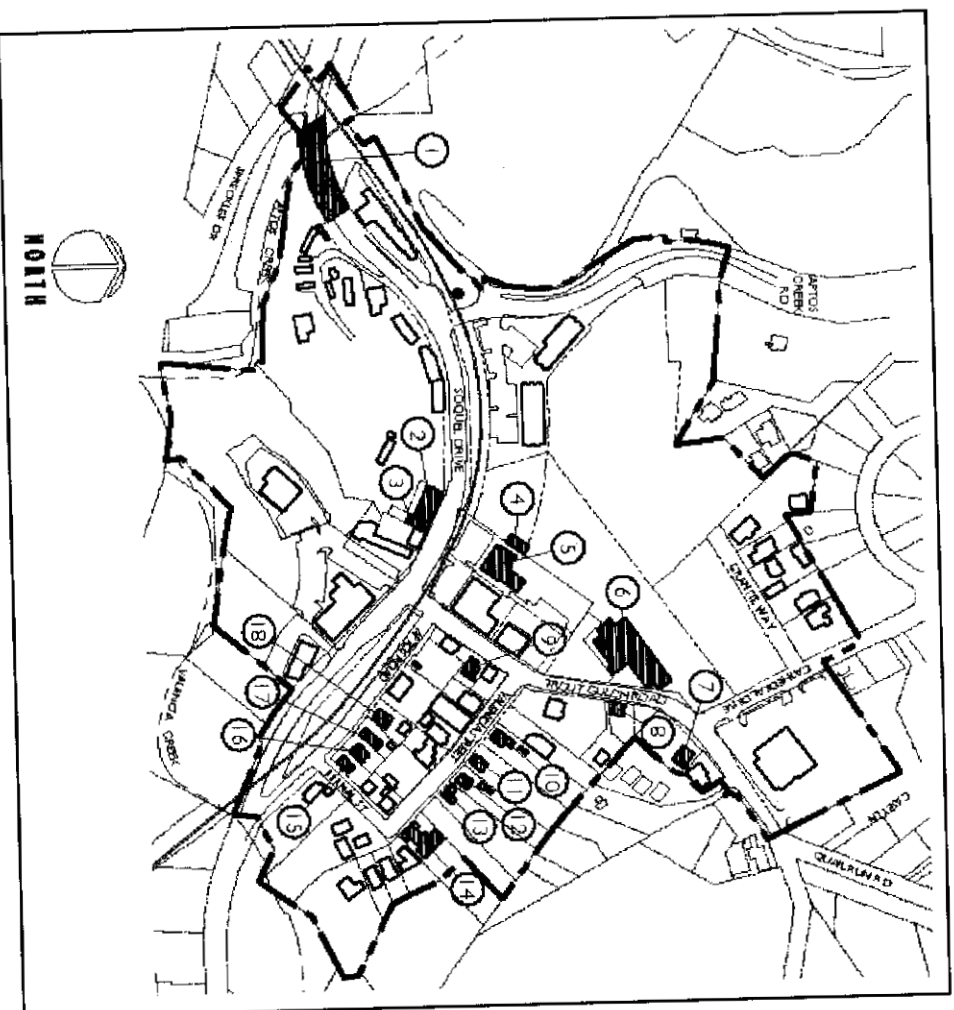


FIGURE 3: HISTORIC PROPERTIES



Area III also includes APN 41-561-04: a parcel located on the north side of Soquel Drive with several commercial uses, including Britannia Arms pub.

The Village Core is adjacent to residential development in the Vista Mar Court area at its northern boundary. This Plan envisions providing a high and medium density residential transitional area between the Village's commercial uses and this Urban Low Residential area to the north.

## FRAMEWORK FOR THE VILLAGE CORE

### TRAFFIC CIRCULATION

As was discussed during the community design process, the existing circulation system must be supplemented to allow for the expanded development in the Village Core. A new east-west road connecting Trout Gulch Road and Aptos Creek Road is required within the Village Core. In addition, a new street is required to connect Soquel Drive to the new east-west street and lead to the new Village Common. Figure 9 illustrates the location of the new streets.

### PLAN FOR VILLAGE COMMON

A common feature of most villages is a public open space near the village center that typically includes a lawn area. This open space can serve a number of functions, including public gatherings, a soft contrast to buildings, and a place to simply lie in the sun, read a book, or otherwise relax and take in the surrounding scene.

It is important to the community that the Village Common be a gathering area for social and civic events, so it needs to be large enough to accommodate those events. As well, the location of the Village Common is critical. It should be centrally located and surrounded with or adjacent to uses that encourage pedestrian traffic.

In order to provide this desirable amenity, the Village Common will need to be an open space area of approximately 10,000 square feet (in comparison, a major league baseball infield is 7,000 square feet in size), including a central lawn area, and shall be located at the intersection of the new east-west and new north-south streets (see Figure 9). The Village Common must be integrated with the uses abutting it, meaning that the uses and building designs shall be complementary to the greenspace. A platform or small stage for performances may be incorporated into the design of the Village Common.

At the heart of the Village Core, the Village Common will provide a community focus and multi-use community feature. The Village Common shall be located on private property, but reserved for public use. The construction of the Village Common improvements is entirely the responsibility of the owner of the land on which it is to be constructed. Future property owners will be responsible for providing on-going maintenance of the Village Common. Final design of the Village Common will be reviewed as part of the permits for the surrounding buildings, with maintenance and operational costs carried by businesses in the new buildings.

VILLAGE COMMON  
SIZE: 10,000 S.F. ±

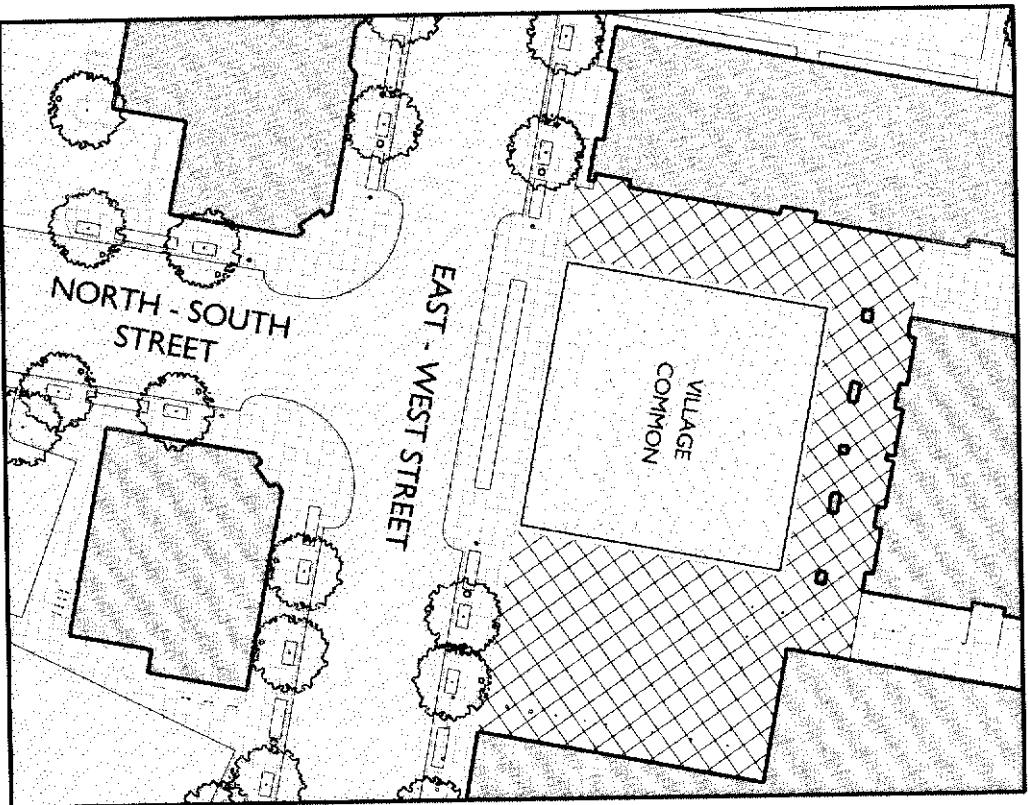


FIGURE 7: VILLAGE COMMON

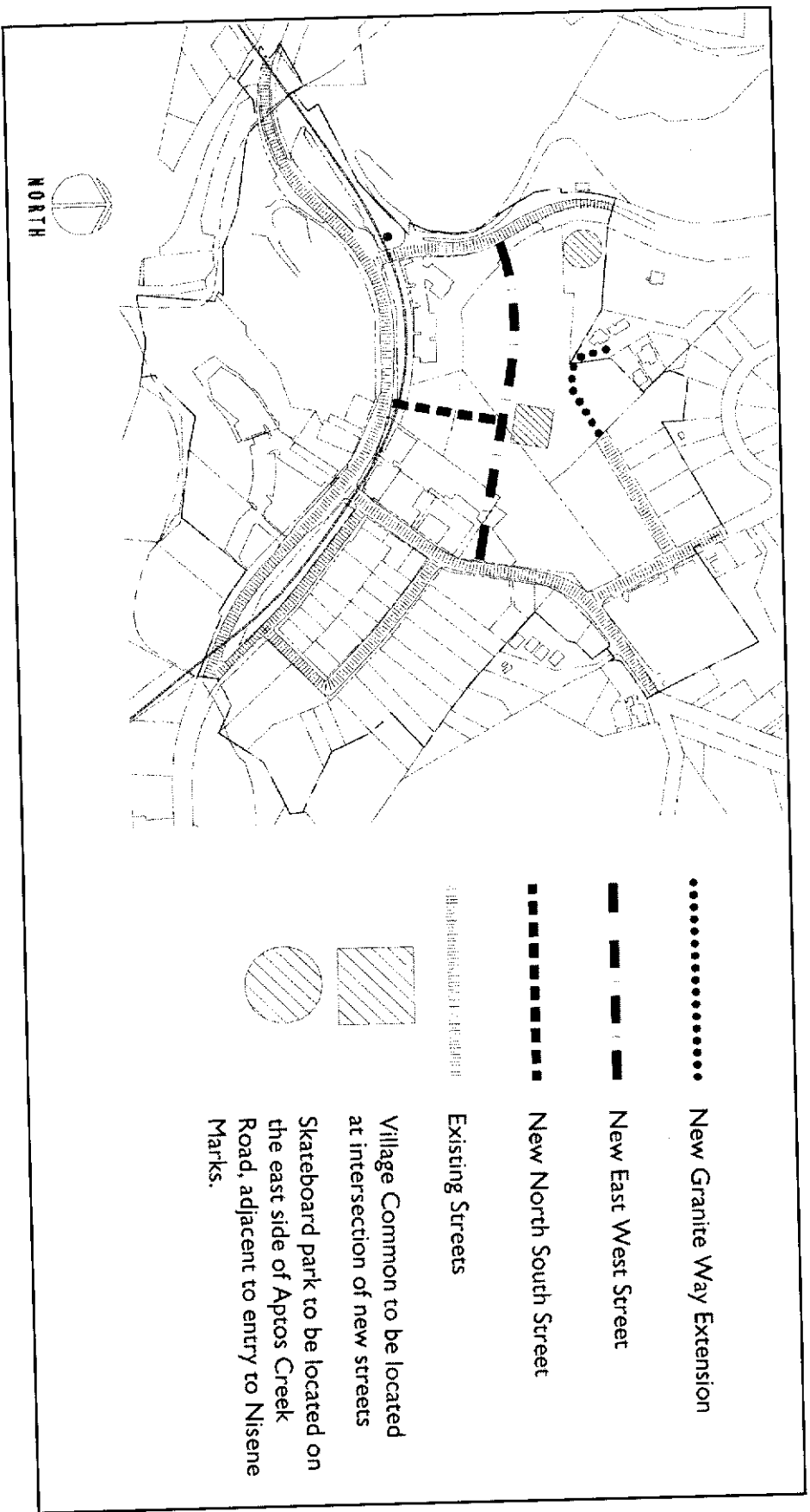


FIGURE 9: KEY FEATURES

Recognizing that the amount of new residential development must be limited so as not to overwhelm the Village commercial activities, this Plan limits the number of new residential units in the Village Core to not exceed 63 units (this figure includes transitional residential units at the north of the Village Core). As well, the total unit sizes should not exceed 50% of the square footage of the mixed-use buildings so that they do not overwhelm the scale of the commercial uses in the Village.

The Village Core is adjacent to an established Urban Low density residential neighborhood to the north. In order to provide an orderly transition from this area to the commercial areas in the Village Core, the existing area designated Urban Medium density residential on the north side of Granite Way will remain residential and, in addition, a portion of the area on the south side of Granite Way (at the corner with Cathedral Drive) may be used for exclusive Urban High density residential purposes.

Like all projects containing residential development, residences built in the Village Core will be required to meet the housing affordability requirements of the County. An allowance for clustering required affordable units may be considered as part of a Planned Unit Development application.

## KEY HISTORIC STRUCTURES

As noted previously, the Village Core was the site of lumber milling and several apple processing and packing operations. One building from the area's past use of apple processing remains: the ~~Antique~~ Apple Barn at the corner of Trout Gulch Road and Cathedral Drive

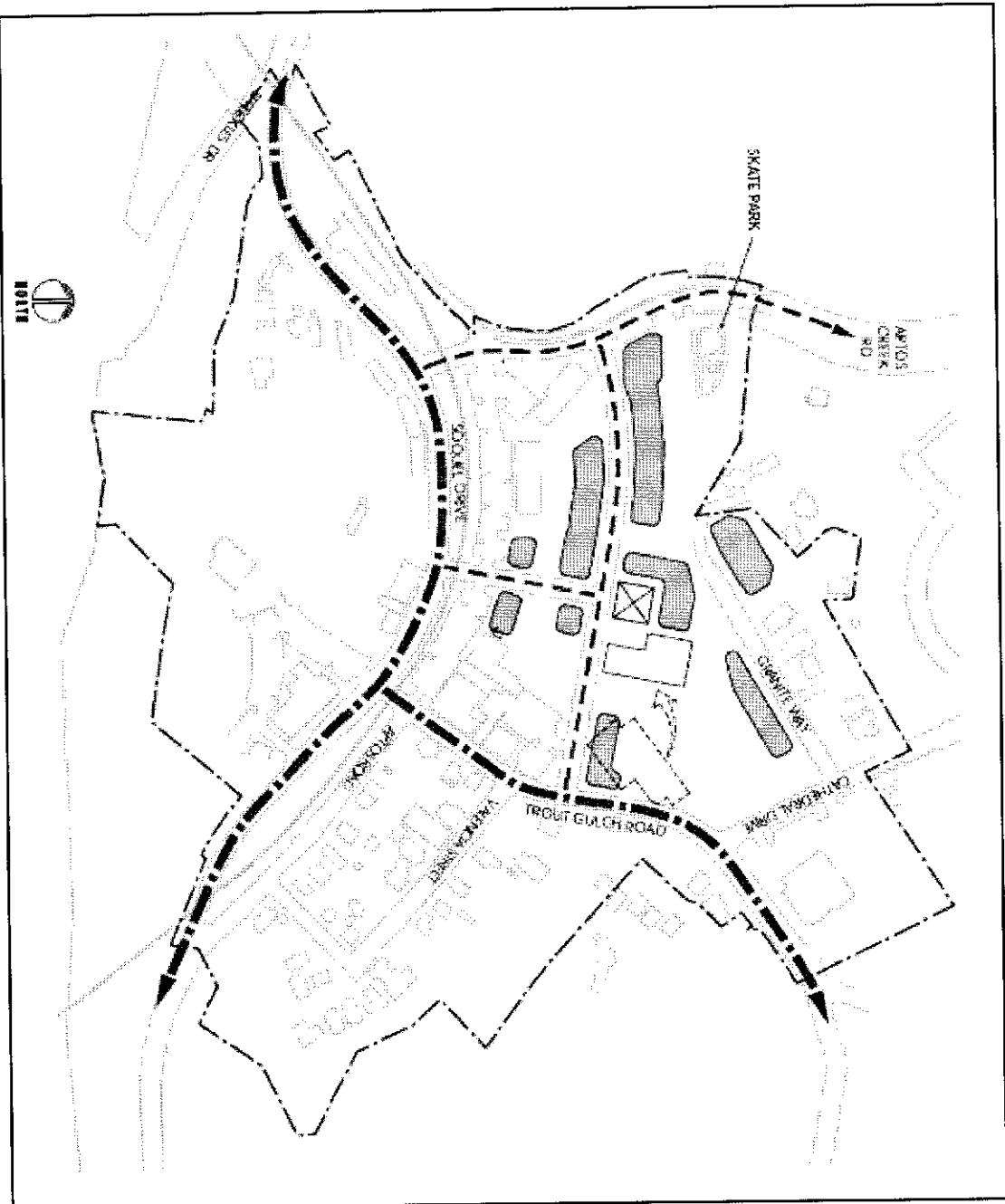
(given an historic rating of NR-3—a designation that recognizes its nomination by the County for national designation). Also located in the Village Core is the Bayview Hotel (rated NR-1 - a nationally recognized structure) and the old Aptos Firehouse/VFW Hall just west of the Bayview Hotel (rated NR-5 - of local interest).

It is envisioned that the ~~Antique~~ Apple Barn could be used as an anchor store. This Plan envisions that the ~~Antique~~ Apple Barn will be relocated to allow its presence on the Village Common and properly interact with the other new buildings. Any such movement will likely require some reconstruction. Because it is an historic resource of significance, any movement, exterior change, or reconstruction of the ~~Antique~~ Apple Barn will require special review and approval by the County's Historic Resources Commission. Available technical information suggests that a minor change in location will not adversely affect the significance of the Antique Barn, given the condition of the surrounding setting. As long as any exterior changes are sensitive to the historic significance and architectural features of the building, such changes most likely will not affect the significance of the building. The Plan assumes that the small warehouse, a non-historic building adjacent to the ~~Antique~~ Apple Barn, will be demolished.

To facilitate the new north-south street and the development of additional buildings, the historic Aptos Firehouse/VFW Hall will need to be relocated within the Village Plan area. Before moving this building, the County's Historic Resources Commission must approve the relocation and associated reconstruction work.

Finally, given the highest rating of historic significance assigned to the Bayview Hotel, any new structures built adjacent to that site will need to be reviewed by the Historic Resources Commission to ensure that they do not compromise the historic context of this very important historic resource and centerpiece to the character of the Village.

Figure 10 illustrates in one place the key elements proposed by this Chapter for the Village Core. In addition to new roadways and private and public open spaces, it suggests the likely relocation of historic structures and possible footprints for new residential, commercial and mixed-use buildings. Figure 16 in Chapter 6 provides more detailed requirements for these possible buildings.



**FIGURE 10: VILLAGE CORE DEVELOPMENT POTENTIAL**

BEFORE THE HISTORIC RESOURCES COMMISSION  
OF THE COUNTY OF SANTA CRUZ, STATE OF CALIFORNIA

RESOLUTION NO. \_\_\_\_\_

On the motion of Commissioner  
duly seconded by Commissioner  
the following is adopted:

HISTORIC RESOURCES COMMISSION RESOLUTION REGARDING  
AMENDMENTS TO THE APTOS VILLAGE PLAN

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WHEREAS, the Aptos Village Plan—a component of the County General Plan—is being revised to facilitate the orderly development of the Village; and

WHEREAS, the County General Plan includes historic resources policies with an objective to protect historic structures, objects, sites and districts in the unincorporated portion of the County; and

WHEREAS, in 2003, a review of historic resources in the Aptos Planning Area resulted in the continued designation or redesignation of eighteen historic structures in the Aptos Village area; and

WHEREAS, preservation of such structures as community resources for present and future generations is beneficial to the public interests and welfare; and

WHEREAS, the draft Aptos Village Plan adequately addresses the preservation of these structures while furthering the orderly development of the Village.

NOW, THEREFORE, BE IT RESOLVED AND ORDERED, that the Historic Resources Commission recommends that the proposed amendments to the Aptos Village Plan regarding historic resources be approved by the Board of Supervisors.

PASSED AND ADOPTED by the Historic Resources Commission of the County of Santa Cruz, State of California, this \_\_\_\_ day of \_\_\_\_\_ 2009 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

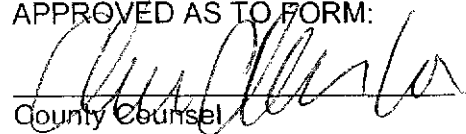
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Chairperson of the Historic Resources Commission

ATTEST:

\_\_\_\_\_  
Secretary to the Historic Resources Commission

APPROVED AS TO FORM:

  
\_\_\_\_\_  
County Counsel

DISTRIBUTION: County Counsel  
Planning Department





# COUNTY OF SANTA CRUZ

## PLANNING DEPARTMENT

701 OCEAN STREET, 4<sup>TH</sup> FLOOR, SANTA CRUZ, CA 95060  
 (831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123

TOM BURNS, PLANNING DIRECTOR

## HISTORIC RESOURCES COMMISSION MINUTES

Thursday, April 9, 2009

4:30 p.m.

### REGULAR MEETING

Board of Supervisors Meeting Room  
 County Building, 5<sup>th</sup> Floor  
 Santa Cruz, CA 95060

#### 1. CALL TO ORDER/ROLL CALL

*Interim Chairperson Fisher called the meeting to order at 4:50 p.m.*

*Commissioners Present: Fisher, Swift, and Jenkins  
 Orlando arrived at 5:02 p.m.*

*Commissioners Absent: Kennedy*

*Staff Present: Bussey, Murphy and Hill*

*Members of the Public Present: Jessie Thielsen*

#### 2. AGENDA APPROVAL OR MODIFICATION

*No modification to the agenda was made.*

#### 3. APPROVAL OF MINUTES

*01/08/2009: Consideration of the minutes was deferred for a full commission.*

#### 4. PUBLIC COMMUNICATIONS (Members of the public may speak on items not on this agenda)

*No member of the public spoke.*

#### 5. CONSENT ITEMS

*There were no consent items.*

## 6. PUBLIC HEARING ITEMS

## Aptos Village

APN: Various

Review of the Cultural Resources text and the Historic Resource Documentation for the CEQA review of a proposed General Plan Amendment updating the Aptos Village Plan.

Property located on the north and south side of Soquel Drive between Aptos Creek Road, Bernal Street and Granite Way.

Owner: Various

Supervisory Dist: Second

*Staff presented the item. They gave a brief history of the Aptos Village Plan and the Plan update. They noted that the public input had three key points. They were:*

- *New road access.*
- *A Community area.*
- *Commercial and mixed use in the area.*

*To achieve these goals, the plan proposes the relocation of the "Apple Shed" or "Apple Barns" and the "fire house". No change to the Bayview Hotel is proposed.*

*CIRCA reviewed the report and concluded that additional information was required to answer all questions and to address CEQA. Based upon those comments, staff recommended that this item be continued to a future date so an update to the historic background report can be submitted and reviewed. Once that additional information has been submitted and analyzed, it will be brought back to the Commission for comments on the Plan and the resource protection component and a recommendation to the Board of Supervisors.*

*The public hearing was opened and Ms. Jessie Theisen representing Barry Swenson indicated that they would like a continuance to address all of the questions/ deficiencies in the report. The public hearing was closed and the item was brought back to the Commission for comment.*

*Commissioner Swift had several comments.*

- *Concerned that moving the apple barn or shed will affect its integrity, and will not meet the Secretary of the Interior's standards.*
- *Impressed by CICRA's review.*
- *All three resources are very important.*

*Commissioner Swift had the following suggestions:*

- *She commented on various items.*
- *She noted that the DPR form may not be accurate with respect to the referenced dates to the Hihn Subdivision.*
- *She noted that the use of photographs and aerial photographs such as the Sanborn map would be beneficial in the updated report.*

*Commissioner Jenkins indicated that she had concerns as to whether the Secretary of the Interior Standards are being met.*

*Commissioner Orlando indicated that she too had concerns regarding the report and*

*whether the Secretary of the Interior Standards are being met, especially given the letters from CIRCA.*

*Commissioner Fisher indicated that she supported the continuance of the item. This would allow for an update to the report and peer review of the update. She was concerned that when the historic structures are moved, it will diminish the historic rating, and requested that CIRCA comment on this.*

*On a motion by Commissioner Swift, seconded by Commissioner Jenkins, the item was continued to June 11, 2009.*

## **7. NEW BUSINESS**

*a. Election of Chairperson and Vice Chairperson for 2009-2010.*

*This item was deferred for a full commission.*

*b. Consider the Replacement of an existing DPR Form with an updated DPR Form for 1975 Chanticleer Ave., Santa Cruz, CA.*

*Staff gave a brief presentation.*

*On a motion by Commissioner Jenkins, seconded by Commissioner Swift the Commission adopted the staff recommendation. The updated DPR form is now the official record for this site.*

## **8. OLD BUSINESS**

*a. Reminder of the required ethics training under AB1234 and the required training of Commissioners to remain a CLG.*

*Staff reminded the Commission that they are required to complete ethics training by State Law. Staff also brought up that this must be updated every two years. A memo listing a web site where training could be obtained was distributed.*

*Staff also reminded the Commission that they are required to attend "training" classes for the County to remain a Certified Local Government. Staff noted that the training must be obtained between October 1, 2008 and September 30, 2009 to be included in the 08-09 Annual Report to the State.*

*Staff distributed information regarding the upcoming Keeping Time II conference in Columbia 06/19/09. This conference meets the criteria for CLG Training.*

## **9. COMMISSIONER PRESENTATIONS/ INFORMATIONAL ITEMS**

*Commissioner Swift noted the upcoming Blue Plaque awards presentation on 05/02/2009.*

*Commissioner Swift noted that Capitola was celebrating its 60<sup>th</sup> birthday May 15, 16 and 17<sup>th</sup>. She noted that an historical talk by Sandy Lydon was scheduled for May 15, 2009.*

*Commissioner Orlando noted that History Journal 6: Pathways to the Past was available.*

*Commissioner Orlando noted that the Davenport Jail was scheduled to be open to*

*the public for limited hours after 05/03/2009. She also noted that a "new" desk was now in the jail.*

*Commissioner Orlando noted that a self-guided walking tour of Davenport would be available soon and that postcards of the historic resources in Bonny Doon and Davenport would soon be available.*

**10. WRITTEN COMMUNICATIONS**

*Acknowledge receipt of a copy of a letter from the Board of Supervisors acknowledging receipt of the 2008 Annual Report for the HRC and thanking the Commissioners for their participation. No other written communication was submitted.*

**11. ADJOURNMENT**

*Interim Chairperson Fisher adjourned the meeting at 6:01 p.m.*

**Minutes Approved**

Ayes:

Noes:

Absent:

Abstain:

State of California - The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	PHR #
<b>PRIMARY RECORD</b>	Trinomial
Other Listings	NRHP Status Code: 3
Review Code	Reviewer
Date	

Page 1 of 2

\*Resource Name or #: (Assigned by recorder) 417 Trout Gulch Road

P1. Other Identifier: Hihn Apple Packinghouse

\*P2. Location: ☐ Not for Publication ☒ Unrestricted

a. County: Santa Cruz

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad Soquel Date 1994 Revised T 13E R 1E B.M. Mt. Diablo

c. Address 417 Trout Gulch Road City Aptos Zip 95003

d. UTM: (Give more than one for large and/or linear resources) Zone 10S 592023mE 4092319mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

Assessor's Parcel Number: 041 011 33

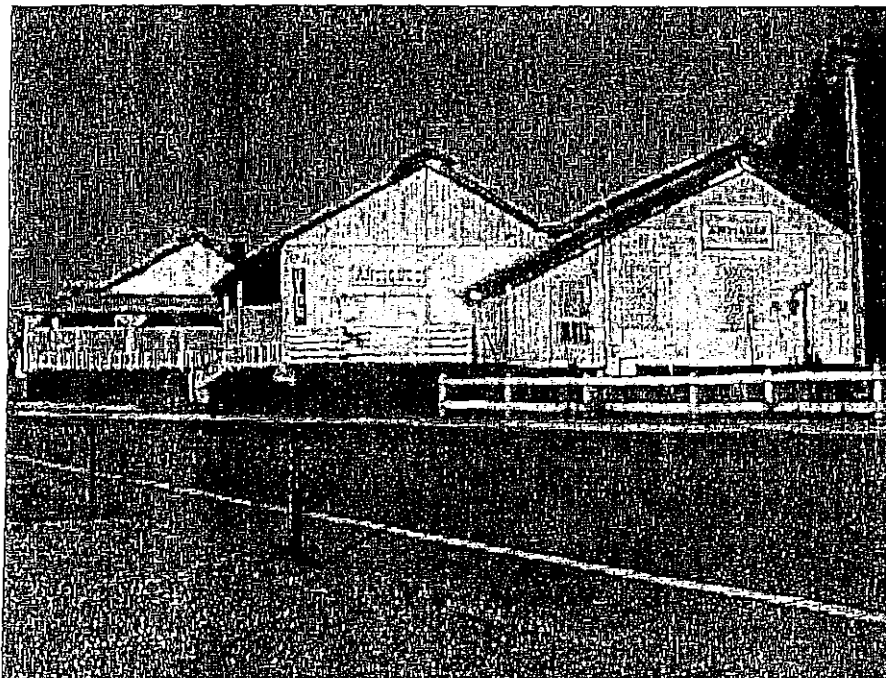
\*P3a Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

**CONTRIBUTING BUILDING (NR 3D)**

The Hihn Apple Packinghouse is located at 417 Trout Gulch Road. Constructed in the early 1890s for Frederick Hihn, this building served as an apple-packing barn for many years.

This building is comprised of three distinct bays. It is probable that a mudsill foundation supports the walls that are clad in board and batten and vertical wood siding. Three side-by-side monitor roofs, sheathed in metal, crown this primarily rectangular-shaped barn. The present-day entrance is located on the southwest end and is denoted by two large sliding doors, each with decorative spindles. A porch added at an unknown date wraps around the building part of the southwest end, the southeast side, and a portion of the northeast end of the building. The roof over the porch is supported by square posts that are evenly spaced between the ornate balustrades of wood cutouts. Lattice is located above the balustrade and stops approximately twelve to sixteen inches below the roofline. Many of the original openings for doors and windows are still (Continued page 2)

\*P3b. Resource Attributes: (List attributes and codes) HP6, HP8 - Apple Packing Facility

\*P4 Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5b. Description of Photo: (View, date, accession #)  
Photo of the northeast elevation.  
June 2002, K. Oosterhaus

\*P6. Date Constructed/Age and Sources:  
☒ Historic ☐ Prehistoric ☐ Both  
Early 1890s

\*P7. Owner and Address:  
Patricia Toney Thompson &  
Gail T. Costello  
P.O. Box 391  
Aptos, CA 95002

\*P8. Recorded by: (Name, affiliation, and address)

Kara Oosterhaus  
Dill Design Group  
110 N Santa Cruz Ave  
Los Gatos, CA 95030  
Charlene Duval (Consultant)

\*P9. Date Recorded: 06/02 Rev 3/7/02

\*P10. Survey Type: (Describe)  
Reconnaissance

\*F11. Report Citation: (Site survey report and other sources or enter none) None

\*Attachments: ☐ NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure and Object Record ☐ Archaeological Record  
☒ District Record ☐ Linear Feature Record ☐ Milling Slate Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (List)  
DPR 523L (1/95) \*Required Information

State of California - The Resources Agency  
 DEPARTMENT OF PARKS AND RECREATION  
 CONTINUATION SHEET

Primary #  
 HRT #  
 Trinomial

Page 2 of 2

Resource Name or # (Assigned by Recorder)

417 Trcut Gulch Road

Recorded By: K. Osterhouse & C. Duval

Date: 8/31/02 Rev 3/7/03

Continuation

☒ Update

present but have been infilled with sheets of plywood or vertical wood siding. Many of the original large sliding doors are intact while only the hinges and track remain for others. This barn, which currently serves as an antique shop, is set in the commercial center of Aptos, which is comprised of both historic and non-historic income producing businesses. It is also a contributing resource to the Aptos Village Historic District. Despite the new construction, this area of Aptos still possesses a sense of place. Overall, this building possesses integrity of location, setting, design, feeling, association, workmanship, and materials as it remains true to its historic design and appearance. This building may become eligible for individual listing on the National Register if additional research provides a stronger statement of significance.

#### History

The apple packing and distribution history of Aptos began quickly upon the completion of Frederick Hihn's narrow gage railroad, the Santa Cruz-Pajaro line of the Santa Cruz Railroad. Oral histories credit Hihn with the first packing sheds in 1878, but early maps show no such use of the existing Village Fair buildings before 1892. Following the decline of the lumbering industry, apple packing was concentrated at the site in several buildings, including Hihn's early packing shed. A 1905 photo includes a packing shed identical in appearance to the current Village Fair shops. Mid-County historian Vincent Leonard noted that additions to Hihn's packing shed were made in 1899, 1915, and 1920, before the first structure was removed in the early 1950s by Aptos promoter Fred Toney. Numerous photographs from the Paul Johnston collection depict the activities in the sheds, where Aptos area women found employment during the long fall through winter season grading and packing apples for shipment, and local men made pinewood apple boxes at award-winning speed. With the advent of lug hauling by truck in the 1920s and 30s, the Aptos packing industry withered. The remaining packing sheds dating from 1899 found new life as Village Fair, a collection of antique shops. The industrial style buildings offer a rich reminder of the mid-county's agricultural history and apple heyday (Quoted directly from survey document research and produced by the firm of Bonnie L. Bamberg, April 1985, amended by Edna Kimbro in 1988).

#### Sources

Bamberg, Bonnie.

1985 Survey Document.

# HISTORIC RESOURCES INVENTORY

Ser. No. \_\_\_\_\_

HABS: HAER Loc: SHL No. NR Status 5  
UTM: A 10/597994.4092835 C                       
B                      D                     

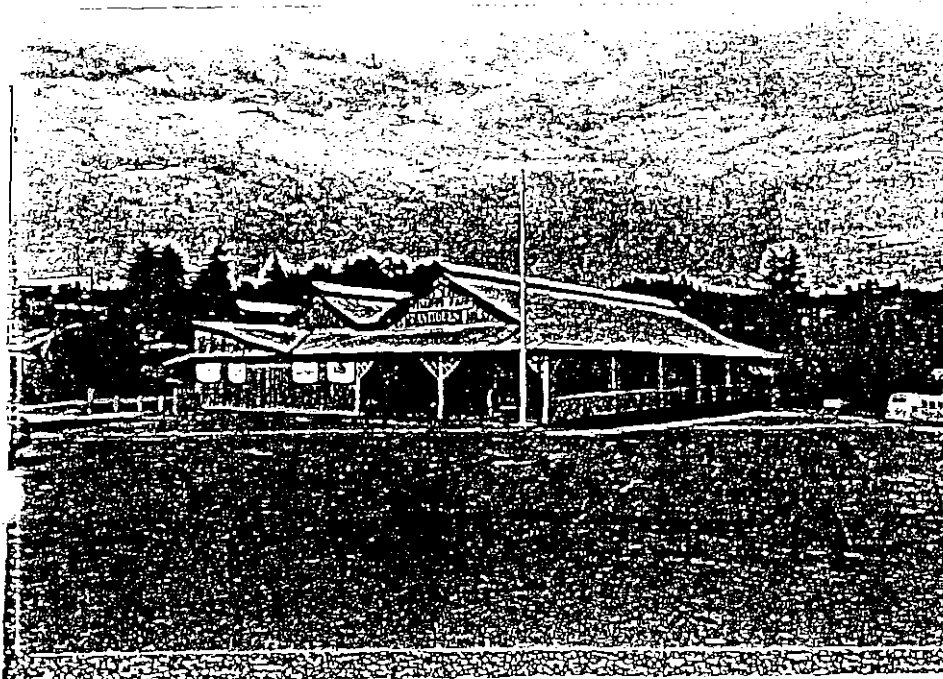
## IDENTIFICATION

1. Common name: Village Fair
2. Historic name: Apple Packing Sheds
3. Street or rural address: 417 Trout Gulch Road
- City Aptos Zip 95003 County Santa Cruz
4. Parcel number: 41-011-05 33 1/4 4177 sq ft
5. Present Owner: Fred & Elma Toney Address: P. O. Box 391
- City Aptos Zip 95003 Ownership is: Public ☐ Private ☒
6. Present Use: Retail Original use: Apple Warehouse

## DESCRIPTION

- 7a. Architectural style: Wood Warehouse
- 7b. Briefly describe the present *physical appearance* of the site or structure and describe any major alterations from its original condition:

one story rectangular warehouse structure. Four structures with medium pitched gable roofs that extend at each end and slope along the side to form canopy over long porches (formerly loading areas). Canopy supports are with carpenter cut-out decorative braces. A decorative railing lines porch. The structures are sheathed in vertical board.



8. Construction date:  
Estimated \_\_\_\_\_ Factual 1890
9. Architect \_\_\_\_\_  
Unknown
10. Builder \_\_\_\_\_  
Unknown
11. Approx. property size (in feet)  
Frontage 336 Depth 400  
or approx. acreage 3 ACRES
12. Date(s) of enclosed photograph(s)  
May 1986

3. Condition: Excellent \_\_\_\_\_ Good \_\_\_\_\_ Fair ☒ Deteriorated \_\_\_\_\_ No longer in existence \_\_\_\_\_

ATTACHMENT 4

14. Alterations: Altered to accommodate retail use - decorative woodwork

15. Surroundings: (Check more than one if necessary) Open land \_\_\_\_\_ Scattered buildings \_\_\_\_\_ Densely built-up \_\_\_\_\_  
Residential \_\_\_\_\_ Industrial \_\_\_\_\_ Commercial ☒ Other: \_\_\_\_\_

16. Threats to site: None known ☒ Private development \_\_\_\_\_ Zoning \_\_\_\_\_ Vandalism \_\_\_\_\_  
Public Works project \_\_\_\_\_ Other: \_\_\_\_\_

17. Is the structure: On its original site? ☒ Moved? \_\_\_\_\_ Unknown? \_\_\_\_\_

18. Related features: \_\_\_\_\_

#### SIGNIFICANCE

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)

The apple packing and distribution history of Aptos got off to an abrupt start with the completion of Frederick Hihn's narrow gauge, the Santa Cruz-Pajaro line of the Santa Cruz Rail Road. Oral histories credit Hihn with the first packing sheds in 1878, but early maps show no such use of the existing Village Fair buildings before 1892. Following the decline of the lumbering industry, apple packing was concentrated at this site in several buildings, including Hihn's early packing shed. A 1905 photo includes a packing shed identical in appearance to the current Village Fair shops. Mid-County historian Vincent Leonard noted that additions to Hihn's packing shed were made in 1899, 1915 and 1926, before the first structure was removed in the early 1950s by Aptos promoter Fred Toney. Numerous photographs from the Paul Johnston collection depict the activities in the sheds, where Aptos area women found employment during the long fall through winter season grading and packing apples for shipment, and local men made pinewood apple boxes at award-winning speed. With the advent of lug hauling by truck in the 1920s and 30s, the Aptos packing industry withered. The remaining packing sheds dating from 1899 found new life as Village Fair, a collection of antique shops. The industrial style buildings offer a rich reminder of the mid-county's agricultural history and apple heydays.

20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)

Architecture \_\_\_\_\_ Arts & Leisure \_\_\_\_\_  
Economic/Industrial ☒ Exploration/Settlement \_\_\_\_\_  
Government \_\_\_\_\_ Military \_\_\_\_\_  
Education \_\_\_\_\_ Social/Education \_\_\_\_\_

21. Sources (List books, documents, surveys, personal interviews and their dates).

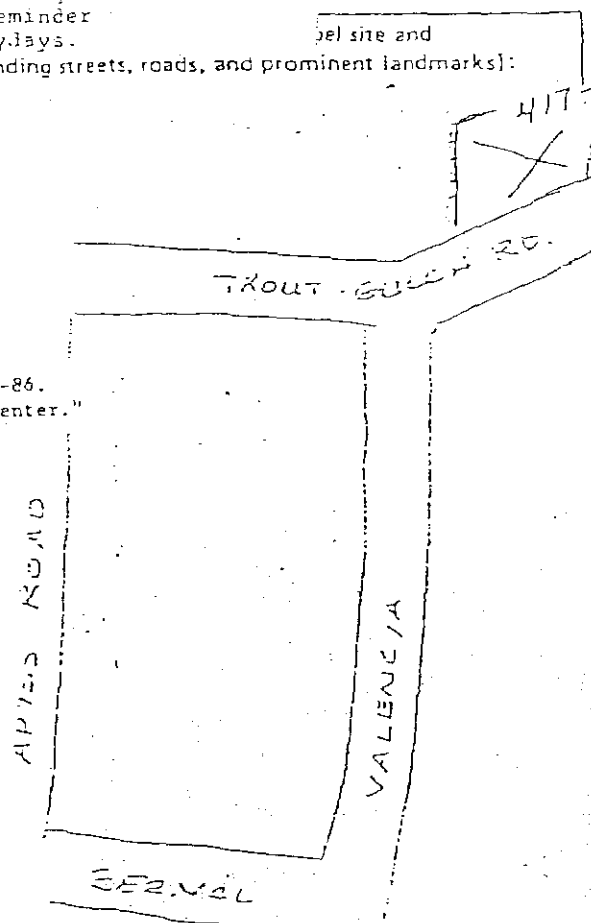
Ryan interview files: Vincent Leonard, Paul D. Johnston, 1978, 1985-86.  
Vincent Leonard, Aptos Green Sheet n.d., "When Aptos was an apple center."  
Aptos Public Library files.  
Ralph D. Mattison, correspondence, 1988.  
Richard G. Polse, correspondence, 1988.  
Sanborn Insurance Maps, 1888-1908.

22. Date form prepared April 1995

By (name) The Firm of  
Organization ONNIE L. SAMBURG  
Address: 247 N Third Street  
City San Jose, CA 95112 Zip  
Phone: (408) 971-1421

Amended by Edna Kimbro (9/88)

Del site and  
surrounding streets, roads, and prominent landmarks):





State of California - The Resources Agency		Primary #	
DEPARTMENT OF PARKS AND RECREATION		HRI #	
PRIMARY RECORD		Trinomial	
Other Listings		NRHP Status Code 5	
Review Code	Reviewer	Date	

Page 1 of 3

\*Resource Name or #: (Assigned by recorder) 8037 Soquel Drive

P1. Other Identifier: Aptos Fire House/VFW Hall

\*P2. Location: ☐ Not for Publication ☒ Unrestricted

a. County: Santa Cruz

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad Soquel Date 1994 Revised T 11S R 1E B.M. Mt. Diablo

c. Address 8037 Soquel Drive City Aptos Zip 95003

d. UTM: (Give more than one for large and/or linear resources) Zone 18S 557936mE 4082763mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

Assessor's Parcel Number: 041 011 24

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

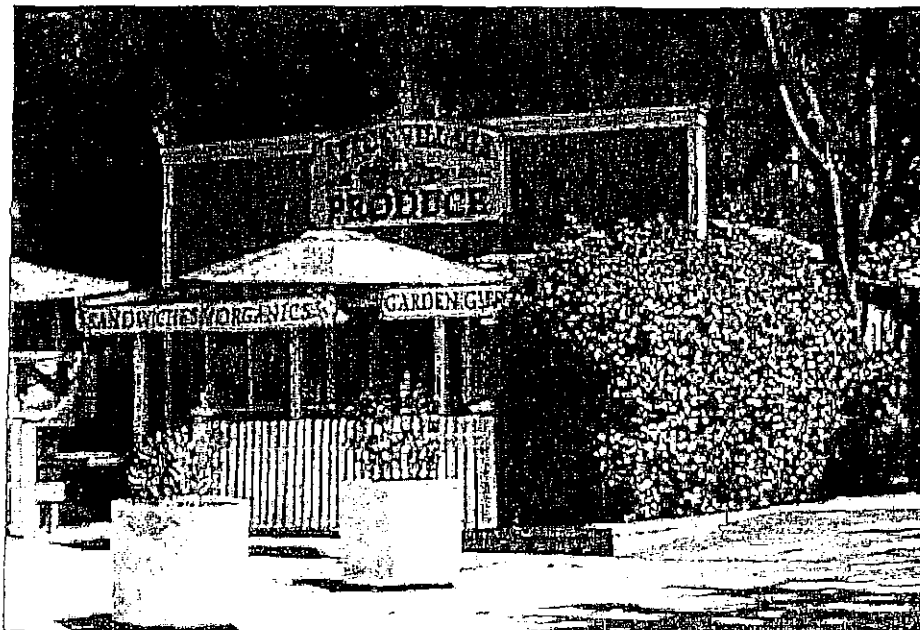
## CONTRIBUTING BUILDING (NR 5D)

The Aptos Fire House/VFW Hall building is located at 8037 Soquel Drive. Constructed pre 1889, this building is simplistic in design and detail and is not representative an particular architectural style.

This small building with front-facing gable roof and false front is a simple structure. It sits atop what appears to be a concrete perimeter foundation. The front of this building, which is of frame construction, is covered in V-groove siding. The sides are covered in corrugated metal [which likely conceals V-groove siding]. A raised parapet of recent construction, clad in vertically applied V-groove siding, conceals the front-facing gable from view. A front porch, supported by square posts and topped with a shed roof, spans the front of the store and two ribbons of three windows flank the centrally located entrance.

According to the owner, the framing is of redwood timber and a garage door is located on the northeast elevation. (Continued page 2)

\*P3b. Resource Attributes: (List attributes and codes) HP6, HP39-Fire House &amp; Library, HP12-VFW

\*P4 Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

\*P5b. Description of Photo: (View, date, expression)  
Photo of the south elevation.  
June 2002, K. Oosterhous

\*P6. Date Constructed/Age and Sources:  
☒ Historic ☐ Prehistoric ☐ Both

pre 1889

\*P7. Owner and Address:  
Edward W. Newman  
3331 Capitola Ave.  
Capitola, CA 95010

\*P8. Recorded by: (Name, affiliation, and address)

Kara Oosterhous  
Dill Design Group  
110 N Santa Cruz Ave  
Los Gatos, CA 95030  
Charlene Duval (Consultant)

\*P9. Date Recorded: 06/02 Rev 3/7/03

\*P10. Survey Type: (Describe)  
Reconnaissance

\*P11. Report Citation: (Site survey report and other sources or enter none) None

\*Attachments: ☐ NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure and Object Record ☐ Archaeological Record  
☒ District Record ☐ Linear Feature Record ☐ Mining State Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (List)

State of California - The Resources Agency  
 DEPARTMENT OF PARKS AND RECREATION  
 CONTINUATION SHEET

Primary #

HRI#

Trinomial

Page 2 of 3

Resource Name or # (Assigned by Recorder)

8037 Soquel Drive

Recorded By: K. Osterhouse &amp; C. Duval

Date: 8/25/02 Rev 3/7/03

X Continuation

\_\_\_ Update

There is no question that the building has been extensively altered *throughout* the years; however, it plays an important part in better understanding the history of the district.

This building is set in the commercial center of Aptos, which is comprised of both historic and non-historic income producing businesses. It is also a contributing resource to the Aptos Village Historic District. Despite the new construction, this area of Aptos still possesses a sense of place. Overall, this building possesses integrity of location, setting, design, feeling, association, workmanship, and materials as it remains true to its historic design and appearance.

#### History

The original building located on this site was constructed by 1888 and was identified at the office of the Loma Prieta Lumber Company. By 1892, it appeared to be associated with the Aptos Milling Company lumberyard, and still identified as a "lumber office." The 1908 Sanborn Map shows the building as being used as a dwelling. By 1923, the property was donated by Joe Arano for use as a firehouse. It was rotated 90 degrees on the lot and remodeled with materials donated by Norton-Phillips Lumber Company. The 1929 Sanborn Map shows a fire alarm/bell was out front of the building. In 1952, the firehouse moved to its new location at on Aptos Street, and the building once again was used as a lumber office. This time it was used by Lester Toney the son of George Toney who was stationmaster at the Southern Pacific Depot for many years. In the early 1950s, Mrs. Helen Wikkerink opened a small library in the building. Later, it was enlarged and served as the VFW (Veterans of the Foreign Wars) Hall, Monterey Bay Post No. 778, American Legion, a use that continued until at least 1979. In recent years it has been an antique store. It is currently a fruit stand.

#### Sources

Johnston, P.

1973 Aptos and the Mid Santa Cruz County Area, 1890 to World War II. Edited by Elizabeth Spedding Calciano. UCSC Regional History Project.

Leonard, V.

1971 Fire-Fighting in Aptos has come a long way since bucket brigades. Green Sheet. 25 March.

Sanborn Fire Insurance Maps

1888- Aptos.  
 1929

Santa Cruz Sentinel

1929 Interesting History of Aptos and Its Development. 17 May.

Swift, C.

1993 Aptos Neighbors Honor David McFadden, the man who brought Books to Town. Mid County Post. 1 June.

Polk's Watsonville City Directory

1967 Soquel Drive.

State of California - The Resources Agency DEPARTMENT OF PARKS AND RECREATION CONTINUATION SHEET	Primary # HRI # Trinomial
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Resource Name or # (Assigned by Recorder)

E037 Soquel Drive

Recorded By: K. Costerhous &amp; C. Duval

Date: 8/31/02 Rev 3/7/03

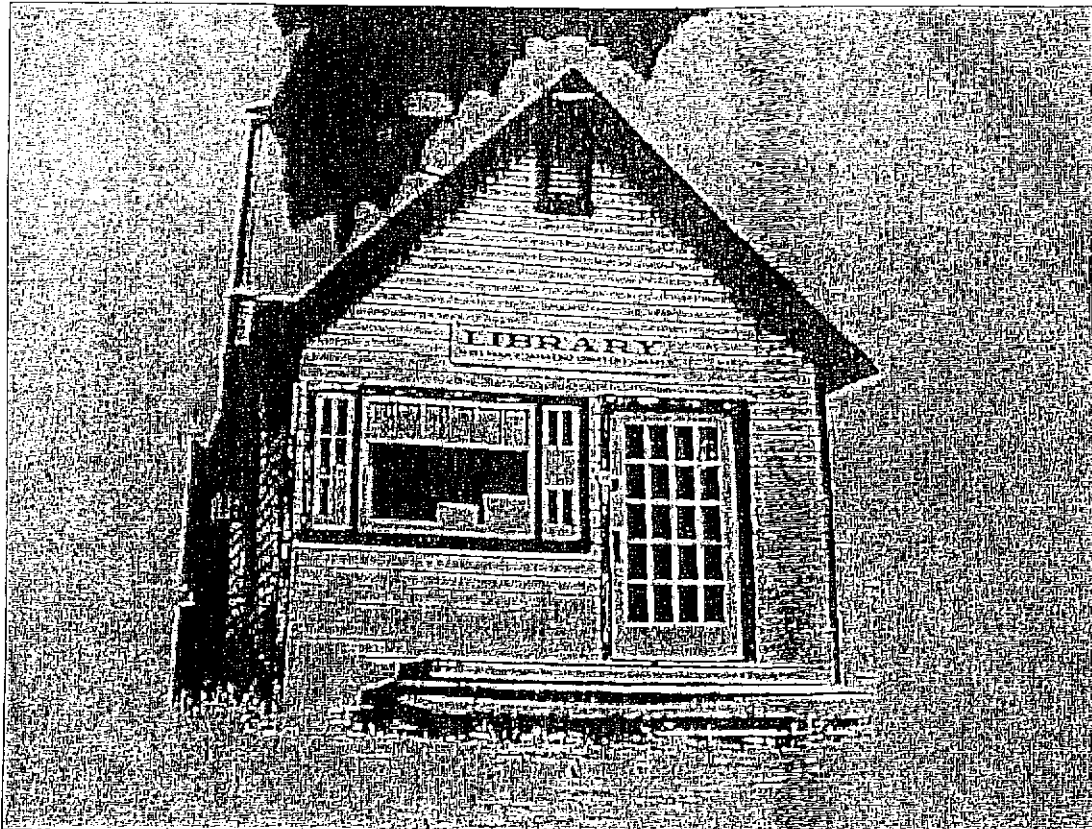
☒ Continuation☐ Update

Photo circa 1950s, Aptos Museum.

State of California - The Resources Agency		Primary #	
DEPARTMENT OF PARKS AND RECREATION		HRI #	
PRIMARY RECORD		Trinomial	
Other Listings		NRHP Status Code	
Review Code	Reviewer	Date	

Page 1 of 3

\*Resource Name or #: (Assigned by recorder) 8041 Soquel Drive

P1. Other Identifier: Bay View Hotel

\*P2. Location: ☐ Not for Publication ☒ Unrestricted

a. County: Santa Cruz

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad Soquel Date 1994 Revised T 11S R 1E B.M. Mt. Diablo

c. Address 8041 Soquel Drive City Aptos Zip 95003

d. UTM: (Give more than one for large and/or linear resources) Zone 10S 597962mE 4092732mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

Assessor's Parcel Number: 041 011 34

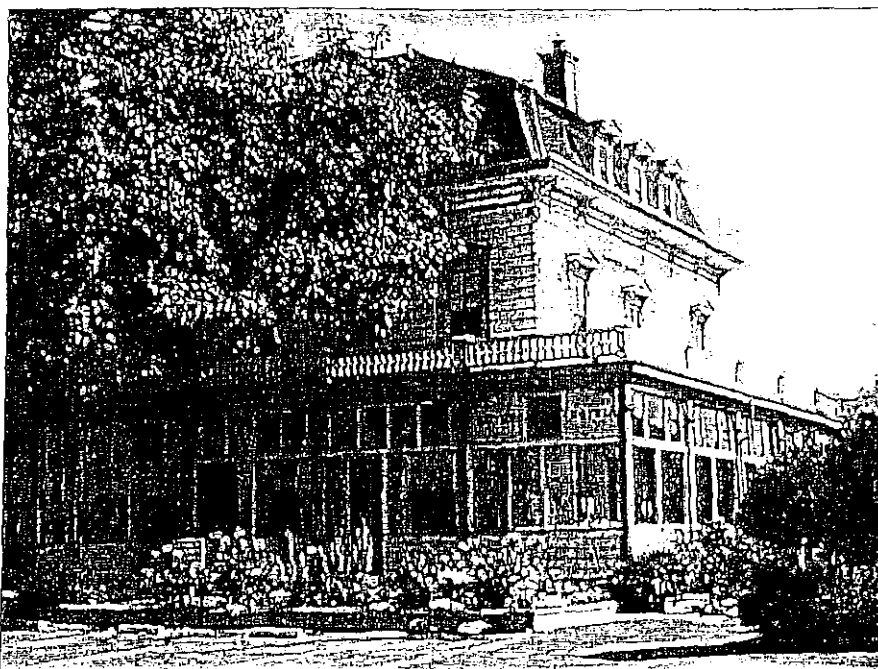
\*P3a Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

## CONTRIBUTING BUILDING (NR ID)

The Bay View Hotel is located at 8041 Soquel Drive. Constructed in 1878 at the corner of Soquel and Trout Gulch Road, the hotel was moved in 1946 to its present-day location. This hotel is a good example of the Second Empire architectural style.

This frame-constructed building, clad in Channel Rustic siding, sits atop what appears to be a cripplewall on concrete perimeter foundation. The style-defining mansard roof - clad in composition shingles and pierced by a red brick chimney - shelters what was originally a square floor plan. Later rear additions have made the present-day floor plan more rectangular. A wrap-around two-story front porch dominates the south and east elevations. Square Tuscan columns support the flat roof of the porch that is now enclosed with glass and V-groove siding and serves as a dining area. Large heavily ornamented brackets are located beneath the slightly overhanging eaves that shelter a dentil frieze and panel entablature. (Continued page 2)

\*P3b. Resource Attributes: (List attributes and codes) HPS

\*P4 Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5b. Description of Photo: (View, date, accession #)  
Photo of the south elevation.  
June 2002, K. Oosterhous

\*P6. Date Constructed/Age and Sources:  
☒ Historic ☐ Prehistoric ☐ Both

1878

\*P7. Owner and Address:  
Christina Locke  
300 Newpark Mall Rd, #104  
Newark, CA 94560

\*P8. Recorded by: (Name, affiliation, and address)  
Kara Oosterhous  
Dill Design Group  
110 N Santa Cruz Ave  
Los Gatos, CA 95030  
Charlene Duval (Consultant)

\*P9. Date Recorded: 06/02 Rev 3/7/03

\*P10. Survey Type: (Describe)  
Reconnaissance

\*P11. Report Citation: (Site survey report and other sources or enter none) Bay View Hotel National Register Nomination, 30 March 1992.

\*Attachments: ☐ NONE ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☐ Building, Structure and Object Record ☐ Archaeological Record  
☒ District Record ☐ Linear Feature Record ☐ Mining State Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (List)

State of California - The Resources Agency  
 DEPARTMENT OF PARKS AND RECREATION  
 CONTINUATION SHEET

Primary #  
 HRI #  
 Trinomial

Page 2 of 3

Resource Name or # (Assigned by Recorder)

8041 Sequel Drive

Recorded By: K. Oosterhous & C. Duval

Date: 8/31/02 Rev 3/7/03

Continuation ☒ Update

Two-over-two windows with wood sash and wood window casings fenestrate the oldest portion of the house. First story windows are topped with a decorative crown while second story windows are topped with heavy pediments and decorative brackets. Dormer windows are one-over-one, double-hung with wood sash. Other architectural accents include the quoining on the edges of the building made of wood to simulate stone, elaborately cut balustrade on the porches, and bay window projections. A large addition, which serves as the commercial-style kitchen and a small living area has been added to the rear of the original building.

Historic plantings associated with the house include a mature Magnolia tree and rosebush.

This historic hotel is set in the commercial center of Aptos, which is comprised of both historic and non-historic income producing businesses. It is also a contributing resource to the Aptos Village Historic District. Despite the new construction, this area of Aptos still possesses a sense of place. Overall, this building possesses integrity of location, setting, design, feeling, association, workmanship, and materials as it remains true to its historic design and appearance.

#### History

The Bay View Hotel, originally named the Anchor House, was constructed in 1878 by Joseph and Augustia Arano. Augustia was the daughter of Rafael Castro, grantee of Rancho Aptos. The one-acre piece of property for the hotel was purchased from Augustia's sister and husband, Maria Antonia and Guadalupe Bernal on November 7, 1872. On June 1, 1878, the *Santa Cruz Sentinel* announced that a contract had been let to J. E. Doyle & Co. for \$3,268. Local historian Sandy Lydon attributes the architecture to Thomas Beck who built other similar style buildings during this period. Upon its completion, the Aranos moved from their home located on Aptos Wharf Road. Jose Arano was born in Barcelona Spain, and immigrated to California in 1852. In 1862, he and Augustia Castro married. In 1867, they leased the property where their first home stood on Wharf Road from Rafael Castro. This home had been the first store and post office in the area. The new location was ideally located adjacent to the new Santa Cruz Narrow Gauge Railroad, which was completed as far as Aptos in 1875. The Aranos moved their grocery store into the main floor of the hotel. Augustia died in 1896; Jose lived until 1928, when he died in the hotel. The hotel's dining room, which was attached to the rear of the building, burned in 1925, but the original structure remained intact. In 1929, Edward Arano, the son of Jose and Augustia, renovated the hotel. In 1942, the hotel was sold to Fred and Elma Toney by Amelia Arano. In 1946, the building was moved west to its present location and a fourth floor attic constructed. Fred and Elma Toney passed away in 1979, his daughter's maintained ownership until selling the hotel in 1989 to Bayview Partners who operate a bed and breakfast in the building. In 1992, the building was placed on the National Register of Historic Places.

#### Sources:

- Collins, A.  
 1990 The Hostels of Aptos, Historical Sketches. Ms prepared for Charles P. Holcomb.
- Craiggo, S. R.  
 1992 Letter to Joan Brady, County of Santa Cruz Planning Department concerning placement of the Bayview Hotel on the National Register of Historic Places. 7 May.
- Elliott, W. W. (Pub.)  
 1879 Santa Cruz County, California. San Francisco: W. W. Elliott.
- Gibson, R.  
 1994 The Spirit of Aptos, 116-Year-Old Hotel to Become Landmark. *San Jose Mercury News*, 26 April.
- Lydon, S.  
 1990 Canyons, Tracks and Bridges Keep Aptos Stroll Interesting. *Santa Cruz Sentinel*. 15 July.
- Santa Cruz Evening News  
 1929 Memories of Don Rafael Castro and his Day when California's Historic Hospitality Thrived. 16 May.
- Santa Cruz County  
 1872 Bernal to Arano. Deed Book 15:204.
- Santa Cruz Sentinel  
 1875 Great Event of the Season. Formal Opening of the S.C.N.G.R.R. to Aptos. 22 May.  
 1875 Jos Arano. 6 November.

State of California - The Resources Agency  
 DEPARTMENT OF PARKS AND RECREATION  
 CONTINUATION SHEET

Primary #  
 HRI #  
 Trinomial

Page 3 of 3

Resource Name or # (Assigned by Recorder)

8041 Soquel Drive

Recorded By: K. Oosterhous & C. Duval

Date: 8/31/02 Rev 3/7/03 X Continuation

\_\_\_ Update

Swift, C.  
 n.d. The Heart of Aptos Village. *The Mid-County Post*. Clipping on file at the Aptos Museum/Aptos Chamber of Commerce.

Toney, F.  
 1979 Personal communication with C. Detlefs [Duval] and tour of Bay View Hotel.

Wilcox, Kay  
 1984 The Bay View Hotel. MS prepared for History of Santa Cruz. Sandy Lydon, Instructor, Cabrillo College.

# HISTORIC RESOURCES INVENTORY

HABS \_\_\_\_\_ HAER \_\_\_\_\_ Loc \_\_\_\_\_ SHL No. ATTACHMENT 6  
UTM: A 10/597937, 4092792 C \_\_\_\_\_  
B \_\_\_\_\_ D \_\_\_\_\_

## IDENTIFICATION

1. Common name: Ray View Hotel
2. Historic name: Anchor Hotel
3. Street or rural address: 8041 Soquel Drive  
City Antec Zip 95003 County Santa Cruz
4. Parcel number: 041-011-31
5. Present Owner: BAYVIEW PARTNERS Address: 331 Capitola Ave.  
City Capitola, CA Zip 95010 Ownership is: Public \_\_\_\_\_ Private Y
6. Present Use: Restaurant Original use: Hotel

## DESCRIPTION

- 7a. Architectural style: Italianate
- 7b. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

This three story structure was originally a two story rectangular structure of Italianate proportions. The addition of the Mansard roof third story was a roof raising that left the hipped roof in tact above a new floor. Dormers in this band have elaborate molded and bracketed triangular pediments as do the windows of the second floor. Classic Italianate details quions, brackets, and decorated frieze bands are all present. The first floor is surrounded on two sides by a wide veranda that has been enclosed. A decorative rail surmounts the veranda creating an upper porch or deck.



8. Construction date:  
Estimated \_\_\_\_\_ Factual 1871
9. Architect Unknown
10. Builder Unknown
11. Approx. property size (in feet)  
Frontage 100 Depth 260  
or approx. acreage 1.143
12. Date(s) of enclosed photograph(s)  
May 1986

13. Condition: Excellent \_\_\_\_\_ Good X Fair \_\_\_\_\_ Deteriorated \_\_\_\_\_ No longer in existence \_\_\_\_\_

ATTACHMENT 6

14. Alterations: ~~Raised Roof~~ Extension to the rear \_\_\_\_\_

15. Surroundings: (Check more than one if necessary) Open land \_\_\_\_\_ Scattered buildings \_\_\_\_\_ Densely built-up X  
Residential \_\_\_\_\_ Industrial \_\_\_\_\_ Commercial X Other: \_\_\_\_\_

16. Threats to site: None known X Private development \_\_\_\_\_ Zoning \_\_\_\_\_ Vandalism \_\_\_\_\_  
Public Works project \_\_\_\_\_ Other: \_\_\_\_\_

17. Is the structure: On its original site? \_\_\_\_\_ Moved? X Unknown? \_\_\_\_\_

18. Related features: \_\_\_\_\_

# SIGNIFICANCE

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)

Developed by Jose Arano to accommodate visitors to Aptos, the Bay View Hotel was host to many famous persons, many of whom came to visit Claude Spenc-  
kles. King Kalakaua and Lillian Russell are reported to have been guests of  
the hotel. The hotel functioned during the lumbering of the redwood trees  
and closed in the early 1900s. In 1944 the hotel was moved 100 feet and  
opened as a restaurant. Restaurant owners Fred and Elma Toney were renowned  
for the fine food served at the Bay View. Since its construction, the Bay  
View Hotel has been the architectural focal point in Aptos Village.

20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)

Architecture 1 Arts & Leisure \_\_\_\_\_  
Economic/Industrial \_\_\_\_\_ Exploration/Settlement 2  
Government \_\_\_\_\_ Military \_\_\_\_\_  
Religion \_\_\_\_\_ Social/Education \_\_\_\_\_

21. Sources (List books, documents, surveys, personal interviews and their dates).

Sanborn Maps 1888, 1906  
Parade of the Past, Margaret Kech  
American Architecture Since 1760, Whiffen

22. Date form prepared April 1986

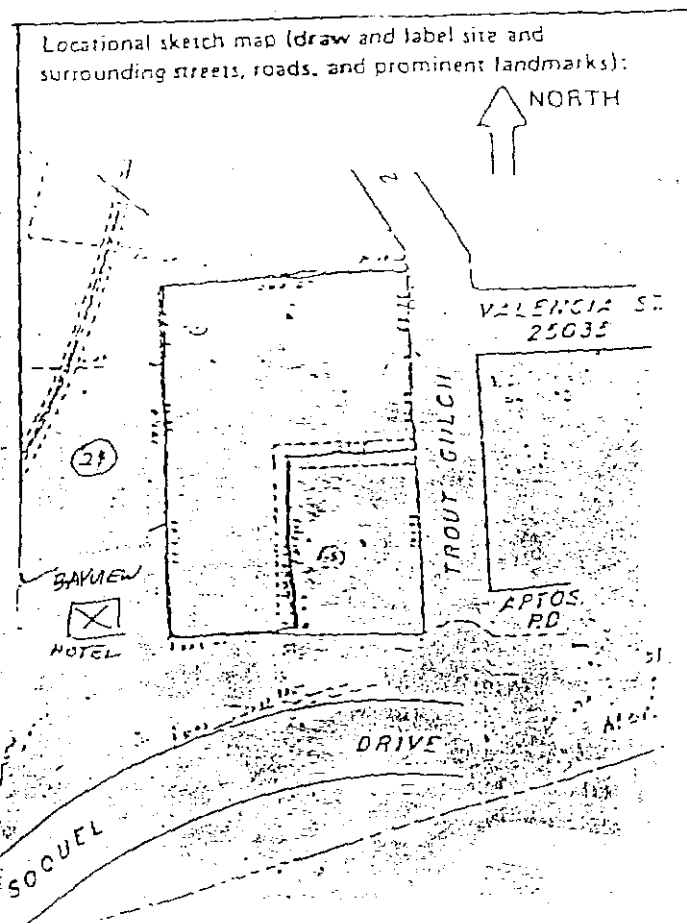
By (name) The Firm of

Organization DONNIE L. ZAMBURG

Address: 247 W. Third Street

City San Jose, CA 95112 Zip

Phone: (408) 971-1421





Anchor Hotel-Bay View (8041 Soquel Drive)

ADDENDUM—1994

PHYSICAL INSPECTION

Date: April 8, 1994

Result of Inspection: No apparent structural change.

CONSULTANT'S PRELIMINARY RECOMMENDATIONS:

Structure has been listed in the National Register of Historic Places. Change designation to 1.

(Change of rating pending public hearing before the Historical Resources Commission with final approval by the Board of Supervisors).

Context: 1 (tourism), 2 (architecture)  
Property type: hotel

ATTACHMENT 6

United States Department of the Interior  
National Park ServiceNational Register of Historic Places  
Registration Form

FEB 28 1991

This form is for use in nominating or requesting determinations of eligibility for individual properties or districts. ~~See~~ Instructions in *Guidelines for Completing National Register Forms* (National Register Bulletin 16). Complete each item by marking "x" in the appropriate box or by entering the requested information. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, styles, materials, and areas of significance, enter only the categories and subcategories listed in the instructions. For additional space use continuation sheets (Form 10-900a). Type all entries.

## 1. Name of Property

historic name Bayview Hotel  
other names/site number Anchor House, Bay View Hotel, Hotel Bay View, Hotel Bayview

## 2. Location

street & number 8041 Soquel Drive ☐ not for publication  
city, town Aptos ☐ vicinity  
state California code CA county Santa Cruz code 087 zip code 95003

## 3. Classification

Ownership of Property	Category of Property	Number of Resources within Property	
<input checked="" type="checkbox"/> private	<input checked="" type="checkbox"/> building(s)	Contributing	Noncontributing
<input type="checkbox"/> public-local	<input type="checkbox"/> district	<u>1</u>	<u>      </u> buildings
<input type="checkbox"/> public-State	<input type="checkbox"/> site	<u>      </u>	<u>      </u> sites
<input type="checkbox"/> public-Federal	<input type="checkbox"/> structure	<u>      </u>	<u>      </u> structures
	<input type="checkbox"/> object	<u>      </u>	<u>      </u> objects
		<u>1</u>	<u>0</u> Total

Name of related multiple property listing: NA  
Number of contributing resources previously listed in the National Register 0

## 4. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act of 1966, as amended, I hereby certify that this ☐ nomination ☐ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property ☐ meets ☐ does not meet the National Register criteria. ☐ See continuation sheet.

Signature of certifying official

Date

State or Federal agency and bureau

In my opinion, the property ☐ meets ☐ does not meet the National Register criteria. ☐ See continuation sheet.

Signature of commenting or other official

Date

State or Federal agency and bureau

## 5. National Park Service Certification

I, hereby, certify that this property is:

- ☐ entered in the National Register.  
☐ See continuation sheet.
- ☐ determined eligible for the National Register. ☐ See continuation sheet.
- ☐ determined not eligible for the National Register.
- ☐ removed from the National Register.
- ☐ other; (explain): \_\_\_\_\_

Signature of the Keeper

Date of Action

## 6. Function or Use

ATTACHMENT 6

Historic Functions (enter categories from instructions)

Domestic/Hotel

Current Functions (enter categories from instructions)

Domestic/Hotel

## 7. Description

Architectural Classification

(enter categories from instructions)

Late-Victorian/Italianate

Materials (enter categories from instructions)

foundation Concretewalls Wood/Weatherboardroof Wood/Shake

other \_\_\_\_\_

Describe present and historic physical appearance.

The Bayview Hotel is an imposing three story building that dominates the surrounding small commercial district of Aptos Village both by its size and its stately Italianate style. The arrangement of windows, dormers and brackets is extremely orderly on all sides, giving the building a dignified appearance from any view.

The walls of the first two floors are covered with shiplap siding, finished with quoins at all corners. A porch extends across the entire front (southern) facade and wraps around half of the eastern side as well. Originally open, the porch was partially enclosed with glass around 1946; its original chamfered posts and decorative scrollwork remain intact. A shallow course of platform stairs runs the full length of the porch. The porch is topped with a scrollwork balustrade. Entrance to the hotel is through two doors at either end of this facade. (Originally there were three identical panelled doors with transoms above; two of these now fall within the enclosed porch, but remain intact.) The first floor windows are tall 2/2 double hung, with decorated lintel and surround.

Windows on the second floor repeat the tall 2/2 shape of the first floor, but are topped with triangular pediments supported by brackets. Setting off the second floor from the mansard roof is a boxed cornice and frieze; the frieze decorated with panels and substantial regularly spaced brackets. Wooden letters attached to the frieze spell Bay View Hotel on the south and west sides.

The mansard roof that comprises the third floor is covered with wood shakes, as is the hipped roof above. Projecting from the third floor mansard on all sides are gabled dormers with pediments, and 2/2 double hung windows as on the second floor. The north face of the mansard has four flush windows of various shapes as well. A very simple pipe railing, installed after 1946, runs around the perimeter of the mansard roof. Historic photographs and illustrations indicate that the mansard was originally topped with a wooden balustrade; a tall cupola with bellcast mansard, cresting and flagpole rose from the center. The removal of the cupola appears to have occurred between 1896 and 1918. The hipped roof, added at that time, has two squat hipped dormers on the south side.

The north side of the hotel is the "service" side, with a small back porch similar in construction to the front. Overgrown utility sheds project at the northwest side; a one-story cement block utility building with shed roof and metal windows has been added at the north east corner. Between them is a simple patio of relatively recent origin.

In front of the hotel is a huge magnolia tree which contributes to the well-established atmosphere. In the landscaped area immediately to the west is a recently-constructed gazebo of wood and lattice.

The Bayview Hotel was moved in 1946 approximately 60 feet to ☐ See continuation sheet its current site. The orientation of the hotel to the town, street and railroad as recorded in aerial photographs was not altered, and the Bayview Hotel remains the most significant landmark of Aptos Village as it has for over 100 years.

## 8. Statement of Significance

ATTACHMENT 6

Certifying official has considered the significance of this property in relation to other properties:

☐ nationally ☐ statewide ☒ locallyApplicable National Register Criteria ☒ A ☐ B ☐ C ☐ DCriteria Considerations (Exceptions) ☐ A ☒ B ☐ C ☐ D ☐ E ☐ F ☐ G

Areas of Significance (enter categories from instructions)

CommerceEntertainment/RecreationArchitecture

Period of Significance

1878-1919

Significant Dates

1878

Cultural Affiliation

NA

Significant Person

NA

Architect/Builder

J.E. Doyle and Company

State significance of property, and justify criteria, criteria considerations, and areas and periods of significance noted above.

SUMMARY: The Bayview Hotel represents a type of construction that occurred during a period of economic development throughout Santa Cruz County in the 1870s as rail lines were extended to once-remote areas, leading to parallel expansion of both tourism and commerce. Joseph Arano, already a successful merchant, chose the Aptos location specifically because of the newly-established rail connection. The hotel was designed to serve a "first class" clientele of travelers, business visitors, and well-to-do vacationers, all of which were being attracted to the area. Two other comparable hotels were built in the area around the same time, but these no longer exist. Because of its quality design and construction, its size in relation to adjoining buildings, and its function as a hub of social activity, the Bayview Hotel was from the beginning a focus point for the community. Although the hotel fell into a period of disuse between the two wars, at a time when the county's economy was virtually stagnant, it has in recent years revived to play its historic role.

☒ See continuation sheet

## 9. Major Bibliographical References

ATTACHMENT 6

Elliott, Wallace; Santa Cruz County Illustrations; San Francisco, 1879  
 Francis, Phil; Santa Cruz County; Santa Cruz, 1896  
 Register Pajaronian; Sept. 22, 1928  
 Ibid; November 19, 1975  
 Santa Cruz County Historical Trust; photo clipping files  
 Santa Cruz Sentinel; March 27, 1875  
 Ibid; July 13, 1878  
 Ibid; Sept. 21, 1878  
 University of California at Santa Cruz; Special Collections photo files  
 Wulf, William; Early History of Hotels of Aptos; Unpublished Ms., 1977  
 Aptos Branch Library

☐ See continuation sheet

Previous documentation on file (NPS):

- ☐ preliminary determination of individual listing (36 CFR 67)  
 has been requested  
☐ previously listed in the National Register  
☐ previously determined eligible by the National Register  
☐ designated a National Historic Landmark  
☐ recorded by Historic American Buildings  
 Survey # \_\_\_\_\_  
☐ recorded by Historic American Engineering  
 Record # \_\_\_\_\_

Primary location of additional data:

- ☐ State historic preservation office  
☐ Other State agency  
☐ Federal agency  
☒ Local government  
☐ University  
☐ Other

Specify repository:

Aptos Branch, Santa Cruz City-County  
Library System

## 10. Geographical Data

Size of property 1.5 acres

UTM References

A 1 0 5 9 7 9 6 5 4 0 9 2 7 5 0  
 Zone Easting Northing

B \_\_\_\_\_  
 Zone Easting Northing

C \_\_\_\_\_

D \_\_\_\_\_

☐ See continuation sheet

## Verbal Boundary Description

The nominated property occupies county parcel #41-011-31 located in the community of Aptos. This parcel measures approximately 100' x 300' fronting on Soquel Drive, with a 20' easement extending from the northeast corner to Trout Gulch Road.

☐ See continuation sheet

## Boundary Justification

The boundary includes the entire parcel on which the Bayview Hotel is located.

☐ See continuation sheet

## Form Prepared By

Name Doreen Ferguson, Cynthia Mathews, Micki Ryan  
 Organization Santa Cruz County Historical Trust date 9-30-89  
 Street & number 118 Cooper Street telephone 408-425-2540  
 City or town Santa Cruz state CA zip code 95060

United States Department of the Interior  
National Park Service

ATTACHMENT 4

National Register of Historic Places  
Continuation SheetSection number 8 Page 2

## Local Historical Context

The area of central coastal California that was to be politically defined as Santa Cruz County has consistently attracted settlement by its natural resources. Abundantly endowed with copiously flowing freshwater streams, loamy bottomlands, heavily forested hills, subsurface mineral deposits, and diverse maritime resources, the area attracted a series of prehistoric settlers from 12,000 BP. The well favored area was selected as a Spanish mission site in 1791, and as one of only three Alta California pueblos, Villa de Branciforte, in 1796. By 1810 the mission at Santa Cruz had profoundly disrupted pre-contact settlement patterns through depletion of the native local population, while the mission's limited subsistence agriculture and grazing economy had little impact on the natural resources. Secularization of mission lands under the Mexican political regime brought little change in broad patterns of land use, and repopulation by Mexican settlers never reached the numbers estimated in local residence prior to missionization. The richness of the region did not escape the notice of entrepreneurial foreigners, who were quick to manipulate restrictive Mexican land laws to their advantage.

The Gold Rush brought tens of thousands to California, and many of those seekers recognized the potential for reward in agricultural, industrial and land speculation ventures. With the passage of United States land redistribution laws in 1851, a new era of concentrated settlement and resource use began, and at this time Santa Cruz County was created as a political entity.

The earliest American development in the new County took place within agricultural floodplains or in the forested hills around major rivers, creating landings, ports and shipping wharves strategically located around Monterey Bay. From the 1850s to the 1870s the valleys were a sea of grain in summer, and a quagmire of interlocking sloughs in winter. As bottomlands were drained and rivers leveed or bridged, a narrow gauge rail system was developed by private investors in the area's land speculation and industrial enterprises. The local rail system linked communities, provided connections with spur lines into the mountain lumber camps, and most importantly met the national rail system with its market contacts in the south county.

The 1870s and 1880s were boom times for the County, marked by the rapid development of labor intensive agricultural, forest, maritime and mineral industries. During this period the landscape was reorganized into economically stratified communities along primary transportation routes, surrounded by well spaced farmsteads; industrial sites such as mills and factories

United States Department of the Interior  
National Park Service

ATTACHMENT 6

## National Register of Historic Places Continuation Sheet

Section number 8 Page 3

were located along the major rivers; and temporary camp communities moved from canyon to canyon in the mountains. By the mid 1890s each of these activities had left the indelible mark of their presence in the form of settlement patterns and place names; domestic, commercial, industrial, public and recreational architectural forms; ethnic enclaves; and the beginnings of polarization of political alliances and resource bases in the "north" and "south" county.

As the county emerged from the widespread economic recession of the 1890s, which had been exacerbated locally by profit-driven depletion of the area's natural resource base, a new industry emerged in the promotion of tourism. Always recognized as a place of retreat and restorative leisure by leading families from the San Francisco Bay area, the county's natural attributes were touted to a new market as the idea of Everyman's vacation spot. Grand hotels were joined by tent camps, while the lumber camp spur lines were rejuvenated to carry the adventurous into the mountains, and an electric trolley system carried guests to the seashore. Casinos, dance pavilions and bath houses were erected at the shoreline, pushing the fishing industry into ethnic and geographic enclaves. A preservation ethic was born as excursions revealed the beauty of the remaining redwood forests and shoreline marshes to the city dwellers. The automobile soon overtook rail as the favored mode of transportation, giving rise to a sprinkling of en-route communities supported by traveler services.

The post World War II era brought renewed agricultural and food processing industries to the south county, widening the schism between the stable agricultural south county and the more heavily populated, tourism dependent north county. Today, residential infill with its attendant services and a burgeoning high technology industry blur the distinctions created by late nineteenth century settlement processes, but the landscape retains a visible memory of its history. Historical resources representing each of the chronological periods and activities described above were identified in a 1987 Historical Resources Inventory for the unincorporated county areas, and are summarized here:

A) Prehistoric to early mission era, 12,000 BP - 1810 AD:

Organized villages, resource camps, shrines, trade and communication routes; represented in archaeological distribution and place names.

(B) Frontier settlement, subsistence agriculture and grazing, early industries, 1797 - 1850:

Mission architecture and outpost buildings, hacienda style ranchsteads with associated laborer villages, townhouses and commercial buildings, sawmills and flouring mills. Activities represented in adobe architecture, wood frame architecture, foundation ruins, place names.

## National Register of Historic Places Continuation Sheet

Section number 8 Page 4

- (C) Commercial agriculture, extractive industries, manufacturing, resource processing, trade and shipping, community development, 1850 - 1880:

Special function industrial architecture of wood frame, mortared stone, brick and iron; domestic and commercial architecture reflecting period styles interpreted by local carpenters; farmsteads of vernacular construction; small hotels; village and community landscape organization; wharf and rail depot and terminus structures. Activities represented in landscape remnants, agriculture buildings, wood frame and brick domestic architecture, wood frame, brick and stone industrial and commercial buildings, depots and depot sites, wharf remnants and sites, place names.

- (D) Commercial agriculture and horticulture, commercial lumbering, extractive industries, dairying, manufacturing, packing and bottling, rail transportation and trade, recreation, community development, 1875 - 1895.

Ethnic communities, company camps, laborer housing, stratified community development with architecture reflecting influence of period styles using standard decorative elements and local architect/builders, large hotels and resorts, country estates, special function architecture for industries and manufacturing, rail depots and terminals. Activities represented by architectural constructions of wood frame, stone, brick, and iron; transportation and communication routes; social service architecture; recreation sites; community social and political organization.

- (E) Promotion of tourism, expansion of transportation system, development of transportation strip communities, polarization of economic bases, 1890 - 1940:

Day visitor facilities, recreational services, publicly owned nature reserves, public works facilities and services, conversion of country estates to apartment housing, packing and processing industrial plants, in addition to continued activities and use of sites and facilities from previous era. Activities represented by recreation and amusement structures; multi-unit domestic architecture; residential infill; camp and recreation facilities; public transportation, communication, water and power system facilities; fair-weather cottage construction; in addition to domestic, public, and commercial structures of recognized architectural style rendered by professional architects.

- (F) Post-war mass housing, high-technology industries, residential housing replacing agricultural lands, increased polarization of economic base and multi-cultural community, 1940 - 1960.



United States Department of the Interior  
National Park ServiceNational Register of Historic Places  
Continuation SheetSection number 8 Page 5

Tract domestic architecture; clustered services away from town centers; industrial park development with tilt-up construction; continued application of formal architectural style in domestic, commercial and public architecture; expansion of publicly funded preserves and recreation sites. Activities represented by structures of wood frame, concrete, stone, brick, post and adobe, steel frame; concrete bridges, transportation routes.

## Site Context:

The Bayview Hotel represents context D in chronological and land use setting. Its architectural and cultural significance continued into context E as an active contributor to the tourism industry.

## History:

An Aptos correspondent to the Santa Cruz Sentinel wrote on March 27, 1875, "The engine is here. It crossed the Aptos creek on last Saturday afternoon for the first time. Although the present engine is of rather a diminutive pattern, nevertheless it will bring important changes to our flourishing village." And change it did.

By 1879 Wallace Elliott observed, "The twenty miles of narrow gauge railroad from the Pajaro Valley to the Bay of Monterey at Santa Cruz has been in operation about eighteen months, and has wonderfully quickened the growth of the town. It connects with the Southern Pacific Railroad at Pajaro, and acts as a feeder to that line. . . The railroad, by giving the means of rapid communication with San Francisco, and all parts of the State and the East, has called attention to the town and valley."

Establishment of the line encouraged expansion of lumbering operations throughout the Aptos hills. The numerous mills along Valencia Creek and Aptos Creek now had an efficient transportation system to reach larger markets throughout the state, where their high grade lumber was in great demand. At the same time, agriculture was a developing economy in the area, with a need for quick, reliable transport to distant markets.

But certainly the most noticeable demand for hotel space was that created by the emerging tourist industry. The fabulous Aptos Hotel built by sugar-baron Claus Spreckles in 1874 had established the community as a fashionable destination for wealthy vacationers. Promotions for the resort mention its elegantly furnished rooms, grounds and recreational facilities, magnificent panoramic views, nearness to the long safe beach, and also note that "Aptos is very easy of access. The cars of the Southern Pacific Railroad Company make daily trips connecting the narrow-gauge road at Pajaro, which passes within a short distance of the hotel."

ring this period in the mid 1870s, Jose Arano had already established himself as a successful merchant in the town of Aptos. A native of France who had reached California in 1852, Arano married a daughter of Californio Rafael Castro in 1862 and established his business in Aptos. Described as intelligent, multi-lingual, an astute businessman, genial and well-respected, Arano established his store and post office as a principal focus for the town.

## National Register of Historic Places Continuation Sheet

Section number 8 Page 6

Perceiving the potential impact of the new railway on the town's economy, Arano began in 1874 to plan for expansion of his business at a location right next to the train line. The building was completed in 1878, and an account written the following year states:

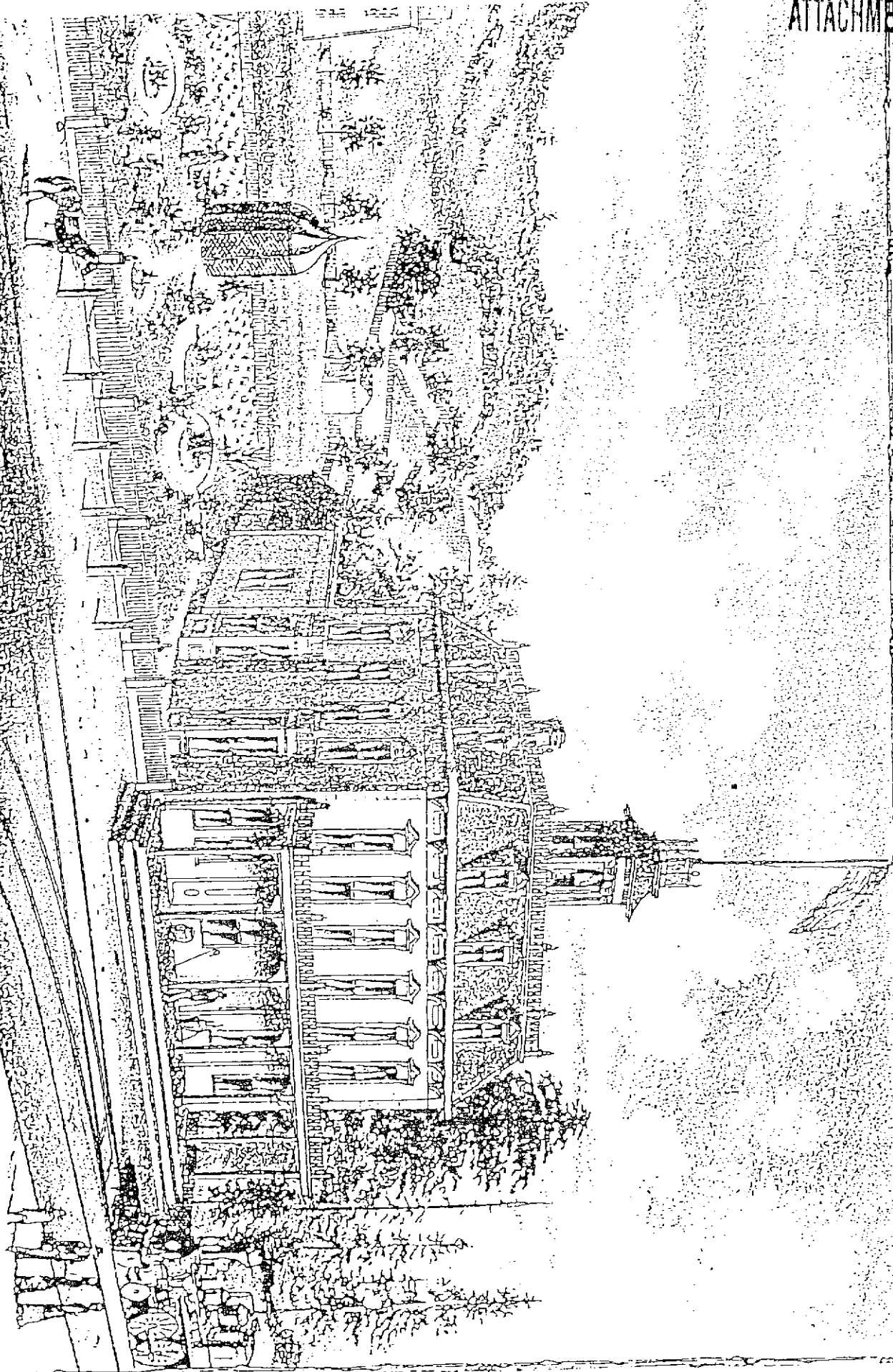
"This fine hotel building, known as the Anchor House was erected by Joseph Arano, at the Aptos depot on the Santa Cruz Railroad, and about one hundred yards from the beach, on a nice level plateau, between two of the finest trout streams in the State. The house contains, on the first floor, one fine store, Post Office and bar-room. The hotel proper contains 28 fine, large sunny rooms, all of which are in elegant order. The grounds contain one and one-half acres of land, with good outbuildings, and plenty of good mountain water. The house is new and elegantly finished. It is in every respect a first-class hotel. Our illustration shows the situation of this fine property close to the railroad, with a view of the hills in the immediate rear. Attached to the hotel is a fine yard and garden, with arbors and fountains."

The name of the hotel was changed within a few years to the Bay View Hotel. Its best years came during the period of the 1880s and 1890s. During this time the Loma Prieta Mill on Aptos Creek became one of the largest lumber operations in the state, contributing to a thriving local economy. The personal estates of Claus Spreckles and his brother-in-law Henry Mangels drew frequent parties of distinguished visitors to the area. By 1896 Spreckles had torn down his own hotel for the expansion of his estate, and a contemporary account notes, "The principal hotel is owned and kept by the Aranos, whose Spanish dinners are famous." Famous guests included Lillian Russell, King Kalakaua and many European visitors.

Arano (by this time known as Joe or Joseph) and his daughter Amelia continued to run the hotel until 1914; Amelia then ran the hotel with the help of two nieces until 1919. The advent of World War I and changing fashions led to a decline in fortunes for the hotel, and in 1919 it was closed up. A service wing of the unused hotel was destroyed by fire in 1928, a great personal blow to Arano who was 94 years old at the time.

In 1942, Arano's heirs sold the hotel to Fred Toney. Toney's original plan was to demolish the hotel for the lumber, but coincidentally a local utility crew needed short term housing and so Toney was convinced to reopen the hotel. In 1946 Toney decided to move the hotel about 60 feet north and west back from the intersection, leaving that land available for other commercial uses. The move was done by Toney himself with a crew of local workers. At this time modern plumbing and electric lights were installed, but care was taken to preserve the marble fireplaces and other interior features. Other than partial enclosure of the porch, very few alterations were made. The hotel retained its historic proximity and southerly orientation to the train tracks. Toney reopened the hotel and restaurant, which was operated by his family until 1973. At that time, the business itself was leased, while ownership of the property remained in the hands of Toney's daughters. A 1975 fire destroyed the hipped roof, which was rebuilt. The business was sold again in 1982 and 83, at which time the modern wrought iron fence was installed. In 1989 the business and property were sold again to a local partnership which intends to restore the building to its original use as quality accommodations for visitors.

HARRISON'S "SANTA CRUZ COUNTY" 1879



"ANCHOR HOTEL AND RESIDENCE"

JOSEPH ARAND, APT. 08,

BARRY SWENSON BUILDER

---

**CULTURAL RESOURCES STUDY  
FOR THE PROPOSED APTOS VILLAGE PROJECT**

SANTA CRUZ COUNTY, CALIFORNIA

FINAL DRAFT

FEBRUARY 2009

ALBION ENVIRONMENTAL, INC.



BARRY SWENSON BUILDER

---

**CULTURAL RESOURCES STUDY  
FOR THE PROPOSED APTOS VILLAGE PROJECT**

SANTA CRUZ COUNTY, CALIFORNIA

FINAL DRAFT

FEBRUARY 2009

PREPARED FOR:

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J2008-018

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Appendix A. Phase 1 Investigations at CA-SCR-222/H (Albion Environmental Inc., 2009)



## PROJECT DESCRIPTION

Barry Swenson Builder (BSB) is proposing development in Aptos Village, an unincorporated historic hamlet in the geographic midpoint of Santa Cruz County, California. The project area is located along the northern side of Soquel Drive, the southeastern side of Granite Way, the western side of Trout Gulch Road, and the eastern side of Aptos Creek Road (Figures 1, 2). The project proposes to construct a total of 17 new buildings for mixed residential and retail/commercial use. Residential space will include townhouses, cottages and a hotel. The proposed commercial building area encompasses approximately 113,180 square feet, with an additional 19,400 square feet to be used for 32 dwellings. Land for a skate park is also a part of the planned development.

The proposed project will require a significant level of ground disturbance to install appropriate infrastructure for the development. Water management will be important because the project lies near the confluence of two watersheds (Aptos and Valencia Creeks), necessitating control of natural runoff to the proper drainage. The project will also require transportation access from Trout Gulch Road and potentially from Soquel Drive.

BSB contracted with Albion Environmental, Inc., (Albion) in May 2008 to prepare a cultural resources sensitivity study of the project area and to provide recommendations for identifying and assessing cultural resources in this area for purposes of CEQA compliance. This study was submitted to BSB in July 2008 (Albion Environmental Inc. 2008a). Subsequently, Albion conducted limited (Phase 1) geoarchaeological test excavations in the project area to determine the presence or absence of native soil surfaces or intact archaeological deposits, particularly any containing evidence of CA-SCR-222/H (SCR-222/H), a large prehistoric habitation site and historic industrial complex coincident with Aptos Village. A summary of results from the Phase 1 investigations, along with an updated cultural resources sensitivity study for the overall project area, was submitted to BSB in November 2008 (Albion Environmental Inc., 2008b).

The following report is responsive to review requirements according to CEQA. It documents the conclusions of the archaeological investigations, updates previous evaluations of the project area's "built" environment (historic architecture and landscape), and provides final recommendations regarding the overall potential for encountering additional archaeological deposits during project construction. It does not include consultation with Native American tribes or individuals who may have concerns or input regarding cultural resources in or near the project area. The County of Santa Cruz has assumed the responsibility of initial and ongoing consultation with Native Americans under the guidelines of Senate Bill 18 (SB 18) (personal communication between Mark Deming, Santa Cruz County Planning Department, and Clinton Blount, Albion, August 2008).

## PROJECT METHODS AND STAFF

In June 2008, Albion contracted with the Northwest Information Center at Sonoma State University to perform a cultural resources records search for the project area and a ½-mile surrounding radius. This search indicated that 35 cultural resource studies have been conducted within ½ mile of the project, five of which included the project area itself.

To date, 31 prehistoric and historic archaeological sites have been recorded within ½ mile of the project. Of these, two cultural resources sites have been recorded within the current project area: prehistoric habitation site SCR-222 (now -222/H), and historic buildings associated with the Aptos Village Historic District (PR-44-000514). Most of the existing cultural resources documentation for the project area was produced in conjunction with an earlier (late 1970s) plan to develop Aptos Village property (Cartier 1979; Cartier et al. 1979).

Additionally, detailed information regarding the proposed project's construction and adaptive reuse plans was collected from BSB project managers (Jessie Thielen and Ricardo de la Cruz), BSB Vice President Jesse Nickell, and Matthew Thompson of Thatcher & Thompson Architects in Santa Cruz.

The initial sensitivity study for this project included a summary of the records search, an overview of Aptos Village history, and preliminary recommendations regarding the potential for the project to impact significant historic (built environment) resources (Albion Environmental Inc. 2008a). Subsequently, BSB requested that these recommendations be summarized in a letter (dated August 1, 2008) to Glenda Hill, Principal Planner for the County of Santa Cruz Planning Department, in order to facilitate preparation of the Area Plan for Aptos Village.

### Prehistoric Research

Albion's preliminary recommendations for further work to assess prehistoric site potential at SCR-222/H included:

- a pedestrian survey of entire project area;
- recording of any new cultural resources and/or isolates;
- updating the existing site record for SCR-222/H using standard DPR forms;
- conducting limited test excavations in the project area to determine, minimally, the presence or absence of intact cultural deposits; and
- geoarchaeological investigation in the project area to assess its sensitivity for buried land surfaces that may harbor deeply buried prehistoric sites.

An intensive pedestrian survey of the project area was conducted September 10, 2008 by Albion archaeologists. The surface inspection identified small quantities of shell and other potential artifacts corresponding to the previously recorded location of SCR-222/H. During September 23-25, Albion archaeologists oversaw the excavation of five backhoe trenches and two hand-excavated test units at judgmentally placed locations in the project area (Appendix A). Trenches and test units were excavated to sterile soils, and bucket samples from stratigraphic contexts throughout the trenches were screened through 6mm mesh to identify cultural materials. The geoarchaeological assessment was also conducted during mechanical trenching of deeper soils.



File name: Figure 1.ai, 2008-01-18, Stella D'Onofrio, 01/2009



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Because of the diverse resources associated with the project area, Albion employed a multidisciplinary team to address them. Clinton Blount, Albion Principal and anthropologist, acted as project manager. Leslie Fryman, staff historian and archaeologist, addressed built environment resources in the project area as well as historical archaeology. The prehistoric archaeology review and subsequent Phase I investigation was led by Albion Principal and senior archaeologist Jennifer Farquhar and staff archaeologist Ryan Brady. The project staff is qualified for work in archaeology, history and architectural history in accordance with the professional qualifications standards put forth by the U.S. Secretary of the Interior (36CFR Part 61). Additionally, consulting historian Sandy Lydon provided local history research and expertise.

## PREHISTORIC AND HISTORIC CONTEXT

### Regional Prehistory

While the ethnographic record of the central coast is relatively rich, with accounts from early explorers describing certain aspects of Native American lifeways, research investigating prehistoric lifeways and the culture history of native inhabitants of the Monterey Bay was not undertaken until the past few decades (Hylkema 1991; Jones et al. 2007). Interpretation of Monterey Bay prehistory has been developed through both local and regional archaeological investigations. Through these projects, general patterns of prehistoric lifeways along the central California coast have been developed and the most common taxonomic framework used today involves six distinct temporal periods, viewed to represent differences in the organization of past subsistence and settlement patterns of the region's inhabitants.

#### Prehistoric Periods

Paleo-Indian	(pre-10,000 B.P.)
Millingstone	(10,000-5500 B.P.)
Early	(5500-2600 B.P.)
Middle	(2600-1000 B.P.)
Middle/Late Transition	(1000-850 B.P.)
Late	(850-Historic)

The periods are characterized by either specific artifact types or suites of artifacts and site locations that typify the particular lifeway that each period is seen to represent. The patterns may reflect one or a few aspects of the past manner of living and are generally not understood as a holistic representation of how Central Coast populations were living at a particular point in time. The Paleo-Indian Period is generally viewed as a time where people were focusing their subsistence pursuits on large Pleistocene mammals, such as mammoths, and were highly mobile in search of game, though associations between the animal bones and archaeological sites are spotty at best. Two sites located in San Luis Obispo County are reported to have contained fluted points (Gibson 1996, Mills et al. 2005), the main marker of this time period, though their archaeological context is difficult to interpret. Artifacts associated with sites of this antiquity are suggested to be scrapers, scraper-planes, bifaces, and the lack of milling equipment. More locally, the Scotts Valley site (CA-SCR-177) may have association with the Paleo-Indian Period, containing leaf and lanceolate projectile points/knives, flake tools, hammerstones, and ochre (Cartier 1993; Fenenga 1993: 245-254); though similar to the other sites, its integrity is suspect (Jones et al. 2007:130).

The Millingstone Period is typified by an abundance of milling equipment that includes handstones and millingstone, along with a sparse flaked stone assemblage that lacks formalized tools. Millingstone Period sites are present in the Monterey Bay near the mouth of Elkhorn Slough (CA-MNT-229) (Jones et al. 1996) and Moss Landing (CA-MNT-234) (Milliken et al. 1999). These sites contained cobble and core tools fabricated from chert and quartzite, grinding stones, estuary shellfish and small terrestrial mammal bone.

The Early Period is recognized by a change in artifact assemblages, signifying a shift in subsistence and settlement practices during this timeframe. It is recognized by an increased abundance of bifacially flaked projectile points, along with the presence of mortar and pestle technology. Projectile

points dating to this time period are Rossi Square-stemmed and Side-notched points, large Side-notched, and Año Nuevo Long-stemmed varieties. This may be a time when hunting came to dominate the more generalized plant and small game focused economy of the Millingstone Period. Early Period sites are more abundant in the Monterey Bay area than earlier ones and are represented by CA-MNT-108 near Fisherman's Wharf in Monterey (Breschini and Haversat 1992a), CA-MNT-831 in Pacific Grove (Breschini and Haversat 2008), and CA-SCR-38/123 at Wilder Ranch (D. Jones and Hildebrandt 1994). The sites are typified by dark midden soils, abundant shellfish, mortars and pestles along with flaked stone tools and chipping debris, and certain shell bead types (Bennyhoff and Hughes 1987).

The Middle Period is understood to be a time when the use of shellfish declines relative to earlier times, and the exploitation of more mobile small game such as rabbits and otters increases. Artifact assemblages contain contracting stemmed projectile points, mortars and pestles, along with in increased presence of fishing equipment, including grooved and notched net weights and circular shell fish hooks. Handstones, millingstones, and pitted stones may also be present at sites dating to this period (Jones et al. 2007:138-139). In the Monterey Bay, Middle Period components are present at CA-MNT-229 and -234 as well as CA-SCR-7 (Jones and Hildebrandt 1990) and CA-SCR-9 (Hylkema 1991:141-183).

The Middle/Late Transition reflects a short period of time where rapid culture change is argued to have occurred. This may have been influenced by a time of rapid climate change that has been identified at various locations in the Western United States (Jones et al. 1999) as well as in Patagonia (Stine 1994). It is suggested that occupants of the central coast underwent a dramatic reorganization of their social structure and subsistence practices. Sites dating to this period in Monterey County are restricted to the Big Sur locality (Jones 1995).

The Late Period is better represented in the Monterey Bay, yet these sites are most often short term, task-specific sites. Occupation sites are located at inland areas such as the Upper Carmel Valley (Breschini and Haversat 1992b) and Santa Clara Valley (Hildebrandt and Mikkelsen 1993). Late Period sites in the Monterey Bay area include CA-MNT-1765 at Moro Cojo Slough, which appears to represent a collection station and field camp (Fitzgerald et al. 1995), and CA-MNT-143 at Asilomar State Beach (Brady et al. 2008), which is a site that was used for the short term acquisition of shellfish. Concentrations of abalone shell are commonly present at Late Period coastal sites in the Monterey Bay (Breschini and Haversat 1991), signifying the importance of the acquisition of this resource, though more long-term occupation is generally not found to co-occur.

### **The Aptos Tribe and Village**

The current project site lies within a territory once inhabited by speakers of Costanoan languages, a domain which extended from San Francisco Bay, along coast and west-central California, to just south of Monterey Bay. The word "Costanoan" derives from the Spanish word *Costaños* meaning 'coast people' (Levy 1978:485). The Costanoan language family contained eight distinct but related languages, each of which was spoken by several different groups or "tribelets" (Levy 1978). During the Mission Period (1770-1830s) there were many tribelets in what is now Santa Cruz County.

The Aptos tribelet was located along the shores of Monterey Bay from the present location of Aptos and eastward about half way to the mouth of the Pajaro River. The Aptos peoples were one of four early groups converted at Mission Santa Cruz, but were actually the last of those four nearby groups to be completely absorbed into the mission in 1796. Although they did marry with their neighbors, the Cotoni, Sayanta, and Uypì, they were completely mixed together with the Cajastaca people of the

Corralitos area. So much mixing occurred within the nuclear family groups that the idea arises that the Aptos and the Cajastaca were a single tribal group (Milliken 1995).

Several early references from early Spanish explorers and missionaries describe the presence of Native Americans in the Aptos area at the time of contact. An exploratory land expedition led by Don Gaspar de Portolá in 1769 is said to have come upon an Indian village at the confluence of the Valencia and Aptos creeks. The Spaniards recorded the site as "Aptos". In 1791, the Santa Cruz Mission was established west of the San Lorenzo River. Indians from the Aptos area were brought into the mission compound. Records of Father Crespi in 1769, Father Palou in 1774, and the Santa Cruz Mission in 1791 describe the Aptos region, with some mention of the Native Americans who called their area "Aptos" (Brown 2001). The first recorded contact came in 1774 when the Rivera Expedition encountered residents of the village at Aptos and offered gifts. The accounts mention seven (or eleven) grass huts and a population that added up to the diarists estimation of a 'medium sized village' (Brown 2001).

In 1872 it was reported that Claus Spreckels, who owned 3,500 acres of the Old Aptos Rancho, had the major Indian village site and the cemetery enclosed with large bamboo (*Santa Cruz Sentinel* 1872). These sites have been interpreted as being the recorded sites CA-SCR-1 and CA-SCR-2 (Cartier et al. 1979).

Native inhabitants of the region were first encountered by Spanish explorers in 1602 (Vizcaino) and again between 1769-1776 (Portola, Fages, Riviera, and Anza). During the Mission Period (1770-1835), devastating changes occurred for the Costanoan people. Over the following several decades, the population was recruited into nearby missions and their traditional subsistence economy was replaced by an agricultural economy. Analyses of mission baptismal records demonstrate that the last Costanoan tribelets living a traditional existence had disappeared by 1810 (Levy 1978). The population experienced dramatic decline due to the introduction of European diseases, which consequently caused higher death rates and lower birth rates. The secularization or abandonment of the missions by the Mexican government in 1832 caused people to relocate to different areas and establish small settlements, thus, separating them farther away from their cultural heritage. Levy (1978) believes that Costanoan languages were probably not spoken after the year 1935.

On a final note, the use of the term "Ohlone" has recently gained favor in reference to prehistoric Costanoan populations (Levy 1978; Munoz in Hildebrandt 1983; Milliken 1993). Originally appearing in F.W. Beechey's description of his 1826 encounter with native populations in San Francisco Bay (Beechey 1941), this term has also been adopted by many Costanoan descendants. Levy (1978) states that in 1971 a group of Costanoan descendants formed a corporate entity, the Ohlone Indian Tribe, and gained title to the Ohlone Indian Cemetery at Mission San Jose. Today, the term Ohlone is basically synonymous with Costanoan and is preferred by contemporary Native American people (Bean 1994; Margolin 1978).

### Aptos Village History

The Aptos Village site is triangular, bounded on the north by foothills, on the east by the canyon cut by Valencia Creek and on the west by a steeper canyon carved by Aptos Creek. The two streams meet at the tip of the triangle, join, and flow to Monterey Bay as Aptos Creek. This junction of the two creeks was such a dominant feature that many early residents believed the name "Aptos" to be an Indian word based on that intersection, leading to the legend that the name meant "the joining of two waters." There is little evidence in early literature to support that definition, however, and as Donald T. Clark notes in his classic *Santa Cruz County Place Names*, the source of the name Aptos is "uncertain" (Clark 2008). There is nothing uncertain, however, about the transportation challenge



posed by those two canyons, and beginning with the first passage through the area by the Portolá expedition in October, 1769, Aptos has proved difficult for those wishing to travel across the coastal terrace.

### **The Spanish Era, 1769-1822**

The Spanish found traveling across the coastal terrace so "difficult" and "tiresome" that in 1774 they chose the more level and direct route through the Santa Clara Valley connecting Monterey and San Francisco (present-day Highway 101). When the mission was established at Santa Cruz in 1791 and the pueblo of Villa de Branciforte six years later, the road through Aptos ended at the mission. Santa Cruz and Aptos were on a dead end and the easiest access was by sea. The Indians living in the Aptos area provided most of the converts for the Mission Santa Cruz between 1791 and 1797, and once they were gone, except for cattle grazing on the coastal terrace, there was very little activity in Aptos.

### **The Castro Era, 1833-1876**

In 1833 Rafael Castro, a retired soldier and native of Villa de Branciforte was awarded a private land grant named Rancho Aptos. The original 4,486 rancho was bounded on the west by Aptos Creek, but in 1840 Castro was granted an additional 2,200 acres extending the boundaries west to Boreas Gulch. Castro built his home on the western bank overlooking Aptos Creek and began raising cattle, shipping the hides off the beach at the mouth of Aptos Creek (Waid 1984).

### **Aptos Wharves**

Rafael Castro took his Rancho Aptos land title papers to the Land Commission in the early 1850s, and in 1860 he received confirmation. Even before he had clear title, Castro received numerous offers to sell his property, but he declined, preferring instead to negotiate leases with the various sawyers and loggers who were interested in the redwood trees growing in the canyons to the north. To ship the products coming from his property and from land grants to the east, in 1850 Castro built a relatively short 500-foot wharf just west of the creek mouth. Over the next 25 years, hides, lumber, flour and agricultural products were shipped from what became known as Aptos Landing (Collins 1995).

### **The First Aptos Village**

Castro's wharf inspired a small commercial development at the intersection of the County road and the road to the wharf (present-day Wharf Road and Soquel Drive), while several of Castro's adult children built homes along the road to the west. The wharf was improved and extended in the 1860s for use in shipping lumber, firewood, and agricultural products to San Francisco. Meanwhile, efforts to create a dependable crossing of Aptos Creek continued. The first bridge, built in 1860, was washed out in the 1862 flood and eventually replaced with a covered bridge.

In 1872, beset with marital difficulties and declining health, 69 year-old Rafael Castro sold the bulk of his property to sugar magnate Claus Spreckels for \$71,900 in gold coin. The Castro era of Aptos Village on the western banks of Aptos creek ended in the 1870s with the coming of Claus Spreckels (1872), the arrival of Frederick Augustus Hihn and incorporation of the Santa Cruz Rail Road in 1873, and the death of Rafael Castro in 1878 (Waid 1984).

### **Aptos Village Moves East**

Frederick Augustus Hihn had long held a dream of a dependable trans-county railroad, and following the entry of the SPRR into the region in 1872, he transformed his vision into reality. As the president of the Santa Cruz Railroad (incorporated in 1873), he led the construction of a narrow gauge railroad

between Santa Cruz and the SPRR junction south of Watsonville. Claus Spreckels was a major stockholder in the railroad. All of the construction of the Santa Cruz Railroad (SCRR) was done by Chinese railroad workers. Their conical hats, quilted blue coats and Cantonese work songs were a regular part of the Santa Cruz County landscape during the 1870s and 1880s (Hamman 2002; Lydon 2008).

Seeing the potential for his own properties located up Valencia Creek, Hihn guided the route of the SCRR into the Aptos Village site even though it required two trestles compared to an easier route downstream that would need but one. Hihn's bringing the Santa Cruz Rail Road into the present-day Aptos Village set off a boom, the results of which are still visible today (MacGregor 2003).

By 1879 Aptos had three good hotels, where before the coming of the railroad, there was only one small establishment owned by Irish immigrant Patrick Walsh. Basque storekeeper Jose Arano built the Anchor House (present-day Bay View Hotel) beside the railroad tracks in 1878. Aptos historians have counted up to 15 saloons in the area by the mid 1880s, serving the needs of the lumbermen and loggers who worked in the forests to the north (*Watsonville Pajaronian* 1879).

### **The Lumber Boom, 1883-1899**

Though the 1870s were busy in Aptos, the SCRR operated at a loss, and in 1882 was sold at a bankruptcy auction to the SPRR. The entry of SPRR into Aptos Village brought the fledgling railroad era to its maturity. Almost immediately after acquiring the narrow gauge SCRR, Southern Pacific (SPRR) announced it would broad-gauge the line, and in the fall of 1883, the first standard gauge locomotive made the trip between Santa Cruz and the SPRR mainline south of Watsonville. Products could be loaded onto a railroad car and shipped anywhere in the United States without having to be reloaded (Hamman 2002).

In 1883, Southern Pacific purchased a 7,000 acre tract of uncut redwood up in Aptos Canyon, containing an estimated 200,000,000 board feet of lumber, and punched a standard gauge railroad up the canyon to get it. Once the Chinese railroad crew had the first three miles of line built, the largest lumber mill in 1880s Santa Cruz County began sending a torrent of lumber, railroad ties, shakes and shingles down into Aptos and out to markets all over California (Lydon 2008).

Undaunted by losing the SCRR and quite willing to take advantage of the SPRR connection in the now bustling Aptos Village, in 1891 Hihn purchased 27 acres of the Aptos Village site from the Bernals. By 1883 he had built a medium-sized sawmill and from there, he began moving part of what he estimated to be 100,000,000 board feet of lumber to his yard in Santa Cruz. The following year Chinese crews built a two-mile narrow gauge track into Valencia Canyon, and over the next eight years, redwood lumber flowed out of the Valencia down to Hihn's Valencia Mill in Aptos Village (Hamman 2002; Lydon 2008).

These two streams of redwood lumber converged in Aptos, just as the two creeks did south of the village. In 1893 Hihn shut down his Valencia Mill, and in 1899 the Loma Prieta Mill was closed, marking the end of the Aptos lumber boom. Smaller episodic lumber operations continued north of the village, but by the 1920s, that too had ended.

### **The Apple Era, 1900-1959**

By the late 1890s, paralleling the agricultural trend going on in the Pajaro Valley, apples became the focus of activities at Aptos Village. The same railroad that carried lumber to the far corners of the

country now began carrying railroad cars filled with apples. Most of the orchards were located north and east of Aptos Village, and Frederick Hihn was one of the leaders of this new Aptos industry.

By the 1920s Aptos was the second most important apple shipping location in Santa Cruz County. Over 90 percent of the apples shipped in the 1920s came from Watsonville, and though only five percent of the county's apple crop went through Aptos each year, it was enough to create a microcosm of the apple industry in Aptos Village. Box making, apple packing, an apple dryer and vinegar works were represented in what became a small apple-centered industrial park.

One of the most prominent of these businesses was the Lam-Mattison apple dryer founded in 1905. Lam Pon, an immigrant from China, became a partner with Ralph Mattison and their dryer became a landmark in the village. Each fall a large group of Chinese laborers would move into the village and work in the dryer well into the winter. In later years Filipino laborers were the dominant laborers. The Lam family continued its partnership with the Mattisons up to 1940. The last of the Aptos apple packing facilities closed in 1959 (Lydon 2008).

## KNOWN AND POTENTIAL RESOURCES IN THE PROJECT AREA

### CA-SCR-222/H, Prehistoric Component

First recorded in 1979, the prehistoric component of SCR-222/H is located in the open field west of the Bay View Hotel, on both sides of Soquel Drive, and east of Aptos Creek Road. Its boundaries, as initially recorded, measure approximately 550 by 300 meters (1,800 by 985 feet), or largely the western half of the current project area (Figure 3). The prehistoric component is described in the original record as an extensive occupation site with a midden deposit, including fire-cracked rock, large mammal bone, and shellfish remains (Morris 1979).

Also in 1979, a general surface reconnaissance of SCR-222/H was conducted by Robert Cartier, Principal Investigator for Archaeological Resource Management, and C. Detlefs, a historic specialist. Areas that were clear of vegetation and soil brought to the surface by rodent activity contained fire-altered rock, chipped lithics, shellfish remains, and charcoal. Historic resources in the form of glassware, ceramics, and other artifacts, possibly dating as early as the mid-1800s, were also found on the surface. Cartier (1979) noted that the site had been impacted in historic times by roads, railroad tracks, and several building sites.

### Survey, 2008

Between 1979 and 2008, it does not appear that SCR-222/H was documented further. In September 2008, Albion archaeologists conducted an intensive pedestrian survey of the proposed Aptos Village project area and discovered far fewer surface artifacts than the quantities noted in 1979, suggesting that SCR-222/H has since been further impacted by ongoing building demolition and interim use, and probably also by illicit artifact collecting. Nevertheless, Albion's survey revealed small quantities of shell, a piece of fire-affected rock, a possible ground stone artifact, and a piece of cryptocrystalline silicate stone material in the western portion of the project area. The location of these items appears to match the initial plotted location of SCR-222/H. Additionally, some fragments of clam and abalone shell were identified in the bike jump park at the eastern extent of the project area.

### Phase 1 Investigations, 2008

Following the survey, Albion archaeologists conducted Phase 1 archaeological investigations in the project area in an effort to further assess the spatial extent, depth, and integrity of SCR-222/H (Appendix A). Based on the previous survey results, five trench locations in the project area were identified for mechanical excavation (Figure 3). Trenches were approximately 2m x 1m, and were excavated to sterile yellow or gray soils (180-220cm). Bucket samples from stratigraphic contexts throughout the trenches were screened through 6mm mesh to identify cultural materials. Only two trenches (1 and 2) produced prehistoric cultural materials, and this was limited to four flakes in the first trench and five in the second, along with a ground stone artifact. The material recovered was in a disturbed context with apparent prehistoric, historic, and modern materials all found in association with one another. Items such as metal, glass, and ceramics were encountered as deep, if not deeper in the deposit, than the stone and shell cultural materials.

Two 1m x 0.5m STUs (surface transect units) were hand excavated to 1m in depth. The overburden at both unit locations was removed by a backhoe until the initial contact with darker sediments. These were still within disturbed stratigraphic contexts. STU 1 was located near Trench 2, and STU 2 was located between Trench 1 and Trench 2. After overburden was removed, STU 1 was hand excavated from 40cm below the present surface to 100cm. STU 2 was hand excavated from 25cm below the



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Figure 3. Aptos Village project area with results of Phase 1 investigations.

present surface to 100cm. Similar to Trenches 1 and 2, a small amount of lithic material and shell was recovered, along with a greater quantity of historic and modern debris.

Additionally, a geoarchaeological investigation was performed during mechanical trenching of select areas to assess sensitivity for buried land surfaces that may harbor deeply buried archaeological sites. Identification of these landforms prior to construction (as opposed to discovery during construction) is an integral part of the larger resource identification effort, and can reduce the likelihood that the project is delayed due to unanticipated cultural resource discoveries. The investigation showed disturbances from modern activities from the surface to the bottom of each of the trenches.

Based on the results of the Phase 1 investigations, several conclusions were drawn:

- The prehistoric component of SCR-222/H is present in the western and southwestern portion of the current project area,
- Shell debris present at the bike jump park may be related to redeposited site matrix as the easternmost backhoe trenches did not produce more than modern and historic materials,
- The prehistoric component of SCR-222/H does not appear to provide evidence for intensive prehistoric occupation, and
- Site integrity appears to have been severely impacted by historic and modern activities.

### Historic Archaeological Resources

Research addressing the sensitivity of the project area for historic archaeological deposits was conducted as early as 1979 by Archaeological Resource Management in conjunction with three small "project areas," all of which are overlaid by the current, larger project area (Cartier et al. 1979). This "archival" study evidently followed a surface survey of one parcel east of Aptos Creek, on which was found a significant quantity of glassware and ceramic fragments, and other historic artifacts in addition to prehistoric materials (Cartier 1979). The archival research identified two locations sensitive for historic archaeological deposits associated with nineteenth-century occupation of the area by railroad workers, specifically Asian laborers (Cartier et al. 1979).

It does not appear that any test excavations or other confirmation of this sensitivity analysis was undertaken, and 30 years later, the presence or absence of intact historic archaeological deposits in the project area remains unknown. Additionally, due to the age of the 1979 sensitivity study, the potential for early twentieth century archaeological deposits in the project area was apparently not addressed. Such deposits may include refuse-filled features associated with domestic occupation of the project area by apple industry workers, who were also largely of Asian descent (Cartier et al. 1979).

### Research, 2008

A review of historic maps and archival material indicates that the current project area is located within the former boundaries of a historic industrial complex (1880s-1940s) containing various railroad facilities (SPRR) and a lumber mill (1880s-1900) that later evolved into a center for apple processing, packing and shipping (1900-1960). Though primarily industrial, secondary domestic use of the complex is clearly demonstrated in conjunction with railroad, lumber and apple-processing workers' quarters, at least one owner-operators residence, and more than one hotel for visitors.

The historic locations of buildings and structures, both residential and industrial, in this complex are illustrated in Figure 4. Remnant concrete foundations for several buildings, mostly those that were in

operation well into the twentieth century, are still visible in the project area. Only three of the buildings and structures depicted in Figure 4 are still standing: the Bay View Hotel (19), the Hihn Apple-Packing Warehouse (21) and the Loma Prieta Lumber Yard Office (16) (see Built Environment Resources below).

Most of the nineteenth century railroad buildings and structures located in Aptos Village have since been removed or demolished. This includes several sets of spur tracks that traversed the industrial complex and to which large packing buildings (13, 21) were oriented. At present, only the main track of the 1880s SPRR remains along Soquel Drive, at the southern end of the project area (see Built Environment Resources below).

Additionally, a railroad turntable (14), constructed as early as 1883, was located in the southern part of the project area. Turntables are typically semi-subterranean structures constructed with circular walls and a central column or pedestal of mortared brick. Circular track was mounted on top of the brick walls, and an iron pivot anchored in the center on which the locomotives were turned. Though the iron is generally removed from turntables after they are no longer in use, the brick-walled pit is often buried intact when surrounding rail houses are demolished. Several of these unique historic railroad features have been unearthed and restored for interpretive history purposes. If the SPRR turntable in the project area is intact or even partly intact, it would potentially be an important historical resource associated with SPRR engineering and early Aptos railroad history.

Other locations potentially sensitive for historic archaeological deposits are in the northern part of the current project area: the Chinese Bunkhouse (7), Lam Pon's house/office (6); as well as the earliest apple processing facilities in the complex: the Lam/Mattison apple dryer (8a), the vinegar press/warehouse (8b), and the vinegar barreling house (17). Filled features or buried remains associated with any of the above buildings may contain important archaeological data.

Surface surveys and recent Phase I investigations strongly suggest that historic archaeological deposits in the project area have been disturbed or possibly obliterated by ongoing demolition and historic redevelopment of the complex, which began as early as 1900 and continued through the 1970s. Without extensive excavation (data recovery), it is difficult to identify and assess the integrity of any remaining features within this relatively large area. However, the types of historic archaeological deposits that may exist in the project area have the potential to contain important data. Since 1980, archaeological studies of 1910s–1940s Asian neighborhoods, agricultural communities and industrial sites throughout California and the western states (Schulz and Allen 2004; Voss 2005) have established a larger base of comparative data from which important twentieth-century archaeological research issues can now be addressed.

### **Built Environment Resources**

Two historic buildings are located in the current project area, the Hihn Apple Packing House and the Aptos Fire House/VFW Hall, which may have originally served as the office for the Loma Prieta Lumber Mill.

The Hihn Apple Packing House is currently located at 417 Trout Gulch Road. This property, constructed in the mid 1880s or early 1890s for Frederick Hihn, previously served as an apple-packing barn (Oosterhous 2003a). Mid-County historian Vincent Leonard noted that additions to Hihn's packing shed were made in 1899, 1915, and 1920 (Leonard 1975). The business employed Aptos area women during the fall through the winter, grading and packing apples for shipment. Local men made pinewood apple boxes for shipping until the 1920s and 1930s, when lug hauling by truck

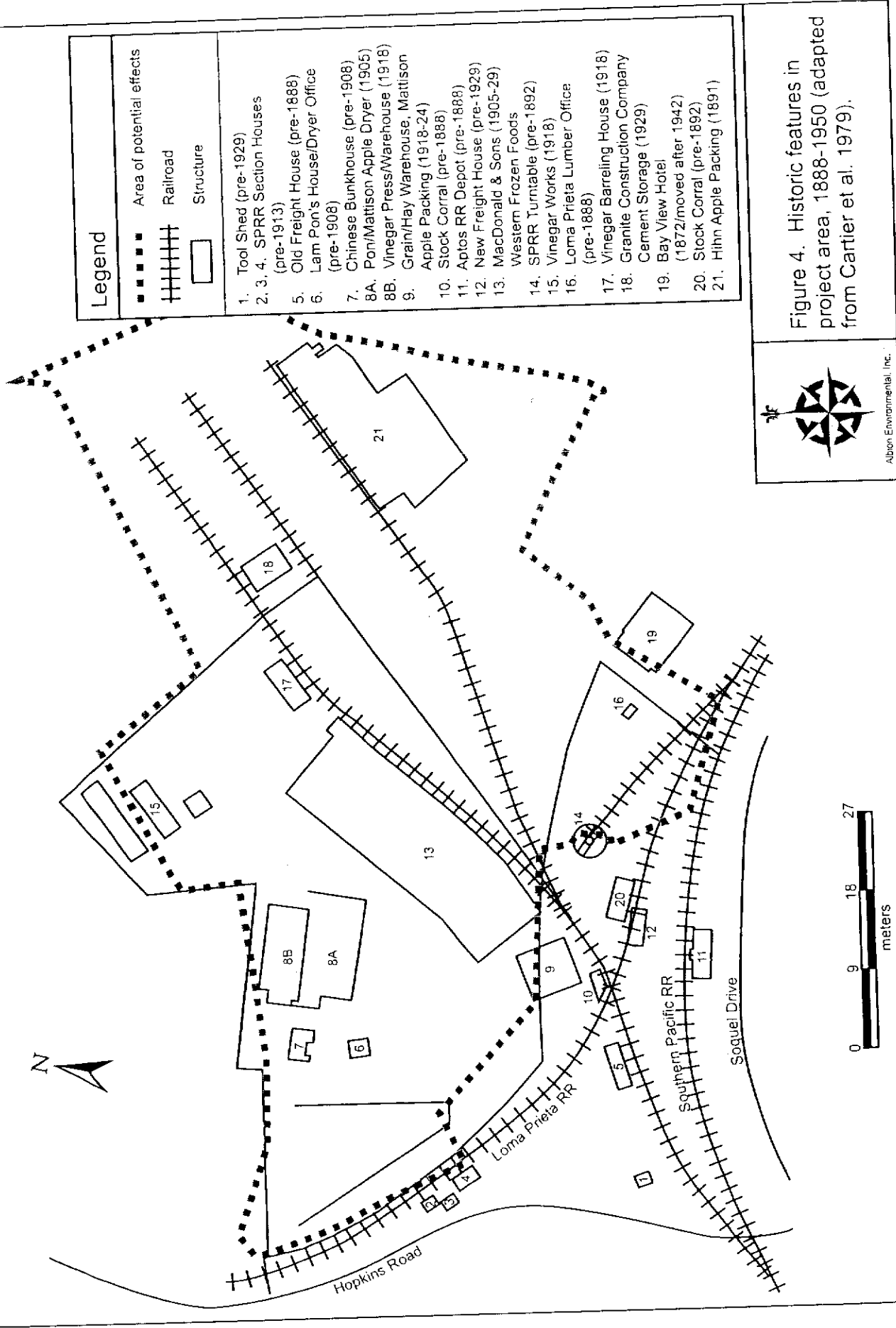


Figure 4. Historic features in project area, 1888-1950 (adapted from Cartier et al. 1979).



caused the Aptos packing industry to decline. The Hihn Apple Packing House is currently in use as a collection of antique shops called Village Fair.

The Aptos Fire House/VFW Hall is located at 8037 Soquel Drive, adjacent to the western side of the Bay View Hotel. The building was constructed in 1889 to serve as the office of the Loma Prieta Lumber Company, but it was highly modified or entirely rebuilt in subsequent years. By 1892, it appeared to be associated with the Aptos Milling Company lumberyard. A 1908 Sanborn Fire Insurance map indicates the structure had been converted to a residence. By 1923, the property was donated by Joe Arano for use as a firehouse. The building was rotated 90 degrees and remodeled. In 1952, the firehouse moved to its new location on Aptos Street, and the building again became a lumber office, this time used by Lester Toney. In the early 1950s, Mrs. Helen Wikkerink opened a small library in the building. Later, it was enlarged and served as the VFW Hall, Monterey Bay Post No. 7778, American Legion. It continued to be used in this capacity until 1979 (Oosterhous 2003b). In later years it was used as an antique store, fruit stand, and currently as a gift shop, "Fleur Gifts."

Two other historic resources are located directly adjacent to the project area and may be affected by the proposed development. These are the Bay View Hotel and the historic SPRR track along Soquel Drive.

The Bay View Hotel, located at 8041 Soquel Drive, is situated adjacent to the southeastern boundary of the proposed area of development. Proposed development will not impact the historic structure. The building was constructed in 1878 at the corner of Soquel Drive and Trout Gulch Road, and was originally named the Anchor House (Oosterhous 2003c). The hotel was owned by Jose Arano and Augustia Castro, who operated a grocery store onto the main floor of the hotel. In 1929, Edward Arano, the son of Joe and Augustia Arano, renovated the hotel. In 1942, the hotel was sold to Fred and Elma Toney, and in 1946 the hotel was moved to its present location.

The historic SPRR line (1883-circa 1960) through Aptos Village is immediately adjacent to the project area along its southern end. This railroad, currently under private ownership and still in regular operation, is central to Aptos and regional history. The current railroad was the main SPRR route through Aptos, forming its essential landscape and morphology. Originating as a shipping point on this railroad, all buildings and roads in Aptos Village were, and still are, oriented to the historic SPRR line.

## CONCLUSIONS AND SIGNIFICANCE EVALUATIONS

### California Register of Historical Resources Criteria

Section 15064.5 of CEQA provides that, in general, a resource not listed on state or local registers of historical resources shall be considered by the lead agency to be historically significant if the resource meets the criteria for listing on the California Register of Historical Resources (CRHR) (Public Resources Code [PRC] Section 5024.1, California Code of Regulations Section 4852). This section also provides standards for determining what constitutes a "substantial adverse change" that must be considered a significant impact on archaeological or historic resources.

When a project will impact a historical resource, it must be determined whether or not that resource:

- a) Is historically or archaeologically significant, or is significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political or cultural annals of California; *and*
- b) Meets any of the following criteria:
  - 1. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;
  - 2. Is associated with the lives of persons important in our past;
  - 3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
  - 4. Has yielded, or may be likely to yield, information important in prehistory or history.

CEQA also requires lead agencies to consider whether projects will impact "unique archaeological resources." PRC Section 21083.2(g) states that "unique archaeological resource" means an archaeological artifact, object, or site about which it can be clearly demonstrated that, without merely adding to the current body of knowledge, there is a high probability that it meets any of the following criteria:

- 1. Contains information needed to answer important scientific research questions and that there is a demonstrable public interest in that information.
- 2. Has a special and particular quality such as being the oldest of its type or the best available example of its type.
- 3. Is directly associated with a scientifically recognized important prehistoric or historic event or person.

### Archaeological Resources Evaluation

Should intact subsurface deposits, either prehistoric or historic, be identified at SCR-222/H, such deposits would have potential to yield information important in prehistory or history. Therefore, SCR-222/H is a potentially significant archaeological site (a), and also has the potential to meet

CRHR Criterion 4 above. Both prehistoric and historic components of SCR-222/H would also be likely to meet the CEQA definition of a "unique archaeological resource" as outlined above.

While results of recent test excavations at CA-SCR-222/H suggest that site components are highly disturbed and lack subsurface integrity, this cannot be determined for certainty without further investigation. Therefore, it is Albion's recommendation that all ground-disturbing activity in the project area be monitored by a qualified archaeologist in the event that a substantial intact deposit is found within the property.

### **Built Environment Resources Evaluation**

In 2002-2003, Aptos Village was documented as a mixed commercial-residential historic district by Dill Design Group (Los Gatos), in response to an earlier cultural resources analysis for the proposed Aptos Station Development (Dill et al. 2003). Dill Design Group found the Aptos Village Historic District to be historically and architecturally significant for listing in a local (County) historic register. The 2002-2003 documentation established boundaries for the district as well as a period of significance spanning nearly 85 years, from the arrival of the SCRR in Aptos (1874/75) to the last phase of historic development following World War II (ending in 1959).

A total of 32 properties were inventoried and evaluated as contributing (or non-contributing) elements of a local historic district; 25 buildings were deemed contributing to the district's integrity, and 7 buildings within the district boundaries were designated as non-contributors.

Contributing buildings include the Bay View Hotel, which is also listed individually in the National Register of Historic Places (NRHP); the Aptos Fire Hall; and the Hihn Apple Packinghouse. However, the documentation clearly states that, though eligible for the County's List of Historic Resources, the district as a whole lacks the level of significance and integrity necessary to meet criteria for inclusion in the CRHR or the NRHP (Dill et al. 2003).

Subsequently, the County assigned the Aptos Fire Hall a County significance rating of NR 5, "a property determined to have local significance," and the Hihn Apple Packinghouse a rating of NR 3, "a property eligible, in the opinion of the County Historical Resources Commission, to be listed on the National Register of Historic Places" (Section 16.42.080[e]). The fact remains, however, that neither building meets the criteria for inclusion in the CRHR, and would not be considered important historical resources for purposes of CEQA compliance.

Due to the County's local significance rating, as well as community interest in the dwindling architectural remnants of historic Aptos Village, the current project proposes to relocate the Aptos Fire Hall and the Hihn Apple Packinghouse. The Fire Hall will be relocated outside of the project area and continue to be used. The Packinghouse will be moved slightly north within the project area, reoriented to a new street location and adapted for new commercial use. The defining characteristics of both historic buildings will remain unaltered.

The Bay View Hotel was placed on the National Register of Historic Places in 1992 (Oosterhous 2003c), regardless of the fact that it was relocated in 1946, and that much of the railroad/lumber mill/apple processing complex with which it was historically associated has long been gone. It is significant largely for its architectural style and elements, and currently has no aspects of setting (other than the railroad) that contribute to its significance. Its NRHP status automatically qualifies it for listing in the CRHR, and it has a local (County) significance rating of NR1, "a property listed in the National Register of Historic Places" (Section 16.42.080[e]). It will not be directly impacted by

the proposed Project, nor will its integrity and/or significance be indirectly (visually) affected by surrounding new development.

The historic SPRR line (1883-circa 1960) through Aptos Village has not been formally evaluated for its historical significance. Forming the basis of Aptos history and its landscape, the current railroad route is potentially eligible for inclusion in the CRHR under Criteria 1, for its major geographical and economical contribution to the Monterey Bay region. It would also be eligible for a local (County) significance designation.

## POTENTIAL IMPACTS AND RECOMMENDED MITIGATION MEASURES

### CEQA Guidelines for Finding of Effect

Section 15064.5 of CEQA states that a project will have significant adverse impacts to cultural resources if the project will:

- Cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5;
- Cause a substantial adverse change in the significance of a unique archaeological resource pursuant to Section 15064.5;
- Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature;
- Disturb any human remains, including those interred outside of formal cemeteries.

### Archaeological Resources

*Impact 1.* Construction of the proposed project could result in the disturbance of buried prehistoric and/or historic archaeological resources at site CA-SCR-222/H that potentially meet CRHR criteria and may also constitute "unique archaeological resources" under CEQA. There is also potential for the proposed project to disturb human remains within the prehistoric component of CA-SCR-222/H.

*Mitigation Measure 1.* The potential for impacts to occur at CA-SCR-222/H may be mitigated to less than significant by having all ground-disturbing activity in the project area monitored by a qualified archaeologist, in the event that a substantial intact deposit is found during construction. If this occurs, all work within 50 feet of the find shall be halted, and the find shall be investigated and assessed by professional archaeologists working under the stipulations of a monitoring/treatment plan approved in advance by the County.

### Built Environment Resources

Relocation and reuse of the Hihn Apple Packinghouse at 417 Trout Gulch Road will not result in a substantial adverse change to a historical resource as defined by CEQA. In accordance with Santa Cruz County criteria for historic preservation (SCC16.42.070), a Historical Resource Preservation Plan will be prepared and approved by the County Historic Resources Commission prior to relocation of the Packinghouse. No further action is recommended.

Relocation of the Aptos Fire Hall at 8037 Soquel Drive will not result in a substantial adverse change to a historical resource as defined by CEQA. In accordance with Santa Cruz County criteria for historic preservation (SCC16.42.070), a Historical Resource Preservation Plan will be prepared and approved by the County Historic Resources Commission prior to relocation of the Fire Hall. No further action is recommended.

The proximity of the Bay View Hotel (8041 Soquel Drive) to the proposed project will not result a substantial adverse change to a historical resource as defined by CEQA. No further action is recommended.

Construction of the project to include an additional crossing of the historic SPRR line along Soquel Drive will not result in a substantial adverse change to a historical resource as defined by CEQA. No further action is recommended.

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APPENDIX A

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PHASE 1 INVESTIGATIONS AT CA-SCR-222/H

## EXECUTIVE SUMMARY

On September 2, 2008, Barry Swenson Builder (BSB) contracted with Albion Environmental, Inc. to undertake Phase IA investigations at CA-SCR-222/H. The purpose of the investigation was to ascertain the presence of the site CA-SCR-222/H, its horizontal and vertical distribution, as well as the site's integrity for purposes of CEQA evaluation. The site is located in a parcel proposed by BSB to be developed for the Aptos Village Project. The parcel located in the hamlet of Aptos, California, and is bounded to the south and north by Soquel Ave. and Granite Way, and by Aptos Creek Rd. and Cathedral Dr. to the west and east, respectively.

Albion conducted an intensive pedestrian survey of the parcel, excavated five backhoe trenches for geoarchaeological investigation, and excavated two surface transect units (STU) for further information regarding the integrity of the cultural deposit. Samples totaling 1.55 cubic meters were processed through ¼" mesh screen from stratigraphic contexts in the backhoe trenches, and all sediments were processed through ¼" mesh in the STUs, totaling 0.68 cubic meters. A total of 21.5 cubic meters was excavated at the site without encountering intact cultural features.

While some prehistoric cultural materials were recovered from two of the trenches and both of the STUs, all contexts were heavily mixed with historic and modern debris. Furthermore, subsurface investigation suggests that a greater density of prehistoric resources within the site is located in the western portion of the parcel. Although the site appears to be largely disturbed in the areas tested, it is possible that other locations with intact stratigraphy and a richer cultural deposit may be present within the site boundaries.

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## INTRODUCTION

On September 10, and between September 23 and 25, 2008 archaeologists from Albion Environmental Inc. (Albion) conducted an evaluation of the parcel intended to be developed for the Aptos Village Project. The purpose of the examination was to identify the presence or absence of a prehistoric archaeological site, CA-SCR-222/H<sup>1</sup>. This site has been identified within the parcel's boundary (Figure 1).

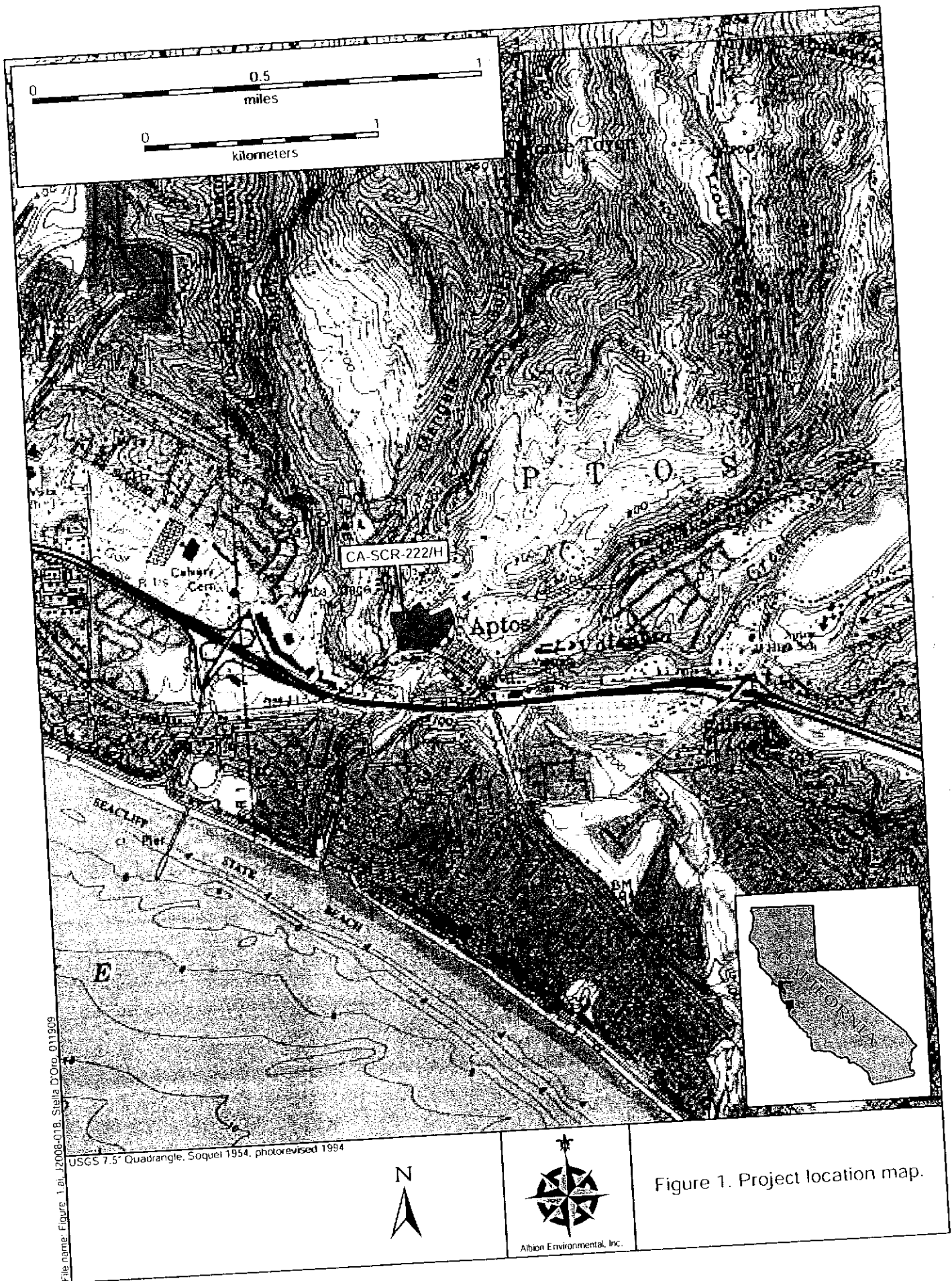
The investigation was carried out on behalf of Barry Swenson Builder (BSB), the project developer, and was intended to identify the location of CA-SCR-222/H. Work includes a geoarchaeological investigation that focused on the depth, distribution, and integrity of the site to provide preliminary findings for project compliance with CEQA regarding prehistoric cultural resources. The premise of a CEQA evaluation is that an archaeological site will be considered significant (a historical resource) if it can be demonstrated that it has the potential to contribute important information pertinent to prehistory or history (important regional or local archaeological issues [i.e., criterion "d" of the California Register criteria for evaluation, Section 15064.5 (a) (3) of the CEQA Guidelines]). If it is determined that a site is significant and that the project will cause a substantial adverse change in the significance of the resource, it is necessary to develop mitigation measures to reduce the impacts to a level of less than significant (CEQA Guidelines, Section 15064.5 [c]). Under CEQA, avoidance is the preferred mitigation for archaeological sites, however, other mitigation measures are provided in the Guidelines (Section 15126.4 [b] [3]). The present work is not intended to evaluate site significance, rather to identify the presence and location of prehistoric materials.

In order to successfully accomplish the goals of the current effort, three stages of fieldwork were conducted. The first was an intensive pedestrian survey of the parcel. The second was the supervision of backhoe trenches within the subject parcel to identify buried locations of the site deposit. Furthermore, this effort was intended to expose stratigraphic profiles to better identify site boundaries and assess the site's integrity. Finally, two surface transect units (STUs) were excavated within the identified site deposit in a preliminary attempt to recover data from the site. This last stage was undertaken to provide a finer grained, controlled sample of excavated material from the site than is possible to recover through backhoe trenching alone.

The report is organized into six main sections. Following the introduction is the project location and description, which discusses the development in question and potential impacts to the prehistoric resource. This is followed by the contextual background, which establishes the environmental, prehistoric, ethnographic and historic contexts for the project area. A description of the site based on prior work is then provided. The following section outlines the field methods used to investigate the site. The site structure as identified through the backhoe trenches is discussed, followed by the results of the subsurface investigations including a description of the cultural materials that were recovered. Finally the report is concluded with a summary of the work and conclusions derived from the findings. Appendix A is the DPR site record update forms. Appendix B provides a more detailed discussion of the geoarchaeological study, and depiction of the stratigraphic profiles from the five backhoe trenches and one of the STUs. Appendix C is the catalog of artifacts collected during the excavation.

### Project Location and Description

The parcel planned to be developed as the Aptos Village project by Barry Swenson Builder (BSB) is located in Aptos Village, a historic hamlet approximately 1 mile inland from the Monterey Bay. The



File name: Figure 1 at J2008-01B, Stella D'Or, 01/19/09



proposed development is north of Soquel Drive and between Aptos Creek Rd. to the west and Cathedral Drive to the east (Figure 1). The proposed development encompasses approximately 3

acres and comprises the movement of historic structures and the construction of new buildings that will create a high density mixed use residential/commercial area. Presently, the southern edge of the parcel contains storefronts housing a variety of small businesses. Other buildings are present on the subject parcel; however the built environment will not be discussed in this document.

Presently, much of the proposed development area is an open field littered with historic and modern debris, along with foundations from historic structures. In the northeastern portion of the parcel, a dirt bike jump park has been constructed. The previously recorded prehistoric site CA-SCR-222/H falls within the western and central portions of the subject parcel. Since historic features have been identified within the site boundary, the site designation has been changed to CA-SCR222/H. This document focuses on the previously recorded prehistoric component of the site.

## CONTEXTUAL BACKGROUND

### Environment

#### Geology

The project area is located near the foot of the southern Coast Range. The mountains are composed largely of sedimentary rocks, though, the Salinan Block, which is largely batholithic granitics and metamorphics is a major geologic formation in the area. Uplift of the Coast Range in this area took place relatively recently when compared to the northern Coast Ranges (Schoenherr 1992:267-9).

#### Climate

The hamlet of Aptos is characterized by a Mediterranean climate and receives most of its rainfall between the months of November and April. Annual high temperatures range between 70°F to upwards of 100°F, with lows rarely dropping below 20°F and generally being above freezing.

#### Vegetation

Vegetation zones in the project vicinity include coastal scrub, prairie/grassland, riparian, coastal dune, and oak woodland/redwood forest (Barbour and Major 1977). The immediate project area is adjacent to the Aptos Creek riparian corridor, and is in a prairie/woodland habitat.

### Cultural Context

The Monterey Bay area has a long history of human use, dating back perhaps as much as 10,000 years. Early exploration of coastal California by Europeans encountered populations of Native Americans living near the coast. Subsequent populating of the area by people of European descent displaced and marginalized the earlier Native inhabitants, and provides for a rich prehistoric, ethnographic, and historical record in the vicinity of Aptos Village and further afield along the Central Coast.

## Prehistoric Context

While the ethnographic record of the central coast is relatively rich, with accounts from early explorers describing certain aspects of Native American lifeways, research investigating prehistoric lifeways and the culture history of Native inhabitants of the Monterey Bay has not been undertaken until the past few decades (Hylkema 1991; Jones et al. 2007). Interpretation of Monterey Bay prehistory has been developed through both local and regional archaeological investigations. Through these projects, general patterns of prehistoric lifeways along the central California coast have been developed and the most common taxonomic framework used today involves six distinct temporal periods that are viewed to represent differences in the organization of past subsistence and settlement patterns of the region's inhabitants.

### Prehistoric Periods

Paleo-Indian	(pre-10,000 B.P.)
Millingstone	(10,000-5500 B.P.)
Early	(5500-2600 B.P.)
Middle	(2600-1000 B.P.)
Middle/Late Transition	(1000-850 B.P.)
Late	(850-Historic)

The Periods are characterized by either specific artifact types or suites of artifacts and site locations that typify the particular lifeway that each period is seen to represent. The patterns may reflect one or a few aspects of the past manner of living and are generally not understood as a holistic representation of how people on the Central Coast were living at a particular point in time. The Paleo-Indian Period is generally viewed as a time where people were focusing their subsistence pursuits on large Pleistocene mammals and were highly mobile in search of game. Unfortunately, associations between the animal bones and archaeological sites are spotty at best. Two sites located in San Luis Obispo County contained fluted points (Gibson 1996, Mills et al. 2005), the main marker of this time period, though their archaeological context is difficult to interpret. Associated artifacts with sites of this antiquity are suggested to be scrapers, scraper-planes, bifaces, and to lack milling equipment. More locally, the Scotts Valley site (CA-SCR-177) has been argued to represent the Paleo-Indian Period and contained leaf and lanceolate projectile points/knives, flake tools, hammerstones, and ochre (Cartier 1993, Fenenga 1993: 245-254), though similar to the other sites, its integrity is suspect (Jones et al. 2007:130).

The Millingstone Period is typified by an abundance of milling equipment that includes handstones and millingstone, along with a sparse flaked stone assemblage that lacks formalized tools. Millingstone Period sites are present in the Monterey Bay near the mouth of Elkhorn Slough (CA-MNT-229) (Jones et al. 1996) and Moss Landing (CA-MNT-234) (Milliken et al. 1999). These sites contained cobble and core tools fabricated from chert and quartzite, grinding stones, estuary shellfish and small terrestrial mammal bone. Millingstone components on the central coast provide the earliest well dated Native American occupation (cf. Jones et al. 2001).

The Early Period is recognized by a change in artifact assemblages, signifying a shift in subsistence and settlement practices at this time. It is recognized by an increased abundance of bifacially flaked projectile points, along with the presence of mortar and pestle technology. Projectile points dating to this time period include Rossi Square-stemmed and side notched points, large Side-notched, and Año Nuevo Long-stemmed varieties. This may be a time when hunting became more important over the generalized plant and small game focused economy of the Millingstone Period. Early Period sites are more abundant in the Monterey Bay area than earlier ones and are represented by CA-MNT-108 near

Fisherman's Wharf in Monterey (Breschini and Haversat 1992a), CA-MNT-831 in Pacific Grove (Breschini and Haversat 2008), and CA-SCR-38/123 at Wilder Ranch (D. Jones and Hildebrandt 1994). The sites are typified by dark midden soils, abundant shellfish, mortars and pestles along with flaked stone tools and chipping debris, and certain shell bead types (Bennyhoff and Hughes 1987).

The Middle Period is understood to be a time when the use of shellfish declined relative to earlier Periods, and the exploitation of more mobile and elusive small game such as rabbits and otters increased. Artifact assemblages contain contracting stemmed projectile points, mortars and pestles. Additionally, there is an increased presence of fishing equipment that includes grooved and notched net weights and circular shell fish hooks. Handstones, millingstones, and pitted stones may also be present at sites dating to this period (Jones et al. 2007:138-139). In the Monterey Bay, Middle Period components are present at CA-MNT-229 and -234 as well as CA-SCR-7 (D. Jones and Hildebrandt 1990) and CA-SCR-9 (Hylkema 1991:141-183).

The Middle/Late Transition reflects a short period of time when rapid culture change is argued to have occurred. This is suggested to have been influenced by a time of rapid climate change that has been identified at various locations in the Western United States (Jones et al. 1999) as well as in Patagonia (Stine 1994). It is suggested that occupants of the central coast underwent a dramatic reorganization of their social structure and subsistence practices. Sites dating to this period in Monterey County are restricted to the Big Sur locality (Jones 1995).

The Late Period is better represented in the Monterey Bay, yet these sites are most often short term task specific sites. Occupation sites are believed to be located at inland areas such as the Upper Carmel Valley (Breschini and Haversat 1992b) and Santa Clara Valley (Hildebrandt and Mikkelsen 1993). Late Period sites in the Monterey Bay area include CA-MNT-1765 at Moro Cojo Slough, which appears to represent a collection station and field camp (Fitzgerald et al. 1995), and CA-MNT-143 at Asilomar State Beach (Brady et al. 2008), which is a site that was used for the short term shellfish acquisition. Concentrations of abalone shell are common at late period coastal sites in the Monterey Bay (Breschini and Haversat 1991), signifying the importance of the acquisition of this resource, though more long-term occupation is generally not found to co-occur.

#### *Local Prehistoric Context*

Several sites are recorded within the vicinity of the Aptos Village project, and suggest that the vicinity has been subject to human occupation for several millennia, though the location of particularly dense and rich archaeological deposits has yet to be systematically determined.

Archaeological sites in the vicinity include CA-SCR-1 on the eastern bank of Aptos Creek which contained a human burial, along with mussel and clam shell (Riddell 1949). CA-SCR-221 is located north of Aptos County Park and was identified by its surface manifestation that is similar to the prehistoric component of CA-SCR-222/H. Marine shell, fire cracked rock, a hammerstone, and large mammal bone were present on its surface (Morris 1979b). CA-SCR-2 is located 0.1 miles north of the project area and contained flaked stone tools, ground stone artifacts, fire affected rock, and ashy midden soils (Riddell and Pilling 1949). Much of the site's integrity appears to have been compromised by historic activities, though subsurface augering identified a deeper intact component of the site (Gmoser and Hylkema 1996). CA-SCR-52 is located near the confluence of Aptos and Valencia Creeks and contained burials along with flaked and ground stone tools (Baumhoff 1954). Other nearby sites include CA-SCR-135 (Wardill 1975), CA-SCR-233 (Archaeological Consulting and Research Service 1980), and CA-SCR-353/H (King et al. 2004). These sites contained limited amounts of flaked and ground stone tools along with marine shell and are also noted to have been disturbed through modern and historic development activities.

## Ethnographic Context (Albion Environmental)

The current project site lies within a territory once inhabited by speakers of Costanoan languages, a domain which extended from San Francisco Bay along the coast and west-central California to just south of Monterey Bay. The word "Costanoan" derives from the Spanish word *Costaños* meaning 'coast people' (Levy 1978:485). The Costanoan language family contained eight distinct but related languages, each of which was spoken by several different groups or "tribelets" (Levy 1978). During the Mission Period (1770-1830s) there were many tribelets in what is now Santa Cruz County.

Within Costanoan territory there were approximately 50 autonomous villages (tribelets) (Kroeber 1925), although populations moved throughout the year depending on the season and available resources. Winter was a time of greater residential stability when people made use of food stores and partook in ceremonial activities (Broadbent 1972; Margolin 1978; Milliken 1995). Since the Costanoan inhabited both coastal and interior habitats, subsistence practices varied by season and by residential location. Acorn was reportedly a staple food, though other seeds, berries, roots, and kelp were also regularly eaten. Fish, waterfowl and varied species of shellfish along with sea lions, seals and sea otters were also important resources (Baumhoff 1963; Levy 1978).

The Aptos tribelet was located along the shores of Monterey Bay from the present location of Aptos and eastward about half way to the mouth of the Pajaro River. The Aptos peoples were one of four early groups converted at Mission Santa Cruz, but were actually the last of those four nearby groups to be completely absorbed into the mission in 1796. Although they did marry with their neighbors the Cotoni, Sayanta, and Uypi, they were completely mixed together with the Cajastaca people of the Corralitos area. So much mixing occurred within the nuclear family groups that the idea arises that the Aptos and the Cajastaca were a single tribal group (Milliken 1995).

Several references from Spanish explorers and missionaries describe the presence of Native Americans in the Aptos area at the time of contact. An exploratory land expedition led by Don Gaspar de Portolá in 1769 is said to have come upon an Indian village at the confluence of the Valencia and Aptos creeks. The Spaniards recorded the site as "Aptos". In 1791, the Santa Cruz Mission was established west of the San Lorenzo River. Indians from the Aptos area were brought into the mission compound. Records of Father Crespi in 1769, Father Palou in 1774, and the Santa Cruz Mission in 1791 describe the Aptos region, with some mention of the Native Americans who called their area "Aptos" (Brown 2001). The first recorded contact came in 1774 when the Rivera Expedition encountered residents of the village at Aptos and offered gifts. The accounts mention seven (or eleven) grass huts and a population that added up to the diarists estimation of a 'medium sized village' (Brown 2001).

In 1872 it was reported that Claus Spreckels, who owned 3,500 acres of the Old Aptos Rancho, had the major Indian village site and the cemetery enclosed with large bamboo (Santa Cruz Sentinel 1872). These sites have been interpreted as being the recorded sites CA-SCR-1 and CA-SCR-2 (Cartier et al. 1979).

Native inhabitants of the region were first encountered by Spanish explorers in 1602 (Vizcaino) and again between 1769-1776 (Portola, Fages, Riviera, and Anza). During the Mission period, AD 1770-1835, devastating changes occurred for the Costanoan people. Over the following several decades, the population was recruited into nearby missions and their traditional subsistence economy was replaced by an agricultural economy. Analyses of mission baptismal records demonstrate that the last Costanoan tribelets living a traditional existence had disappeared by 1810 (Levy 1978). The population experienced dramatic decline due to the introduction of European diseases, which consequently caused higher death rates and lower birth rates. The secularization or abandonment of

the missions by the Mexican government in 1832 caused people to relocate to different areas and establish small settlements, thus, separating them farther away from their cultural heritage. Levy (1978) believes that Costanoan languages were probably not spoken after the year 1935.

On a final note, the use of the term "Ohlone" has recently gained favor in reference to prehistoric Costanoan populations (Levy 1978; Munoz in Hildebrandt 1983; Milliken 1993). Originally appearing in F.W. Beechey's description of his 1826 encounter with native populations in San Francisco Bay (Beechey 1968), this term has also been adopted by many Costanoan descendants. Levy (1978) states that in 1971 a group of Costanoan descendants formed a corporate entity, the Ohlone Indian Tribe, and gained title to the Ohlone Indian Cemetery at Mission San Jose. Today, the term Ohlone is basically synonymous with Costanoan and is preferred by contemporary Native Americans (Bean 1994; Margolin 1978).

### Historic Context

The Aptos Village site is triangular, bounded on the north by foothills, on the east by the canyon cut by Valencia Creek and on the west by a steeper canyon carved by Aptos Creek. The two streams meet at the tip of the triangle, join, and flow to Monterey Bay as Aptos Creek. This junction of the two creeks was such a dominant feature that many early residents believed the name "Aptos" to be an Indian word based on that intersection, leading to the legend that the name meant "the joining of two waters." There is little evidence in early literature to support that definition, however, and as Donald T. Clark notes in his classic *Santa Cruz County Place Names*, the source of the name Aptos is "uncertain" (Clark 2008).

There is nothing uncertain, however, about the transportation challenge posed by those two canyons, and beginning with the first passage through the area by the Portolá expedition in October, 1769, Aptos has proved difficult for those wishing to travel across the coastal terrace.

#### *The Spanish Era, 1769-1822*

The Spanish found traveling across the coastal terrace so "difficult" and "tiresome" that in 1774 they chose the more level and direct route through the Santa Clara Valley connecting Monterey and San Francisco (present-day Highway 101). When the mission was established at Santa Cruz in 1791 and the pueblo of Villa de Branciforte six years later, the road going through Aptos ended at the mission. Santa Cruz and Aptos were on a dead end and the easiest access was by sea. The Indians living in the Aptos area provided most of the converts for the Mission Santa Cruz between 1791 and 1797, and once they were gone, except for cattle grazing on the coastal terrace, there was very little activity in Aptos.

#### *The Castro Era, 1833-1876*

In 1833 Rafael Castro, a retired soldier and native of Villa de Branciforte was awarded a private land grant named Rancho Aptos. The original 4,486 rancho was bounded on the west by Aptos Creek, but in 1840 Castro was granted an additional 2,200 acres extending the boundaries west to Boreas Gulch. Castro built his home on the western bank overlooking Aptos Creek and began raising cattle, shipping the hides off the beach at the mouth of Aptos Creek (Waid 1984).

#### *Aptos Wharves*

Rafael Castro took his Rancho Aptos land title papers to the Land Commission in the early 1850s and in 1860 he received confirmation. Even before he had clear title, Castro received numerous offers to sell his property, but he declined, preferring instead to negotiate leases with the various sawyers and loggers who were interested in the redwood trees growing in the canyons to the north. To ship the products coming from his property and from land grants to the east, in 1850 Castro built a relatively

short 500-foot wharf just west of the creek mouth. Over the next 25 years, hides, lumber, flour and agricultural products were shipped from what became known as Aptos Landing (Collins 1995).

#### *The First Aptos Village*

Castro's wharf inspired a small commercial development at the intersection of the County road and the road to the wharf (present-day Wharf Road and Soquel Drive) while several of Castro's adult children built homes along the road to the west. The wharf was improved and extended in the 1860s for use in shipping lumber, firewood, and agricultural products to San Francisco.

Meanwhile, efforts to create a dependable crossing of Aptos Creek continued. The first bridge, built in 1860, was washed out in the 1862 flood and eventually replaced with a covered bridge.

In 1872, beset with marital difficulties and declining health, 69 year-old Rafael Castro sold the bulk of his property to sugar magnate Claus Spreckels for \$71,900 in gold coin. The Castro era of Aptos Village on the western banks of Aptos creek ended in the 1870s with the coming of Claus Spreckels (1872), the arrival of Frederick Augustus Hihn and incorporation of the Santa Cruz Rail Road in 1873, and the death of Rafael Castro in 1878 (Waid 1984).

#### *Aptos Village Moves East*

Frederick Augustus Hihn had long held a dream of a dependable trans-county railroad, and following the entry of the SPRR into the region in 1872, he transformed his vision into reality. As the president of the Santa Cruz Railroad (incorporated in 1873), he led the construction of a narrow gauge railroad between Santa Cruz and the SPRR junction south of Watsonville. Claus Spreckels was a major stockholder in the railroad. All of the construction of the Santa Cruz Railroad (SCRR) was done by Chinese railroad workers. Their conical hats, quilted blue coats and Cantonese work songs were a regular part of the Santa Cruz County landscape during the 1870s and 1880s (Hamman 2002; Lydon 2008).

Seeing the potential for his own properties located up Valencia Creek, Hihn guided the route of the SCRR into the Aptos Village site even though it required two trestles compared to an easier route downstream that would need but one. Hihn's bringing the Santa Cruz Rail Road into the present-day Aptos Village set off a boom, the results of which are still visible today (MacGregor 2003).

By 1879 Aptos had three good hotels, where before the coming of the railroad, there was only one small establishment owned by Irish immigrant Patrick Walsh. Basque storekeeper Jose Arano built the Anchor House (present-day Bay View Hotel) beside the railroad tracks in 1878. Aptos historians have counted up to 15 saloons in the area by the mid 1880s, serving the needs of the lumbermen and loggers who worked in the forests to the north (Watsonville Pajaronian 1879).

#### *The Lumber Boom, 1883-1899*

Though the 1870s were busy in Aptos, the SCRR operated at a loss, and in 1882 was sold at a bankruptcy auction to the SPRR. The entry of SPRR into Aptos Village brought the fledgling railroad era to its maturity. Almost immediately after acquiring the narrow gauge SCRR, Southern Pacific announced it would broad-gauge the line, and in the fall of 1883, the first standard gauge locomotive made the trip between Santa Cruz and the SPRR mainline south of Watsonville. Products could be loaded onto a railroad car and shipped anywhere in the United States without having to be reloaded (Hamman 2002).

In 1883, Southern Pacific purchased a 7,000 acre tract of uncut redwood up in Aptos Canyon, containing an estimated 200,000,000 board feet of lumber, and punched a standard gauge railroad up the canyon to get it. Once the Chinese railroad crew had the first three miles of line built, the largest

lumber mill in 1880s Santa Cruz County began to send a torrent of lumber, railroad ties, shakes and shingles down into Aptos and out to markets all over California (Lydon 2008).

Undaunted by losing the SCRR and quite willing to take advantage of the SPRR connection in the now bustling Aptos Village, in 1891 Hihn purchased 27 acres of the Aptos Village site from the Bernal's. By 1883 he had built a medium-sized sawmill and from there, he began moving part of what he estimated to be 100,000,000 board feet of lumber to his yard in Santa Cruz. The following year Chinese crews built a two-mile narrow gauge track into Valencia Canyon, and over the next eight years, redwood lumber flowed out of the Valencia down to Hihn's Valencia Mill in Aptos Village (Hamman 2002; Lydon 2008).

These two streams of redwood lumber converged in Aptos, just as the two creeks did south of the village. In 1893 Hihn shut down his Valencia Mill, and in 1899 the Loma Prieta Mill was closed, marking the end of the Aptos lumber boom. Smaller episodic lumber operations continued north of the village, but by the 1920s, that too had ended.

#### *The Apple Era, 1900-1959*

By the late 1890s, paralleling the agricultural trend going on in the Pajaro Valley, apples became the focus of activities at Aptos Village. The same railroad that carried lumber to the far corners of the country now began carrying railroad cars filled with apples. Most of the orchards were located north and east of Aptos Village, and Frederick Hihn was one of the leaders of this new Aptos industry.

By the 1920s Aptos was the second most important apple shipping location in Santa Cruz County. Over 90 percent of the apples shipped in the 1920s came from Watsonville, and though only five percent of the county's apple crop went through Aptos each year, it was enough to create a microcosm of the apple industry in Aptos Village. Box making, apple packing, an apple dryer and vinegar works were represented in what became a small apple-centered industrial park.

One of the most prominent of these businesses was the Lam-Mattison apple dryer founded in 1905. Lam Pon, an immigrant from China, became a partner with Ralph Mattison and their dryer became a landmark in the village. Each fall a large group of Chinese laborers would move into the village and work in the dryer well into the winter. In later years Filipino laborers were the dominant laborers. The Lam family continued its partnership with the Mattisons up to 1940. The last of the Aptos apple packing facilities closed in 1959 (Lydon 2008).

#### **Previous Investigations at CA-SCR-222/H**

The site CA-SCR-222/H was initially recorded in 1979 as an extensive occupation site with midden deposit with fire affected rock, large animal bone, and shellfish remains (Morris 1979). The site was described to be located in a large open field west of the Bay View Hotel and to cover a 300 x 200 meter area. The site was revisited later in the year and chipped stone was also noted to on the surface (Cartier 1979).

Due to the high number of prehistoric archaeological sites in the vicinity of CA-SCR-222/H, and the intensive ethnographic occupation in the local area, it seems important to view the site as one part of a larger prehistoric complex that is located in the vicinity of the confluence of Aptos and Valencia Creeks.

## FIELD AND LABORATORY METHODS

### Field Methods

As noted previously, fieldwork was undertaken in three stages: 1. Surface survey, 2. backhoe trench excavation, and 3. STU excavation (Figure 2). The first involved surface inspection by walking the entire parcel with archaeologists spaced 10 meters apart. Where potential cultural materials were identified, closer inspection of the area was undertaken. Surface finds were recorded using a handheld GPS.

The second phase of fieldwork involved the supervision of backhoe trench excavations in order to expose stratigraphic profiles, identify the spatial extent of the site, and to use the exposed profiles to conduct a geoarchaeological study of the prehistoric site and its context within the project parcel. The backhoe excavation was undertaken by a backhoe equipped with a three foot wide bucket that initially had a flat plate fixed across the teeth; however, the compact nature of the soils continued to break the plate off of the bucket during the excavation of Backhoe Trench (BHT) 1, so the remaining trenches were excavated with the teeth exposed. The excavation was closely monitored by two Albion archaeologists and proceeded in approximately 10 centimeter levels, with spoils piles being separated at visible stratigraphic changes in the deposit. Bucket samples were screened using  $\frac{1}{4}$ " from each stratigraphic unit in the trench (Table 1). Trench locations were placed to sample the area of the previously recorded site and in proximity to surface finds.

Table 1. Backhoe trench depth and volume sampled.

BHT 1		BHT 2		BHT 3		BHT 4		BHT 5	
Depth	Volume Sampled	Depth	Volume Sampled	Depth	Volume Sampled	Depth	Volume Sampled	Depth	Volume Sampled
0-90	0.156	0-20	OB	0-58	0.078	0-50	0.078	0-30	0.052
90-150	0.078	20-100	0.156	58-90	Base Rock	50-100	0.078	30-100	0.104
150-200	0.078	100-150	0.078	90-150	0.156	100-140	0.052	100-140	0.104
		150-190	0.078	150-200	.078	140-180	0.052	140-180	0.052
		190-220	0.052						
<b>Total</b>	<b>0.31</b>		<b>0.36</b>		<b>0.31</b>		<b>0.26</b>		<b>0.31</b>

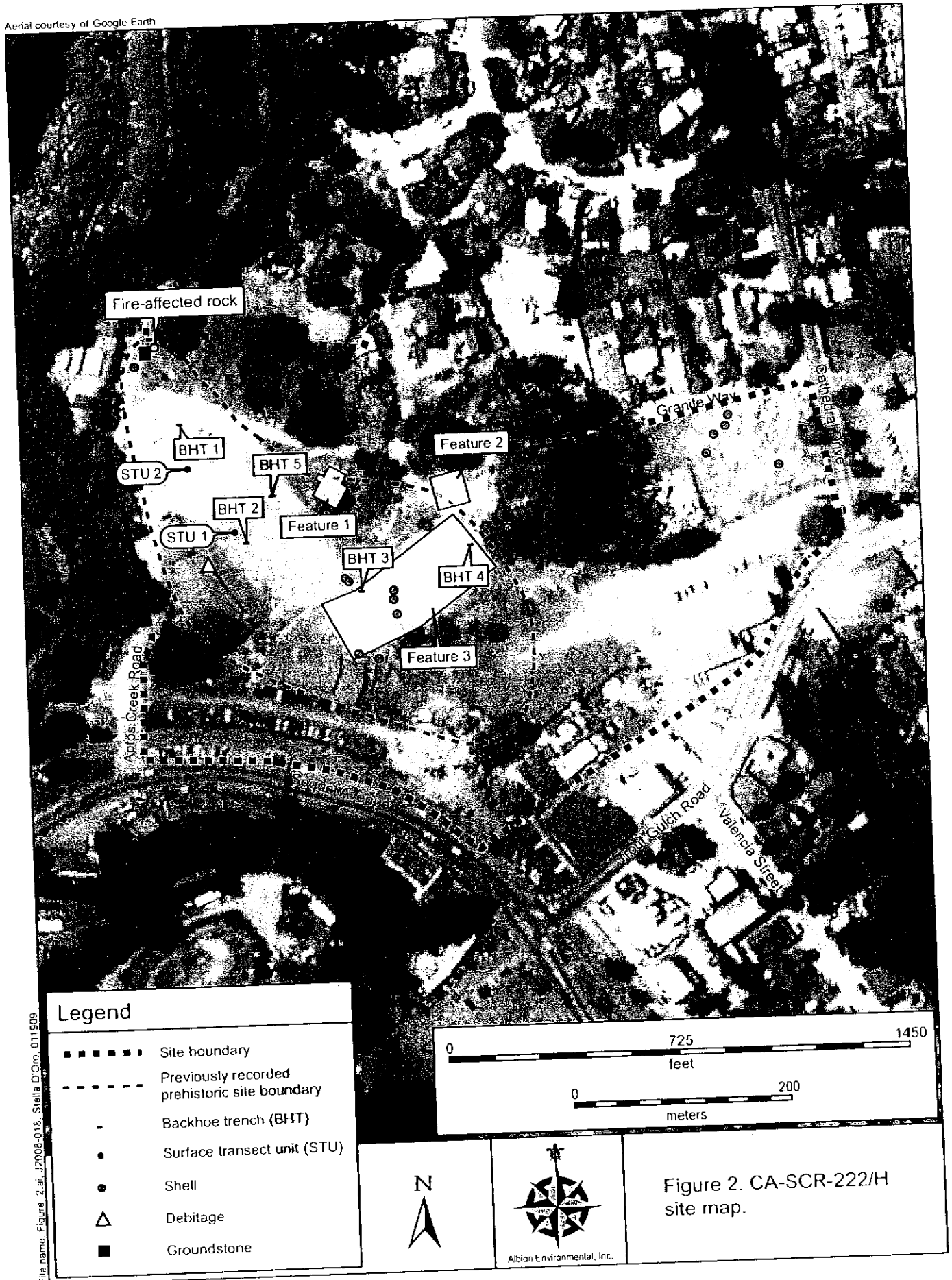
OB= overburden; Depth in centimeters; volume sampled in cubic meters, screened through 6mm mesh. Total volume= 1.55m<sup>3</sup>.

The exposures ranged from 1.7 to 2.2 meters deep and measured 1 meter north to south and between 1.7 and 3.3 meters east to west. In general, three to four stratigraphic units were identified during the excavation of each trench. Excavation of each unit was halted when lighter colored, sandy sediments were encountered. These were presumed to be sterile. Additionally, the depth attained was generally below the level of impact identified by the project design.

A total of 20.5 cubic meters of deposit was excavated in the backhoe trenches. Buried features, human remains, or dense artifact concentrations were not encountered in the trenches. They did illuminate the generally disturbed nature of the site deposit and its limited subsurface manifestation.

Following the backhoe trenches, two surface transect units (STU) measuring 1 x 0.5 meters were excavated to one meter below the surface. The STUs were placed in areas with high likelihood of encountering the prehistoric cultural deposit. STU 1 was located west and north of BHT 2, and STU 2





was placed in between BHT 1 and BHT 2, in order to identify continuity of the deposit as the two backhoe trenches were the only ones to contain prehistoric items. These were intended to provide a more fine-grained sample of the site deposit and were excavated in 20 centimeters arbitrary levels. Due to the high level of surface disturbance, the backhoe removed the upper light colored soils until darker sediments, indicative of the cultural deposit were encountered. Hand excavation commenced in STU 1 at 40 centimeters below surface, and in STU 2 at 25 centimeters below surface. All sediments from these hand excavated units were processed through ¼" mesh screens and comprise 0.68 cubic meters of sampled sediments from STU contexts.

A total of 21.5 cubic meters of sediments was excavated during the Phase 1A investigation of the prehistoric deposit at CA-SCR-222/H, 2.23 cubic meters of which was processed through ¼" mesh screen.

### Laboratory Methods

All recovered materials from the field investigation were returned to the Albion laboratory in Santa Cruz. The materials were washed and cataloged according to standard Albion procedures. The catalog appears as Appendix A in this report. Further analysis was not conducted at this time.

### SITE STRUCTURE

The surface survey failed to identify much in the way of prehistoric cultural material. The site record (Morris 1979) describes the site sediments as dark brown sandy midden, and the surface manifestation to be fire cracked rock, large mammal bone, and shellfish remains. No flaked stone tools were noted at that time, though "chipped stone" was later reported to be present on the surface (Cartier 1979). Additionally, general historic impacts were described.

Today, much of the site surface is covered with historic and modern disturbances. These include a gravel parking lot, locations where sand and other excess soil materials were deposited on the surface, and foundations of historic structures along with assorted junk piles. As a result of these disturbances, the presence and distribution of the site by its surface manifestations is inconclusive.

Sediment profiles and samples screened from the backhoe trenches as well as from the STUs indicate a high degree of subsurface mixing (Appendix B). The trenches did appear to retain some degree of stratigraphic integrity, but intrusion of modern and historic material to 70 centimeters below surface in the profiles indicates that the stratigraphic layers identified likely represent episodes of site matrix redeposition. Furthermore, because modern/historic items were recovered in contexts associated, or even below prehistoric items suggests that much of the prehistoric site component lacks structural integrity.

Excavation of the backhoe trenches provides further information regarding the horizontal extent of the site. The surface survey identified abalone (*Haliotis* sp.) and clam (*Saxidomus* sp.) shells associated with dark soils in the bike jump park at the northeastern portion of the project area, suggesting that the site may be larger than previously recorded. However, prehistoric cultural materials were only identified in BHT 1 and 2 and one piece of apparently old shell was recovered in BHT 5. The lack of prehistoric material in BHT 3 and 4 suggest that the eastern boundary of the site may not extend as far as originally recorded, though the small sample from this portion of the site may simply reflect a more sparse deposit. The shells encountered in the bike jump park likely represent redeposited matrix from the prehistoric component of CA-SCR-222/H.

## RESULTS

Information recovered from the backhoe trenches and STUs indicates that the prehistoric component of CA-SCR-222/H is indeed located within the project parcel. The surface manifestation of the site is obscured through modern and historic disturbances, necessitating subsurface investigations to properly define the site boundaries. The present effort may be used to gain a rudimentary understanding of the site location, and its cultural constituents.

Table 2 describes the findings from the site excavation. One biface, 22 pieces of lithic debitage, one handstone fragment, and one piece of miscellaneous ground stone (MGS) comprise the stone tools recovered in the sediments sampled. Additionally one small crystal fragment, four pieces of faunal bone and 10 shell fragments were recovered. The faunal bone was too fragmented to identify, though it may derive from large and medium sized mammal. The 10 shell fragments appear to all be clam. The remaining four shell fragments from BHT 3 seem to be modern in origin and likely derive from nearby beach sand fill that had been deposited on the surface nearby. This is true of the other shell noted in the vicinity of BHT 3 on the surface survey.

Table 2. Artifacts recovered from excavation units.

	BHT 1	BHT 2	BHT 3	BHT 4	BHT 5	STU 1	STU 2	
Artifact								Total
Biface	-	-	-	-	-	1	-	1
Debitage	4	5	-	-	-	4	9	22
Handstone	-	1	-	-	-	-	-	1
MGS	-	-	-	-	-	-	1	1
Crystal	-	-	-	-	-	-	1	1
Bone	-	-	-	-	-	-	4	4
Shell (arch.)	2	1	-	-	1	1	5	10
Shell (modern)	-	-	4	-	-	-	-	4
Nails	6	22	7	4	10	45	60	154
Glass	9	6	-	3	26	25	101	170
Misc. Metal	-	16	-	-	-	10	22	48
Other Historic	1	1	1	-	8	11	63	85
Plastic	-	2	1	-	1	3	1	8
<b>Total</b>	<b>22</b>	<b>54</b>	<b>13</b>	<b>7</b>	<b>46</b>	<b>100</b>	<b>267</b>	<b>509</b>

MGS= miscellaneous ground stone.

The prehistoric component of CA-SCR222/H is located on the project parcel as initially recorded with densities of prehistoric materials greater in the western and northwestern portions of the site. Prehistoric materials recovered were restricted to BHT 1, 2, and STU 1, 2. With the single piece of apparently culturally derived shell present in BHT 5, and the similarity of the soil types (Appendix

B), it is likely that the area with greater densities of prehistoric material extend to the vicinity of BHT 5.

Subsurface integrity of the site appears to be lacking from all of the areas presently sampled. A brief review of Table 2 shows that the bulk of material recovered from each unit represents historic and/or modern activities. Not only were these materials more numerous than the prehistoric items, but they were also always found in association with the prehistoric items. While STU 1 and STU 2 did not reach the bottom of the cultural deposit, the lowest level of STU 1 contained nails, ceramic, glass, and plastic, along with one piece of Monterey chert debitage. The lowest level of STU 2 contained nails, metal and glass with no prehistoric materials. Prehistoric materials were restricted to 25-80 centimeters below surface in this unit. Similarly BHT 2 contained one nail at 150-180 centimeters with prehistoric materials being found only above 150 centimeters.

## SUMMARY AND CONCLUSIONS

The site was initially recorded as an "extensive occupation site" though information gained through this investigation suggests that it may be a short term task area due to the low levels of prehistoric artifacts and lack of residential features. Interpretation of the site is complicated by the level of historic disturbance that has greatly affected the site's integrity. It is possible that more substantial portions of the site have been removed during various grading and construction activities within and around the subject parcel. The portions of the site currently investigated have been compromised as to their integrity to provide information about the past; however, that does not preclude that a more substantial intact portion of the site may still remain.

It is recommended that further earth disturbance within the boundaries of the prehistoric site CA-SCR-222/H be monitored by a qualified archaeologist in the event that an area with a more substantial, intact prehistoric deposit be uncovered. In the event that this should occur, a cultural resources treatment plan should be developed and further archaeological testing and possibly data recovery may be required. This effort should be undertaken in concert with the treatment of any archaeological deposits from the historic period.

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<sup>1</sup> During the course of this research, the site designation was changed from CA-SCR-222 to CA-SCR-222/H in order to address the presence of historic resources within and adjacent to the previously recorded site boundary.

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APPENDIX A

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## SITE RECORD

PRIMARY RECORD

Primary #  
HRI #

Trinomial CA-SCR-222/H  
NRHP Status Code

Other Listings  
Review Code

Reviewer

Date

Page 1 of 7

\*Resource Name or #: (UPDATE)

P1. Other Identifier:

\*P2. Location: ☒ Not for Publication ☐ Unrestricted

\*a. County: Santa Cruz

\*b. USGS 7.5' Quad: Soquel Date: 1954 (Revised 1994)

T12 S ; R 1E; SE ¼ of SW ¼ of Sec ; M.D. B.M.

c. Address: Soquel Dr. and Aptos Creek Rd.

City: Aptos, CA

Zip: 95003

d. UTM: NAD27 Zone: 10; 597778 mE / 4092838 mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation: 90 feet above sea level.

The site is located east of Aptos Creek Rd. north of Soquel Avenue in the town of Aptos. When travelling north on Aptos Creek Rd. from Soquel Ave. the site is located immediately east of the road before the first hill.

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The site was initially recorded by Morris (1979) and described as an extensive occupation site with midden, Stone, bone and shell visible on the surface that includes fire affected rock, large mammal bone and shellfish such as *Haliotis*, and *Mytilus*. The site was revisited in 2008 by Albion archaeologists. Surface inspection of the field between Aptos Creek Rd. and Cathedral Drive identified one piece of fire affected rock, one piece of possible ground stone, and one CCS flake in the western area near Aptos Creek Rd. A few pieces of shell were also noted. In the middle of the parcel surveyed, corresponding with the eastern boundary of the previously recorded site, some shell was also identified though it appeared to co-occur with sand fill that covered portions of the field. Finally, the eastern portion of the surveyed parcel near Cathedral Dr. contained four pieces of clam shell and one piece of abalone. Presently there is a bike jump park in the location of the shell and some of the soil is dark and organic-rich, while in other areas the soil is quite yellow. Five backhoe trenches and two STUs were excavated in the western portion of the surveyed area. Prehistoric materials were restricted to a bifacial core, one handstone fragment, 22 pieces of CCS debitage, and a few shell fragments in two of the westernmost trenches and the two STUs. Historic and modern debris were present in all of the excavated units and trenches, and was mixed with prehistoric material when present. The lack of prehistoric artifacts in the three easternmost trenches suggests that the shell present in the bike park is redeposited from the prehistoric site area. The prehistoric component of the site is enveloped by the remains of a historic industrial complex composed of features and structures related to the Southern Pacific Railroad (1880s), lumber (1880s-ca. 1900) and apple packing (ca. 1900-1950s) industries.

\*P3b. Resource Attributes: (List attributes and codes) AP2. Lithic scatter; AP15. Habitation debris.

\*P4. Resources Present: ☐ Building ☐ Structure ☐ Object ☒ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)

Overview of CA-SCR-222/H  
from west with view toward east  
(RB1: 138).

\*P6. Date Constructed/Age and Sources: ☐ Historic

☐ Prehistoric ☒ Both

\*P7. Owner and Address:

Barry Swenson Builder  
5300 Soquel Ave. Ste. 103  
Santa Cruz, CA. 95062

\*P8. Recorded by: (Name, affiliation, and address)

R. Brady, H. Hicok, S. D'Oro,  
N. Scherr  
Albion Environmental  
1414 Soquel Ave. Ste. 205  
Santa Cruz, CA. 95062-1200

\*P9. Date Recorded: 10-25-08

\*P10. Survey Type: (Describe)  
Intensive.

\*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

R. Brady (2009). Report on Phase 1A investigations at CA-SCR-222/H.

\*Attachments: ☐ NONE ☒ Location

Map ☒ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record  
☒ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact  
Record ☒ Photograph Record ☐ Other (List):

## ARCHAEOLOGICAL SITE RECORD

Page 2 of 7

\*Resource Name or #: (UPDATE)

\*A1. Dimensions: a. Length: 500 m. (N-S) × b. Width: 650 m. (E-W)

Method of Measurement: ☐ Paced ☐ Taped ☐ Visual estimate ☒ Other: GPS

Method of Determination (Check any that apply.): ☒ Artifacts ☐ Features ☐ Soil ☐ Vegetation ☐ Topography  
☐ Cut bank ☐ Animal burrow ☒ Excavation ☐ Property boundary ☐ Other (Explain):

Reliability of Determination: ☐ High ☒ Medium ☐ Low Explain: Limited subsurface testing.

Limitations (Check any that apply): ☐ Restricted access ☒ Paved/built over ☒ Site limits incompletely defined  
☒ Disturbances ☐ Vegetation ☐ Other (Explain): Western boundary of prehistoric component unclear due to road and gravel cover. Southern site boundary was not investigated. Historic site component includes portions of the Aptos Village Historic District.

A2. Depth: ± 2m ☐ None ☐ Unknown Method of Determination: Backhoe Trenches.

\*A3. Human Remains: ☐ Present ☐ Absent ☒ Possible ☐ Unknown (Explain):

\*A4. Features (Number, briefly describe, indicate size, list associated cultural constituents, and show location of each feature on sketch map.):

The concrete ruins of the Lam-Mattison apple dryer, vinegar press and warehouse (Feature 1) are located just east of the prehistoric component and comprise an area measuring approximately 125 feet long (38.1 m) by approximately 85 feet wide (25.9 m). The ruins include board-formed concrete foundations, floors and partial walls of a multi-room complex. The northern portion of the ruins, possibly the vinegar press and warehouse building (1918), include small walled rooms and long concrete floors or platforms. The southern portion, possibly the foundations of the apple dryer building (1905), consists of several rectangular rooms, the largest measuring approximately 60 feet (18.2 m) long by 15 feet (4.5 m) wide. Remains of the southern most building of the vinegar works complex (Feature 2) is located east of Feature 1 and consists of a large depression filled with concrete rubble, sparse brick, rebar and pipe fragments. The depression measures approximately 39 feet long (11.8 m), 26 feet wide (7.9 m) and approximately 2.5 feet deep (76.2 cm). The footprint of MacDonald & Sons Western Frozen Foods (1905-1929) (Feature 3) is also visible southeast of the prehistoric component and measures approximately 500 feet long (152.4 m) by 217 feet wide (66.1 m). Other historic structures in the area (still standing) include the Bay View Hotel (1872), the Loma Prieta Lumber Yard office/Aptos Fire Hall/VFW Hall (1889) and the Hihn Apple Packing Warehouse (circa 1890).

\*A5. Cultural Constituents (Describe and quantify artifacts, ecofacts, cultural residues, etc., not associated with features.):

On the surface, one possible piece of ground stone, one piece of FAR were noted in the northwest portion of the site, and one CCS flake was noted in the southern area. Five backhoe trenches were excavated to 180-220 cm below surface, and 2 STUs (1x0.5m) were excavated to 1 m below surface. Two of the trenches (1,2) and both STU's contained both prehistoric and historic/modern materials. The remaining trenches contained only historic and modern cultural remnants. Subsurface prehistoric material includes one bifacial core fragment, 22 pieces of cryptocrystalline silicate debitage, and one miscellaneous ground stone artifact. Historic artifacts include ceramics, tile, brick fragments, a rail road spike, square and wire nails, metal, glass, plastic, and styrofoam among other items.

\*A6. Were Specimens Collected? ☐ No ☒ Yes (If yes, attach Artifact Record or catalog and identify where specimens are curated.)

\*A7. Site Condition: ☐ Good ☐ Fair ☒ Poor (Describe disturbances.): Disturbed from historic and modern use.

\*A8. Nearest Water: Aptos Cr. is approximately 700 ft. west of the site and confluence of Aptos Cr. and Valencia Cr. is approximately 700 ft. to the south.

\*A9. Elevation: 90 feet.

A10. Environmental Setting (Describe culturally relevant variables such as vegetation, fauna, soils, geology, landform, slope, aspect, exposure, etc.):

The site is located near the confluence of Aptos and Valencia Creeks. The prehistoric component of the site is located at the western portion of the site boundary, adjacent to the terrace edge above the floodplain of Aptos Creek. Topography of the site is generally flat with a south/southeast facing hill slope at the northern edge of the site. Vegetation includes oak trees, ivy, grasses. Much of the site is covered with gravel and sand fill.

A11. Historical Information:

The site includes a portion of a historic industrial complex relating to the railroad and lumber industries in the late nineteenth century and the apple packing industry of the early twentieth century. The site boundary is based on the extent of historic features according to historic maps.

\*A12. Age: ☒ Prehistoric ☐ Protohistoric ☐ 1542-1769 ☐ 1769-1848 ☐ 1848-1880 ☒ 1880-1914 ☒ 1914-1945  
☐ Post 1945 ☐ Undetermined Describe position in regional prehistoric chronology or factual historic dates if known:

**ARCHAEOLOGICAL SITE RECORD**

Page 3 of 7

\*Resource Name or #: (UPDATE)

**A13. Interpretations** (Discuss data potential, function[s], ethnic affiliation, and other interpretations): The prehistoric site component appears to be a sparse lithic scatter with few tools, suggestive of a limited use activity area. Site was recorded as a habitation site and may have had a more substantial deposit at the time that has since been removed/destroyed or not encountered during this investigation. Subsurface matrix appears to be heavily disturbed due to the co-occurrence of prehistoric, historic, and modern cultural materials and that in Trench 2 a fragment of metal was found to underly prehistoric materials. Though the majority of the historic site component consists of industrial structural remnants with few subsurface features, residential occupation of the site by laborers and operators may have left filled features (eg., privies, wells, household trash deposits) that could still be buried intact following demolition of other site areas.

**A14. Remarks:** The prehistoric site component appears to have been heavily disturbed due to historic activities.

**A15. References** (Documents, informants, maps, and other references):

Brady, R. (2009). Report on Phase 1A investigations at CA-SCR-222/H. On file Northwest Information Center of the California Historical Information System.

Morris, P. (1979). SCR-222 Site Record. On file Northwest Information Center of the California Historical Information System.

Cartier, R. (1979). Archeological Evaluation of APN 41-011-02, off Soquel Drive. Report on file Northwest Information Center of the California Historical Information System.

**A16. Photographs:** J2008-018: RB1 (17 photos); RB2 (29 photos). (see attached)

**Original Media/Negatives Kept at:** Albion Environmental, Inc. 1414 Soquel Ave, Ste. 205 Santa Cruz, CA. 95062

\*A17. Form Prepared by: R. Brady, H. Hicok

Date: 01/05/2009

**Affiliation and Address:** Albion Environmental Inc.  
1414 Soquel Ave. Ste. 205  
Santa Cruz, CA. 95062

# PHOTOGRAPH RECORD

Camera Format: Olympus  
Film Type and Speed: Digital

Lens Size:

Negatives Kept at: Albion Environmental (J2008-018: RB1)

Mo.	Day	Time	Exp./Frame	Subject/Description	View Toward	Accession #
9	10	10:45	135	CA-SCR-222/H overview from fence/gravel lot.	NW	
9	10	10:47	136	CA-SCR-222/H overview from NW portion of site near Aptos Creek Rd. (blue flag is possible ground stone).	NE	
9	10	10:49	137	Possible handstone at NW portion of site.	Plan	
9	10	10:51	138	CA-SCR-222/H overview from pave parking at west end of site (yellow flags mark shell)	East	
9	10	10:51	139	Close up of 138.	East	
9	10	10:54	140	CA-SCR-222/H overview showing yellow fill and gravel.	NE	
9	10	10:57	141	CA-SCR-222/H: Debitage	Plan	
9	10	11:00	142	CA-SCR-222/H: Middle of site with old foundations.	North	
9	10	11:02	143	Midden? Near buildings at south edge of site.	N	
9	10	11:03	144	East edge of west building group near shell facing north along drainage at possible east edge of site.	N	
9	10	11:05	145	Drainage along east edge of site (Yellow flag marks shell).	NE	
9	10	11:07	146	Across drainage to eastern portion of site	E	
9	10	11:10	147	Overview of eastern portion of site with old foundation in foreground and rubble poile in back (poss. bldg. 14)	N	
9	10	11:26	148	Shell north of Granite Way	N	
9	10	11:45	149	Shell flagged at bike park.	N	
9	10	11:45	150	Abalone at bike park.	N	
9	10	11:48	151	Clam shell near Cathedral Dr. at bike park	E	

# PHOTOGRAPH RECORD

Camera Format: Olympus

Lens Size:

Film Type and Speed: Digital

Negatives Kept at: Albion Environmental (J2008-018: RB2)

Mo.	Day	Time	Exp./Frame	Subject/Description	View Toward	Accession #
9	23	7:34	159	Trench 1 overview	NW	
9	23	8:44	160	Trench 1 south wall 0-2 meters	S	
9	23	8:44	161	Trench 1 south wall 0-2 meters	S	
9	23	8:44	162	Shoring installation	NW	
9	23	8:47	163	Trench 1 overview	SE	
9	23	8:47	164	Trench 1 overview	SE	
9	23	10:46	165	Trench 2 South wall 0-220 cm	S	
9	23	10:46	166	Trench 2 South wall 0-220 cm	S	
9	23	10:46	167	Trench 2 South wall 0-220 cm	S	
9	23	1:11	168	Trench 3 South wall 0-200 cm	S	
9	23	1:11	169	Trench 3 South wall 0-200 cm	S	
9	23	1:11	170	Trench 3 South wall 0-200 cm	S	
9	23	2:29	171	Trench 4 South wall 0-180 cm	S	
9	23	2:29	172	Trench 4 South wall 0-180 cm	S	
9	23	2:29	173	Trench 4 South wall 0-180 cm	S	
9	24	7:54	174	Trench 5 South wall 0-180 cm	S	
9	24	7:54	175	Trench 5 South wall 0-180 cm	S	
9	24	7:54	176	Trench 5 South wall 0-180 cm	S	
9	24	9:59	177	Overburden removed from STU 1	N	
9	24	2:51	178	STU 1 West wall 0-100 cm	W	
9	24	2:51	179	STU 1 West wall 0-100 cm	W	
9	24	2:52	180	STU 1 West wall 0-100 cm	W	
9	24	2:54	181	STU 1 West wall 0-100 cm	W	
9	24	2:59	182	STU 1 Overview	NW	
9	25	6:23	183	STU 2 Location	NW	
9	25	6:38	184	STU 2 Strung up	NW	
9	25	1:27	185	STU 2 West Wall profile 25-100	W	
9	25	1:27	186	STU 2 West Wall profile 25-100	W	
9	25	1:27	187	STU 2 West Wall profile 25-100	W	

# SKETCH MAP

Primary #

HRI#

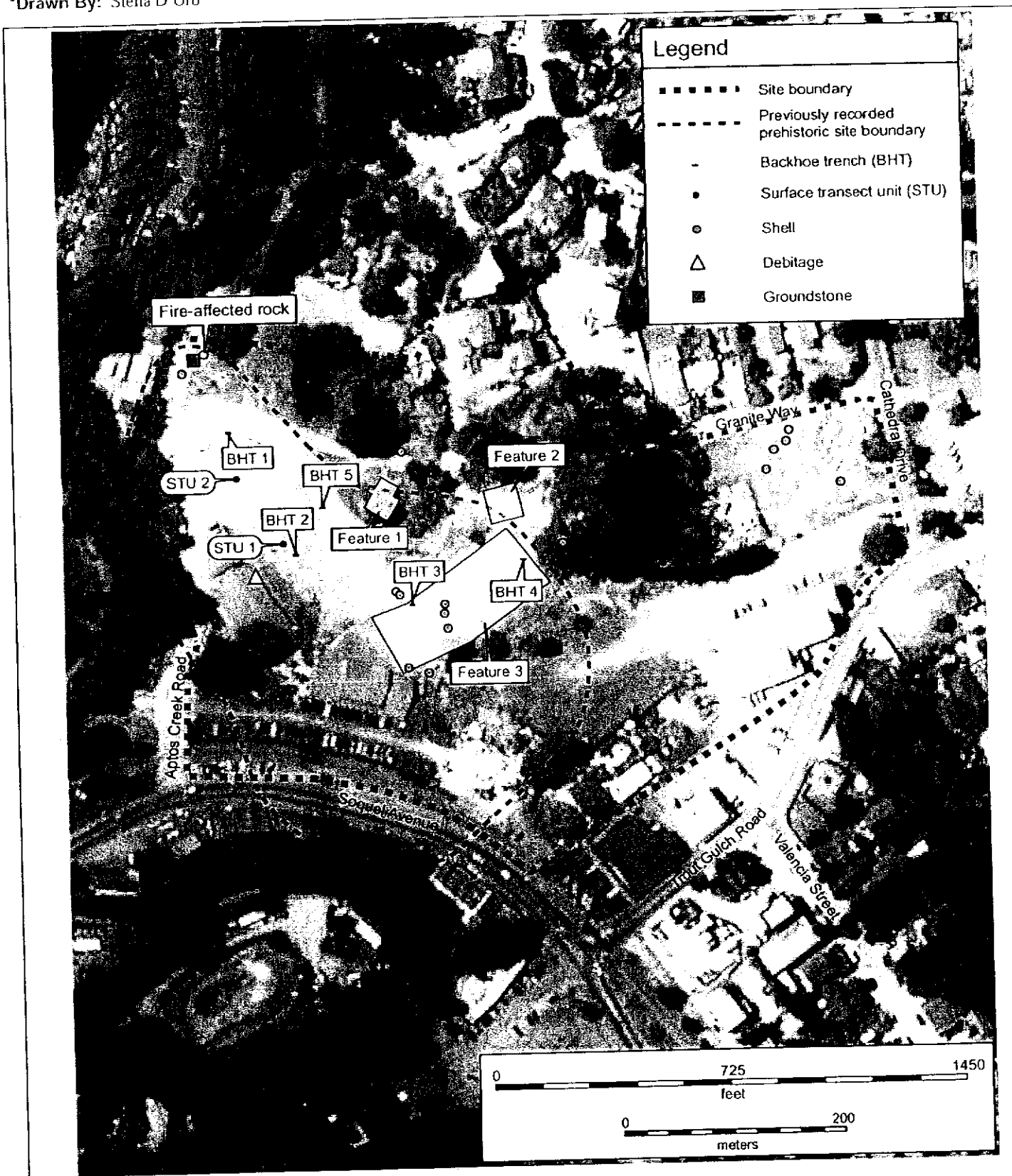
Trinomial CA-SCR-222/H

Page 7 of 7

\*Resource Name or # (Assigned by recorder)

\*Date: 12-31-08

\*Drawn By: Stella D'Oro



Aerial courtesy of Google Earth

NOTE: Include bar scale and north arrow.

\*Required information

LOCATION MAP

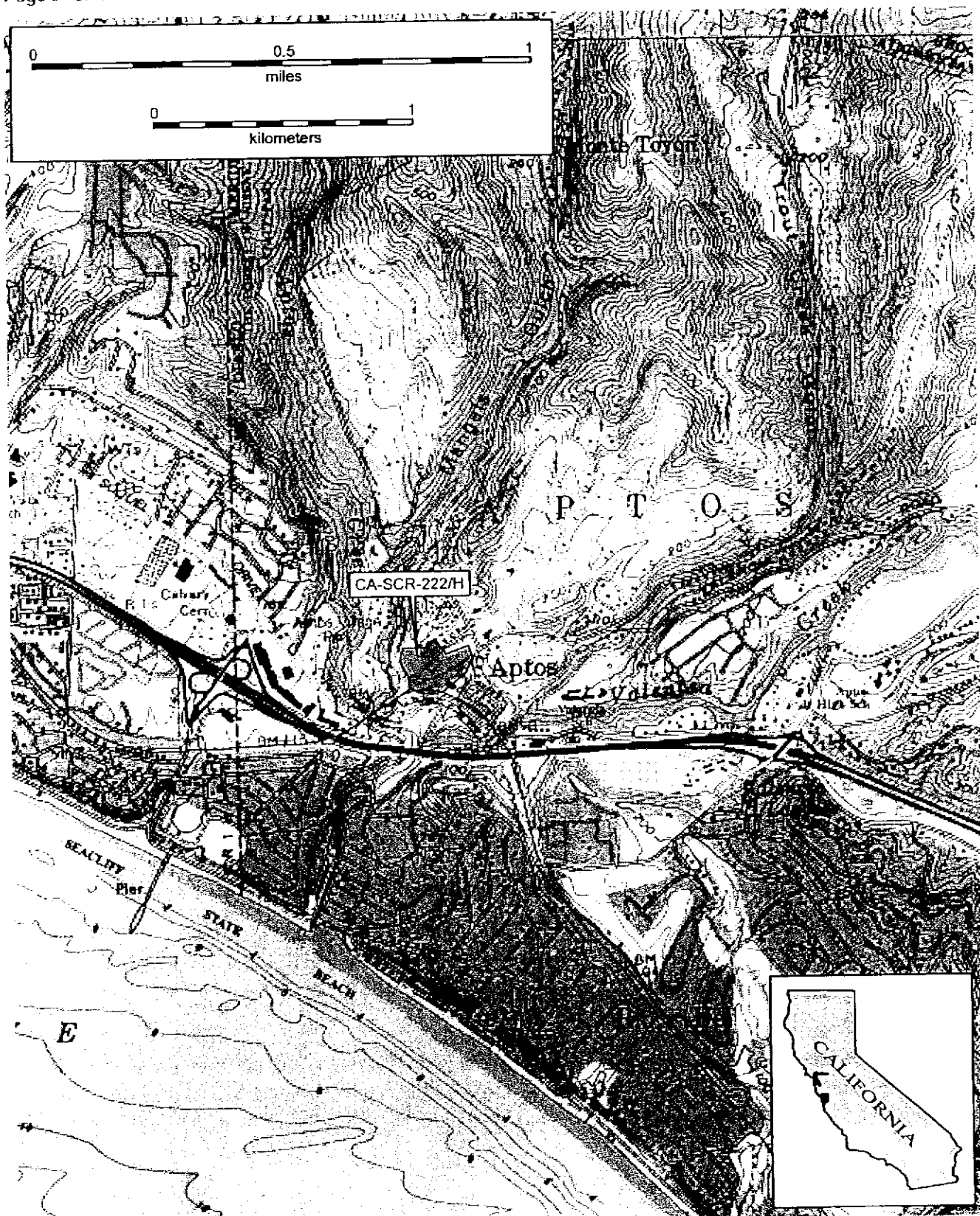
Primary #

HRI#

Trinomial CA-SCR-222/H

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\*Resource Name or #:



USGS 7.5" Quadrangle, Soquel 1954, photorevised 1994

\*Map Name: Soquel  
DPR 523J (1/95)

\*Scale: \*Date of Map: 1954, photorevised 1994

\*Required information



APPENDIX B

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## SOIL TRENCHING REPORT

### Trench 2 and STU 1

These two subsurface excavations were located at the W end of the project boundary to the South of Trenches 1 and 5 and STU 2.

Trench 2 contained a Stratum II consisting of various fill from 0-45cmbs. Stratum I consists of a black clay to clay loam most likely representing an A horizon which is mixed with fill to approximately 65cmbs. The A horizon then extends down to about 125cmbs with a section in the middle of the profile that dips down to 150cmbs. It is not clear what caused this disturbance. A transition section occurs in the profile between the A and B horizons from the bottom of the A horizon to a depth of 170cmbs. This layer is composed of a dark grayish brown sandy clay loam. The B horizon consists of a brown sandy clay loam to clay loam to the bottom of the profile at 200cmbs. A mix of prehistoric, historic and modern debris was found throughout the profile with historic/modern artifacts dominating.

STU 1 was not profiled but was located near Trench 2 and was very similar in description and findings. Prehistoric, historic, and modern debris was found in all levels to a depth of 100cmbs.

Due to variation between the trenches the profiles of Trenches 3 and 4 are described separately below.

### Trench 3

Trench 3 was located to the E of trench 2 and contained Stratum II consisting of various fill to a depth of 80 to 90cmbs. These various layers of fill probably represent different construction depositional events. Stratum I consists of a black clay to approximately 170cmbs with a zone mixed with fill to about 100cmbs and a transition zone from 155-170cmbs. It is unclear whether this represents the A or B horizon. The A horizon may have been truncated here leaving only the B horizon. The next section is of very dark grayish brown clay but with a higher sand content and extends to the bottom of the profile at 200cmbs. Only modern debris was found in this profile and extended down to the bottom at 200cmbs.

### Trench 4

Trench 4 was located to the E of all the other trenches almost in the middle of the project area.

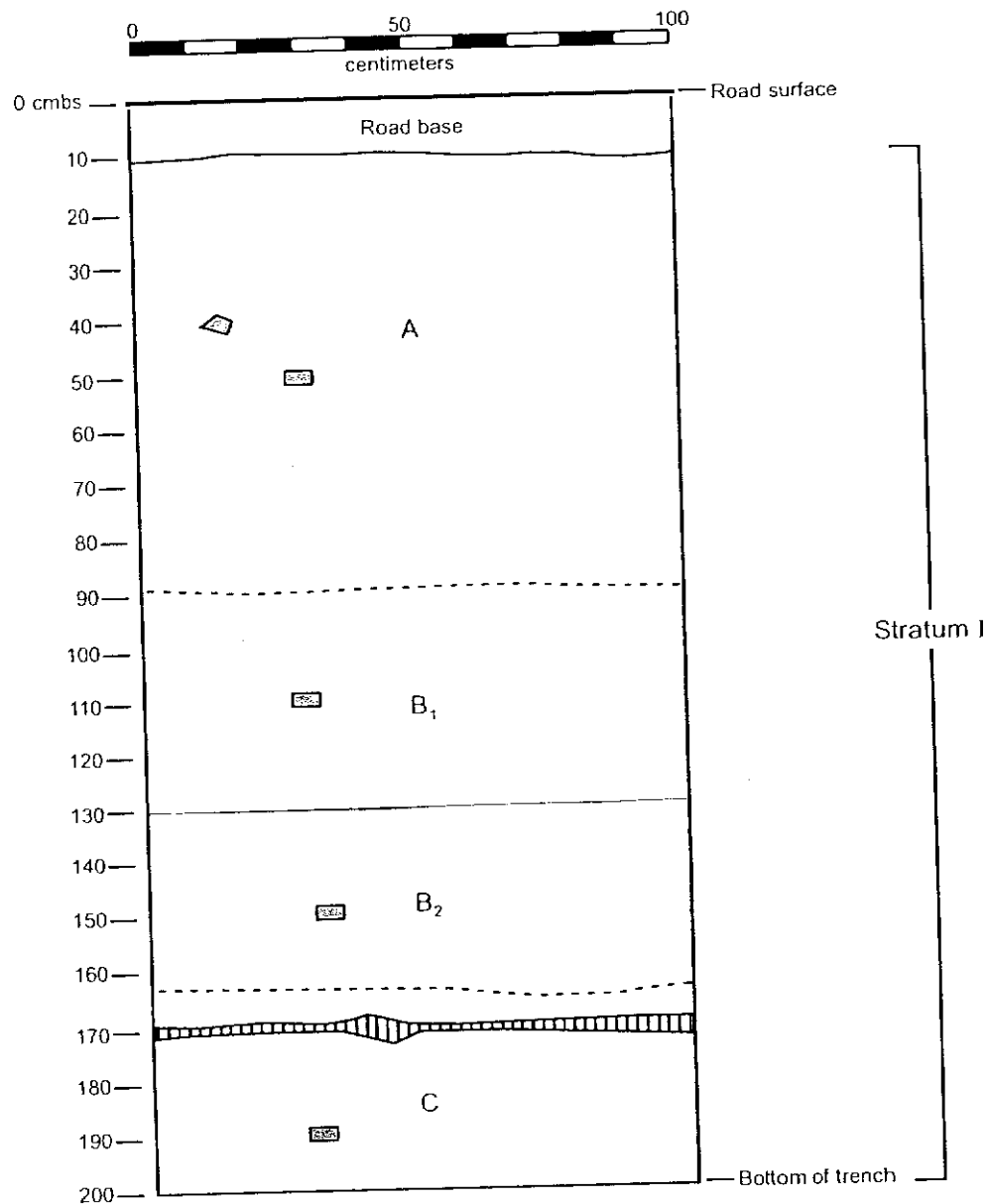
This area seems less disturbed and does not exhibit stratum II. Stratum I consists of a dark brown clay with a high organic content to a depth of 40cmbs. The profile continues with very dark brown clay to a depth of approximately 100cmbs. This represents the A horizon. Below this a dark yellowish brown sandy-loam to sandy-clay-loam extends to the bottom of the trench at 180cmbs. This represents the B horizon and contains some rodent disturbance. Modern debris was found to a depth of 100cmbs. No prehistoric artifacts were found.

### Overview

The area to the west, including trenches 1, 2, 5, and STUS 1 and 2 is composed primarily of variations of loam and sand with some clay whereas the soil composition in the area to the east where trenches 3 and 4 are located is more heavily dominated by clay.

Prehistoric artifacts seem to be associated more with the loamy soil to towards the west. Prehistoric artifacts were identified in trenches 1 and 2 and in STUs 1 and 2 (although not in trench 5). No prehistoric artifacts were identified in the area with more clay that contains trenches 3 and 4.

# Trench 1, South Wall Profile



## Stratum I -

- ☐ A : Blocky, moderately firm 10YR 2/2 (very dark brown) clay loam with <10% gravels
- ☐ B<sub>1</sub> : Blocky and friable to moderately firm 10YR 3/1 (very dark gray) sandy loam with <10% gravels and few, medium redox features
- ☐ B<sub>2</sub> : Blocky and friable 10YR 3/3 (dark brown) loamy sand with <10% gravels and few faint orange redox features
- ☐ C : Massive and extremely friable 10YR 4/3 (brown) sand with <10% gravels

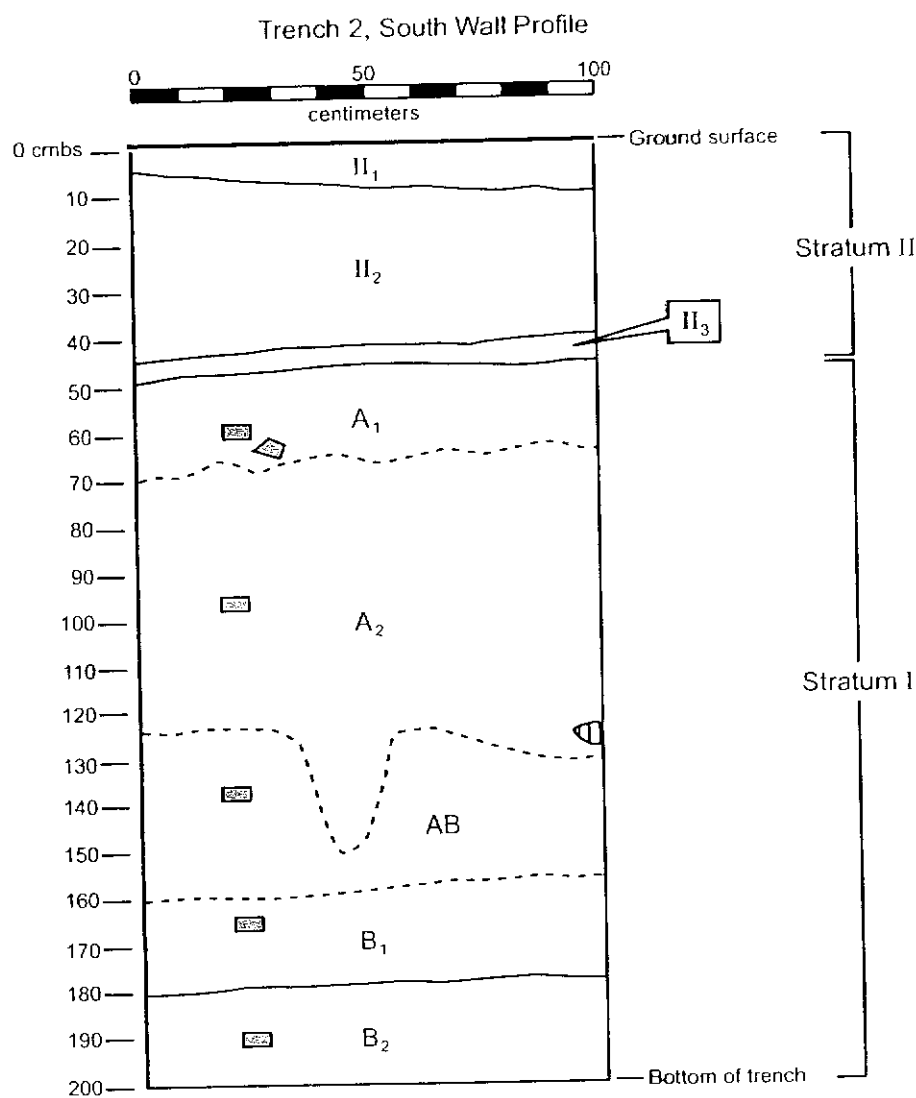
## Legend

- Krotavina
- Brick
- Soil sample



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Figure B-1. CA-SCR-222/H  
Trench 1, south wall profile.



Stratum II<sub>1</sub> : Yellowish brown sand  
 Stratum II<sub>2</sub> : 10YR 4/4 (dark yellowish-brown) sandy clay  
 Stratum II<sub>3</sub> : 10YR 4/2 (dark grayish-brown) sand with 20% gravels

**Stratum I -**

- ☐ A<sub>1</sub> : Compact and mottled 10YR 2/1 (black) and 10YR 4/2 (dark grayish-brown) sandy clay loam with 10% gravels
- ☐ A<sub>2</sub> : Moist and moderately firm 10YR 2/1 (black) clay to sandy clay with <10% gravels, rootlets and root holes present
- ☐ AB : Very friable 10YR 3/2 (very dark grayish-brown) to 10YR 4/2 (dark grayish-brown) sandy clay loam with <10% gravels
- ☐ B<sub>1</sub> : Platy and friable 10YR 4/3 (brown) sandy clay loam with <1% gravels
- ☐ B<sub>2</sub> : Slightly firm, platy, and friable 10YR 4/3 (brown) clay loam with few faint orange to dark brown redox features and <1% gravels

**Legend**

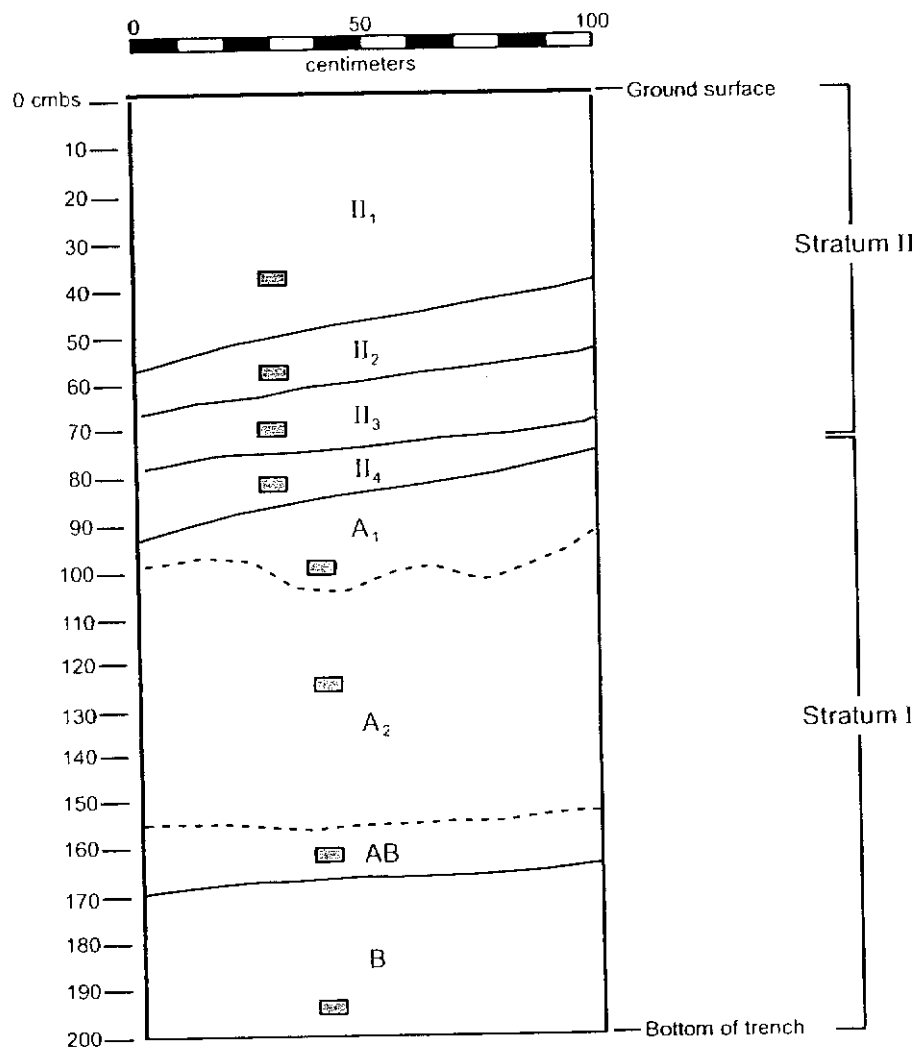
- Krotavina
- Plastic tubing in side wall
- Soil sample



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Figure B-2. CA-SCR-222/H  
Trench 2, south wall profile.

# Trench 3, South Wall Profile



- Stratum II<sub>1</sub> : Extremely compacted mottled 5YR 5/8 (yellowish-red) and 10YR 5/3 (brown) clay with 10% gravels
- Stratum II<sub>2</sub> : Extremely compacted mottled 5YR 5/3 (brown) and 10YR 6/4 (light yellowish-brown) clay with rootlets
- Stratum II<sub>3</sub> : Compact 10YR 2/1 (black) clay with large gravels and oil contamination
- Stratum II<sub>4</sub> : Gray base rock

## Stratum I -

- A<sub>1</sub> : Dry compact 10YR 2/1 black silty clay mottled with upper Stratum II layers
- A<sub>2</sub> : Moderately firm, platy, friable, and very moist 10YR 2/1 black silty clay with faint redox features and <2% gravels
- AB : Transition 10YR 2/1 (black) to 10YR 3/2 (very dark grayish-brown) silty clay to sandy clay with 2% gravels
- B : Firm, platy very moist 10YR 3/2 (very dark grayish-brown) sandy clay with faint orange redox features

## Legend

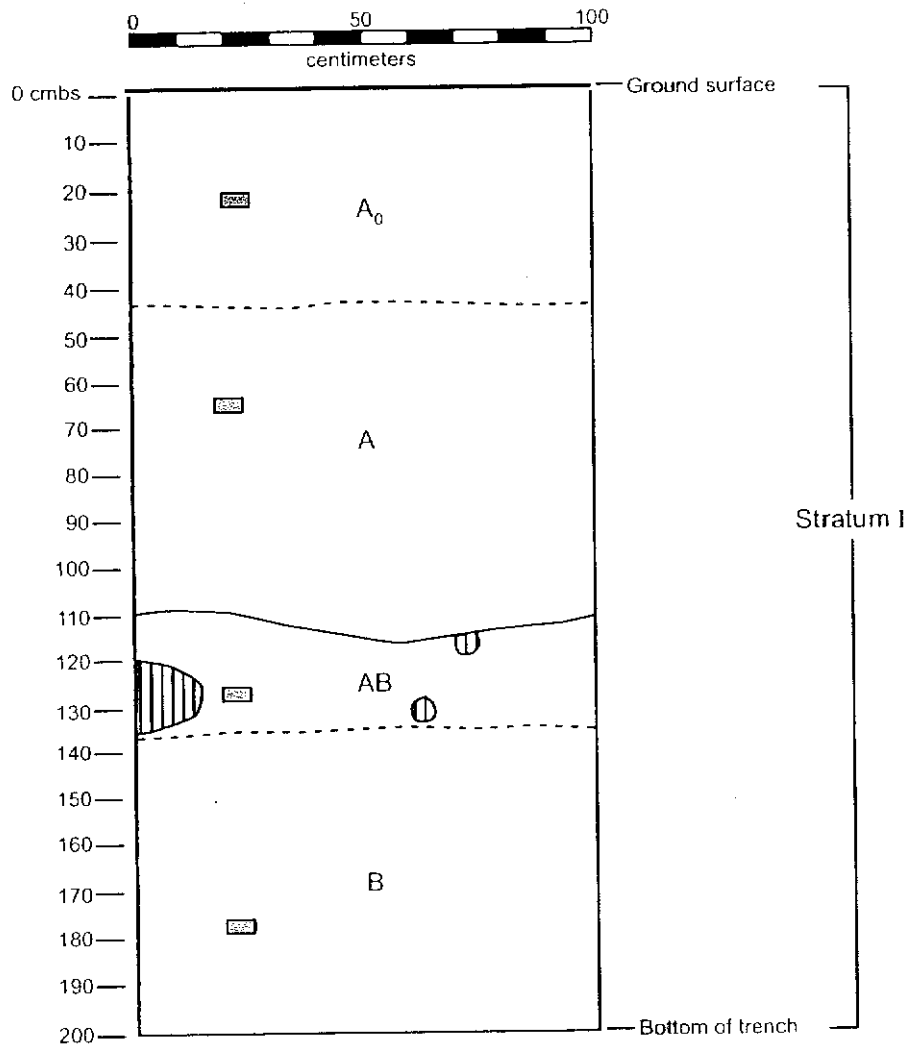
Soil sample



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Figure B-3. CA-SCR-222/H  
Trench 3, south wall profile.

# Trench 4, South Wall Profile



## Stratum I -

- ☐ A<sub>0</sub> : Blocky, very firm 10YR 3/3 (dark brown) clay with <1% gravels and rootlets
- ☐ A : Blocky, friable 10YR 2/2 (very dark brown) clay with <1% gravels, small rootlets and root holes
- ☐ AB: Blocky, friable 10YR 2/2 (very dark brown) to 10YR 4/4 (dark yellowish brown) sandy loam to sandy clay loam with <1% gravels
- ☐ B : Blocky and very friable 10YR 4/4 (dark yellowish-brown) sandy clay loam with few faint redox features and <1% gravels

## Legend

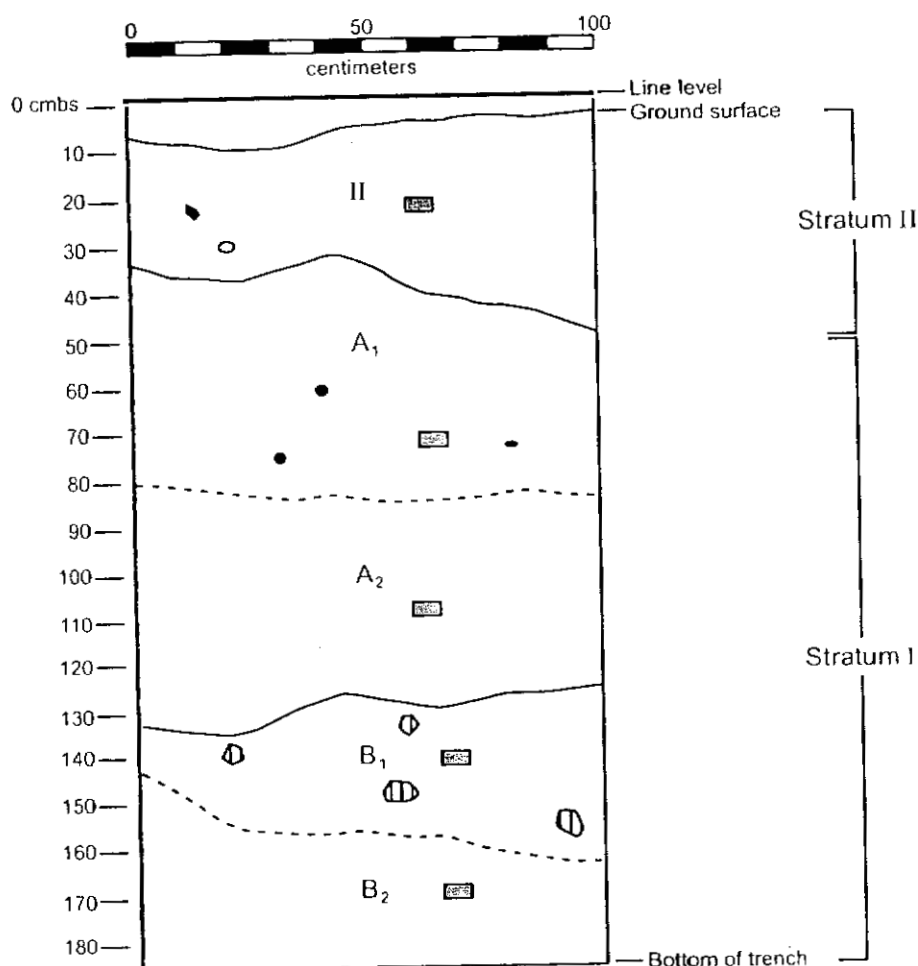
- Krotavina
- Soil sample



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Figure B-4. CA-SCR-222/H  
Trench 4, south wall profile.

# Trench 5, South Wall Profile



Stratum II : Blocky and firm 10YR 5/3 (brown) sandy clay with rootlets, <10% gravels

## Stratum I -

- A<sub>1</sub> : Slightly compact, moderately firm to friable 10YR 3/1 (very dark gray) to 10YR 3/2 (very dark grayish-brown) silty clay loam with <10% gravels. Some mottling with upper Stratum II
- A<sub>2</sub> : Moderately firm to friable 10YR 2/1 (black) to 10YR 2/2 (very dark brown) silty clay loam with <10% gravels
- B<sub>1</sub> : Sub-angular blocky to platy structured and friable 10YR 3/2 (very dark grayish-brown) sandy loam with 10% gravels
- B<sub>2</sub> : Semi-structured, friable 10YR 4/3 (brown) loamy sand with <10% gravels

## Legend

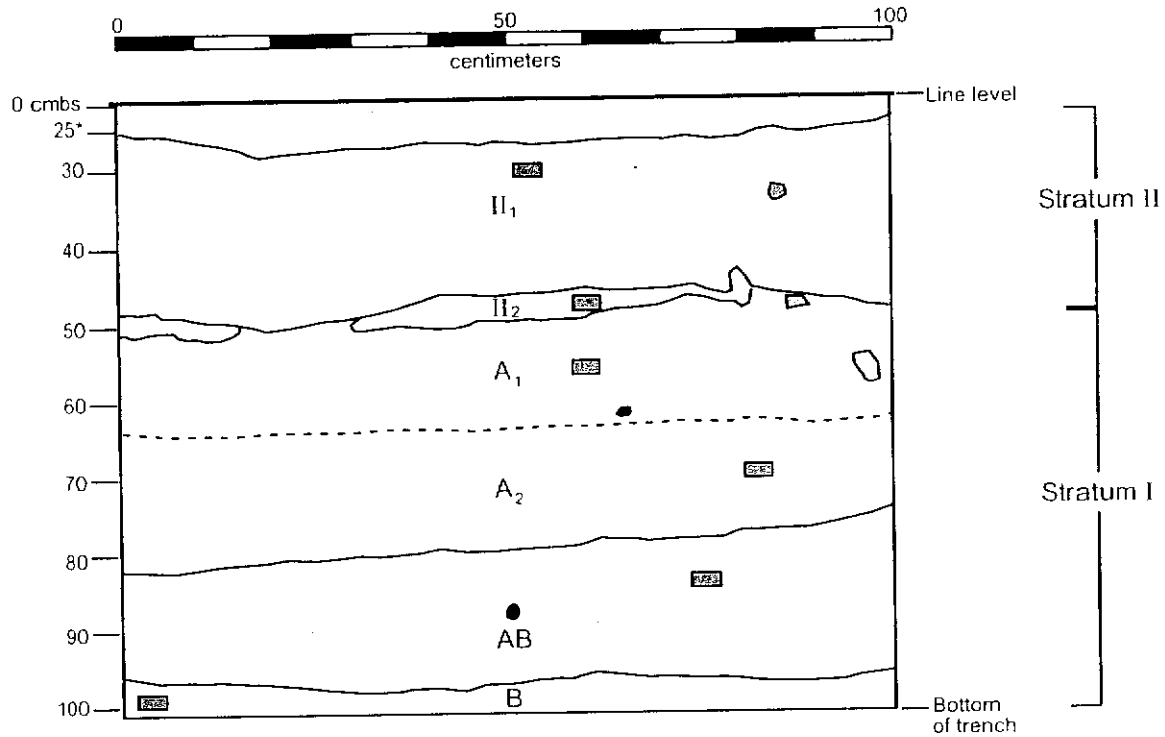
- ◆ Shell
- Base rock
- Natural cobble
- ⊖ Krotavina
- Soil sample



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Figure B-5. CA-SCR-222/H  
Trench 5, south wall profile.

# Surface Transect Unit 2, West Wall Profile



Stratum II<sub>1</sub> : Blocky and firm 10YR 3/2 (very dark grayish-brown) silty clay loam with rootlets and <10% gravels  
 Stratum II<sub>2</sub> : Massive, 10YR 5/3 (brown) sandy loam with 25% gravels

## Stratum I -

- A<sub>1</sub> : Moderately firm 10YR 2/1 (black) to 10YR 2/2 (very dark brown) silty clay with 2% gravels
- A<sub>2</sub> : Friable 10YR 2/2 (very dark brown) to 10YR 3/2 (very dark grayish-brown) silty clay loam with <2% gravels
- AB: Platy and friable 10YR 3/1 (very dark gray) silty loam with <10% gravels
- B : Very friable 10YR 4/3 (brown) sandy loam

\* Top 25 centimeters removed as overburden/modern debris.

## Legend

- Rock
- ▣ Rusty metal
- ▣ Soil sample



Albion Environmental, Inc.

Figure B-6. CA-SCR-222/H Surface Transect Unit 2, west wall profile.



APPENDIX C

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## GENERAL CATALOG

# CA-SCR-222/H Catalog

SPEC	UNIT TYPE	NO	UNIT SIZE	UPPER DEPTH (cm)	LOWER DEPTH (cm)	MESH (in)	GROUP	CLASS	TYPE	MATERIAL	COUNT	WEIGHT (gm)	DESCRIPTION	COMMENT
1	BHT	1	1X1.9	0	90	1/4"	FLS	DEB		MCT	2	5	DEBITAGE	
2	BHT	1	1X1.9	0	90	1/4"	FLS	DEB		CCS	1	0.4	DEBITAGE	
3	BHT	1	1X1.9	0	90	1/4"	FAU	SHL		SHL	2	2.6	SHELL	N=2
4	BHT	1	1X1.9	0	90	1/4"	CHR	CSC		WOD	2	1.3	CHARCOAL	
5	BHT	1	1X1.9	0	90	1/4"	HIS	HRD	NAL	MTL	5	8.5	NAILS	
6	BHT	1	1X1.9	0	90	1/4"	HIS	HRD	WIR	MTL	1	1.1	WIRE	
7	BHT	1	1X1.9	0	90	1/4"	HIS	HRD	TIL	CER	1	2.2	TILE	
8	BHT	1	1X1.9	0	90	1/4"	HIS	BOT	UNI	GLB	1	1.3	GLASS, BLUE	
9	BHT	1	1X1.9	0	90	1/4"	HIS	BOT	UNI	GLC	5	2.8	GLASS, CLEAR	
10	BHT	1	1X1.9	0	90	1/4"	HIS	BOT	UNI	GLM	1	1.1	GLASS, AMBER	
11	BHT	1	1X1.9	0	90	1/4"	HIS	BOT	UNI	GLP	1	0.5	GLASS, AMETHYST	
12	BHT	1	1X1.9	90	150	1/4"	FLS	DEB		CCS	1	0.2	DEBITAGE	
13	BHT	1	1X1.9	90	150	1/4"	HIS	BOT	UNI	GLM	1	0.5	GLASS, AMBER	
14	BHT	1	1X1.9	0	200	NA	SOL	MNS			4	733.6	SOIL SAMPLE	
15	BHT	2	1x1.7	20	100	1/4"	FLS	DEB		MCT	2	1.3	DEBITAGE	
16	BHT	2	1x1.7	20	100	1/4"	FLS	DEB		IGN	1	1.2	DEBITAGE	
17	BHT	2	1x1.7	20	100	1/4"	GDS	HST		SAN	1	180.6	HANDSTONE	
18	BHT	2	1x1.7	20	100	1/4"	FAU	SHL		SHL	1	3.2	SHELL	N=1

COMMENT

DESCRIPTION

WEIGHT  
(gm)

COUNT

MATERIAL

TYPE

CLASS

GROUP

MESH  
(in)UPPER  
DEPTH  
(cm)LOWER  
DEPTH  
(cm)NO  
UNIT  
SIZEUNIT  
TYPE

SPEC

19	BHT	2	1x1.7	20	100	1/4"	CHR	CSC		WOD	2	0.2	CHARCOAL	N=2
20	BHT	2	1x1.7	20	100	1/4"	HIS	HRD	NAL	MTL	21	56.1	NAILS	
21	BHT	2	1x1.7	20	100	1/4"	HIS	HRD	UNI	MTL	16	6.1	UNIDENTIFIED METAL	
22	BHT	2	1x1.7	20	100	1/4"	HIS	BOT	UNI	GLC	4	9.9	GLASS, CLEAR	
23	BHT	2	1x1.7	20	100	1/4"	HIS	BOT	UNI	GLO	1	1.5	GLASS, OLIVE	
24	BHT	2	1x1.7	20	100	1/4"	HIS	BOT	UNI	GLM	1	1.2	GLASS, AMBER	
25	BHT	2	1x1.7	20	100	1/4"	HIS	UNI		PLA	1	0.1	PLASTIC BAG?	<0.1
26	BHT	2	1x1.7	100	150	1/4"	FLS	DEB		CCS	2	0.9	DEBITAGE	
27	BHT	2	1x1.7	100	150	1/4"	HIS	CRC	CRC	POR	1	5.8	CERAMIC	HAND GLAZED
28	BHT	2	1x1.7	100	150	1/4"	HIS	UNI		PLA	1	0.2	HARD PLASTIC	
29	BHT	2	1x1.7	150	190	1/4"	HIS	HRD	NAL	MTL	1	0.9	NAILS	
30	BHT	2	1x1.7	50	190	NA	SOL	MNS			5	1023	SOIL SAMPLE	
31	BHT	3	1x2.1	0	58	1/4"	FAU	SHL		SHL	2	8.5	SHELL	
32	BHT	3	1x2.1	0	58	1/4"	HIS	HRD	NAL	MTL	2	10.3	NAILS	
33	BHT	3	1x2.1	0	58	1/4"	HIS	UNI		PLA	1	0.1	PLASTIC	<0.1
34	BHT	3	1x2.1	90	150	1/4"	FAU	SHL		SHL	1	0.2	SHELL	
35	BHT	3	1x2.1	90	150	1/4"	HIS	HRD	NAL	MTL	4	12.2	NAILS	
36	BHT	3	1x2.1	90	150	1/4"	HIS	DOM	UNI	LEA	1	0.2	LEATHER	
37	BHT	3	1x2.1	150	200	1/4"	FAU	SHL		SHL	1	0.6	SHELL	
38	BHT	3	1x2.1	150	200	1/4"	HIS	HRD	NAL	MTL	1	1.2	NAILS	

COMMENT

DESCRIPTION

WEIGHT  
(gm)

COUNT

MATERIAL

TYPE

CLASS

GROUP

MESH  
(in)LOWER  
DEPTH  
(cm)UPPER  
DEPTH  
(cm)UNIT  
SIZE

NO

UNIT  
TYPE

SPEC

39	BHT	3	1x2.1	0	200	NA	SOL	MNS				8	1632	SOIL SAMPLE	
40	BHT	4	1x2	0	50	1/4"	HIS	HRD	NAL	MTL		4	28.4	NAILS	
41	BHT	4	1x2	0	50	1/4"	HIS	BOT	UNI	GLG		1	1.5	GLASS, GREEN	
42	BHT	4	1x2	50	100	1/4"	HIS	BOT	UNI	GLM		2	1.2	GLASS, AMBER	
43	BHT	4	1x2	0	180	NA	SOL	MNS				4	671.5	SOIL SAMPLE	
44	BHT	5	1x3.3	0	30	1/4"	HIS	APP	BUT	MTL		1	1.3	BUTTON	
45	BHT	5	1x3.3	0	30	1/4"	HIS	HRD	NAL	MTL		2	4.7	NAILS	
46	BHT	5	1x3.3	0	30	1/4"	HIS	HRD	PIP	CER		1	1.1	SEWER PIPE	
47	BHT	5	1x3.3	0	30	1/4"	HIS	BOT	UNI	GLC		3	1	GLASS, CLEAR	
48	BHT	5	1x3.3	0	30	1/4"	HIS	BOT	UNI	GLG		1	3.6	GLASS, GREEN	
49	BHT	5	1x3.3	0	30	1/4"	HIS	BOT	UNI	GLM		1	0.3	GLASS, AMBER	
50	BHT	5	1x3.3	30	100	1/4"	FAU	SHL		SHL		1	3.8	SHELL	
51	BHT	5	1x3.3	30	100	1/4"	HIS	HRD	BRK	BRK		2	3.6	BRICK	
52	BHT	5	1x3.3	30	100	1/4"	HIS	HRD	NAL	MTL		8	18.7	NAILS	
53	BHT	5	1x3.3	30	100	1/4"	HIS	HRD	PIP	CER		3	4.4	SEWER PIPE	
54	BHT	5	1x3.3	30	100	1/4"	HIS	CRC	UNI	CER		1	0.4	CERAMIC	
55	BHT	5	1x3.3	30	100	1/4"	HIS	BOT	UNI	GLC		13	14.8	GLASS, CLEAR	
56	BHT	5	1x3.3	30	100	1/4"	HIS	BOT	UNI	GLG		3	5.2	GLASS, GREEN	
57	BHT	5	1x3.3	30	100	1/4"	HIS	BOT	UNI	GLM		2	1.4	GLASS, AMBER	
58	BHT	5	1x3.3	30	100	1/4"	HIS	OTH		WOD		2	3	WOOD	

COMMENT

DESCRIPTION

WEIGHT  
(gm)

COUNT

MATERIAL

TYPE

CLASS

GROUP

MESH  
(in)LOWER  
DEPTH  
(cm)UPPER  
DEPTH  
(cm)

NO

UNIT  
SIZEUNIT  
TYPE

SPEC

59	BHT	5	1x3.3	100	140	1/4"	HIS	BOT	UNI	GLC	2	0.9	GLASS, CLEAR	
60	BHT	5	1x3.3	140	180	1/4"	HIS	BOT	UNI	GLG	1	1.4	GLASS, GREEN	
61	BHT	5	1x3.3	140	180	1/4"	HIS	UNI		PLA	1	0.2	PLASTIC, BLUE	
62	BHT	5	1x3.3	0	180	1/4"	SOL	MNS			5	454.6	SOIL SAMPLE	
63	STU	1	1x0.5	40	60	1/4"	FLS	BIF		MCT	1	19	BIFACE	
64	STU	1	1x0.5	40	60	1/4"	FAU	SHL		SHL	1	1	SHELL	
65	STU	1	1x0.5	40	60	1/4"	HIS	HRD	BRK	BRK	3	11.1	BRICK	
66	STU	1	1x0.5	40	60	1/4"	HIS	HRD	NAL	MTL	35	94.5	NAILS	
67	STU	1	1x0.5	40	60	1/4"	HIS	HRD	SCR	MTL	1	6.1	SCREW	
68	STU	1	1x0.5	40	60	1/4"	HIS	HRD	UNI	MTL	9	3.8	UNIDENTIFIED METAL	
69	STU	1	1x0.5	40	60	1/4"	HIS	CRC	UNI	CER	1	0.6	CERAMIC	
70	STU	1	1x0.5	40	60	1/4"	HIS	BOT	UNI	GLC	11	7	GLASS, CLEAR	
71	STU	1	1x0.5	40	60	1/4"	HIS	BOT	UNI	GLG	4	3.9	GLASS, GREEN	
72	STU	1	1x0.5	40	60	1/4"	HIS	BOT	UNI	GLM	2	0.8	GLASS, AMBER	
73	STU	1	1x0.5	40	60	1/4"	HIS	OTH	STY	STY	3	0.2	STYROFOAM	
74	STU	1	1x0.5	40	60	1/4"	HIS	UNI		PLA	1	0.3	PLASTIC, BLUE	
75	STU	1	1x0.5	60	80	1/4"	FLS	DEB		CCS	2	2.1	DEBITAGE	
76	STU	1	1x0.5	60	80	1/4"	FLS	DEB		IGN	1	0.8	DEBITAGE	
77	STU	1	1x0.5	60	80	1/4"	HIS	HRD	PIP	CLA	2	25.4	PIPE	
78	STU	1	1x0.5	60	80	1/4"	HIS	HRD	NAL	MTL	5	8.8	NAILS	

Wednesday, January 21, 2009

Page 4 of 8

COMMENT

DESCRIPTION

WEIGHT  
(gm)

COUNT

MATERIAL

TYPE

CLASS

GROUP

MESH  
(in)LOWER  
DEPTH  
(cm)UPPER  
DEPTH  
(cm)UNIT  
SIZE

NO

UNIT  
TYPE

SPEC

79	STU	1	1x0.5	60	80	1/4"	HIS	HRD	UNI	MTL	1	0.7	UNIDENTIFIED METAL
80	STU	1	1x0.5	60	80	1/4"	HIS	BOT	UNI	GLC	3	1.2	GLASS, CLEAR
81	STU	1	1x0.5	80	100	1/4"	FLS	DEB		MCT	1	1.5	DEBITAGE
82	STU	1	1x0.5	80	100	1/4"	HIS	HRD	NAL	MTL	5	10	NAILS
83	STU	1	1x0.5	80	100	1/4"	HIS	CRC	UNI	CER	1	0.4	CERAMIC
84	STU	1	1x0.5	80	100	1/4"	HIS	HRD	WIN	GLC	3	4.3	WINDOW GLASS
85	STU	1	1x0.5	80	100	1/4"	HIS	BOT	UNI	GLC	1	0.4	GLASS, CLEAR
86	STU	1	1x0.5	80	100	1/4"	HIS	BOT	UNI	GLO	1	0.7	GLASS, OLIVE
87	STU	1	1x0.5	80	100	1/4"	HIS	UNI		PLA	2	0.1	PLASTIC
88	STU	2	1x0.5	25	40	1/4"	FLS	DEB		MCT	2	2.2	DEBITAGE
89	STU	2	1x0.5	25	40	1/4"	FLS	DEB		CCS	1	0.2	DEBITAGE
90	STU	2	1x0.5	25	40	1/4"	FLS	OTH	QZC	QTZ	1	0.4	CRYSTAL
91	STU	2	1x0.5	25	40	1/4"	FAU	SHL		SHL	2	0.4	SHELL
92	STU	2	1x0.5	25	40	1/4"	FAU	BON		BON	2	1.5	BONE
93	STU	2	1x0.5	25	40	1/4"	HIS	TRN	RRE	MTL	1	119	RR SPIKE
94	STU	2	1x0.5	25	40	1/4"	HIS	APP	CLO	FAB	1	0.1	POSS. FELT
95	STU	2	1x0.5	25	40	1/4"	HIS	HRD	PIP	CER	6	3.6	PIPE
96	STU	2	1x0.5	25	40	1/4"	HIS	HRD	PIP	CER	1	131.9	PIPE
97	STU	2	1x0.5	25	40	1/4"	HIS	HRD	NAL	MTL	19	42.3	NAILS
98	STU	2	1x0.5	25	40	1/4"	HIS	HRD	SCR	MTL	1	2.5	SCREW

SPEC	UNIT TYPE	NO	UNIT SIZE	UPPER DEPTH (cm)	LOWER DEPTH (cm)	MESH (in)	GROUP	CLASS	TYPE	MATERIAL	COUNT	WEIGHT (gm)	DESCRIPTION	COMMENT
99	STU	2	1x0.5	25	40	1/4"	HIS	HRD	UNI	MTL	7	5	UNIDENTIFIED METAL	
100	STU	2	1x0.5	25	40	1/4"	HIS	CRC	PLT	TRN	1	6.5	CERAMIC	
101	STU	2	1x0.5	25	40	1/4"	HIS	CRC	UNI	CER	2	3.9	CERAMIC	
102	STU	2	1x0.5	25	40	1/4"	HIS	BOT	UNI	GLB	2	0.7	GLASS, BLUE	
103	STU	2	1x0.5	25	40	1/4"	HIS	BOT	UNI	GLC	24	15.3	GLASS, CLEAR	
104	STU	2	1x0.5	25	40	1/4"	HIS	BOT	UNI	GLG	4	3.1	GLASS, GREEN	
105	STU	2	1x0.5	25	40	1/4"	HIS	BOT	UNI	GLM	6	4	GLASS, AMBER	
106	STU	2	1x0.5	25	40	1/4"	HIS	OTH	SLG	SLG	7	7.4	SLAG	
107	STU	2	1x0.5	25	40	1/4"	HIS	UNI		PLA	1	0.2	PLASTIC, GREEN	
108	STU	2	1x0.5	40	60	1/4"	FLS	DEB		CCS	2	4.9	DEBITAGE	
109	STU	2	1x0.5	40	60	1/4"	FAU	BON		BON	2	0.7	BONE	
110	STU	2	1x0.5	40	60	1/4"	FAU	SHL		SHL	3	0.7	SHELL	
111	STU	2	1x0.5	40	60	1/4"	CHR	CSC		WOD	2	5.3	WOOD	
112	STU	2	1x0.5	40	60	1/4"	HIS	HRD	PIP	CER	15	40.7	PIPE	
113	STU	2	1x0.5	40	60	1/4"	HIS	CRC	CRC	CER	2	4	CERAMIC	
114	STU	2	1x0.5	40	60	1/4"	HIS	HRD	NAL	MTL	33	108.1	NAILS	
115	STU	2	1x0.5	40	60	1/4"	HIS	HRD	NAS	MTL	1	9	NAIL, SQUARE	
116	STU	2	1x0.5	40	60	1/4"	HIS	HRD	PIP	COP	3	2.5	PIPE, COPPER	
117	STU	2	1x0.5	40	60	1/4"	HIS	HRD	UNI	MTL	7	3.2	UNIDENTIFIED METAL	
118	STU	2	1x0.5	40	60	1/4"	HIS	BOT	UNI	GLB	2	15.6	GLASS, BLUE	

SPEC	UNIT TYPE	NO	UNIT SIZE	UPPER DEPTH (cm)	LOWER DEPTH (cm)	MESH (in)	GROUP	CLASS	TYPE	MATERIAL	COUNT	WEIGHT (gm)	DESCRIPTION	COMMENT
119	STU	2	1x0.5	40	60	1/4"	HIS	BOT	UNI	GLC	31	35.7	GLASS, CLEAR	
120	STU	2	1x0.5	40	60	1/4"	HIS	BOT	UNI	GLG	1	0.4	GLASS, GREEN	
121	STU	2	1x0.5	40	60	1/4"	HIS	BOT	UNI	GLM	4	2.5	GLASS, AMBER	
122	STU	2	1x0.5	60	80	1/4"	FLS	DEB		CCS	3	2	DEBITAGE	
123	STU	2	1x0.5	60	80	1/4"	FLS	DEB		IGN	1	1.7	DEBITAGE	
124	STU	2	1x0.5	60	80	1/4"	GDS	MGS		IGN	1	3.6	MGS	SPALL
125	STU	2	1x0.5	60	80	1/4"	HIS	HRD	NAL	MTL	5	4.4	NAILS	
126	STU	2	1x0.5	60	80	1/4"	HIS	HRD	UNI	MTL	7	2	UNIDENTIFIED METAL	
127	STU	2	1x0.5	60	80	1/4"	HIS	HRD	PIP	CER	1	3.4	PIPE, SEWER	
128	STU	2	1x0.5	60	80	1/4"	HIS	HRD	PIP	CER	3	3	PIPE	
129	STU	2	1x0.5	60	80	1/4"	HIS	CRC	CRC	CER	1	15.2	CERAMIC	
130	STU	2	1x0.5	60	80	1/4"	HIS	CRC	CRC	TRN	4	4.9	CERAMIC	
131	STU	2	1x0.5	60	80	1/4"	HIS	BOT	UNI	GLC	19	20	GLASS, CLEAR	
132	STU	2	1x0.5	60	80	1/4"	HIS	BOT	UNI	GLM	6	25.1	GLASS, AMBER	
133	STU	2	1x0.5	60	80	1/4"	HIS	OTH	SLG	SLG	5	4.9	SLAG	
134	STU	2	1x0.5	60	80	1/4"	HIS	OTH	FOL	ALU	2	0.1	FOIL, ALUMINUM	
135	STU	2	1x0.5	80	100	1/4"	HIS	HRD	PIP	CER	6	11.1	PIPE	
136	STU	2	1x0.5	80	100	1/4"	HIS	HRD	NAS	MTL	1	1.7	NAIL, SQUARE	
137	STU	2	1x0.5	80	100	1/4"	HIS	HRD	NAL	MTL	1	0.9	NAIL	
138	STU	2	1x0.5	80	100	1/4"	HIS	HRD	UNI	MTL	1	9.6	UNIDENTIFIED METAL	



SPEC	UNIT TYPE	NO	UNIT SIZE	UPPER DEPTH (cm)	LOWER DEPTH (cm)	MESH (in)	GROUP	CLASS	TYPE	MATERIAL	COUNT	WEIGHT (gm)	DESCRIPTION	COMMENT
139	STU	2	1x0.5	80	100	1/4"	HIS	BOT	UNI	GLG	2	3.1	GLASS, GREEN	
140	STU	2	1x0.5	80	100	1/4"	HIS	OTH	UNI	UNI	1	0.9	UNIDENTIFIED	
141	STU	2	1x0.5	0	100	NA	SOL	MNS		SOL	6	272.2	SOIL SAMPLE	

*Circa: Historic Property Development*  
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San Francisco, CA 94104  
415 362 7711

Glenda Hill  
County of Santa Cruz  
Planning Department  
701 Ocean Street, 4th Floor  
Santa Cruz, CA 95060

March 24, 2009

Re: Peer review for Aptos Village Plan

Glenda,

I have recently reviewed the *Cultural Resources Study for the Proposed Aptos Village Project* (Study, Albion Environmental, Inc, January 2009) regarding the proposed Aptos Village Plan, Santa Cruz County, California. Three properties within or immediately adjacent to the proposed Aptos Village Plan project area were previously surveyed and found to be historic resources (DPR A&B Dill Design Group 2003). They are therefore considered historic resources for purposes of the California Environmental Quality Act (CEQA).

"Properties of local significance that have been designated under a local preservation ordinance (local landmarks or landmark districts) or that have been identified in a local historical resources inventory may be eligible for listing in the California Register and are presumed to be significant resources for purposes of CEQA unless a preponderance of evidence indicates otherwise (PRC § 5024.1, 14 CCR § 4850)."<sup>1</sup>

In the Impacts and Mitigation Measures section of the *Study*, relocation and reuse of two properties is mentioned and a statement that there will be no substantial adverse change, however, there is no discussion as to how that conclusion was arrived at. Both the Hihn Apple Packinghouse and the Aptos Fire Hall are considered historic resources. Relocation of an historic resource is always an impact, the level of which is concluded through analysis. The Secretary of the Interior Standards and National Register Bulletin 15, specifically the section on Aspects of Integrity and Criterion Consideration B-Moved Properties, should be utilized for such an analysis. Also in the Impacts and Mitigation Measures section of the *Study* new construction adjacent to the Bayview Hotel is also concluded as not having a substantial adverse change. Again, impact levels must be concluded through analysis using the Secretary of the Interior Standards and Aspects of Integrity. Conclusions that there will be no substantial adverse change may remain the same but the discussion must be thorough enough to be defensible under CEQA.

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<sup>1</sup> California Office of Historic Preservation Technical Assistance Series, *California Environmental Quality Act (CEQA) & Historical Resources*, pg 8.

Additionally, I have reviewed the *January 2009 Draft Aptos Village Plan (the Plan)*. The project proposes the relocation of both the Antique Barn and the Aptos Firehouse/VFW Hall within the project area; demolition of several, non-historic buildings; retention of the historic Bayview Hotel and surrounding landscaped parcel; construction of residential and commercial buildings on what is currently 66 parcels. In the Plan chapters 4 & 6 (Core Elements and Design, respectively) the historic resources are acknowledged directly and indirectly. Discussion of the proposed relocation of the Hihn Apple Packinghouse and the Aptos Fire Hall states that prior to the relocations special review and approval by the County's Historic Resources Commission must be acquired. The chapter also mentions that "...it will be essential that any new structures built adjacent to [the Bayview Hotel] will need to be reviewed by the Historic Resources Commission". These are appropriate directives, however, the Plan should specifically state that the review would be for consistency with the Secretary of the Interior's Standards for Rehabilitation and the seven Aspects of Integrity to avoid arbitrary and/or personal taste influencing the review.

The Architectural Design section\* of the Plan should specify that the Secretary of the Interior's Standards for Rehabilitation will be utilized for all rehabilitation. The Standards also apply to new construction adjacent to historic resources to avoid creating a false sense of history (see Standard 3) and to differentiate the new from the historic (see Standard 9). The ten Secretary of the Interior's Standards for Rehabilitation are attached for your reference.

According to CEQA "Generally, a project that follows The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or The Secretary of the Interior's Standards for Rehabilitating Historic Buildings...shall be considered as mitigated to a level of less than a significant impact on the historical resource". (State CEQA Guidelines Section 15064.5 (b)(3) )

"The Secretary of the Interior is responsible for establishing standards for all programs under Departmental authority and for advising Federal agencies on the preservation of historic properties listed or eligible for listing in the National Register of Historic Places. In partial fulfillment of this responsibility, the Secretary of the Interior's Standards for Historic Preservation Projects have been developed to guide work undertaken on historic buildings...

The Standards for Rehabilitation (36 CFR 67) comprise that section of the overall historic preservation project standards and addresses the most prevalent treatment. 'Rehabilitation' is defined as 'the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values.

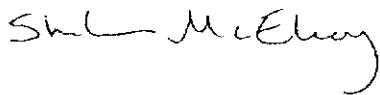
The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation of historic materials, features [and spaces]. The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and interior of the buildings. They also encompass related landscape features

and the building's site and environment, as well as attached, adjacent, or related new construction"<sup>2</sup> [emphasis added].

In summary, the *Cultural Resources Study for the Proposed Aptos Village Project* report should thoroughly discuss potential impacts (relocation, new construction etc) and proposed mitigation measures (utilizing Secretary of the Interior's Standards, Aspects of Integrity, etc.), and the *January 2009 Draft Aptos Village Plan* should direct rehabilitation and new construction to follow the Secretary of the Interior's Standards for Rehabilitation.

Should there be any questions please contact me 415 362 7711.

Sincerely,



Sheila McElroy

\* Footers on pages 41 - 58 of the Plan alternatively identify the chapters as Chapter 6: Design and Chapter 7: Conclusion and Plan Implementation. This should be corrected for the final report.

---

<sup>2</sup> Secretary of the Interior Standards for Rehabilitation and Illustrated Guidelines for Applying the Standards, NPS, 1992

Secretary of Interior's Standards for Rehabilitation

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, and pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

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Glenda Hill  
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701 Ocean Street, 4th Floor  
Santa Cruz, CA 95060  
April 3, 2009

Re: Peer review for Aptos Village Plan

Glenda,

I have recently reviewed the recent revisions to the *Cultural Resources Study for the Proposed Aptos Village Project* (Study, Albion Environmental, Inc, January 2009) regarding the proposed Aptos Village Plan, Santa Cruz County, California. This memo is an addendum to the March 24, 2009 peer review report.

The Potential Impacts and Recommended Mitigation Measures section of the *Study* still does not explain, or defend, how the conclusion of "...will not result in a substantial adverse change..." was arrived at.

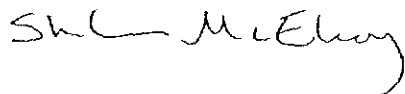
According to CEQA "Generally, a project that follows The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or The Secretary of the Interior's Standards for Rehabilitating Historic Buildings...shall be considered as mitigated to a level of less than a significant impact on the historical resource". (State CEQA Guidelines Section 15064.5 (b)(3) ).

One way the *Study* could answer the question "How does the project follow The Secretary of the Interior's Standards" is to go through each of the ten standards (attached to the previous March 24 report) and give a brief answer as to how the project meets that standard. The second way is to address each of the proposed changes that are: relocation, rehabilitation, and new construction adjacent to a resource; and explain why there is no significant impact. This can be done by again addressing consistency with the Standards.

In summary, the *Cultural Resources Study for the Proposed Aptos Village Project* report should thoroughly discuss potential impacts and proposed mitigation measures utilizing Secretary of the Interior's Standards, and retaining much or all of the seven Aspects of Integrity.

Should there be any questions please contact me 415 362 7711.

Sincerely,

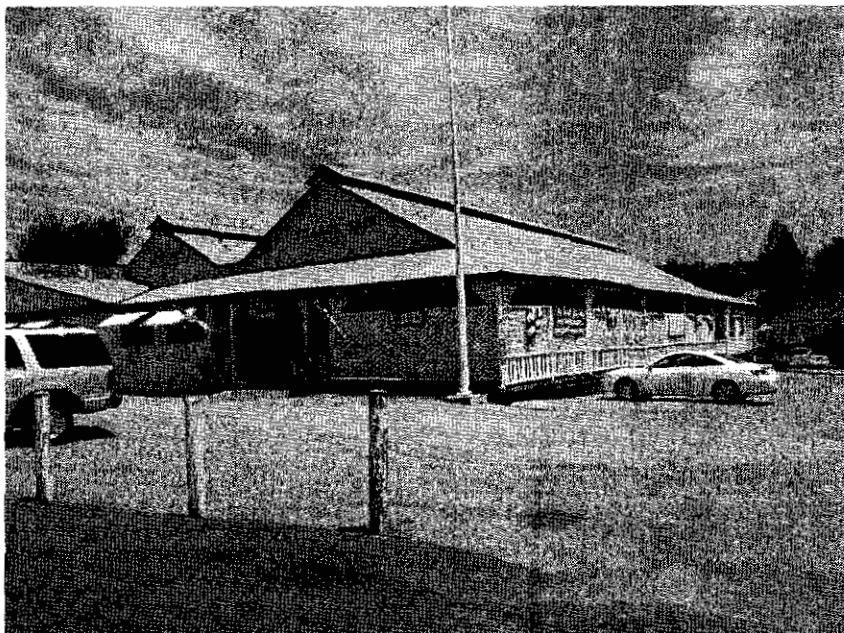


Sheila McElroy  
Principal

**APTOS VILLAGE PLAN  
(Barry Swenson Builder)**

**Considering the Significant Historic Resources and  
the Secretary of the Interior's Standards for the  
Treatment of Historic Properties**

**Comments in Response to the Historical Resource  
Commission's Questions (April 4, 2009)**



Prepared At the Request of: Jessie Thielen  
Barry Swenson Builders

Prepared by: URBAN PROGRAMMERS  
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Date: July 16, 2009

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## Executive Summary

Urban Programmers was asked by Barry Swenson Builder, applicant for the proposed Aptos Village Plan, to review the Cultural Resources Study prepared by Albion Environmental Inc. (February 2009) for the project and to respond to comments that had been received from the Santa Cruz County Planning Department, the Santa Cruz Historical Resources Commission (April 4, 2009) and from Circa: Property Development Company, consultant to the County (Letters: March 24, 2009 & April 3, 2009), .

The primary concern was the possible impact of the proposed plan to the historical resource buildings in Aptos and how implementation of the plan might;

- 1 effect the Hihn Apple Warehouse's eligibility for listing in the National Register of Historic Places,
- 2 consider CEQA and the California Register of Historic Resources,
- 3 evaluate any potential effect of the proposed plan to the Bayview Hotel,
- 4 consider the impact if the Aptos Fire House/VFW Hall is relocated,
- 5 describe the way the plan can meet the criteria of the Secretary of the Interior's Standards for the Treatment of Historic Properties.

After reviewing several cultural resource studies and consulting with both the project sponsor's representative, Jessie Thielen, and the County Planning Staff, Annie Murphy, and Glenda Hill, Urban Programmers believes it has sufficient information to comment on the concerns and to offer recommendations. However it must be pointed out that the proposed plan is not in final form and decisions regarding the relocation of the Aptos Fire House/VFW Hall are not final.

The Hihn Apple Warehouse is potentially eligible for listing in the National Register of Historic Places under criteria A and/or C. Criterion Consideration B describes the facts that must be supported for a relocated building to be eligible for listing in the National Register (assuming it fully meets the criteria of significance). Buildings that are significant under criteria C for their architecture may retain eligibility. Buildings eligible under Criterion A or B must represent the sole remaining resource associated with a significant historical event or person. It appears that the Hihn Apple Warehouse meets this criteria consideration B for its association with Frederick Hahn and his position in the apple industry in Aptos.

CEQA considers buildings eligible for the California Register to be important historic resources that must be considered when planning relocation, remodeling or demolition- all considered significant adverse impacts. The buildings that appear to be eligible for listing in the California Register are the Bayview Hotel, the Hihn Apple Warehouse and the Aptos Fire House/VFW Hall. CEQA generally accepts conformance with the Secretary of the Interior's Standards for the Treatment of Historic Building to mitigate the impact to less than significant. The proposed plan has included architectural drawings showing the Hihn Apple Warehouse rehabilitation is following the Standards. The Bayview Hotel is already rehabilitated and is no further work is proposed. The former Aptos Fire House/ VFW Hall is a small wood frame building that has undergone numerous changes. At present there are no relocation or rehabilitation plan available for this building, however it is believed that the project will follow the requirements of the Santa Cruz County Historic *Preservation Plan* and will follow the guidance in the County Code that is modeled after the Standards.

To considering the potential loss of historic relationship created by moving the Aptos Fire House/VFW Hall from next to the Bayview Hotel, it is important to know the date the building became the fire house. Research that was conducted in the brief time allowed for this report did not uncover the exact date, but that it was after June 1929. Another question that is unanswered is the condition under which the building was "donaed" by Joe Arano. Was it to keep the service close to the hotel or was it just a good-citizen effort to keep the fire house close to the center of town. Reading the historic files on the subject it does not appear that the relationship of the two buildings is so significant that the rating would be lowered if the building is relocated and rehabilitated in conformance with an approved Preservation Plan..

This report describes how The Secretary of the Interiors Standards for the Treatment of Historic Properties may be applied to the proposed plan and that the plan must be in conformance with the County Code Sections 16.42.050 and 16.42.070 which are modeled after the Standards.

**In summary,** The information available when this response was undertaken demonstrates that the Aptos Village Plan provides for the preservation of significant historic resources and can meet the criteria of the County Code Sections 16.42.059 & 16.42.070. A Preservation Plan, will be created for the eligible buildings, that will demonstrate that the "Standards " will be met and the Hihn apple warehouse will remain eligible for listing in the National Register, the Bayview Hotel will remain listed in the National Register and the Aptos Fire House/VFW Hall will remain listed in the County Inventory of Historic Resources.

## Introduction:

The Aptos Village is one of the specific planning areas in Santa Cruz county. In 1979 the County adopted the Aptos Village Community Design Framework to guide development and public services within the area. The plan was updated in 1985 to focus on providing a framework for the development of the area around the Bayview Hotel and Aptos Station. Since the first County plan the "Village" has been the subject of several studies to identify and qualify the historical, architectural and archeological importance of the group of buildings and sites within the history and heritage of Santa Cruz County. The first survey of the Village appears to have been Archival Background to the Aptos Village Project, in 1979 prepared by Archeological Resources. This study did not rate buildings; rather it described the development history of Aptos. The next study was in the mid-1980's, when the County of Santa Cruz commissioned The Firm of Bonnie L. Bamburg to conduct a county- wide survey to identify historic resources in the *unincorporated areas of the County* and to categorize the resources using the National Register of Historic Places identification system. In Aptos Village the Bayview Hotel was found eligible for listing in the National Register, the Apple Packing Sheds were found to be of local interest, as were the houses in the Hihn Subdivision. It was not until 1998, that the State of California adopted criteria for the California Register of Historic Resources, thus it was not identified in the earlier surveys and studies. Subsequently, the Santa Cruz County Historical Trust nominated the Bayview Hotel to the National Register of Historic Places (listed 1992). The next study, was prepared for the Santa Cruz County Planning Department in 2003, by Dill Design Group. This study identified the potential for a local historic district that included several buildings in the Aptos Village. The study found that in addition to the Bayview Hotel, that the Hihn Apple Packing Barns (Hihn Apple Warehouse), might be eligible for listing in the National Register of Historic Places with additional research that would allow a stronger statement of significance under The National Register criteria 1 & 3 to reflect the historic district was considered for patterns of town development and architecture.<sup>1</sup> The latest study was prepared by Albion Environmental Inc. Cultural Resources Study for the Proposed Aptos Village Project, Santa Cruz County, California Final Draft February 2009. This study referenced the previous studies and was tasked with updating the studies to consider the effects of a proposed development plan for Aptos Village, prepared by Thacher & Thompson Architects, 1/9/09, for Barry Swenson Builder. Of specific concern was the effect upon the historic resources, and particularly to the National Register eligible or listed properties. Because the Aptos Village Plan changes traffic patterns and includes new development it is essential for the County to understand how these changes may affect the historic resources. The Albion Environmental Inc. study was given peer review by the County's consultant Circa: Historic Property Development, who suggested areas for further inclusion in the report. After revisions were made to the Albion Environmental Inc. study, Circa Historic Property Development was asked to review the revisions responding in a letter dated April 3, 2009, in which Circa: Historic Property Development Principal, Sheila McElroy stated:

"The Potential Impacts and Recommended Mitigation Measures section of the *Study* still does not explain or defend how the conclusion of "...will not result in a substantial adverse change was arrived at."

This is the point where Urban Programmers, Principal Bonnie Bamburg, was asked to look at all the materials, including the comments from the Historic Resources Commission and assess the proposed

<sup>1</sup> Dill Design Group, Aptos Village Historic District, March 7, 2003 DPR D6 Significance

plan in addressing the Commissioners comments and the County criteria for a Historic Preservation Plan ( SCC 16.42.070). If necessary to she was to advise the project sponsor, Barry Swenson Builder, on revisions to the study or plan that would result in an understanding that the proposed project (revised or not) would result in a less than substantial change to National Register or CEQA eligible properties.

A review of the Santa Cruz County Historical Resources Commission's comments and questions indicates that the Commissioners are particularly interested in knowing how the Secretary of the Interior's Standards for the Treatment of Historic Properties is being or should be addressed. The Commissioners also expressed the desire to understand how eligibility for listing the Hihn Apple Warehouse in the National Register would be effected by the plan and the relationship of the Aptos Fire House/VFW Hall, a building that is proposed to be relocated, to the Bayview Hotel.

The analysis and recommendations begin with a review of the underlying criteria from the National Register of Historic Places and continues with selected sections from National Park Service publications detailing the Secretary of the Interior's Standards for the Treatment of Historic Property.<sup>2</sup>

#### **National Register Criteria for listing historic properties<sup>3</sup>:**

A property is generally expected to be over 50 years old and must retain integrity as well as meeting at least one of the following criteria;

- a. are associated with events that have made a significant contribution to the broad patterns of our history; or
- b. are associated with the lives of persons significant in our past; or
- c. embody the distinctive characteristics of a type, period, or method that possess high artistic values, or that represents a significant and distinguishable entity whose components may lack individual distinction; or
- d. have yielded, or may be likely to yield, information important in prehistory or history.

To consider the effect of the plan it is also necessary to consider the integrity of the resources in Aptos Village. The National Register defines seven aspects that create integrity. Eligible properties will retain most if not all aspects.

Location: the place where the historic property was constructed or where the historic event occurred.

Design: The combination of elements that create the form, plan, space, structure, and style of a property.

Setting: the physical environment of a historic property.

Materials: the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.

<sup>2</sup> Department of the Interior, National Park Service, Cultural Resources Division, Technical Preservation Services, The Secretary of the Interior's Standards for the Treatment of Historic Properties, 2001

<sup>3</sup> National Register Bulletin: How to Apply the National Register Criteria for Evaluation, 1995

Workmanship: the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.

Feeling: a property's expression of the aesthetic or historic sense of a particular period of time.

Association: the direct link between an important historic event or person and a historic property.

**The Secretary of the Interior's Standards for the Treatment of Historic Buildings:** The following is taken from the National Park Service publication, The Secretary of the Interior's Standards for the Treatment of Historic Properties.<sup>4</sup>

*The Standards are neither technical nor prescriptive, but are intended to promote responsible preservation practices that help protect our Nation's irreplaceable cultural resources. For example, they cannot, in and of themselves, be used to make essential decisions about which features of the historic building should be saved and which can be changed. But once a treatment is selected, the Standards provide philosophical consistency to the work.*

*The four treatment approaches are Preservation, Rehabilitation, Restoration, and Reconstruction, outlined below in hierarchical order and explained:*

*The first treatment, **Preservation**, places a high premium on the retention of all historic fabric through conservation, maintenance and repair. It reflects a building's continuum over time, through successive occupancies, and the respectful changes and alterations that are made.*

***Rehabilitation**, the second treatment, emphasizes the retention and repair of historic materials, but more latitude is provided for replacement because it is assumed the property is more deteriorated prior to work. (Both Preservation and Rehabilitation standards focus attention on the preservation of those materials, features, finishes, spaces, and spatial relationships that, together, give a property its historic character.)*

***Restoration**, the third treatment, focuses on the retention of materials from the most significant time in a property's history, while permitting the removal of materials from other periods.*

***Reconstruction**, the fourth treatment, establishes limited opportunities to re-create a non-surviving site, landscape, building, structure, or object in all new materials.*

***Choosing the most appropriate treatment** for a building requires careful decision-making about a building's historical significance, as well taking into account a number of other considerations:*

***Relative importance in history.** Is the building a nationally significant resource--a rare survivor or the work of a master architect or craftsman? Did an important event take place in it? National Historic Landmarks, designated for their "exceptional significance in American history," or many buildings individually listed in the National Register often warrant Preservation or Restoration. Buildings that*

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<sup>4</sup> Department of the Interior, National Park Service, Cultural Resources Division, Technical Preservation Services, The Secretary of the Interior's Standards for the Treatment of Historic Properties, 2001.

*contribute to the significance of a historic district but are not individually listed in the National Register more frequently undergo Rehabilitation for a compatible new use.<sup>5</sup>*

Comment and Review by Bonnie Bamberg: The two Aptos Village buildings listed or potentially eligible for listing in the National Register of Historic Places are the Bayview Hotel (listed) and the Hihn Company Apple Warehouse (potentially eligible). Considering the historic importance of both buildings it is appropriate to chose "Rehabilitation" as the appropriate treatment based upon their significance at the local level, changes that have already occurred to the buildings and the uses that are foreseen to preserve the utility of the buildings and thus the buildings. The following are the Standards for rehabilitating historic buildings.

***The Secretary of the Interior's Standards for Rehabilitating Historic Buildings:***

*Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.<sup>6</sup>*

- 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*
- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*
- 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*
- 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.*
- 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*
- 7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*
- 8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

<sup>5</sup> National Park Service, The Secretary of the Interior's Standards for the Treatment of Historic Properties, Introduction.

<sup>6</sup> Ibid- Rehabilitation Standards

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**Guidelines** (although there is extensive guidance for the rehabilitation of buildings, the following are particularly germane to the review of the proposed plan):

**Site:** Identifying, retaining, and preserving buildings and their features as well as features of the site that are important in defining its overall historic character. Site features may include circulation systems such as walks, paths, roads, or parking; vegetation such as trees, shrubs, fields, or herbaceous plant material; landforms such as terracing, berms or grading; furnishings such as lights, fences, or benches; decorative elements such as sculpture, statuary or monuments; water features including fountains, streams, pools, or lakes; and subsurface archeological features which are important in defining the history of the site. Retaining the historic relationship between buildings and the landscape.

**Setting:** Identifying retaining, and preserving building and landscape features which are important in defining the historic character of the setting. Such features can include roads and streets, furnishings such as lights or benches, vegetation, gardens and yards, adjacent open space such as fields, parks, commons or woodlands, and important views or visual relationships.

**Additions** Designing new onsite parking, loading docks, or ramps when required by the new use so that they are as unobtrusive as possible and assure the preservation of historic relationship between the building or buildings and the landscape.

Designing new exterior additions to historic buildings or adjacent new construction which is compatible with the historic character of the site and which preserves the historic relationship between the building or buildings and the landscape.

Removing non-significant buildings, additions, or site features which detract from the historic character of the site.

**Review and Comment:** The Bayview Hotel and the Hihn Company Apple Warehouse as individual properties should follow The Secretary of the Interior's Standards for Rehabilitating Historic Buildings, whenever a modification, alteration or substantial maintenance is proposed. This is in addition to how individual buildings identified by the County to be historically important are required to follow the Santa Cruz County Historic Preservation sections of the County Code.

### **California Environmental Quality Act (CEQA)**

Properties considered Historic Resources under CEQA are Properties listed in or determined eligible for listing in the National Register, California Historic Landmarks, those listed or eligible for listing in the

California Register of Historic Resources (CRHR), including properties of local significance that have been designated or identified in a local historic resources inventory.<sup>7</sup>

Properties within the proposed Aptos Village Plan that are Historic Resources under the CEQA Guidelines are the Bayview Hotel (National Register listed), Hihn Apple Warehouse (Eligible for CRHR, potentially eligible for National Register), Aptos VFW Hall/Aptos Fire House (CRHR eligible as locally designated).

**CEQA Considerations for relocating historic buildings:**

*Section 15064.5(b)(1) and (2) of the California Environmental Quality Act (CEQA) states that demolition or the destruction, relocation or alteration activities that would impair the significance of a historic resource results in a "substantial adverse change."*

*Relocation of an historical resource may constitute an adverse impact to the resource. However, in situations where relocation is the only feasible alternative to demolition, relocation may mitigate below a level of significance provided that the new location is compatible with the original character and use of the historical resource and the resource retains eligibility for listing on the California register (14 CCR Section 4852 (d) (1)).*

*CRHR: Special Considerations- Moved buildings, structures or objects:*

*The State Historical Resources Commission encourages the retention of historical resources on site and discourages the non-historic grouping of historic building into parks or districts. However, it is recognized that moving an historic building, structure, or object is sometimes necessary to prevent its destruction. Therefore, a moved building, structure, or object that is otherwise eligible may be listed in the California Register if it was moved to prevent its demolition at its former location and if the new location is compatible with the original character and use of the historical resource. An historical resource should retain its historic features and compatibility in orientation, setting, and general environment.<sup>8</sup>*

**Section 11. Aptos Village Plan and the Secretary of the Interior's Standards for the Treatment of Historic Properties.**

At the heart of the plan is the primary axis created by Parade Avenue leading from Soquel Drive into the Village Green. This north/south axis creates an organized arrangement of buildings and open spaces that echoes the formal orientation of a ciudad plaza or village square, an organization that is missing from the historic Hihn land use or historic orientation of Soquel Drive and Trout Gulch Road as the Commercial Center of Aptos. The axis also allows traffic circulation on the sides of the Village center and east and west on Valencia Street from Trout Gulch to Aptos Creek Road. Providing circulation that enhances the

<sup>7</sup> California Office of Historic Preservation Technical Assistance Series, California Environmental Quality Act (CEQA) & Historic Resources, page 8

<sup>8</sup> California Environmental Quality Act (CEQA) & Historical Resources Technical Assistance Series, page 32



north-south pattern and creates better east-west access is required by the Santa Cruz Planning Department to safely and efficiently serve the population.

Recently Trout Gulch Road was widened and to improve public safety. This realignment encroaches upon the Hihn Apple Warehouse along Trout Gulch Road where traffic is brought to the edge of the building. The circulation plan includes a organized parking areas to serve the historic and new development.

These proposed changes are part of the plan that a new development with mixed-use commercial and residential buildings, a central plaza open space, surface parking lots, and on the North West corner, land to be added to the State Park. The total development would include 62,208 square feet of commercial use, 60 residential units and parking spaces.<sup>9</sup> Currently parking is accommodated primarily on unpaved areas around the Village Fair (Hihn Apple Warehouse), in areas between buildings, some of which do not connect, or in front of the Bayview Hotel.

The plan proposes to relocate two buildings, the Hihn Apple Warehouse to the side of the Village Green open space and the Aptos Fire House/VFW Hall to a location as yet unspecified. Both buildings appear to lack sufficient financial resources for the differed maintenance that is damaging the historic resources. While the plan contemplates a design that was never part of the organization of buildings and circulation in Aptos, it has the potential to bring attention to the community's historic resources and thereby assist in preserving historic buildings that demonstrate the community's history. The plan works to bring a sense of community and central focus to the area that has segregated historic former industrial use buildings behind Soquel Drive from the commercial uses along Soquel Drive and provides the significant historic resources buildings with enhanced locations either by relocating them or in the case of the Bayview Hotel, providing additional open space. The overall plan addresses and retains the significant historic resources but is not entirely consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

### Section III – Hihn Apple Warehouse

#### **Relocating the Hihn Company Apple Warehouse- Retaining Eligibility for Listing in the National Register of Historic Places:**

A relocation plan must consider the seven aspects of integrity; seven aspects: Location, Design Setting, Materials, Workmanship, Feeling and Association.

The first aspect of historic integrity is location, that place where the building was constructed and used. However consideration must be given to the importance of the location in defining the historic significance of the property. A relocated historic building may retain National Register eligibility if it is significant primarily for architectural value or it is the surviving property most importantly associated with a historic person or event.<sup>10</sup>

<sup>9</sup> Thacher & Thompson Architects, Site Plan Aptos Village January 9, 2009

<sup>10</sup> National Register Bulletin, How to Apply the National Register Criteria for Evaluation Criteria Consideration B – Moved Properties, pg 29

The Hihn Apple Warehouse was determined potentially eligible for listing in the National Register by the Dill Design Group in the study of *Aptos Village Historic District*, March 7, 2003. The significance of the potential Historic District was determined to be History (city development patterns) and Architecture. Stated on DPR 523L was the condition that individual eligibility depended upon a stronger statement of significance. In the time allotted for this review we did not find the "stronger statement of significance" and do not know which criteria the Commissioners selected for the building. A building determined eligible under criterion "C" for its architectural value, if moved could potentially retain eligibility. A building determined eligible under Criterion "A" would retain eligibility when it can be *demonstrated to be the surviving property most importantly associated with a particular historic event or an important aspect of a historic person's life. The phrase "most importantly associated" means that it must be the single surviving property that is most closely associated with the event or with the part of the person's life for which he or she is significant.*<sup>11</sup> If the Santa Cruz County Historic Resources Commission found the building eligible under criterion "C" when it elevated the rating to NR 3, the building could be considered to retain eligibility after being relocated. To retain eligibility the relocated building must be rehabilitated in conformance with The Secretary of the Interior's Standards for Rehabilitating Historic Buildings. If the Commission found the building eligible under Criteria A, it must be determined that the Hihn Apple Warehouse is the sole surviving building associated with Hihn and the period of agricultural importance associated with the apple.

Review and Comment: Considering the building's history as it is described in the reports, and the scant number of resources that remain from the agricultural industry in Aptos – apples in particular- it appears that the building is the *sole surviving property* associated with Hihn's apple business and that he and apples were very important in the history of Aptos. It appears the Hihn Apple Warehouse could retain eligibility for listing in the National Register of Historic Places.

#### **CEQA: California Register of Historic Resources -Pertaining to relocating the Hihn Apple Warehouse**

Review and Comment: Relocating a historic resource creates a significant impact under CEQA. Mitigation may lessen the impact to less than significant. A photographic survey of the historic building while on the original site that is suitable for local repositories and future research together with project plans that show relocation methods and subsequent construction work would be consistent with the Secretary of the Interior's Standards for Rehabilitating Historic Buildings and is generally accepted mitigation to reduce the impact to less than significant and retain eligibility for listing in the CRHR.

The Hihn Apple Warehouse has been altered for use as a multi-tenant commercial/retail building. The integrity of the original building has been compromised by both the desire for a "cute" appearance in keeping with selling antiques and what appears to be insufficient maintenance. Deferred maintenance is a serious problem for historic buildings that can lead to demolition by neglect – a point where the building loses allure and the feasibility for rehabilitation is not realized. Long term preservation of the Hihn Apple Warehouse may be promoted by including it in a plan for economic revitalization within the Aptos Village that assures the rehabilitation is consistent with the "Standards." The relocation of the Hihn Apple Warehouse, and rehabilitation consistent with the "Standards" would retain eligibility for listing in the CRHR.

#### **Review of the Relocation and the Secretary of the Interior's Standards for Rehabilitating Historic Buildings.**

<sup>11</sup> National Register Bulletin, How to Apply the National Register Criteria for Evaluation Criteria Consideration B – Moved Properties, pg 30

*1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The Hihn Apple Warehouse, a large post and beam constructed building will be used for retail sales, a use that requires minimal change to the distinctive design, original materials, significant features, spaces or spatial relationships of the building.

*2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The preliminary architectural façade drawing prepared by Thacher & Thompson show the building will retain and repair the materials that created the original historic character of the Hihn Apple Warehouse.

*3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The Hihn Apple Warehouse has been adorned with features that are not consistent with a utilitarian warehouse use and create a false sense of historic development. Rehabilitating the building to remove the lattice and other decorative features and to reveal/ return the historic features will be consistent with Standard #3.

*4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The Hihn Apple Warehouse is a series of attached buildings that were constructed and altered over time. Retaining the existing building form, materials and features associated with the period of significance will be consistent with Standard # 4

*5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The rehabilitation of the Hihn Apple Warehouse, a relatively typical wood frame, post-and-beam utilitarian structure will retain the materials, features and finishes. The distinctive craftsmanship of the large timber construction will be preserved. Rehabilitation plans to preserve the structure and materials would be consistent with Standard # 5.

*6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

The architectural façade drawings prepared by Thacher & Thompson Architects note restoring existing painted board and batten siding. This typical approach meets Standard # 6.

*7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

It is not necessary to use harsh treatments to rehabilitate the historic wood building.

Rehabilitation planning will specify gentle cleaning and not harsh treatments that could damage the wood. Standard # 7 can be met during the rehabilitation of the building.

*8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

Archeological testing was conducted by Albion Environmental Inc. The investigation included intensive pedestrian survey and five backhoe trenches. Archeologists processed 21.5 cubic meters of excavated soil without encountering intact cultural features.<sup>12</sup> Should deposits be discovered during the rehabilitation of the Hihn Apple Warehouse, appropriate measures will follow state law and archeological best practices in conformance with Standard 8.

*9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

The architectural drawings do not show any additions or significant exterior alterations. The rehabilitation plans completed at this time are consistent with Standard # 9

*10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

No additions are planned for the Hihn Apple Warehouse. Standard # 10 is consistent with the plans for the rehabilitation of the building.

**Additional Rehabilitation Guidelines (although there is extensive guidance for the rehabilitation of buildings, the following are particularly germane to the review of the proposed plan):**

**Site and Setting:** The site around the Hihn Apple Warehouse exhibits minimal features, primarily packed dirt and parking surfaces. It may be said that the parking areas depicted on the proposed plan for Aptos Village are consistent with the open parking that exists around the building. A new mixed-use building is planned in proximity to the site for relocating the Hihn Apple Warehouse. While somewhat closer than the Bayview Hotel it appears the massing is similar. The site affords open space on 3 ½ sides of the building. The proposed relocation provides acceptable distances between the old and new buildings. A difference will be in the Village Green and other formal landscaping of the Aptos Village Plan. The proposed plan appears to allow sufficient open space for the historic building to be viewed from all sides as it is currently. The proposed plan although more formal than the current setting maintains a relationship between buildings of the similar sizes.

<sup>12</sup> Albion Environmental, Inc. *Cultural Resources Study for the Proposed Aptos Village Project, February 2009* pg A-1

**Additions** The Aptos Village Plan shows parking around the Hihn Apple Warehouse that is a similar condition to the existing location.

Summary: Although the architectural plans and specifications are not complete, enough work has been done to show the way the building can be rehabilitated in accordance with the Secretary of the Interior's Standards for Rehabilitating Historic Properties

## **Section IV- Aptos Fire House/VFW Hall**

The former Aptos Fire House, later the Veterans of Foreign Wars Hall was rated NR 5; a resource of local significance, by the Fill Design Group in 2003. Resources rated 5 are considered eligible for listing in the California Register of Historic Resources.

### **CEQA Review of the proposed relocation of the Aptos Fire House/VFW Hall.**

Relocating a historic resource creates a significant impact under CEQA. Mitigation may lessen the impact to less than significant. A photographic survey of the historic building while on the original site that is suitable for local repositories and future research together with project plans that show relocation methods and subsequent construction work would be consistent with the Secretary of the Interior's Standards for Rehabilitating Historic Buildings are generally accepted mitigation to reduce the impact to less than significant and retain eligibility for listing in the CRHR.

The Aptos Fire House/VFW Hall has been altered from the significant use as a fire house for use as a commercial building. The integrity of the building from when it was a fire house has been compromised by alterations to the exterior and interior. The fact that the building has been moved once and is not on the original site is also a factor in considering integrity. Long term preservation of the Aptos Fire House may be promoted by including it in a plan for economic revitalization within the Aptos Village. Rehabilitation of moved resource buildings would be consistent with the "Standards", a threshold for care that would benefit the small building. The relocation of the Aptos Fire House and rehabilitation consistent with the "Standards" would retain eligibility for listing in the CRHR.

### **Relocation and the Secretary of the Interior's Standards for Rehabilitating Historic Buildings applied to the Aptos FireHouse/VFW Hall.**

The following assessment is based upon the proposed plans for the building as articulated by Ms. Jessie Thielen the Project Manager from Barry Swenson Builder-the project sponsor. The new location has not been selected and architectural drawings and specifications have not yet been prepared for this building. The review is based upon the existing architecture and what is reasonable foreseen as rehabilitation consistent with the Santa Cruz County Code sections and the "Standards".

The building is a small wood frame building that has a long history in Aptos. Commissioners raised the concern that the building has additional significance because it is located next to the Bayview Hotel and that the relationship was promoted because the owner of the Bayview Hotel, Joe Arano wanted the Fire Department close at hand in case of fire at the hotel. The Commissioners asked to have the origins and dates of use as a fire house documented. During the time available research was conducted using public

records and land ownership was found to remain with Southern Pacific.<sup>13</sup> However, the Sanborn Insurance Map 1908 updated to June 1929 shows the building labeled Fire Department indicating that the location was selected sometime prior to the Bayview Hotel fire and that the location is not a direct relationship of the fire. The Sanborn Map also states that the fire equipment was not housed in the Fire House but at Larson's Garage. Other sources state it was selected as early as 1923. The actual date that the building was placed in service as the Aptos Fire Department was not found.

**The Secretary of the Interior's Standards for Rehabilitating the Aptos Fire House/VFW Hall.** The plans for relocating this building have not been finalized. The following are suggestions for adhering to the Standards that are appropriate for the building in the present or future location.

*1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The building is proposed to be used for a commercial or quasi-public purpose that require minimal change to the building's, design, original materials, significant features such as the false front and the location of windows and doors, spaces or the spatial relationships within the building. Due to its small size the spaces within the building have typically been partitioned to create a larger open area without significant corridors or volumes. The use will continue this pattern.

*2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The proposal as articulated by the Ms. Jessie Thielen is to relocate the small building within the Aptos Village area and to retain the building's architectural features, as they currently exist or to return features that can be documented to have been part of the building during its period of significance. Rehabilitation work will follow the Secretary of the Interior's Standards for Rehabilitating Historic Buildings and guidance provided by the National Park Service on methods for moving historic buildings. Currently corrugated metal appears to cover wood siding. If this metal is determined not to be original by the presence of exterior wood siding under it, removal would be appropriate. This metal siding may be to provide an incombustible material between the Aptos Fire House/VFW Hall and the Bayview Hotel., or it may be to cover deteriorated materials. Relocation with appropriate set-backs will allow this material to be removed and the building returned to the original appearance.

*3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The building should not be adorned with decorative embellishments that have not been documented to have existed in the past. Rehabilitating the building to reveal/ return the simple historic features such as the wood siding would be consistent with Standard #3.

*4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

<sup>13</sup> Santa Cruz County, Official Records, deeds.

The Aptos Fire House/VFW Hall has experienced several uses, office, dwelling, fire house, commercial/quasi public (VFW). The building began as a simple rectangular form with a gable ends (pitched roof).<sup>14</sup> The origin and period when the false front was added were not identified in any of the survey reports. The belief expressed in the Dill Design Group's DPR 523 L that the false front is recent may have been influenced by the belief that the photograph of the library c. 1950's was the Aptos Fire House without a false front. The Historic Resources Commission disagreed with that assertion.<sup>15</sup> If the false front is documented to have existed during the period of significance or to have achieved significance in its own right, it could be considered an architectural feature that has gained importance over time it should be retained. On the other hand, if the false front is a relatively recent addition, the building could be returned to its historic form. Documenting the architectural history of the building should be completed prior to undertaking rehabilitation. Retaining the historically accurate building form, materials and features associated with the period of significance will be consistent with Standard # 4

*5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The rehabilitation of the Aptos Fire House/VFW Hall, will retain the typical wood frame, building and as much of the original materials and construction methods as is feasible. It will preserve the evidence of past craftsmanship and the simple materials of the small building. Rehabilitation that preserves the structure and materials of the building as they existed during the period of significance would be consistent with Standard # 5.

*6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

The small wood frame building appears to have areas where the wood is deteriorated. Wood that is deteriorated may be replaced with wood milled to the same pattern and size. Systems such as windows should be repaired or replaced with windows of the same materials. Aged glass is particularly important in communicating the historic nature of a building and should not be removed unless it is virtually impossible to be retained. As stated in Standard #4, it is important to document the features of the building prior to developing the rehabilitation plan. This approach meets Standard # 6.

*7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

It is not necessary to use harsh treatments to rehabilitate the historic wood building. Rehabilitation specifications will call for hand cleaning or gentle cleaning (low psi water or air) and no harsh treatments that could damage the wood. Standard # 7 can be met during the rehabilitation of the wood frame building.

*8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

<sup>14</sup> Dill Design Group, DPR 523L, 8037 Soquel Road, 2003

<sup>15</sup> Commissioner Swift, Santa Cruz County Historic Resource Commission, comments undated (attached to this evaluation)

Archeological testing was conducted by Albion Environmental Inc., The investigation included intensive pedestrian survey and five back hoe trenches. Archeologists processed 21.5 cubic meters of excavated soil without encountering intact cultural features. Should deposits be discovered during the relocation/rehabilitation of the Aptos Fire House/VFW Hall,, appropriate measures will follow state law and archeological best practices in conformance with Standard #8.

*9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

At this time there is no discussion of additions to the building. The rehabilitation plans discussed at this time are consistent with Standard # 9

*10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

No additions are planned for the Aptos Fire House/VFW Hall. The building may be located in proximity to new construction. The new location for the building must consider the attributes that comprise integrity and select a site that is constant with the setting of the original location. The plans discuss for the relocation/rehabilitation of the building appear consistent with Standard #10.

**Additional Rehabilitation Guidelines (although there is extensive guidance for the rehabilitation of buildings, the following are particularly germane to the review of the proposed plan):**

**Site and Setting:** The site and setting around the Aptos Fire House/VFW Hall exhibits minimal features, primarily it is mature –overgrown vegetation and the proximity to other buildings including the historic Bayview Hotel, a large and imposing building. The building has been rotated on the site so that it faces the street. To the extent possible the new location should allow a similar orientation to the street and proximity to other buildings.

## **Section V. The Bayview Hotel**

### **Secretary of the Interior's Standards for the Treatment of Historic Property**

*10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

At this time, the Aptos Village Plan does not contemplate changes, rehabilitation or other work to the Bayview Hotel. The Commissioners and Circa Historic Property Development have raised the question of how the proposed Aptos Village Plan addresses the National Register listed property. Without more information on what is planned for the area around the hotel we can only comment in generalizations that Standard#10 must guide the planning. No buildings should dominate or attempt to copy the architecture of the Bayview Hotel. It will be important that sufficient open space be left around the hotel so that the building has and adequate setting and the architecture can be appreciated.



## URBAN PROGRAMMERS

**Questions and comments from the Historical Resources Commission.**

Urban Programmers (formerly the Firm of Bonnie Bamburg) was asked to respond to a list of comments and questions that were raised by the Santa Cruz County Historical Resources Commission on April 4, 2009 while discussing the Aptos Village Plan submitted by Barry Swenson Builder.

Many of the comments questioned the status of historic buildings if they were to be relocated. Many other expressed concern that Albion Environmental, Inc., provided a Documentation Report but not a Preservation Plan to describe how the historic resources would be treated and if their significance would be preserved. It should be stated here that the Santa Cruz County Code requires a Preservation Plan to be prepared and approved by the Historical Resources Commission before a project that involves historic resources can receive project approval.

The Commissioner's questions are provided as they were given to us and precede (in italics) our response. Although the questions might be grouped, we tried to answer each Commissioner's questions individually. This creates some redundancy and for that we apologize.

**Commissioner Carolyn Swift.**

*Swift #1 Concerned that moving the apple barn may have an adverse impact.*

Under CEQA, moving a resource that is eligible for listing in the California Register of Historic Resources (CRHR) creates a substantial adverse impact. The circumstances for proposing to relocate a historic resource and the proposed treatment of the resource may mitigate the impact to a level that is less than significant. Generally speaking if relocation benefits the preservation of the resource, and the resource will be preserved in a setting that is comparable with its historical setting, and the work follows The Secretary of the Interior's Standards for the Treatment of Historic Properties, the CEQA guidelines find the mitigation reduces the level of adverse impact to less than significant.

## URBANPROGRAMMERS

*Swift #2. Doesn't like the fact that the report questions the validity of the Bayview being an NR1 because it was moved and then the (Albion Environmental, Inc.) report suggests moving two other resources without discussion of lessening significance or ratings.*

The comment appears directed toward the Albion Environmental, Inc., report and not the criteria of the National Register of Historic Places or the California Register of Historic Resources. Both registers accept moved buildings if they meet the express criteria. The area and theme of significance are considered as are the circumstances and treatment of the moved buildings. (National Register Criteria Consideration B: Moved Properties is attached).

*Swift #3. \*\*\*\* maybe we should take out language regarding questioning the validity of the NR1 rating due to the move. \*\*\*\*\**

The language is immaterial; the Bayview Hotel (Anchor House) was listed in the National Register of Historic Places (#92000259, in 1992). The application includes information about the 60 foot move in 1946, as well as the reason for the building's significance. The relocation of the hotel meets Criteria Consideration B.

*Swift #4. Need to review the resources and potential movement by the Secretary of Interior Standards.*

Attached is a review of the proposed development plan and the individual resources that describes how and why the proposed work can be consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Secretary of the Interior's Standards for the Rehabilitation of Historic Properties.

*Swift #5. In the history section of the report it says that Aptos is an Ohlone word meaning the meeting of two creeks when in fact this is a much more recent name and is likely a real estate marketing term that was created in the 1920's.*

Aptos is a Spanish rendering of the Indian name of a Rancheria. It is mentioned in 1807 and applied to a land grant in 1831.<sup>1</sup> The Aptos land grant was 6,680 acres granted to Rafael Castro.<sup>2</sup> The reference in the report does not appear accurate.

<sup>1</sup> Gudde, Erwin, 1000 California Place names, University of California 1959

<sup>2</sup> Koch, Margaret, Santa Cruz County-Parade of the Past, 1953:11

## URBAN PROGRAMMERS

*Swift # 6. It talks about agriculture being an industry... just because there was a grain warehouse doesn't mean it was an agricultural industry. Lumber was the industry.*

The issue appears to be one of semantics and the importance of one industry over another. While lumber may have been the most important industry, agricultural products that are grown for sale are part of an agricultural industry. Products were grown for sale in the Aptos area.

*Swift #7. The report refers to the Hinn subdivision and suggest with the following language " new residents in the 1920-1940's" that the Hinn development wasn't around until then. It should be stated that the Hinn subdivision has been around since 1890.*

The Commissioner's comment should be reflected in the report.

*Swift #8. The apple barn is described with various names throughout the report. Edit the report to only refer to the building by one name.*

*Swift #9. The fire department building or VFW hall.*

Both comments #8 and #9 should be reflected in the report. Where necessary to convey the change in names that is relevant to the historical record, the report could have the original in parentheses.

*Swift #10 A. There is a Vincent Leonard article that states it was built in 1915. 1878 was when it was built and someone should verify when it was built and if there have been any documented changes to the building. By her account via a picture from World War II era there are little changes to the building less the corrugated metal, etc.*

*Swift #10 B. In Bonnie Bamberg's DPR there were photo's provided by Paul Johnson. Photos, Sanborn maps, and aerials from the 1950's should be included in this report.*

*Swift # 10 C. She (Caroline Swift) said that the report makes an error in concluding that the building was a library. It was never a library. When you look at aerial photo's you can see the library was in a building closer to the entry of Niesene Marks State Park.*

## URBAN PROGRAMMERS

It is not clear which report Commissioner Swift is referencing. The building was constructed c. 1878 as an office for the Loma Prieta lumber company and is shown on the Sanborn Maps for 1888, 1892, 1908 and 1908-1929. If the library-use is not substantiated, the Dill Design Group's DPR 523L for the building should be updated (the underlying survey document) and the Albion report corrected.

*Swift #11A. She has concern over movement of the VFW hall due to its relation to the Bayview hotel.*

*Swift 11 B. In an interview with Ralph Maddison that she conducted in the 90's he said the fire department was established in the early 1920's. Paul \_\_\_\_\_? was also interviewed and he said the fire department was on his property at first and later moved to the VFW building.*

The relationship of the Aptos Fire House/VFW Hall and Bayview Hotel could be researched further. However, there is a body of citations describing the locations for the Aptos Fire Department, including the Sanborn Map of 1908 updated to June 1929, that first shows the Fire Department identified on the building. However the fire equipment listed on the map was stored in Larson's Garage. This may indicate that the building had not completed the transformation from an office to a fire house by June of 1929.

Moving the VFW Hall must be judged after understanding the elements that contribute to the significance of the resource and how that is affected by moving the building. The Aptos Fire Department and later the VFW Hall are only two of the building's uses. While each use is important to understanding the building's history, the location of the building, close to the center of town, appears to be the reason it was selected for the later uses. Its proximity to the lumber yards relates to the earlier uses.

The DPR523A by Dill Design Group dated 6/02 revised 3/7/03 provides a description of the building and a brief history. Because this was a district evaluation there is not a 523B to specify the significance of individual buildings. Dill Design Group's DPR 523L states that the building has had extensive alterations and this was confirmed by Bonnie Bamberg during a site visit in June 2009, and in a conversation with the owner, Joe Appenrod (7/16/09). Following the statements and citations in the Dill Design Group's DPR523 A, page 2 dated 3/07/09, the evaluation concludes that the significance is as a "contributing or supporting element

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describing the growth and history of Aptos as it developed from the late 1800's to the 1950's." If relocated within the Village of Aptos and rehabilitated in conformance with the County Code, the small building will continue to contribute to the architectural history of the Village. Moving buildings in Aptos was a historical phenomenon that resulted in several of the buildings, including the Aptos Fire house/VFW Hall being reused and retained. Relocating the small building will allow the Bayview Hotel to be more visible. This somewhat follows the philosophy of a hierarchy of historic importance since the more significant hotel historically was surrounded by open space. Moving the small building would allow the hotel to have better visibility and perhaps period landscaping that would enhance the understanding of its historic setting. This is something to consider.

*Swift 12 A. There was an article at the time of the Bayview fire that said the fire bell was rung and the bucket brigades came and chopped out a section of the roof to stop the fire from spreading to the main building*

*Swift 12 B. There is documentation that the fire department was not formed until Sept 21, 1928 (proof that maybe at the time of the Bayview fire the fire department was not next door?)*

Citations in all of the historic Preservation Surveys and reports indicate that the Aptos Fire Department was formally organized in 1928 and that the department took possession of the building in 1927. The difference is likely the time needed to rehabilitate the building.

*Swift 13. 7 days after the fire in the obituary of Arano it stated that the fire was not the direct cause of death, but that the fire and related events was related to the death.*

This is an interesting historical comment, but is not directly related to the significance of the Fire House/VFW Hall's history or significance.

*Swift 14 In May 1929 there was an article that states that Aptos prepares for fire and talks about the purchase of firefighting equipment.*

*The bayview (fire caused people to raise funds for the new fire department in 1929 and that is when the fire house opened... the conclusion she was drawing here was that because the building was used*

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*for the fire department after the Bayview fire there is significance to the location of the building adjacent to the Bayview.*

This appears to be in reference to the article in the Santa Cruz Sentinel, "Interesting History of Aptos and its Fire Development," May 17, 1929. This article is referenced in the Albion Environmental, Inc., report and in the Dill Design Group report and DPR 523L for the Fire House/VFW Hall. It may be presumed that the information is incorporated in the statements contained in the documents.

It appears likely that the location of the Aptos Fire Station is due to the available building and the cost required for rehabilitating a building for use as a firehouse. The citation for this conclusion is the Dill Design Group, DPR523 A, 3/07/09 page 2. "By 1923, the property was donated by Joe Arno for use as a firehouse."<sup>33</sup> The donation of a building suitable to be rehabilitated and located in the center of Aptos appears a more compelling conclusion, than that the location was selected because of the relationship to the Bayview Hotel. The 1908 Sanborn Map shows that the fire hose was kept in front of the Post Office, just across the street from the lumber office that became the Fire House. Conjecture could find that it was the desire of Joe Arano, to have the firehouse close to his property but in addition to a self-serving interest, the location was close to the center of town and the building appears to have been available. The thinking of the men involved in the selection of the building may never be known.

*Swift 15 In the history of the bayview no one ever mentions that it was a boarding house or that Jose Arano disappeared from 1892-1900 abandoning his family. He was found living as a hermit in Steamer's? village in Capitola. This content should be added in.*

*She held up a document which is where she said most of the content from the report came from. She called the document the Aptos Village Plan for Aptos Station.*

*She said that report did a much better job of conveying the sense of history and built environment and suggested we add this content to our report.*

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<sup>33</sup> It is not apparent the source for this statement.

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It is not necessary to include all information or historical notes when they do not pertain to the significance of the property. Historical information can be added but it tends to create a research paper whose goals are not the same as the defining significance of a property. Historical research is an ongoing process and maintaining the historical record is generally something that is done by archivists or librarians at a repository (library or museum) and not included in every historical survey prepared for a land-use decision. The Albion Environmental, Inc., report is brief, but it references many of the previous historical preservation surveys and reports. The survey is the basic document that reports use as a starting point. To include previous reports as would create a very large, redundant document that may not serve the current purpose any better than citing documents by reference and noting their location in case someone wanted more information. Perhaps the Staff could clarify the purpose of the report and the methodology for retaining reports or archiving information in a central location.

**Commissioner Ann Jenkins made the following comments.**

*Jenkins # 1 Concerned that the peer reviewer states the report does not consider the resources in context of the Department of Interior Standards.*

The Albion Environmental, Inc., report does not discuss the plan in the context of the Standards or make recommendations that the plans for the Bayview Hotel and/or the Hihn Apple Warehouse should be in conformance with the Secretary of the Interior's Standards for Rehabilitating Historic Buildings. Attached is a brief analysis of the resources that considers as the information available at this time and makes recommendations that any work on the buildings follow the Standards. The overall plan requires a *Preservation Plan* for each significant building. The *Preservation Plan* would follow the Secretary of the Interior's Standards for the Treatment of Historic Properties in describing the preservation goals and how the work is to be undertaken..

**Commissioner Orlando comments.**

*Orlando #1. Is the report following the standards?*

The report titled "Cultural Resources Study for the Proposed Aptos Village Project" Albion Environmental, Inc. February 2009, appears to document the existence of resources that meet

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the criteria or are listed in the National Register of Historic Places, the California Register of Historic Resources, and/or the County of Santa Cruz Historic Preservation Ordinance in the County Code Chapter 16.42.050-16.42.100 & 16.40.060. Following the direction of the County Code, the requirement is for a *Preservation Plan* to be prepared whenever there are alters or changes to the exterior of an historical structure or object or, for relocation of an historical structure or object. (SCC. 19.42.070) The *Preservation Plan* if (when) implemented will preserve and maintain the cultural and historical heritage of the County and/or further cultivate the knowledge of the past. The Albion Environmental Inc., report states that "a Preservation Plan will be prepared and approved by the County Historical Resources Commission prior to the relocation of the Fire Hall."<sup>4</sup> Knowing the requirement to prepare a *Preservation Plan* that conforms to the County criteria and the Secretary of the Interior's Standards- is likely the basis for the report making the statement that there is no adverse impact. The Albion report's error appears to be not knowing that the reports are needed by the Commission and that the *Preservation Report* would form the basis for their approval or denial of the project.

*Orlando # 2. She cites the peer reviewer as saying that if you move the buildings there is an adverse change.*

"Adverse change" is a CEQA term to consider changes to the environment, including historic resources, that are eligible for listing or are listed in the National Register or the California Register.(CRHR). The Bayview Hotel (N1) a structure listed in the National Register is not contemplated for any change to the building as part of the Aptos Village Plan. The Hihn Apple Warehouse (Hihn Apple Packing Barn) and the Aptos Fire House/VFW Hall, appear to be eligible for listing in the California Register and are proposed for relocation. Adverse changes must be mitigated by appropriate actions, such as rehabilitation that follows the Standards, or the County Board of Supervisors must find an overriding benefit to the proposed project.

**Commissioner Terri Fisher comments:**

*Fisher # 1. She agrees with staff's recommendation to continue the item prior to action.*

<sup>4</sup> Albion Environmental Inc., Cultural Resource Study for the Proposed Aptos Village Project :Feb.2009: Page21



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*Fisher #2. She wants to see all of the comments addressed as well as the standards before they take action.*

The comments in this document are offered to answer Commissioner Fisher's request.

*Fisher #3. She notes that when you move a building it can diminish the rating of the buildings. She wants to know specifically if moving these buildings causes any degradation of the ratings or would moving them trigger having to take them off of the registry.*

If by "registry" Commissioner Fisher is referring to the County Inventory of Historic Resources, it is unlikely that resources that are moved consistent with an approved Preservation Plan (SCC Code 16.42.070) would warrant then removal from the inventory. Buildings listed in the National Register of Historic Places or eligible for listing, by meeting one or more of the four criteria must also meet Criteria Condition B- Moved Properties. Buildings that meet Criteria B are eligible for listing in the National Register of Historic Places after they are moved.

*Fisher #4. She considers the movement of the bayview in 1949 not adverse to the rating or resource because it was done so long ago that it is still historical.*

The Bayview Hotel was listed in the National Register of Historic Places in 1992, in full recognition that it had been moved, and that the building met the criteria of the National Register of Historic Places, including Criteria Consideration B- Moved Properties.

*Fisher # 5. She wants to know if moving the VFW hall will degrade the rating?*

The Aptos Fire House/VFW Hall is a building rated in the Dill Design Group survey as 5 A building of local significance. A Preservation Plan that follows the County Code Section 16.42.070, describing the relocation and rehabilitation of a building listed in the County Inventory, is not likely to result in a lower rating for the resource.

*Fisher # 6. The continuance is scheduled for the June 1<sup>st</sup> meeting.*

No Comment

**NATIONAL REGISTER BULLETIN****HOW TO APPLY THE NATIONAL REGISTER  
CRITERIA FOR EVALUATION**[Previous](#)[Next](#)

U.S. Department of the Interior, National Park Service

## VII. HOW TO APPLY THE CRITERIA CONSIDERATIONS

### INTRODUCTION

Certain kinds of properties are not usually considered for listing in the National Register: religious properties, moved properties, birthplaces or graves, cemeteries, reconstructed properties, commemorative properties, and properties achieving significance within the past fifty years. These properties can be eligible for listing, however, if they meet special requirements, called Criteria Considerations, in addition to meeting the regular requirements (that is, being eligible under one or more of the four Criteria and possessing integrity). Part VII provides guidelines for determining which properties must meet these special requirements and for applying each Criteria Consideration.

The Criteria Considerations need to be applied only to *individual* properties. Components of eligible districts do not have to meet the special requirements unless they make up the majority of the district or are the focal point of the district. These are the general steps to follow when applying the Criteria Considerations to your property:

- Before looking at the Criteria Considerations, make sure your property meets one or more of the four Criteria for Evaluation and possesses integrity.
- If it does, check the Criteria Considerations (below) to see if the property is of a type that is usually excluded from the National Register. The sections that follow also list specific examples of properties of each type. If your property clearly does not fit one of these types, then it does not need to meet any special requirements.
- If your property *does* fit one of these types, then it must meet the special requirements stipulated for that type in the Criteria Considerations.

## CRITERIA CONSIDERATION B: MOVED PROPERTIES

A property removed from its original or historically significant location can be eligible if it is significant primarily for architectural value or it is the surviving property most importantly associated with a historic person or event.

### *Understanding Criteria Consideration B: Moved Properties*

The National Register criteria limit the consideration of moved properties because significance is embodied in locations and settings as well as in the properties themselves. Moving a property destroys the relationships between the property and its surroundings and destroys associations with historic events and persons. A move may also cause the loss of historic features such as landscaping, foundations, and chimneys, as well as loss of the potential for associated archeological deposits. Properties that were moved *before* their period of significance do not need to meet the special requirements of Criteria Consideration B.

One of the basic purposes of the National Register is to encourage the preservation of historic properties as living parts of their communities. In keeping with this purpose, it is not usual to list artificial groupings of buildings that have been created for purposes of interpretation, protection, or maintenance. Moving buildings to such a grouping destroys the integrity of location and setting, and can create a false sense of historic development.

### *Applying Criteria Consideration B: Moved Properties*

#### **Eligibility for Architectural Value**

A moved property significant under Criterion C must retain enough historic features to convey its architectural values and retain integrity of design, materials, workmanship, feeling, and association.

### *Examples of Properties that MUST Meet Criteria Consideration B: Moved Properties*

- *A resource moved from one location on its original site to another location on the property, during or after its Period of Significance.*
- *A district in which a significant number of resources have been moved from their original location.*
- *A district which has one moved building that makes an especially significant contribution to the district.*
- *A portable resource, such as a ship or railroad car, that is relocated to a place incompatible with its original function.*
- *A portable resource, such as a ship or railroad car, whose importance is critically linked to its historic location or route and that is moved.*

### *Examples of Properties that DO NOT Need to Meet Criteria Consideration B: Moved Properties*

**Association Dependent on the Site**

For a property whose design values or historical associations are directly dependent on its location, any move will cause the property to lose its integrity and prevent it from conveying its significance.

***Eligible***

- A farm structure significant only as an example of a method of construction peculiar to the local area is still eligible if it is moved within that local area and the new setting is similar to that of the original location.

***Not Eligible***

- A 19th century rural residence that was designed around particular topographic features, reflecting that time period's ideals of environment, is not eligible if moved.

**Properties Designed to Be Moved**

A property designed to move or a property frequently moved during its historic use must be located in a historically appropriate setting in order to qualify, retaining its integrity of setting, design, feeling, and association. Such properties include automobiles, railroad cars and engines, and ships.

***Eligible***

- A ship docked in a harbor, a locomotive on tracks or in a railyard, and a bridge relocated from one body of water to another are eligible.

***Not Eligible***

- A ship on land in a park, a bridge placed in a pasture, or a locomotive displayed in an indoor museum are not eligible.

***Artificially Created Groupings***

An artificially created grouping of buildings, structures, or objects is not eligible unless it has achieved significance since the time of its assemblage. It cannot be considered as a reflection of the time period when the individual buildings were constructed.

***Eligible***

- A grouping of moved historic buildings whose creation marked the beginning of a major concern with past lifestyles can qualify as an early attempt at historic preservation and as an illustration of that generation's values.

***Not Eligible***

- A rural district composed of a farmhouse on its original site and a grouping of historic barns recently moved onto the property is not eligible.

**Portions of Properties**

A moved *portion* of a building, structure, or object is not eligible because, as a fragment of a larger resource, it has lost integrity of design, setting, materials, workmanship, and location.

**Circa: Historic Property Development**  
**One Sutter Street, Suite # 910**  
**San Francisco, CA 94104**  
**415 362 7711**

Glenda Hill  
County of Santa Cruz  
Planning Department  
701 Ocean Street, 4th Floor  
Santa Cruz, CA 95060

July 29, 2009

Re: Review for Aptos Village Plan

Glenda,

I have recently reviewed the report *Considering the Significant Historic Resources and the Secretary of the Interior Standards for the Treatment of Historic Properties* (The Report, Urban Programmers, July 2009) and the accompanying *Questions and Comments from the Historic Resources Commission* (Questions and Comments, Urban Programmers, undated). The *Cultural Resources Study for the Proposed Aptos Village Project* (Study, Albion Environmental, Inc, January 2009) that was developed for the proposed project was reviewed by Circa in a letter dated March 24, 2009 with a follow-up memo dated April 3, 2009. All reports, studies and subsequent reviews are related to potential impacts to three properties within or immediately adjacent to the proposed Aptos Village Plan project area. These properties were found to be historic resources (DPR A&B forms Dill Design Group 2003) and therefore the California Environmental Quality Act (CEQA) applies.

As a result of the various studies two major concerns were raised: 1) does the relocation, rehabilitation and reuse of two of the properties meet the criteria of the Secretary of the Interior Standards for the Treatment of Historic Properties, and 2) does the proposed relocation, rehabilitation and reuse have any effect on the historic status rankings of the resources.

The following is a review of *The Report* and *Questions and Comments* to determine if they address the two major concerns identified by the County.

1) Does the relocation, rehabilitation and reuse of two of the properties meet the criteria of the Secretary of the Interior Standards for the Treatment of Historic Properties (Standards)?

- As was suggested in the Circa memo of April, *The Report* describes how the proposed relocation, rehabilitation and reuse will meet the Rehabilitation Standards for each of the three properties. Generally I agree with the findings of this section, however, I am concerned that many of the responses are predicated on what will or should happen, not what has already been completed. This is not the error of the *Report* review but as a

result of lack of specific information on the proposed project. Case in point is the review of the Standards for the Hihn Apple Warehouse section page 12, Standard 2: "The preliminary architectural facade drawing...show the building will retain and repair the material that created the original historic character..." This is true, but because the drawing is conceptual the reviewer has to rely on good faith that this will be implemented.

- To assure meeting the Standards, the Preservation Plan will have to be very specific as to how the relocation and rehabilitation will be conducted. This point is emphasized by the *Report's* recommendation that "...project plans that show relocation methods and subsequent construction work would be consistent with the Secretary of the Interior's Standards..." I would also add that the Preservation Plan require that the relocation and rehabilitation project plans be completed by an architectural firm that specializes in historic preservation and meets the Secretary of the Interior Standards: Professional Qualifications. These firms may be found on the [www.chrisinfo.org](http://www.chrisinfo.org).
- Regarding the Standards as they apply to the Aptos Fire House/VFW Hall, Standards 2 & 4, it should be added that no materials should be removed unless there is substantiated documentation such as period photographs.
- Regarding the Bayview Hotel, Standard 10, it should be added that the new construction should have massing, scale, material and quality of construction to the level that is compatible with the hotel.

2) Does the proposed relocation, rehabilitation and reuse have any effect on the historic status rankings of the resources?

- Generally I agree with the Urban Programmers' comments in *Questions and Comments* in response to Commissioner Fisher's questions about ranking or rating of buildings, however, they are again dependant on the Preservation Plan for the proposed project being very specific and carried through.
- The County of Santa Cruz recognizes significant historical resources in the County utilizing a status code based on the National Register status code list. The County of Santa Cruz historic preservation criteria states:
  - "For purposes of administering the historic preservation program, general public information, and aid in the nomination of historic resources to the National Register, designated historic structures, objects, sites and districts shall be assigned a National Register (NR) Rating code for historic significance based upon guidelines published by the United States Department of Interior, National Park Service as follows;
    - NR 1. A property listed in the National Register of Historic Places
    - NR 2. A property that has been determined to be eligible for listing on the National Register by the U.S. Department of Interior.
    - NR 3. A property eligible, in the opinion of the County Historical Resources Commission, to be listed on the National Register of Historic Places.

NR 4. Property which may become eligible for listing on the National Register if additional research provides a stronger statement of significance, or if the architectural integrity is restored. These buildings have either high architectural or historic significance, but have a low rating in the other categories.

NR 5. A property determined to have local historical significance..."

In August 2003 the Office of Historic Preservation adopted the California Historical Resource Status Codes (formerly known as the National Register Status Codes). These codes compare to the National Register status codes; however, they provide sub-categories within codes 1-7. These sub-categories provide a greater definition and therefore understanding as to the level of historic importance, particular at the local level. It is recommended that the County consider adopting the California Status Codes for consistency with the State.

In summary, the report *Considering the Significant Historic Resources and the Secretary of the Interior Standards for the Treatment of Historic Properties* and the accompanying *Questions and Comments from the Historic Resources Commission* by Urban Programmers adequately addresses concerns raised by the County.

Should there be any questions please contact me 415 362 7711.

Sincerely,

Sheila McElroy