

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application. Plans for this application can be found under the “Pending Projects” quick link at www.sccoplanning.com.

APPLICATION NUMBER: 161166

APN: 026-142-73

Proposal to expand an existing take-out only coffee shop into the adjacent tenant space for sit-down service, add a trash enclosure and parking lot landscaping and a raised planter to define a potential outdoor patio area. Requires an Administrative Commercial Development Permit Amendment to 260-U.

Property located on the north side of Capitola Road (1441 Capitola Road) at the intersection with 15th Avenue in Live Oak.

OWNER: Peter Atkinson

APPLICANT: John McKelvey

SUPERVISORIAL DISTRICT: 1

PLANNER: Lezanne Jeffs, (831) 454-2480

EMAIL: Lezanne.Jeffs@santacruzcounty.us

Comments on this application must be received by the project planner no later than 5:00 p.m. August 4, 2017.

A decision on Application 161316 shall be made on or shortly after August 7, 2017. The decision will be posted on the Planning Department Website.

Appeals to this decision will be accepted until 5:00 p.m. two weeks after the decision date. For questions please contact the project planner listed above. =



PROJECT SCOPE

EXPANSION OF THE SEATING AREA OF AN EXISTING COFFEE SHOP BY A MULTIPLE COMMERCIAL BUILDING INTO THE ADJACENT TENANT SPACE.

THE SCOPE OF WORK INCLUDES:

- OPENING OF THE DIVIDING WALL BETWEEN THE UNITS.
- REORGANIZATION OF THE SALES AREA (NOTE: THE ONLY CHANGE PROPOSED TO THE FOOD PREPARATION COUNTERS AND EQUIPMENT IS THE MODIFICATION OF THE HANDWASH SINK TO MAKE IT ACCESSIBLE).
- REMODEL OF ONE (1) BATHROOM TO MAKE IT ACCESSIBLE.
- NEW TRASH ENCLOSURE AT THE (2) TRASH STORAGE AREA.
- ASSOCIATED LANDSCAPE IMPROVEMENTS.

PROJECT DATA

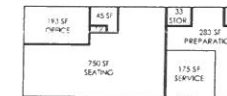
APN: 02614273
 ZONING: C-1
 OCCUPANCY: A-2
 CONSTRUCTION TYPE: VB
 SFEIN/LEED: NO

FLOOR AREAS:
 EXISTING: 552 SF GROSS
 PROPOSED ADDITION: 1,045 SF GROSS
 TOTAL: 1,617 SF GROSS

OCCUPANT LOAD AND EXITING REQUIREMENTS

PER CBC CHAPTER 10 & TABLE 1004.1.2

SPACE/ FUNCTION	AREA	LOAD FACTOR	OCCUPANT LOAD	EXIT REQUIREMENTS
SERVICE/ MERCHANDISE	175 SF GROSS	1 PER 10 SF GROSS	5.8	2 EXITS MINIMUM ALL EXIT DOOR TO SWING IN THE DIRECTION OF EGRESS TRAVEL AND TO BE PROVIDED WITH PANIC HARDWARE
PREPARATION/ KITCHEN	283 SF GROSS	1 PER 300 GROSS	1.4	
STORAGE/ MERCHANDISE	33 SF GROSS	1 PER 300 GROSS	0.1	
SEATING/ RESTROOM	750 SF GROSS	1 PER 15 NET	50	
OFFICE/ BUSINESS	40 SF GROSS	1 PER 100 GROSS	0.9	
40 TOTAL				



GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS, ORDINANCES AND REGULATIONS APPLICABLE AS FOLLOWS:
 - 2016 CALIFORNIA BUILDING CODE
 - 2016 CALIFORNIA RESIDENTIAL CODE
 - 2016 CALIFORNIA MECHANICAL CODE
 - 2016 CALIFORNIA PLUMBING CODE
 - 2016 CALIFORNIA ELECTRICAL CODE
 - 2016 CALIFORNIA ENERGY CODE
 - 2016 CALIFORNIA GREEN BUILDING CODE
 - 2016 CALIFORNIA FIRE CODE AS ADOPTED BY THE STATE OF CALIFORNIA AND CENTRAL FIRE PROTECTION DISTRICT AMENDMENTS

NOTHING IN THE CONTRACT DOCUMENTS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES, LAWS, ORDINANCES AND REGULATIONS.

- ALL WORK LISTED, SHOWN, OR IMPLIED ON ANY CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE THE WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER'S REQUIREMENTS.
- CONTRACTOR SHALL FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCING WITH COST ESTIMATE.
- ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED ON PROJECT SITE BY THE CONTRACTOR AND EACH TRADE BEFORE WORK BEGINS. ERRORS, OMISSIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE CONSTRUCTION BEGINS.
- ALL ITEMS ARE NEW UNLESS SPECIFICALLY INDICATED OR NOTED AS EXISTING.
- ALL DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE OF COLUMN OR CENTERLINE OF DOOR OR OTHER SCHEDULED OPENING.
- COORDINATION:
 - THE CONTRACTOR SHALL COORDINATE LAYOUT DIMENSIONS INDICATED ON THE LANDSCAPE, STRUCTURAL, AND ELECTRICAL DRAWINGS WITH THOSE INDICATED ON THE ARCHITECTURAL DRAWINGS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - SEE ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS, ELEVATIONS, DEPRESSIONS IN SLAB, OPENINGS IN WALLS AND ROOF, ROOF SLOPE, CHIMNEYS, AND ROOF DRAINS.
 - IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE CONSTRUCTION DOCUMENTS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN.
 - THE CONTRACTOR SHALL VERIFY ALL ELECTRICAL, MECHANICAL, TELEPHONE AND SECURITY REQUIREMENTS BEFORE CONSTRUCTION BEGINS.
 - THE CONTRACTOR SHALL COORDINATE THE LOCATIONS OF LIGHTS, HVAC OUTLET AND INLET REGISTERS, AND SMOKE DETECTORS BEFORE CONSTRUCTION BEGINS.

- ON ALL CONTIGUOUS SURFACES WHERE CONSTRUCTION INVOLVES MORE THAN ONE MATERIAL, FINISH OR MATERIAL THICKNESS, ALIGN FACE OF FINISH UNITS.
- THE CONTRACTOR SHALL REPLACE OR REPAIR, AT CONTRACTOR'S EXPENSE, ALL DAMAGED, REMOVED OR OTHERWISE DETRIERED EXISTING UTILITIES, IMPROVEMENTS OR FEATURES OF WHATEVER NATURE, TO THEIR ORIGINAL CONDITION, WHETHER SHOWN ON THE DRAWINGS OR NOT.
- VERIFY MOUNTING HEIGHTS OF BACKING PLATES AND SPECIAL STRUCTURAL SUPPORT REQUIREMENTS WITH EQUIPMENT MANUFACTURERS BEFORE INSTALLING BACKING PLATES AND SUPPORT.
- THE USE OF THE WORD "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED AND COMPLETED WHERE SO REQUIRED, UNLESS OTHERWISE NOTED.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES, AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.

SHEET INDEX

- VICINITY MAP, PROJECT SCOPE, EXISTING FLOORPLAN, EXISTING SITE PLAN, SHEET INDEX, GENERAL NOTES.
- PROPOSED SITE PLAN.
- FLOOR PLAN.
- INTERIOR ELEVATIONS.
- TYPICAL SITE ACCESSIBILITY DETAILS.
- TYPICAL BATHROOM ACCESSIBILITY DETAILS.
- DETAILS.
- ELECTRICAL PLAN.

CONTACTS

OWNER
 PETER ANDERSON
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 peter@coffeetopia.com

TENANT
 DAVID LARSEN
 1441 CAPITOLA ROAD
 SANTA CRUZ / CA 95062
 CELL: (831) 419-0447
 david@coffeetopia.com

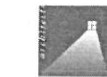
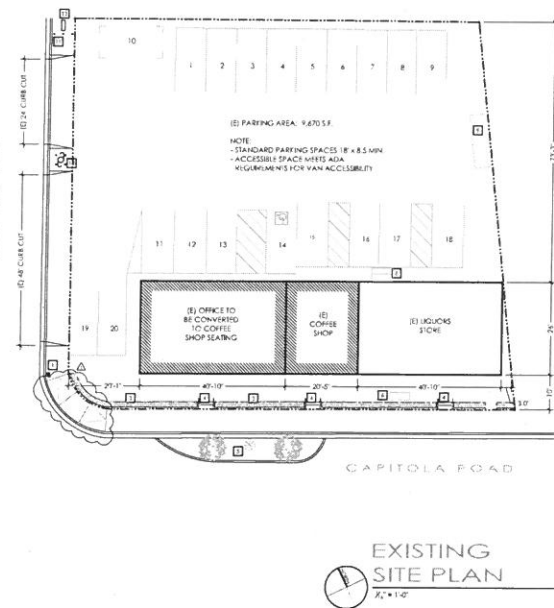
ARCHITECT
 ANDERSON MACFELVEY ARCHITECTS
 JOHN MACFELVEY, PRINCIPAL
 538 SIOQUE AVENUE
 SANTA CRUZ / CA 95062
 VOICE: (831) 457-8549
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 john@amacmck.com

FIRE NOTES

- THESE PLANS ARE IN CONFORMANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2016 EDITION) AND CENTRAL FIRE PROTECTION DISTRICT AMENDMENTS.
- SEE A2 FOR THE REQUIRED AND AVAILABLE FIRE FLOW AT THE CLOSEST FIRE HYDRANT.
- BUILDING NUMBERS SHALL BE PROVIDED. NUMBERS SHALL BE A MINIMUM OF A IN HEIGHT ON A CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET. WHERE NUMBERS ARE NOT VISIBLE FROM THE STREET, ADDITIONAL NUMBERS SHALL BE INSTALLED ON A DIRECTIONAL SIGN AT THE PROPERTY DRIVEWAY AND THE STREET.
- THE JOB COPIES OF THE BUILDING AND FIRE SYSTEMS PLANS AND PERMITS MUST BE OBTAINED DURING INSPECTIONS.
- A FIREWORK SIGN SHALL BE PLACED ABOVE ALL EXTERIOR DOORS SHOWING THE DOOR TO REMAIN UNLOCKED WHILE OCCUPIED.

SITE KEYNOTES

- ☐ (E) FIRE HYDRANT
- ☐ (E) PLANTER AREA
- ☐ (E) STEP AND HAND RAIL
- ☐ (E) TREE BLAND (COUNTY)
- ☐ (E) SINGLE BIKE RACK
- ☐ (E) DOUBLE BIKE RACK
- ☐ (E) TRASH PICKUP AREA
- ☐ (E) UTILITY POLE
- ☐ (E) BOLLARDS
- ☐ (E) FG&E



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COFFEETOPIA
 1441 CAPITOLA ROAD
 SANTA CRUZ, CA 95062
 APRIL 2016

VICINITY MAP,
 PROJECT SCOPE,
 EXISTING SITE PLAN,
 EXISTING FLOOR
 PLAN
 SHEET INDEX,
 GENERAL NOTES

DRAWN: DS/MB
 SCALE: AS NOTED
 DATE: 10/20/16

REVISIONS:

- 5/10/17
- 6/20/17

A1



ANDERSON

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1441 CAPITOLA ROAD
SANTA CRUZ, CA 95062
APR. 03/14/2017

COFFEE/TOPIA

PROPOSED
SITE PLAN

DRAWN: DS/MB
SCALE: AS NOTED
DATE: 10/20/16

REVISIONS

5/10/17
6/20/17

A2

KEYNOTES

GENERAL

- (E) FIRE HYDRANT #836
- (S) STATIC PRESSURE: 88 PSI
- (R) RESIDUAL PRESSURE: 79 PSI
- (F) FLOW: 1,284 GPM
- (F) FLOW AT 30 PSI: 3,708 GPM

- (C) 10" DEEP 12" WIDE
- (G) GROUND CONTROL SYSTEMS
- (O) O.A.E.

- (E) PLANTER AREA
- (E) STEP AND HAND RAIL
- (E) TREE ISLAND (COUNTY)
- (E) SINGLE BIKE RACK
- (E) DOUBLE BIKE RACK
- (N) TRASH PICKUP AREA
- (E) UTILITY POLE
- (E) BOLLARDS
- (E) PG&E

- (N) 4 MIN. WIDE WALKING ACCESS
- (N) 24" WIDE PLANTER TO MATCH (E)
- (N) LANDSCAPED AREA (EUGENIA HEDGE)

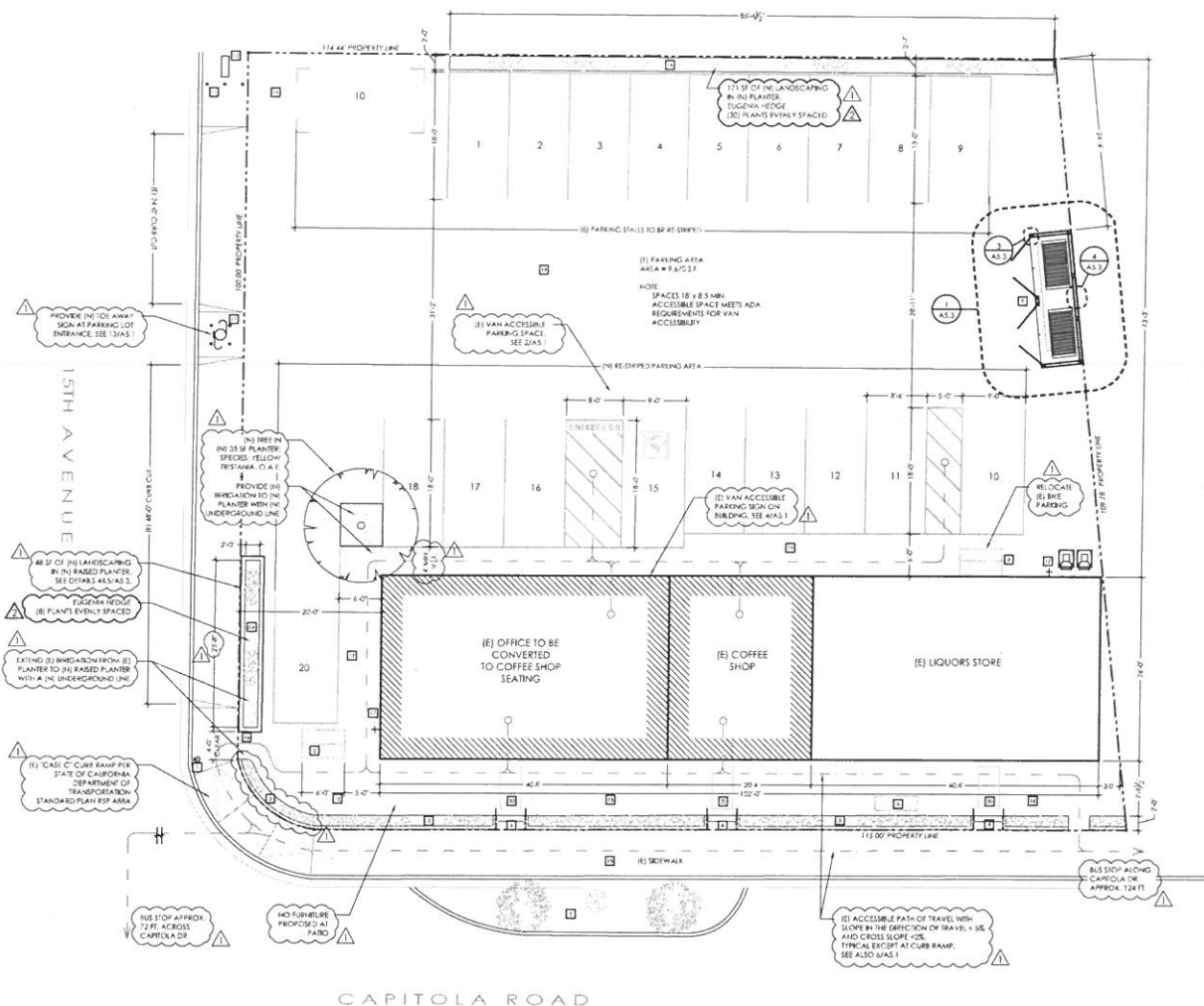
- (E) CONCRETE PAVEMENT
- (E) ASPHALTIC CONCRETE PAVEMENT
- (E) TRUNCATED DOWNS
- (E) BUILDING ENTRANCE

LANDSCAPE NOTES

- 204 SF ON (N) LANDSCAPED AREA ADDED TO SITE

FIRE NOTES

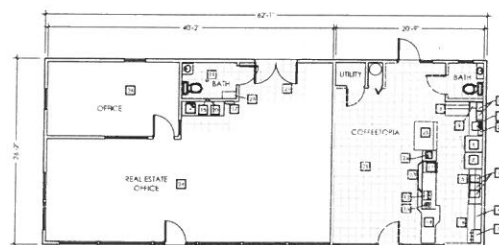
- VERIFY BUILDING NUMBERS
- BUILDING NUMBERS SHALL BE PROVIDED NUMBERS
- SHALL BE A MINIMUM OF 6" IN HEIGHT ON A
- CONTRASTING BACKGROUND AND VISIBLE FROM THE
- STREET. WHERE NUMBERS ARE NOT VISIBLE FROM THE
- STREET, ADDITIONAL NUMBERS SHALL BE INSTALLED ON A
- ORIENTATION SIGN AT THE PROPERTY CORNER AT
- AND THE STREET.
- THE JOB COPIES OF THE BUILDING AND FIRE SYSTEMS
- PLANS MUST BE ON SITE DURING INSPECTION



SITE PLAN
1/8" = 1'-0"

WALL LEGEND

- (N) 2x4 @ 16" O.C. WALL
- (E) 2x4 WALL
- WALL TO BE REMOVED



EXISTING FLOOR PLAN

SCALE: 1/8" = 1'-0"

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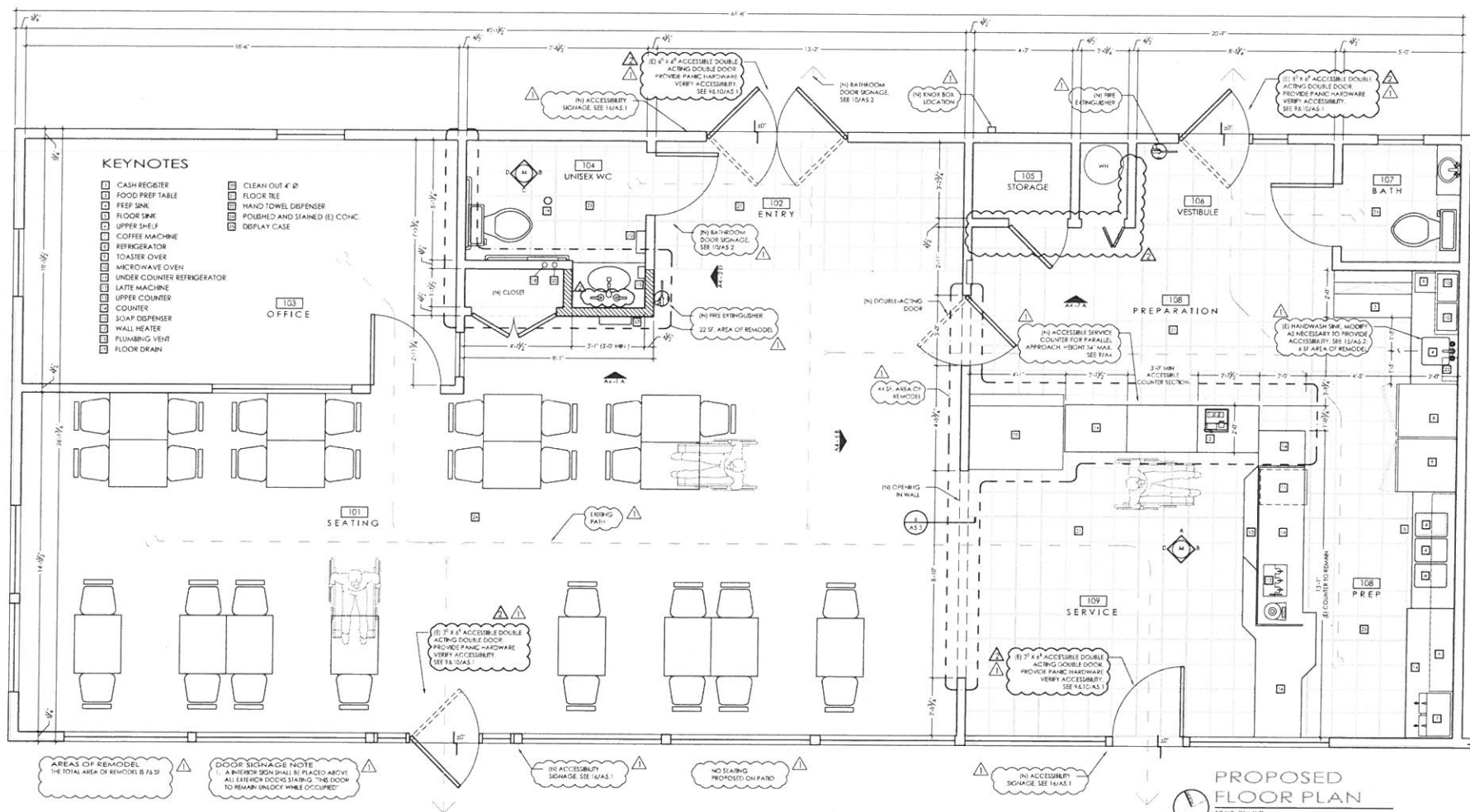
1441 CARROLLA ROAD
SANTA CRUZ, CA 95062
ANDERSON

COFFEETOPIA

EXISTING & PROPOSED FLOOR PLAN

DRAWN: DS/MB
SCALE: AS NOTED
DATE: 10/20/16

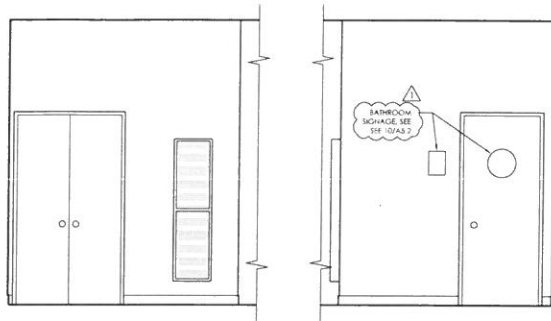
REVISIONS:
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6/20/17



PROPOSED FLOOR PLAN

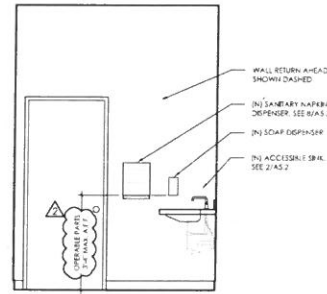
SCALE: 1/8" = 1'-0"

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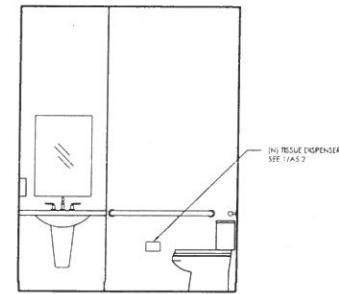


1 SEATING 101 A
Scale: 1/2" = 1'-0"

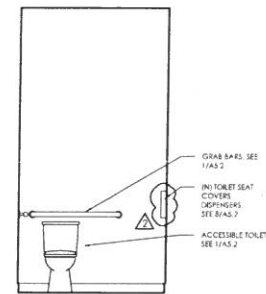
2 ENTRY 102 D
Scale: 1/2" = 1'-0"



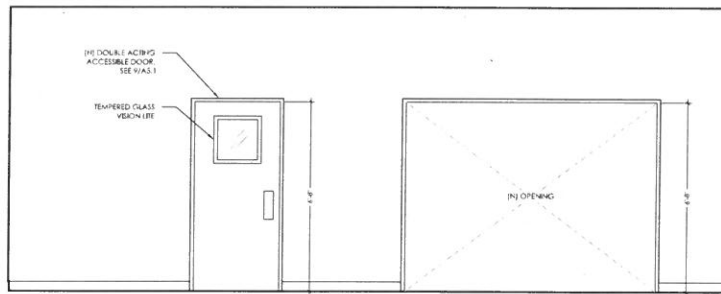
3 BATH 104 B
Scale: 1/2" = 1'-0"



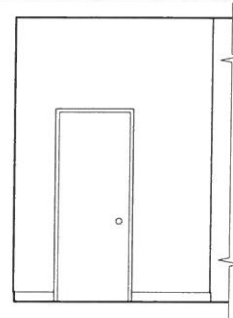
4 BATH 104 C
Scale: 1/2" = 1'-0"



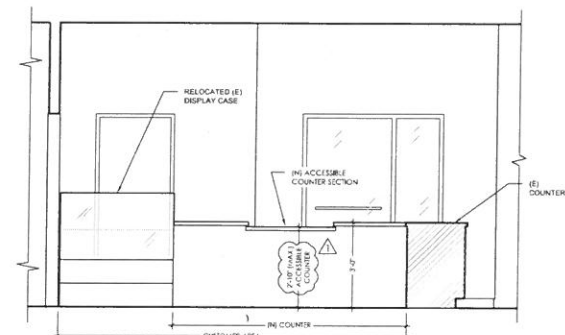
5 BATH 104 D
Scale: 1/2" = 1'-0"



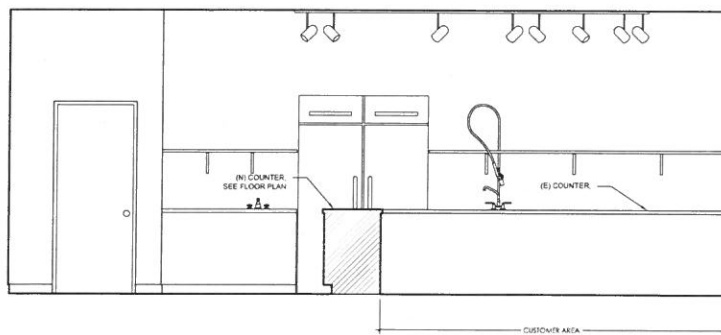
6 SEATING 101 B
Scale: 1/2" = 1'-0"



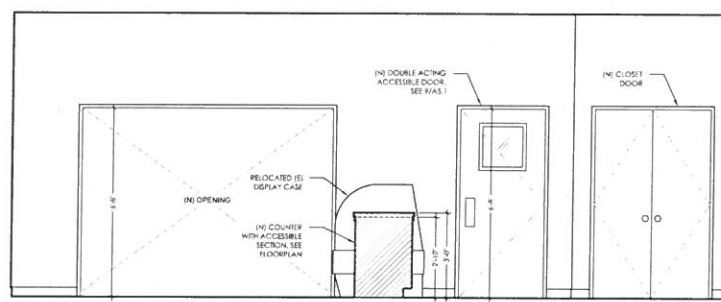
7 PREP 108 A
Scale: 1/2" = 1'-0"



9 SERVICE 109 A
Scale: 1/2" = 1'-0"



10 SERVICE 109 B
Scale: 1/2" = 1'-0"



11 SERVICE 109 D
Scale: 1/2" = 1'-0"



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COFFELOPIA

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AND 94107

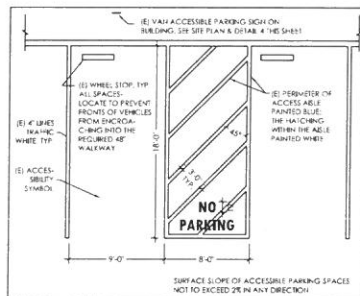
INTERIOR
ELEVATIONS

DRAWN: DS/MB
SCALE: 1/2" = 1'-0"
DATE: 10/20/16

REVISIONS

5/10/17
6/20/17

A4

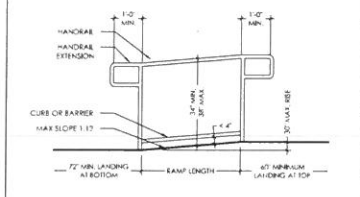


2 (E) DOUBLE ACCESSIBLE PARKING STALL

- WALKS AND SIDEWALKS**
- WALKS AND SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE NOT INTERRUPTED BY STEPS OR ABRUPT CHANGES IN LEVEL OF THE FLOOR, SIDEWALK OR WORKING SURFACE.
 - VERTICAL CHANGES IN LEVEL OF 1/2" MAXIMUM SHALL BE PERMITTED TO BE VERTICAL AND WITHOUT EDGE TREATMENT. CHANGES IN LEVEL BETWEEN 1/2" AND 1/4" MAXIMUM SHALL BE BEVELLED WITH A SLOPE NOT STEEPER THAN 1:2.
 - CHANGES IN LEVEL GREATER THAN 1/4" HIGH SHALL BE RAMPED AND SHALL COMPLY WITH THE REQUIREMENTS FOR RAMPS.
 - THE SLOPE IN THE DIRECTION OF TRAVEL SHALL NOT EXCEED 1:20 (GRADE) (5.0%)
 - CROSS SLOPE SHALL NOT EXCEED 1:50 (GRADE) (2.0%)
 - THE MINIMUM WIDTH OF WALKWAYS SHALL BE 4'-0"
 - OPENINGS IN FLOOR OR GROUND SURFACES SHALL NOT ALLOW PASSAGE OF A SPHERE MORE THAN 1/2" LONG (EXTENSION) SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.
 - ALL WALKS WITH CONTINUOUS GRADIENTS SHALL HAVE BEETING AREAS 40 INCHES IN LENGTH AT INTERVALS OF 100 FEET MAXIMUM. THE BEETING AREA SHALL BE AT LEAST AS WIDE AS THE WALK. THE SLOPE OF THE BEETING AREA IN ALL DIRECTIONS SHALL BE 1:48 MAXIMUM.
 - THE SURFACE SHALL BE SLIP RESISTANT.

HAZARDS AND PROTRUDING OBJECTS

- ABRUPT CHANGES IN LEVEL, EXCEPT BETWEEN A WALK OR SIDEWALK AND AN ADJACENT STREET OR DRIVEWAY, EXCEEDING FOUR INCHES (103 MM) IN VERTICAL HEIGHT, SUCH AS PLANTERS OR FOUNTAINS, LOCATED IN OR ADJACENT TO WALKS, SIDEWALKS OR OTHER PEDESTRIAN WAYS, REQUIRE WARNING CURBS A MINIMUM OF 6" IN HEIGHT ABOVE THE WALKWAY SURFACE.
- ANY OBSTRUCTION THAT OVERHANGS A PEDESTRIAN WAY SHALL BE A MINIMUM OF 8" ABOVE THE WALKWAY SURFACE.
- VERTICAL CLEARANCE OF AN AREA ADJOINING AN ACCESSIBLE ROUTE IS REDUCED TO LESS THAN 8'. A BARRIER TO MAIN TRAFFIC OR VISUALLY IMPAIRED PERSONS IS REQUIRED.
- SEMI-GLASS WALKS SHALL BE CLEAR OF HAZARDS.
- OBJECTS PROJECTING FROM WALLS WHOSE LEADING EDGES ARE BETWEEN 27" AND 80" ABOVE THE FINISHED FLOOR SHALL NOT PROTRUDE MORE THAN 4" INTO WALKS. WALLS, CORNICES, PARAPETS OR OTHER OBJECTS WHOSE LEADING EDGES ARE AT OR BELOW 27" ABOVE THE FINISHED FLOOR MAY PROTRUDE ANY AMOUNT.
- PROTRUDING OBJECTS MAY NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE OR MANEUVERING SPACE.
- FREE STANDING OBJECTS MOUNTED ON POSTS OR PYLONS SHALL OVERHANG 17" MAXIMUM FROM 27" TO 80" ABOVE THE FINISHED FLOOR.
- WALKS, WALLS, CORNICES, PARAPETS, REELS OR OTHER OBSTRUCTIONS SHALL HAVE A MINIMUM OF 80" CLEAR HEAD ROOM.
- VERTICAL CLEARANCE OF AN AREA ADJOINING AN ACCESSIBLE ROUTE IS REDUCED TO LESS THAN 8'. A BARRIER TO MAIN TRAFFIC OR VISUALLY IMPAIRED PERSONS IS PROVIDED.



3 CURB CUT OR BARRIER

A CURB 2" HIGH MINIMUM OR BARRIER SHALL BE PROVIDED THAT PREVENTS THE PASSAGE OF A 6" DIAMETER SPHERE, WHERE ANY PORTION OF THE SPHERE IS WITHIN 4" OF THE FINISH FLOOR OR GROUND SURFACE, TO PREVENT WHEEL ENTRAPMENT. THE CURB OR BARRIER SHALL PROVIDE A CONTINUOUS AND UNINTERRUPTED BARRIER ALONG THE LENGTH OF THE RAMP.

HANDRAILS

CLEARANCE CLEARANCE BETWEEN HANDRAILS, GRIPPING SURFACES AND ADJACENT SURFACES SHALL BE 1/2" MINIMUM. HANDRAILS MAY BE LOCATED IN A NICHE IF THE NICHE IS 3" MAXIMUM DEEP AND 16" MINIMUM CLEAR ABOVE THE TOP OF THE HANDRAIL.

GRIPPING SURFACE HANDRAIL GRIPPING SURFACES SHALL BE CONTINUOUS ALONG THEIR LENGTH AND SHALL NOT BE OBSTRUCTED BY OTHER TOOLS OR JOBS. THE TOP OF THE HANDRAIL GRIPPING SURFACES SHALL NOT BE OBSTRUCTED FOR MORE THAN 20% OF THEIR LENGTH. WHERE PROVIDED, HORIZONTAL PROTRUSION SHALL OCCUR AT 1/2" MINIMUM BELOW THE BOTTOM OF THE HANDRAIL GRIPPING SURFACE.

CROSS SECTION HANDRAIL GRIPPING SURFACES WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF 1 1/2" MINIMUM AND 2" MAXIMUM. HANDRAIL GRIPPING SURFACES WITH A NON-CIRCULAR CROSS SECTION SHALL HAVE A PERIMETER DIMENSION OF 4" MINIMUM AND 6" MAXIMUM. AND A CROSS-SECTION DIMENSION OF 2 1/2" MAXIMUM.

HANDRAIL GRIPPING SURFACES WITH ANY SURFACES ADJACENT TO THEM SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS AND SHALL HAVE ROUNDED EDGES. HANDRAILS SHALL NOT ROTATE WHEN THEIR RETIQUES.

HANDRAIL EXTENSIONS RAMP HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 17" MINIMUM BEYOND THE TOP AND BOTTOM OF RAMP RUNS. EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT RAMP RUN.

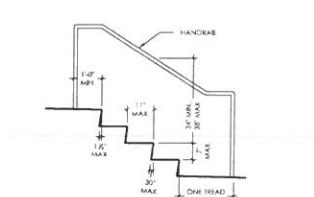
EXCEPTIONS

- EXTENSIONS SHALL NOT BE REQUIRED FOR CONTINUOUS HANDRAILS AT THE INSIDE TURN OF SWITCHBACK OR DOUGLASS STAIRS AND RAMPS.
- IN ASSEMBLY AREAS, EXTENSIONS SHALL NOT BE REQUIRED FOR RAMP HANDRAILS IN AREAS SERVING SEATING WHERE THE HANDRAILS ARE DISCONTINUOUS TO PROVIDE ACCESS TO SEATING AND TO REMAIN CROSSWISE WHEN WALKING.
- IN SITUATIONS WHERE THE EXTENSION OF THE HANDRAIL IN THE DIRECTION OF RAMP RUN WOULD CREATE A HAZARD, THE EXTENSION OF THE HANDRAIL MAY BE TURNED 90 DEGREES FROM THE RAMP RUN.

NOTE: CLIENT WILL NEED AN AUTHORIZATION TO CITE AGREEMENT WITH LOCAL POLICE DEPARTMENT TO ENFORCE TOW-AWAY OR CITATION FOR VEHICLE CODE.

THIS SIGN PER CVC 21400.1

7 ACCESSIBLE RAMPS



4 NOISY AND RIBBY PROFILE

THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE NOT GREATER THAN 1/2". REVEALING OF JOINTS SHALL NOT EXCEED 1/16". RISERS SHALL BE SOLID AND VERTICAL, OR SLOPED UNDER THE TREAD ABOVE FROM THE UNDERSIDE OF THE NOISING ABOVE AT AN ANGLE NOT MORE THAN 30° FROM THE VERTICAL.

THE LEADING EDGE (NOISING) OF TREADS SHALL PROJECT NOT MORE THAN 1/2" BEYOND THE TREAD BELOW.

ALL NOISING PROJECTIONS OF THE LEADING EDGES SHALL BE OF UNIFORM SIZE.

STAIRWAY LANDINGS THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE WIDTH OF LANDINGS SHALL NOT BE LESS THAN THE WIDTH OF STAIRWAYS THEY SERVE. WHERE THE STAIRWAY HAS A STRONG ROOM, THE DEPTH SHALL NOT EXCEED 80% DOORS OPENING ONTO A LANDING SHALL NOT REDUCE THE LANDING TO LESS THAN ONE-HALF THE REQUIRED WIDTH. WHEN FULLY OPEN, THE DOOR SHALL NOT PROJECT MORE THAN 7" INTO A LANDING.

STAIRWAY WALKING SURFACE THE WALKING SURFACE OF TREADS AND LANDINGS OF A STAIRWAY SHALL NOT BE SLOPED STEEPER THAN 1/4" IN ANY DIRECTION. STAIRWAY TREADS AND LANDINGS SHALL HAVE A SOLID SURFACE. FINISH FLOOR SURFACES SHALL BE SECURELY ATTACHED.

VERTICAL RISE

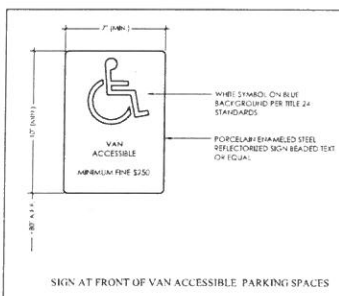
- A RISE OF STAIRS SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12" BETWEEN FLOOR LEVELS OR LANDINGS.
- STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE.

EXCEPTIONS

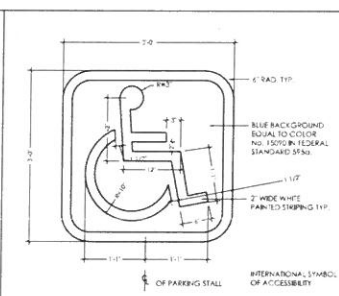
- HANDRAILS FOR ASBLE STAIRS PROVIDED IN ACCORDANCE WITH CBC SEC. 10B.13.
- STAIRWAYS WITHIN CHILLING UNITS AND SPIRAL STAIRWAYS ARE PERMITTED TO HAVE A HANDRAIL ON ONE SIDE ONLY.
- DOCK, PARKING AND WALKWAYS THAT HAVE A CHANGE IN ELEVATION WHERE THE LANDING DEPTH ON EACH SIDE OF THE CHANGE OF ELEVATION IS MORE THAN 1/2" IS REQUIRED FOR A LANDING. DO NOT REQUIRE HANDRAILS.
- IN GROUP 3-3 OCCUPANCIES, A CONTINUOUS RUN OF TREADS OR FLIGHTS OF STAIRS WITH LESS THAN FOUR RISERS DOES NOT REQUIRE HANDRAILS.
- IN GROUP 3-3 OCCUPANCIES, A CONTINUOUS RUN OF TREADS OR FLIGHTS OF STAIRS WITH LESS THAN FOUR RISERS DOES NOT REQUIRE HANDRAILS.

HANDRAIL EXTENSIONS HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT OR RAMP RUN. WHERE HANDRAILS ARE NOT CONTINUOUS BETWEEN FLIGHTS, THE HANDRAILS SHALL EXTEND HORIZONTALLY AT LEAST 17" BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.

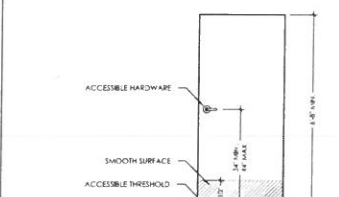
8 STAIRWAYS



4 (E) VAN ACCESSIBLE PARKING STALL SIGN



5 ISA ON PARKING STALL



10 ACCESSIBLE THRESHOLD

MINIMUM MANEUVERING CLEARANCES AT DOORS AND GATES SHALL COMPLY WITH THE CALIFORNIA BUILDING CODE. MANEUVERING CLEARANCES SHALL BE THE FULL WIDTH OF THE DOORWAY AND THE REQUIRED LATCH SIDE OF HINGE SIDE CLEARANCE. WITHIN REQUIRED MANEUVERING CLEARANCES CHANGES IN LEVEL ARE LIMITED TO:

- SLOPES NOT STEEPER THAN 1:48
- CHANGES IN LEVEL AT THRESHOLDS COMPLYING WITH CALIFORNIA BUILDING CODE.

CLEAR OPENING WIDTH DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES MINIMUM. CLEAR OPENINGS OF DOORWAYS WITH SLIDING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP. WITH THE DOOR OPEN 90 DEGREES, OPENINGS MORE THAN 34 INCHES DEEP SHALL PROVIDE A CLEAR OPENING OF 36 INCHES MINIMUM. THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WITH LOWER THAN 34 INCHES ABOVE THE FINISH FLOOR OR GROUND. PROJECTIONS INTO THE CLEAR OPENING WITHIN 34 INCHES AND 6 INCHES ABOVE THE FINISH FLOOR OR GROUND SHALL NOT EXCEED 4 INCHES.

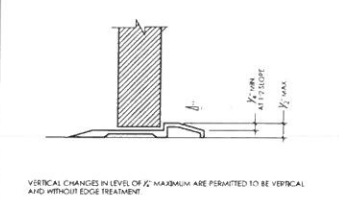
DOOR AND GATE SURFACES SWITCHED, DOOR AND GATE SURFACES WITHIN 10 INCHES OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE.

HANDRAILS STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE.

DOOR CLOSERS AND GATE CLOSERS DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 17 DEGREES FROM THE LATCH IS 5 SECONDS MAXIMUM.

SPRING HINGES DOOR AND GATE SPRING HINGES SHALL BE ADJUSTED SO THAT FROM THE OPEN POSITION OF 90 DEGREES, THE DOOR OR GATE SHALL MOVE TO THE CLOSED POSITION IN 1.5 SECONDS MINIMUM.

9 ACCESSIBLE DOOR



10 ACCESSIBLE THRESHOLD

VERTICAL CHANGES IN LEVEL OF 1/2" MAXIMUM ARE PERMITTED TO BE VERTICAL AND WITHOUT EDGE TREATMENT.

CHANGES IN LEVEL BETWEEN 1/2" AND 1/4" MAXIMUM SHALL BE BEVELLED WITH A SLOPE NOT STEEPER THAN 1:2.

11 ACCESSIBLE DOOR HANDLE

ACCESSIBLE DOOR LEVER AT ALL DOOR LOCATIONS 5' 0" TO 8' 0" ABOVE FINISHED FLOOR.

ALL OPERABLE HARDWARE PARTS SHALL BE CENTERED BETWEEN 36" AND 48" ABOVE THE FINISHED FLOOR OR GROUND. (CBC SECTION 110B.2.3.1)

ACCESSIBLE HARDWARE NOT TO REQUIRE HIGH GRASPING, TWISTING OR PINCHING OF TWISTING OF THE WRIST (CBC SECTION 110B.2.3.1)

12 EXIT SIGNAGE

NOTE: PHOTOGRAPH AND/OR LETTERING ARE NOT REQUIRED ON DOOR-MOUNTED SIGNAGE.

13 TOW AWAY SIGN

14 ACCESSIBLE SIGNAGE

15 ISA AT BUILDING ENTRANCE

16 INTERNATIONAL SYMBOL OF ACCESSIBILITY



TYPICAL SITE ACCESSIBILITY DETAILS

REVISIONS

NO.	DATE	DESCRIPTION
1	5/10/17	
2	6/20/17	

DRAWN: DS/MB
SCALE: AS NOTED
DATE: 10/20/14



16 INTERNATIONAL SYMBOL OF ACCESSIBILITY

THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE COLOR NO. 15050 IN FEDERAL STANDARD 598.

EXCEPT FOR THE APPROPRIATE ENFORCEMENT AGENCY MAY APPROVE OTHER COLORS TO COMPLEMENT DECOR OR LANGUAGE DESIGN. THE SYMBOL, CONTRAST SHALL BE LIGHT ON DARK OR DARK ON LIGHT.

THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE MOUNTED AT IN-HOIST ABOVE THE LANDING.

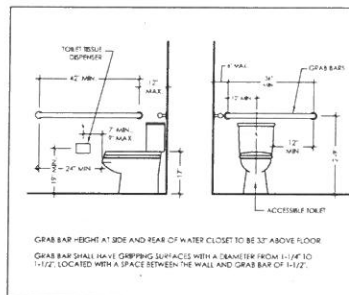
C. DIRECTIONAL SIGNS TO ACCESSIBLE BUILDING ENTRANCES AND FACILITIES SHALL BE POSTED AS NECESSARY.

ALL ACCESSIBLE FEATURES SHALL HAVE A MINIMUM 3" X 6" INTERNATIONAL SYMBOL.

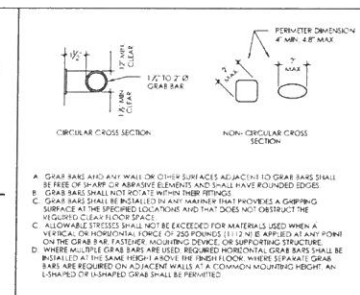
CHARACTERISTICS AND NUMBERS (SIGNS) SHALL BE SIZED ACCORDING TO THE VIEWING DISTANCE. NUMBERS SHALL BE VIEWED FROM THE MINIMUM VIEWING DISTANCE NOTED AT ADJACENT ADULT PREPARED AT RIGHT, OR AS NOTICED IN MEASURED USING AN UPPER CASE, LOWER CASE CHARACTERS ARE PERMITTED.

CONTRACTED GRADE 2 SHALL BE USED WHENEVER BRaille CHARACTERS ARE SPECIFICALLY REQUIRED. DOSS SHALL BE 1/16" ON CHARACTERS IN EACH CELL WITH 3/16" SPACE BETWEEN CELLS. DOSS SHALL BE RAISED A MINIMUM OF 1/8" ABOVE THE BACKGROUND.

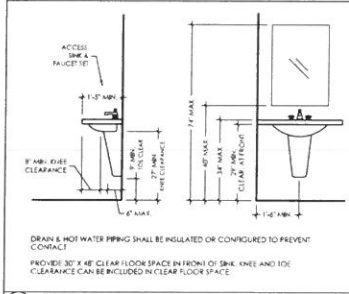
CHARACTERISTICS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND. EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.



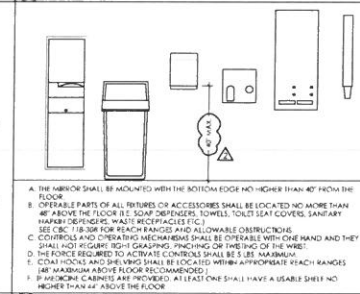
1 ACCESSIBLE TOILET



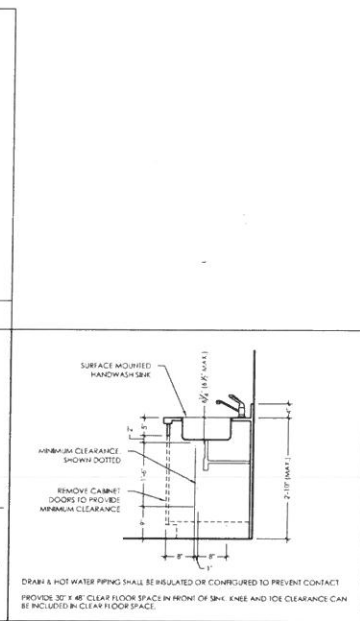
7 ACCESSIBLE GRAB BARS



2 ACCESSIBLE SINK



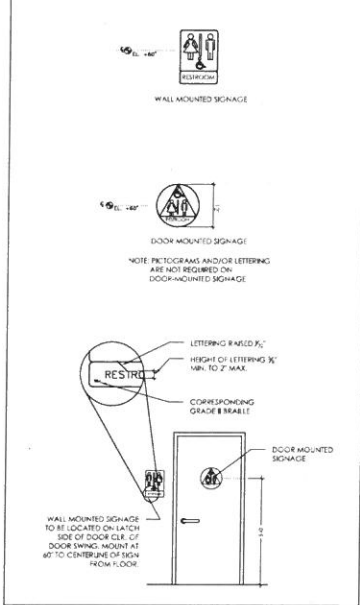
8 TOILET ROOM ACCESSORIES



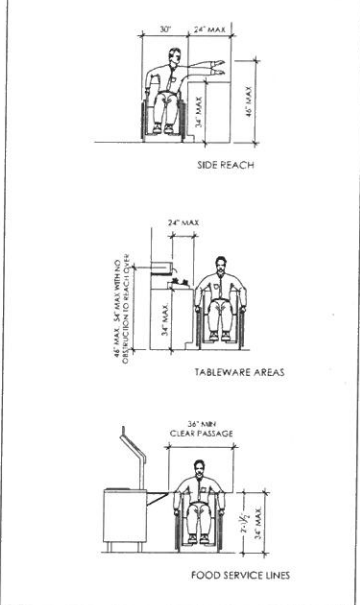
15 ACCESSIBLE HANDWASH SINK



10 TYPICAL UNISEX TOILET ROOM SIGN



12 REACH RANGE



12 REACH RANGE

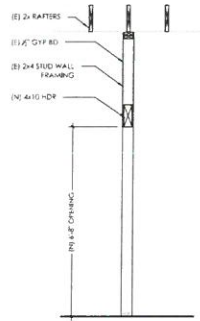


COFFEE/IOPIA
1441 E. CAROLINA ROAD
SANTA CRUZ, CA 95060
APR 02/16 02/16

TYPICAL
INTERIOR
ACCESSIBILITY
DETAILS
DRAWN: DS/MB
SCALE: AS NOTED
DATE: 10/20/16

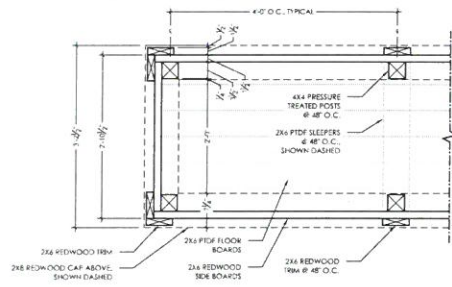
REVISIONS
5/10/17
6/20/17

A5.2



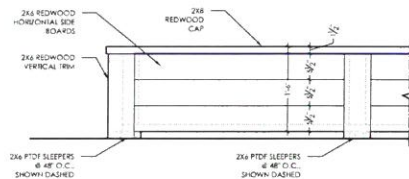
WALL SECTION
AT (N) OPENING

SCALE: 1/4\"/>



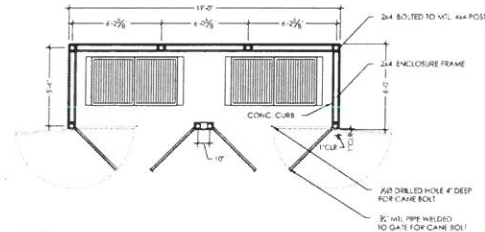
PLANTER PLAN

SCALE: 1\"/>



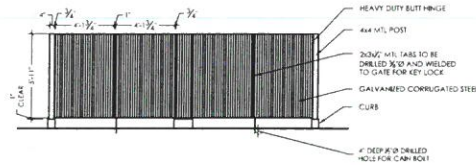
PLANTER ELEVATION

SCALE: 1\"/>



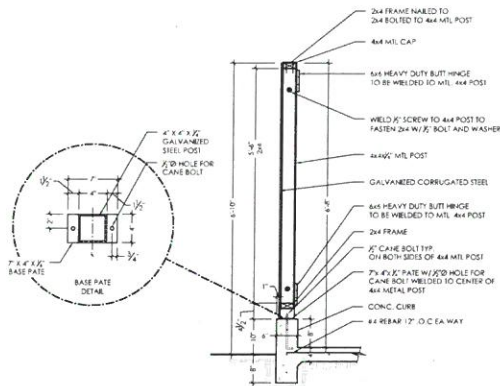
TRASH ENCLOSURE PLAN

SCALE: 1/4\"/>



TRASH ENCLOSURE
ELEVATION

SCALE: 1/4\"/>



TRASH ENCLOSURE DETAIL

SCALE: 1/4\"/>

TRASH ENCLOSURE NOTES

- GROUND SURFACE SHALL BE FLAT OR SLOPED AWAY FROM WALL ON BOTH SIDES.
- BACKFILL AND SUBGRADE SHALL BE GRANULAR AND WELL DRAINED SOILS.

METHODS

- SOIL FOUNDATION FLOW SHALL BE SCARIFIED 8\"/>

MATERIALS

- CONCRETE: 3000 PSI COMPRESSIVE STRENGTH (75 DAYS)
- REBAR SHALL BE GRADE 60
- MORTAR (1:3) SHALL BE 1800 PSI (MINIMUM) COMPRESSIVE STRENGTH AND DESIGN
- CEMENT USED IN THE MORTAR SHALL CONFORM TO ASTM STANDARD C-150 AND BE TYPE 1 OR 2



ANDERSON

1324 LINDSEY AVENUE
SANTA CRUZ, CA 95062
TEL: 831.457.4344
FAX: 831.425.2724



COFFEEIOPIA

1441 CANTOIA ROAD
SANTA CRUZ, CA 95062
APRIL 2021 0227

DETAILS

DRAWN: DS/JMB
SCALE: AS NOTED
DATE: 10/25/16

REVISIONS

1	5/10/17
2	6/20/17

A5.3



ANDERSON

114 SODER AVENUE
SANTA LUCIA, CA 93042
TEL: 805-437-8388
FAX: 805-437-3724



141 CAPITOLA ROAD
SANTA LUCIA, CA 93042
APN: 021-0273

COFFEETOPIA

ELECTRICAL

DRAWN: DJM/MB
SCALE: AS NOTED
DATE: 10/20/16

REVISIONS

△ 5/10/17
△ 6/20/17

E1

ELEC/MECH/PLUMB NOTES

ELECTRICAL

- E1. ALL LIGHTING IS EXISTING TO REMAIN
- E2. ALL POWER AND SIGNAL OUTLETS ARE EXISTING TO REMAIN, U.N.O.
- E3. ALL SWITCHES ARE EXISTING TO REMAIN, U.N.O.
- E4. ALL BATHROOM RECEPTACLES TO BE SUPPLIED BY A DEDICATED 20 AMP CIRCUIT W/ GFCI PROTECTION
- E5. ALL RECEPTACLES @ KITCHEN COUNTERTOPS MUST BE GFCI PROTECTED

MECHANICAL

- M1. NO CHANGES ARE PROPOSED TO THE EXISTING MECHANICAL SYSTEM

PLUMBING

- P1. PLUMBING WORK IS LIMITED TO THE RELOCATION OF THE LAVATORY IN THE UNisex BATHROOM

FIRE SPRINKLER

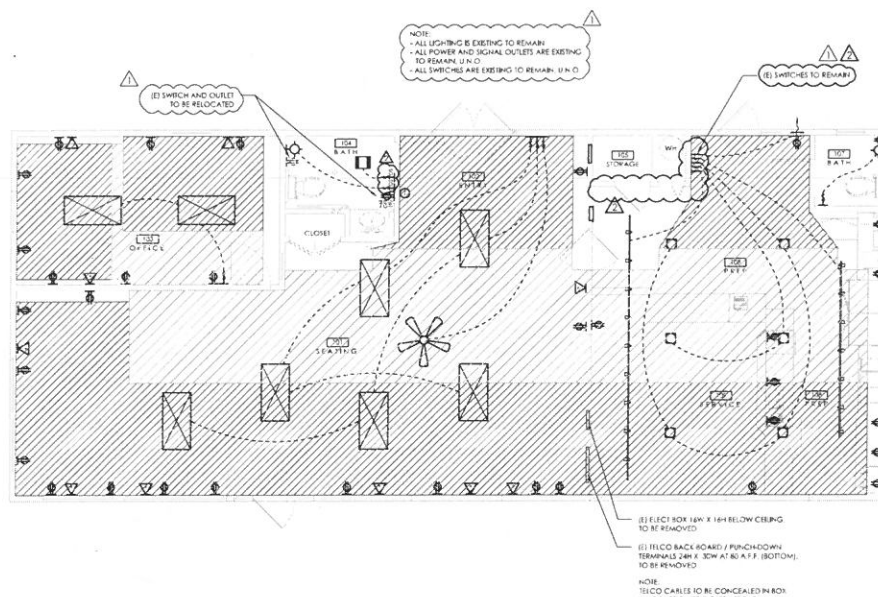
AUTOMATIC FIRE SPRINKLER SYSTEM TO BE APPROVED UNDER SEPARATE PERMIT

GREEN BUILDING

- G1. SEE GS1 FOR CAL GREEN MANDATORY REQUIREMENTS

ELECTRICAL LEGEND

	DUPLEX OUTLET		LIGHTING TRACK
	DUPLEX OUTLET IN FLOOR		BATHROOM FAN / LIGHT COMBINATION
	220V OUTLET		100 CFM EXHAUST FAN ON VARIABLE TIMER SWITCH
	SWITCH		GAS OUTLET
	3-WAY SWITCH		GARBAGE DISPOSAL
	DIMMER		THERMOSTAT
	MANUAL-ON OCCUPANCY SENSOR		GAS METER
	DATA RECEPTACLE		SUBPANEL
	WALL MOUNTED FIXTURE		ELECTRIC METER
	CEILING MOUNTED FIXTURE		
	PENDANT FIXTURE		
	PENDANT FIXTURE WITH FAN		
	RECESSED FIXTURE		
	2' x 4' FLUORESCENT LIGHT FIXTURE RECESSED IN DROPPED CEILING		PRIMARY DAYLIGHT ZONE
			SECONDARY DAYLIGHT ZONE



ELECTRICAL
SCALE: 1/8" = 1'-0"