

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 161327

APN: 083-212-11

Proposal to recognize an approximately 1200 square foot 2 story addition to an existing single family dwelling to include a garage at the lower floor and two bedrooms at the second floor.

Requires a Minor Exception to reduce the required 10 foot side yard setback to 9 feet. Property located on the north side of Ivy Way in Boulder Creek (104 Ivy Way).

OWNER: Robert Serrano

APPLICANT: Hogan Land Services

SUPERVISORIAL DISTRICT: 5

PLANNER: Nathan MacBeth (831) 454-3118

EMAIL: nathan.macbeth@santacruzcounty.us

Public comments must be received by 5:00 p.m. August 18, 2017.

A decision will be made on or shortly after August 21, 2017.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

For more information, call the project planner identified above.

LANDS OF SERRANO GARAGE/ADDITION 104 IVY WY. BOULDER CREEK APN: 083-212-11

LEGEND

	RECORD BOUNDARY LINE
	RECORD ADJOINING BOUNDARY LINE
	BASIS OF BEARING
	EDGE OF CONCRETE
	EDGE OF BUILDING
	6' WOOD FENCE
	6' WIRE FENCE
	CONCRETE SURFACE
	WOOD DECKING

SYMBOLS

	FOUND 1/2" IRON PIPE
	RCE 18927 UNLESS OTHERWISE NOTED
	SPOT ELEVATION

ABBREVIATIONS

CC	CONCRETE
FN	FENCE
DCK	DECK
RTWL CC	RETAINING WALL CONCRETE
ROCK WALL	ROCK WALL
CP	CONTROL POINT
RD	REDWOOD
FD	FOUND
PL	PROPERTY LINE
CC DRV	CONCRETE DRIVEWAY
CC STR	CONCRETE STAIRS
DCK STR	DECK STAIRS
DCK C	DECK CORNER
DCK AP	DECK ANGLE POINT
TBM	TEMPORARY BENCHMARK
FN WR	FENCE WIRE
BC EFT	BUILDING CORNER EXCLUDE FROM TIN
SCRN PTO C	SCREEN PATIO EXCLUDE FROM TIN
DCK AP EFT	DECK ANGLE POINT EXCLUDE FROM TIN
WD FN E/WR B	WOOD FENCE END/ WIRE FENCE BEGINNING
SCRN PTO C	SCREEN PATIO EXCLUDE FROM TIN
DCK C EFT	DECK CORNER EXCLUDE FROM TIN

AREA CALCULATIONS

LOT SIZE	9,720 S.F.
HOUSE	
FIRST FLOOR (HABITABLE)	898 S.F.
SECOND FLOOR (HABITABLE)	898 S.F.
GARAGE/ADDITION	
FIRST FLOOR (NONHABITABLE)	569 S.F.
SECOND FLOOR (HABITABLE)	650 S.F.
TOTAL HABITABLE	2,442 S.F.
LOT COVERAGE	1546 / 9720 = 15.9%
FLOOR AREA RATIO	2442 / 9720 = 25.1%

UNAUTHORIZED CHANGES AND USES:

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

JOB SITE CONDITIONS:

Consent contractor agrees that in accordance with generally accepted construction practices, the contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property, that this requirement shall apply continuously and not be limited to normal working hours, and contractor further agrees to defend, indemnify, and hold design professional harmless from any and all liability, real or alleged, in connection with performance of work on this project, excepting liability arising from the sole negligence of the design professional.

ACEC
AMERICAN COUNCIL OF ENGINEERING COMPANIES
California

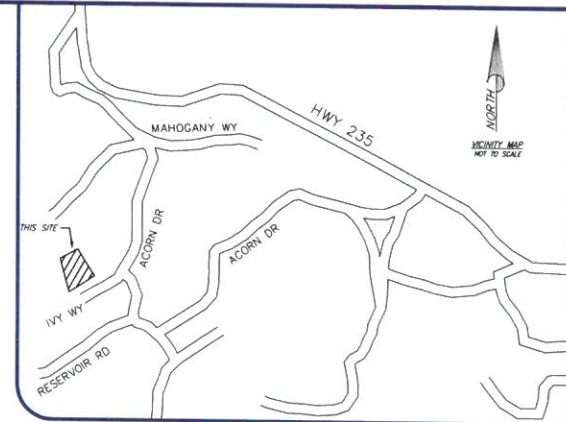


GRAPHIC SCALE



ZONING INFORMATION

ASSESSOR'S PARCEL NO.	083-212-11
ZONING	R-1-15
	SINGLE FAMILY RESIDENTIAL
LOT SIZE	9720
FRONT YARD SETBACK	20
SIDE YARD SETBACK	10 & 10
REAR YARD SETBACK	15
MAX. BUILDING HEIGHT	28
MIN. FRONTAGE	60
MIN. PARCEL WIDTH	60
MAX. PARCEL COVERAGE	40%
MAX. FLOOR AREA RATIO	50%
MAX. NUMBER OF STORIES	2



SHEET INDEX

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PROJECT INFORMATION

PROJECT STATEMENT:

PROPERTY OWNERS:
ROBERT SERRANO
104 IVY WY.
BOULDER CREEK, CA 95006
(817) 385-7823

DESIGNER INFORMATION-CIVIL
HOGAN LAND SERVICES
402 ESTATES DR. STE. 100A
APTOS, CA 95003
(831) 425-1817

TOPOGRAPHIC INFORMATION PROVIDED BY:
FIELD SURVEY - JUNE 2018
HOGAN LAND SERVICES

PROJECT DATUM & BENCHMARK:

- THIS MAP DOES NOT CONSTITUTE A BOUNDARY SURVEY. BOUNDARY INFORMATION SHOWN IS PER RECORD DATA ONLY.
- HORIZONTAL CONTROL:
BASIS OF BEARINGS IS ASSUMED PER RECORD DATA
- VERTICAL CONTROL:
ELEVATION DATUM IS ASSUMED TO BE 100.00 AT TEMPORARY BENCHMARK SHOWN.

REVISION BLOCK

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TITLE SHEET

104 IVY WY
BOULDER CREEK, CALIFORNIA

C0 of 11

HOGAN LAND SERVICES
A CALIFORNIA CORPORATION
602 Estrella Ave. Suite 100A
Aptos, CA 95024
Tel (831) 425-1817
www.hoganland.com

THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF ROBERT SERRANO IN JUNE OF 2016.
DATE: 07/07/18
JOB #: 18151
MICHAEL R. HOGAN PLS 2352 EX 12/01/16

1. THE PERMITEE AND THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE WORK TO BE PERFORMED IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND ANY PERMIT CONDITIONS. WORK SHALL BE SUBJECT TO INSPECTION AS REQUIRED BY THE PERMIT AGENCY, TO VERIFY COMPLIANCE. THE CONTRACTOR SHALL CONSULT THE PROJECT JOB CARD FOR COORDINATION OF INSPECTION REQUESTS.

- ### GRADING & DRAINAGE NOTES

- PERFORM GRADING AND DRAINAGE IMPROVEMENTS IN ACCORDANCE WITH THE SANTA CRUZ COUNTY CODE (SCCC), APPLICABLE SANTA CRUZ COUNTY REGULATIONS & SANTA CRUZ COUNTY ORDINANCES & PROJECT GEOLOGICAL.**
- 2. ALL WORK MUST BE DONE IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXISTENCE OF RECORD DRAWINGS, DISCREPANCIES, ERRORS, OR OMISSIONS IN THE PLANS, PRIOR TO PROCEEDING. UPON DISCOVERING ANY DISCREPANCY, ERROR, OR OMISSION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE APPROVED PLANS AND SPECIFICATIONS SHEET NUMBER IDENTIFIED DISCREPANCIES, ERRORS, OR OMISSIONS, TO THE SANTA CRUZ COUNTY PLANNING DEPARTMENT. UNAPPROVED MODIFICATIONS TO THE APPROVED PLANS AND SPECIFICATIONS WILL BE CONSIDERED A VIOLATION OF AUTHORITY IN WRITING, TOGETHER WITH ALL NECESSARY TECHNICAL INFORMATION AND DESIGN DETAILS.**
- 3. THE GRADING/DRAINAGE PERMIT AND AN APPROVED COPY OF THE GRADING/ DRAINAGE PLANS SHALL BE MAINTAINED ON THE PROJECT SITE THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.**
- 4. SANTA CRUZ COUNTY PLANNING DEPARTMENT MAY ORDER THAT ANY WORK STOP IMMEDIATELY IF IT IS DETERMINED THAT THE GRADING/DRAINAGE PERMIT DOES NOT COMPLY WITH THE PLANS AND SPECIFICATIONS, PERMIT CONDITIONS, OR ANY WORK THAT HAS BECOME HAZARDOUS TO PROPERTY OF SANTA CRUZ COUNTY PLANNING DEPARTMENT. GRADING/DRAINAGE PERMIT MAY BE SUSPENDED, REVOKED, OR MODIFIED BY SANTA CRUZ COUNTY PLANNING DEPARTMENT.**
- 5. ISSUANCE OF A GRADING/DRAINAGE PERMIT BY SANTA CRUZ COUNTY PLANNING DEPARTMENT DOES NOT ELIMINATE THE RESPONSIBILITY OF THE OWNER TO SECURE PERMITS FROM OTHER AGENCIES OR TO OBTAIN STATE APPROVAL. FAILURE TO OBTAIN ALL REQUIRED PERMITS MAY RESULT IN FINES FROM THE RESPECTIVE AGENCY.**
- 6. ISSUANCE OF A PERMIT BY AGENCY TO CONSTRUCT A DAM OR A RESERVOIR DOES NOT ELIMINATE THE RESPONSIBILITY OF THE OWNER TO SECURE PERMITS FROM OTHER AGENCIES WITH REGULATORY JURISDICTION OVER THE PROJECT. FAILURE TO OBTAIN OTHER PERMITS MAY RESULT IN FINES FROM THE RESPECTIVE AGENCY.**
- 7. EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE AND LOCATED THROUGHOUT THIS SITE SHALL REMAIN OPEN AND CLEAR OF OBSTACLES TO PROPERLY CONVEY STORM WATER. IF EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE ARE LOCATED IN THE COUNTY RIGHT-OF-WAY AND NEED MAINTENANCE, CONTACT THE COUNTY ENGINEER OF RECORD AT (831) 406-2180 FOR FURTHER ASSISTANCE. IN ANY EVENT, THE OWNER AND/OR CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO DISRUPTING NATURAL DRAINAGE PATTERNS.**
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UNDERGROUND SERVICE ALERTS (U.S.A.), TOLL FREE AT 1-800-462-2444, AT LEAST TWO WORKING DAYS BUT NOT MORE THAN 14 CALENDAR DAYS BEFORE ANY EXCAVATING WORKS. IF UNEXPECTED OR CONFLICTING UTILITIES ARE ENCOUNTERED DURING EXCAVATION, STOP WORK IMMEDIATELY AND NOTIFY THE COUNTY ENGINEER OF RECORD. IF NECESSARY, UTILITIES INCLUDE BUT ARE NOT LIMITED TO WATER, GAS, ELECTRIC, CABLE TELEPHONE, AND CABLETV. IF PRACTICAL, THE OPERATOR SHALL DELINEATE WITH WHITE PAINT OR**

9. IN THE EVENT CULTURAL RESOURCES (I.E., HISTORICAL, ARCHAEOLOGICAL RESOURCES, AND HUMAN REMAINS) ARE DISCOVERED DURING GRADING OR OTHER CONSTRUCTION ACTIVITIES, WORK SHALL IMMEDIATELY BE HALTED WITHIN THE VICINITY OF THE FIND. THE COUNTY PLANNING DEPARTMENT SHALL BE NOTIFIED AT (831) 454-2580. A QUALIFIED ARCHEOLOGIST SHALL BE CONSULTED FOR AN ON-SITE EVALUATION. ADDITIONAL MITIGATION MAY BE REQUIRED BY THE COUNTY PER THE ARCHEOLOGIST'S RECOMMENDATIONS AND SCCC 18.60. IF HUMAN REMAINS ARE ENCOUNTERED, THE CONTRACTOR SHALL ALSO NOTIFY THE COUNTY CORNER AT (831) 454-7790.

- [illegible]

1. PLASTIC TREE PROTECTION FENCING SHOULD BE INSTALLED AT THE DMP LINES OF TREES TO REMAIN IN CONSTRUCTION ZONE (ON THE OUTER EDGE OF THE DMP LINE OF GROUPS OF TREES) IF ACCESS TO THE DMP LINE IS REQUIRED. FENCING SHOULD BE INSTALLED PRIOR TO THE START OF CLEARING OR GRADING OPERATIONS, AND KEPT IN PLACE THROUGHOUT CONSTRUCTION ACTIVITIES.
2. WHEN PREPARING FOR CLEARANCE IS REQUIRED ON A LOT TO REMAIN, IT SHOULD BE DONE BY CONTRACTORS UNLOADED TREE TRUNKS AND BRANCHES PRIOR TO CONSTRUCTION. PREPARING SHOULD BE THE MINIMUM NECESSARY FOR HAZARD REDUCTION, I.E., THE REMOVAL OF DEADWOOD 2" AND LARGER, ETC) AND CLEARANCE.
3. IF ANY ROOTS LARGER THAN 1" ARE ENCOUNTERED, FOR TREES TO BE SAVED, THEY SHOULD BE CUT CLEANLY ACROSS THE FACE OF THE ROOT WITH A SHARP SAW. ROOTS SHALL BE KEPT MOIST WHILE EXPOSED.
4. WOOD CHIP MULCH GENERATED FROM PRUNING AND REMOVALS SHOULD BE SPREAD UNDER REMAINING TREES OR USE AS PERMANENT TOP DRESSING AND MULCH.
5. NO PARKING, OPERATION OF EQUIPMENT, STORAGE OF MATERIALS, DISPOSAL, OF WASTE OR OTHER CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN DMP LINES OF PROTECTED TREES.
6. OWNERS SHALL BE RESPONSIBLE FOR CONSULTING WITH ARBORIST REGARDING CONSTRUCTION IMPACTS ON EXISTING TREES.

GENE

1. PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH THE SONOMA COUNTY CODE (SCCC) & THE STATE ISSUED GENERAL CONSTRUCTION PRACTICE SPECIFICATIONS (SDSPP) OVER 1 ACRE DISTURBED.
2. THE APPROVED PLANS SHALL CONFORM WITH THE SANTA CRUZ COUNTY PLANNING DEPARTMENT EROSION PREVENTION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMP)'S GUIDO AS WELL AS THE STATE'S BEST MANAGEMENT PRACTICES. REFER TO THE CSGA CONSTRUCTION HANDBOOK FOR ADDITIONAL BMP INFORMATION AND DETAILS.
3. THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. WORK SITES WITH INADEQUATE EROSION AND SEDIMENT CONTROL MAY BE SUBJECT TO A STOP WORK ORDER.
4. IF DISCREPANCIES OCCUR BETWEEN THESE NOTES, MATERIAL REFERENCED HEREIN OR MANUFACTURER'S RECOMMENDATIONS, THEN THE MOST PROTECTIVE SHALL APPLY.
5. AT ALL TIMES THE OWNER IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE STATE OF CALIFORNIA NATIONAL POLLUTANT DISCHARGE ELIMINATION ACT (NPDES) PERMITTING REQUIREMENTS FOR DISCHARGES OF STORM WATER POLLUTANT ASSOCIATED WITH DRAINAGE ACTIVITY. COMPLIANCE WITH NPDES REQUIREMENTS DOES NOT LIMIT LIABILITY TO CLEANING, CLOSING, EVACUATION, STOPPING, AND RECONSTRUCTION OF EXISTING FACILITIES INVOLVING REMOVAL AND REPLACEMENT.
6. THE LEGALLY RESPONSIBLE PERSON (LRP) IS RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE CONSTRUCTION POLLUTION PREVENTION (PPP) ACT. THIS INCLUDES BUT IS NOT LIMITED TO INSTALLATION OF EROSION PREVENTION AND SEDIMENT PREVENTION MEASURES AND ADHERING TO THE PROVISIONS OF ONSITE BMPS COMPLIANCE WITH STATE REGULATIONS. THE LRP SHALL BE RESPONSIBLE FOR INSPECTIONS. THESE INSPECTIONS SHOULD BE REQUESTED OF HOGAN LAND SERVICES (PROJECT NUMBER 2016-0001) PRIOR TO THE START OF CONSTRUCTION. THE LRP SHALL BE ADVISED BY HOGAN LAND SERVICES (PROJECT NUMBER 2016-0001) A MINIMUM OF 48 HOURS PRIOR TO SCHEDULED INSPECTION.
7. THE LRP IS RESPONSIBLE FOR MAINTAINING CONSTRUCTION OPERATIONS WITHIN THE LIMITS OF AGENCY REGULATIONS AND ANY OTHER APPLICABLE REGULATIONS.

RAINY SEASON OPERATIONS

- THE OWNER MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 15 - APRIL 15). ANY EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT ARE NOT PERMITTED DURING THE RAINY SEASON MUST BE INSTALLED BEFORE GRADING AND DRAINAGE IMPROVEMENTS SHALL BE PERFORMED IN COMPLIANCE WITH SANTA OLGA COUNTY CODE (SCCC) STORM WATER BMPs. THESE BMPs MUST BE DETAILED AND MONITORED BY A QUALIFIED EROSION MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED AND FUNCTIONAL ON THE SITE AT ALL TIMES.
- THE AREA OF LAND AT RISK FOR EROSION AT ANY ONE TIME DURING THE RAINY SEASON SHALL NOT EXCEED 10% OF THE TOTAL DISTURBED AREA. THE DISTURBED AREA SHALL BE LIMITED TO THE MINIMUM EXTENT PRACTICABLE AREAS THAT ARE NOT BEING ACTIVELY WORKED ON SHALL HAVE BMPs INSTALLED UNTIL CONSTRUCTION IN THE AREA RESUMES.
- EXPLOSIVE SHOT DRILLING AND DRAINAGE IMPROVEMENTS AND INITIAL LAND PREPARATION WORK FOR THE EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE COMPLETED BY OCTOBER 15, 2013 AND ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE COMPLETED.

YEAR ROUND REQUIREMENTS

1. DURING THE NON-RAIN SEASONS ON ANY DAY WHEN THE NATIONAL WEATHER SERVICE FORECAST IS ISSUING A CHANCE OF RAIN OF 30% OR GREATER WITHIN THE NEXT 24 HOURS, THE BUREAU WATER BARRIAGE SHALL BE MAINTAINED. THE BARRIAGE SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING: REFERENCED OR DETAILED IN AGENT'S BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED. THE BARRIAGE FUNCTION SHALL BE MAINTAINED TO PREVENT THE RELEASE OF ANY POLLUTANT RESOURCES. AT ALL OTHER TIMES, BARRIAGE SHOULD BE STORED ON SITE IN AN APPROPRIATE STORAGE INSTALLATION PRIOR TO RAIN EVENTS.
2. EROSION PREVENTION AND SEGMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE EACH RAIN EVENT. INSPECTIONS SHALL BE CONDUCTED TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. EROSION PREVENTION AND SEGMENT CONTROL MEASURES THAT ARE DAMAGED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPAIRED TO CSQA STANDARDS.
3. EROSION PREVENTION AND SEGMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
4. THE LIMITS OF GRADING SHALL BE DEFINED AND MARKED ON SITE TO PREVENT DAMAGE TO SURROUNDING VEGETATION. PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE. EXISTING VEGETATION WITHIN THE LIMITS OF GRADING THAT HAVE BEEN UNDISTURBED BY THE WORK SHALL BE IDENTIFIED AND PROTECTED FROM DAMAGE BY MARKING AND PROTECTING OTHER MEASURES.
5. CHANGES TO THE EROSION PREVENTION AND SEGMENT CONTROL PLAN SHALL BE MADE TO RESPOND TO FIELD CONDITIONS AND SHALL BE NOTED ON THE PLAN.
6. DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SEDIMENT, DUST, NUTRIENTS, PATHOGENS, PETROLEUM HYDROCARBONS, METALS, PESTICIDES, FERTILIZERS, ASPHALT, PAINTS, OILS, FUELS, AND OTHER POLLUTANTS. POTENTIAL POLLUTANTS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER, AND DEBRIS SHALL BE PREVENTED FROM ENTERING THE RECEIVING WATER BODY.

6. ENTRANCES TO THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE COUNTY RIGHT-OF-WAY SUCH AS ROADS AND SIDEWALKS, SHALL BE IMMEDIATELY REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING CONSTRUCTION VEHICLES LEAVING THE SITE. ALL SEDIMENT DEPOSITED ON PAVED ROADSWAYS SHALL BE REMOVED FROM BEFORE RELEASED OR TRACKED OFFSITE. ALL SEDIMENT DEPOSITED ON PAVED ROADSWAYS SHALL BE REMOVED AT THE END OF EACH WORKING DAY OR MORE OFTEN AS NECESSARY.
7. ALL DISTURBED AREAS SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE EXTENT POSSIBLE. THESE MEASURES SHALL INCLUDE STABILIZING VEGETATION, STRAW MULCH, GEOTEXTILES, PLASTIC COVERINGS, BLANKETS OR MATS. TEMPORARY OR PERMANENT EROSION CONTROL SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER VEGETATION REMOVAL, BUT ALL CASES PRIOR TO DISTURBANCE. EROSION CONTROL MEASURES LOCATED NEAR LOCATED AREAS SHALL BE STABILIZED AND RE-VEGETATED TO 70% COVER ON LANDSCAPING SHALL BE INSTALLED.
8. WHENEVER IT IS NOT POSSIBLE TO USE EROSION PREVENTION MEASURES ON EXPOSED SLOPES, PREVENT SEDIMENT MIGRATION, FIBER ROLLS AND SODS, FENCE SHALL BE INSTALLED TO THE TOP OF THE SLOPE AND INSTALLED ON CONTIGUOUS SLOPES. FENCE SHALL BE INSTALLED APPROXIMATELY 2' FROM THE TOE OF THE SLOPE.
9. HYDROSEEDING SHALL BE CONDUCTED IN A THREE STEP PROCESS. FIRST, EVERY 1' EVERY 1" SEED AND FERTILIZER TO THE EXPOSED SLOPE. SECOND, EVERY 4' EVERY 1" MULCH OVER THE SEED AND FERTILIZER. THIRD, STABILIZE THE MULCH IN PLACE, AN EQUIVALENT SINGLE STEP PROCESS, WITH SEED, FERTILIZER, MULCH AND FERTILIZER.

APPLICATIONS SHALL BE BROADCASTED MECHANICALLY OR MANUALLY AT THE RATES SPECIFIED BELOW. SEED MIX AND FERTILIZER SHALL BE WORKED INTO THE SOIL BY ROLLING OR TAMPING. IF STRAW IS USED AS MULCH, STRAW SHALL BE DERIVED FROM WHEAT, RICE, OR BARLEY AND BE APPROXIMATELY 6 TO 8 INCHES IN LENGTH. STABILIZATION OF MULCH SHALL BE DONE HYDRAULICALLY BY APPLYING AN EMULSION OR MECHANICALLY BY CRIMPING OR PUNCHING THE MULCH INTO THE SOIL. EQUIVALENT METHODS AND MATERIALS MAY BE USED ONLY IF THEY ADEQUATELY PROMOTE VEGETATION GROWTH AND PROTECT EXPOSED SLOPES.

MATERIALS	APPLICATION RATE (POUNDS PER ACRE)
SEED MIX	
BROMUS HOLDS (BLANDO BROME)	40
TRIPLOLEM HYRNUM (HYDRO ROSE CLOVER)	20
FERTILIZER	
16-20-0 & 15% SULPHUR	500
MULCH	
STRAW	4000
HYDRAULIC STABILIZER*	
W-SHEDDER OR SCHEDEL	75-100
EQUIVALENT MATERIAL	PER MANUFACTURER
*NON-ASPHALTIC DERIVED FROM PLANTS	

1. DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION.
2. STORM DRAIN ALIETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS UNTIL DRAINAGE CONNECTION SYSTEMS ARE FUNCTIONAL AND CONSTRUCTION HAS BEEN COMPLETED.
3. ENERGY DISSIPATORS SHALL BE INSTALLED AT STORM DRAIN OUTLETS WHICH MAY CONVEY ERODING STORM WATER FLOW.
4. SOIL, MATERIAL STOCKPILES, AND FERTILIZING MATERIAL SHALL BE PROPERLY PROTECTED TO MINIMIZE SEDIMENT AND POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE.
5. SOLID WASTE, SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS SHALL BE PLACED IN SOLID WASTE COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEARED OF SOLID WASTE IMMEDIATELY AFTER EACH REGULAR WORKING AND PROPER DISPOSAL SHALL BE COORDINATED BY THE CONTRACTOR.
6. A CONCRETE WASHOUT AREA, SUCH AS A TEMPORARY PIT, SHALL BE DESIGNATED TO ALLOW TO EXTERIOR CONCRETE SURFACES AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS AND WASTE BE CLEARED TO EXISTING CEMENTATION SURFACES OR STORM DRAINAGE. NO RESIDUE OF CONCRETE, MORTAR MIXERS, OR TRUCKS SHALL BE ALLOWED ON ROAD.
7. PROPER APPLICATION, CLEANING, AND STORAGE OF POTENTIALLY HAZARDOUS MATERIALS, SUCH AS PAINTS AND CHEMICALS, SHALL BE CONDUCTED TO PREVENT THE DISCHARGE OF POLLUTANTS.
8. TEMPORARY RESTROOMS AND SANITARY FACILITIES SHALL BE LOCATED TO PREVENT THE DISCHARGE OF POLLUTANTS.
9. APPROPRIATE VEHICLE STORAGE, FUELING, MAINTENANCE, AND CLEANING AREAS SHALL BE DESIGNATED AND MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS.

16 OF 16

THIS PLAN WAS PREPARED BY ME UNDER MY DIRECTION AT THE REQUEST OF ROBERT SERRANO IN JUNE OF 2001.

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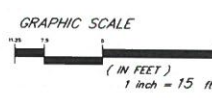
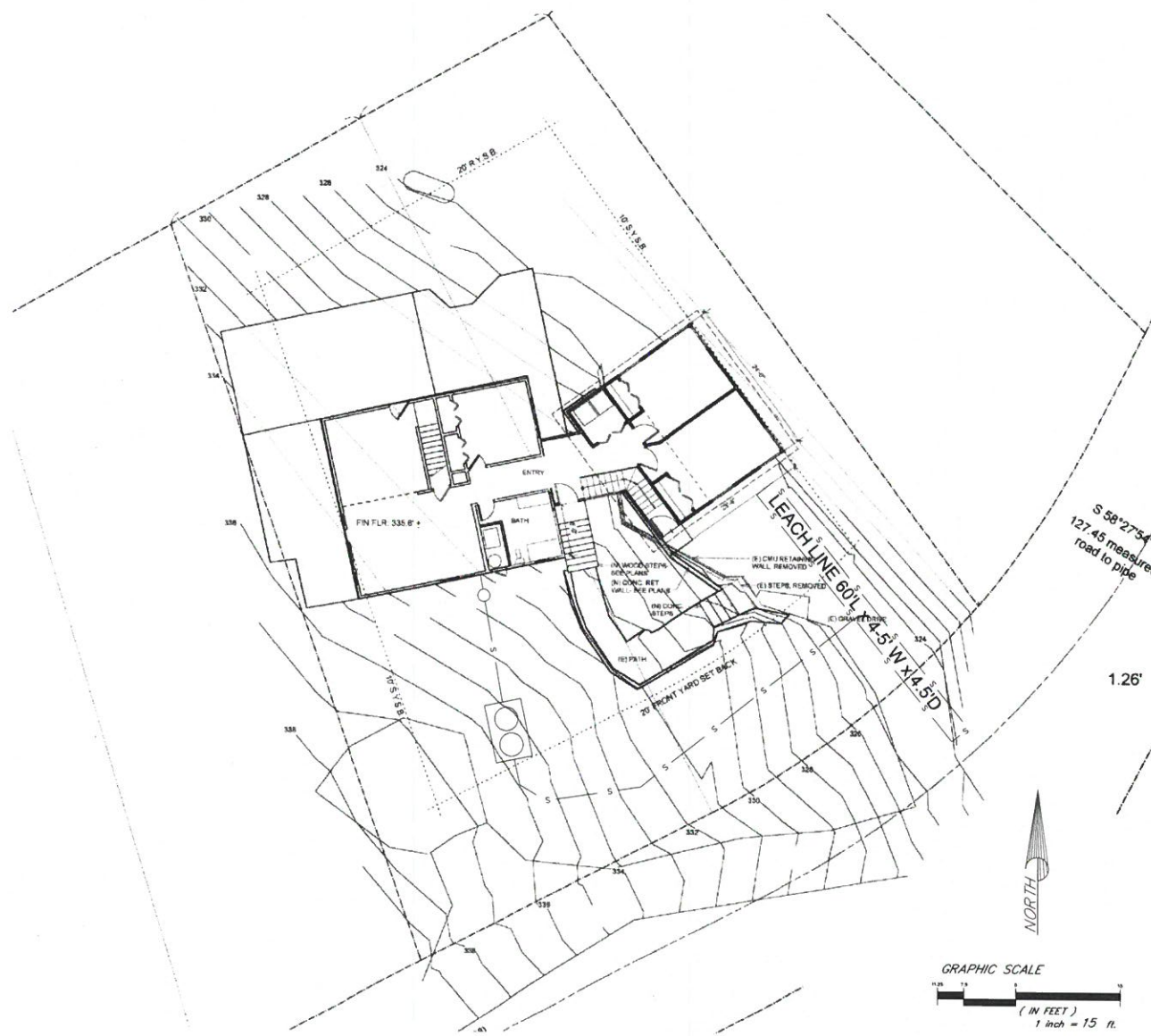
NOTES

DAI NIPPON

UNIVERSITY

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PROPOSED IMPROVEMENTS

104 IV WY
BOULDER CREEK, CALIFORNIA

APN: 083-212-11

HOGAN LAND SERVICES
A CALIFORNIA CORPORATION

802 Estrella Ave. Suite 100A
Boulder Creek, CA 95006
Tel: (831) 255-8817 Fax: (831) 255-8234
www.hoganland.com

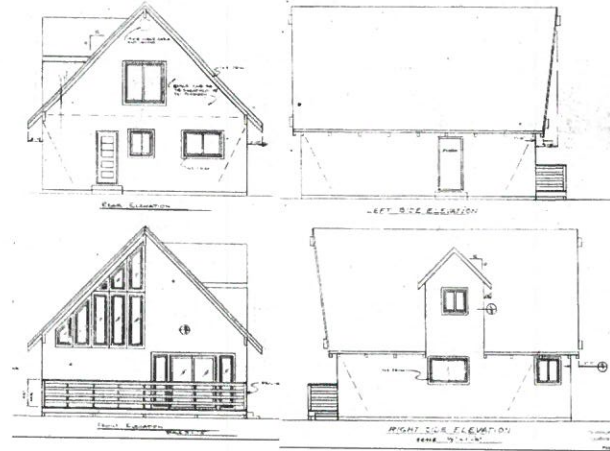
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THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF ROBERT SERRANO IN JUNE OF 2016

MICHAEL R. HOGAN PLS 2332 EX. 12/31/16

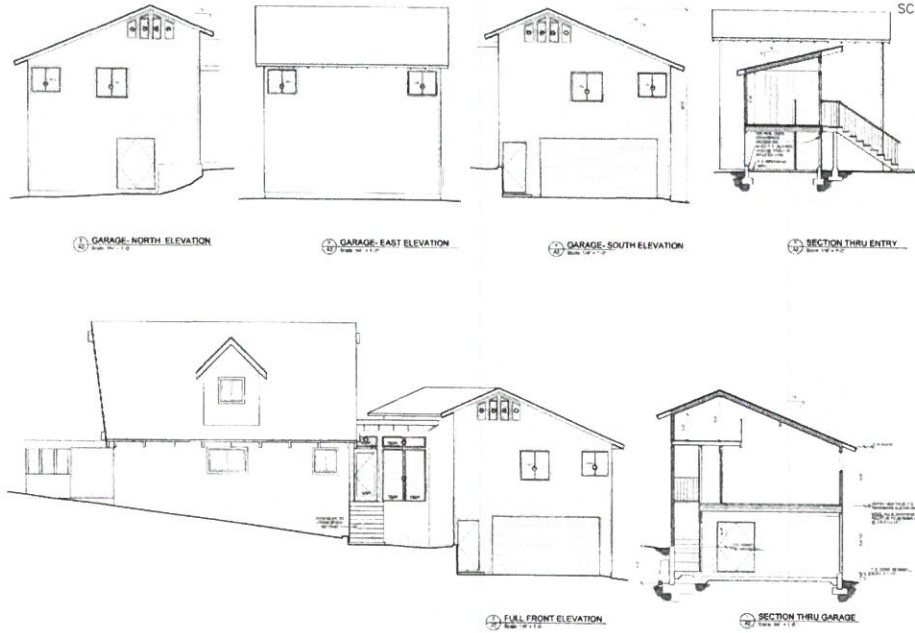
ORIGINAL IMPROVEMENTS

SCALE 1/4" = 1'-0"



GARAGE AND CONNECTING STRUCTURE

SCALE 1/4" = 1'-0"



ELEVATIONS

104 IVY WY
BOULDER CREEK, CALIFORNIA

APN: 085-212-11

HOGAN LAND SERVICES
A CALIFORNIA CORPORATION

802 Estes Ave. Suite 100A
Boulder Creek, CA 95006
Tel: (831) 455-8877
Fax: (831) 455-8224
www.hoganland.com

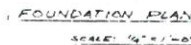
THIS PLAN WAS PREPARED BY ME OR
UNDER MY DIRECTION AT THE REQUEST OF
ROBERT SERRANO IN JUNE OF 2016

DATE	07/06/16
CHK	OTF
DES	OTF
JOB #	107151

MICHAEL R. HOGAN PLS 7132 EX 12/1/16



GARAGE AND CONNECTING
STRUCTURE
SCALE 1/4" = 1'-0"



ORIGINAL IMPROVEMENTS
SCALE 1/4" = 1'-0"

IMPORTANT TO CUSTOMER
WE WANT TO HEAR FROM YOU
OUR TRAINING COURSES ARE
FOR CONSTRUCTION SITES ONLY
HAVE AN APPROVED GROUND FLOOR
CIRCUIT.

NOTES
ALL FOUNDATION WALLS TO
BE SAME HEIGHT IF
SEPTIC TANKS ARE
ARE REQUIRED. RUM WALLS
WILL BE FURNISHED, INSTALLED
AND LEVELLED BY SUPER
REPAIRING CARPENTERS
ARRIVE.
CONC. WALLS TO BE MOURED
AND JAMING CURING ALLOWED
TO BE SET BY CARPENTERS
ARRIVE.
ALL FTGS TO BE A MIN OF
18" BELOW NATURAL GRADE
PROVIDE 2.50 FT OF FOUND-
MENTS FOR EACH 12.00
OF FOUNDATION. WILL
LOCATE ONE VENT A MAX.
OF 3'-0" FROM EACH CORNER
FINISH NUTS, BOLTS WASHERS & POET
BUSH CONNECTORS FURNISHED
BY SUPPLIER

FOUNDATION PLAN

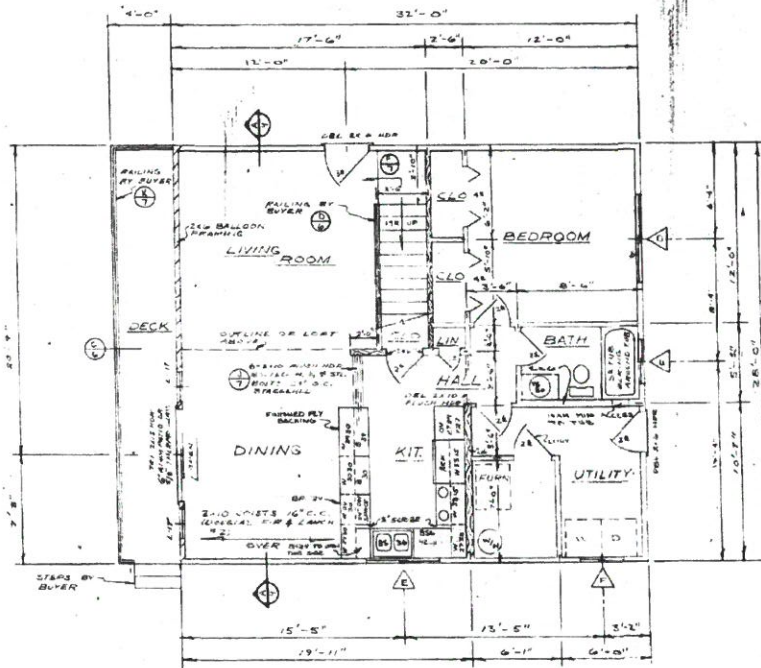
104 IVY WY
BOULDER CO

HOGAN LAND SERVICES
A CALIFORNIA CORPORATION

Fax (831) 425-0224
www.bonante.com

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NAME	D	LOCAN	DISC	TYPE	EV	12/31/14



FLOOR PLAN
SCALE 1/4" = 1'-0"

WINDOW SCHEDULE			
A	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
B	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
C	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
D	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
E	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
F	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
G	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
H	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
I	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
J	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
K	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
L	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
M	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
N	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
O	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
P	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
Q	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
R	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
S	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
T	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
U	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
V	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
W	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
X	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
Y	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.
Z	WIND SHUTTER	ALUM. CAS.	20" x 36" HIG.

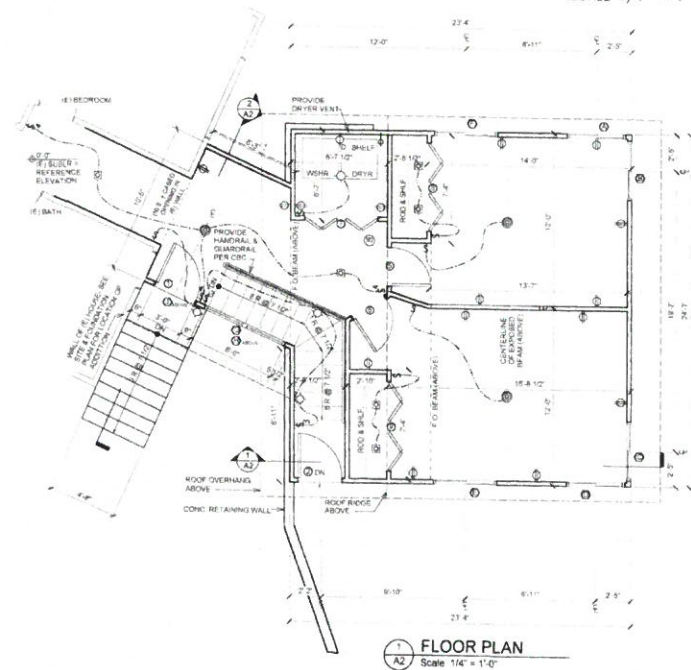
1/2" DIA. WIND BRACING AT
NEAR EVERY CORNER AND
EVERY 25' C. MIN. 3
STUD BRACING

INDICATION OF
BRACING WALL (THIS
WALL SHOULD NOT BE
MOVED)

INDICATION OF 2x6 STUD
1/2" BRACING TO THROUGHOUT

ORIGINAL IMPROVEMENTS
SCALE 1/4" = 1'-0"

GARAGE AND CONNECTING
STRUCTURE
SCALE 1/4" = 1'-0"



FLOOR PLAN
Scale 1/4" = 1'-0"

FLOOR PLAN

3
BOULDER CREEK, CALIFORNIA

HOGAN LAND SERVICES
A CALIFORNIA CORPORATION
802 E. Main Ave., Suite 100A
Boulder Creek, CA 95008
Tel: (831) 425-0224
Fax: (831) 425-0177
www.hoganland.com

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ROBERT SERRANO IN JUNE OF 2016

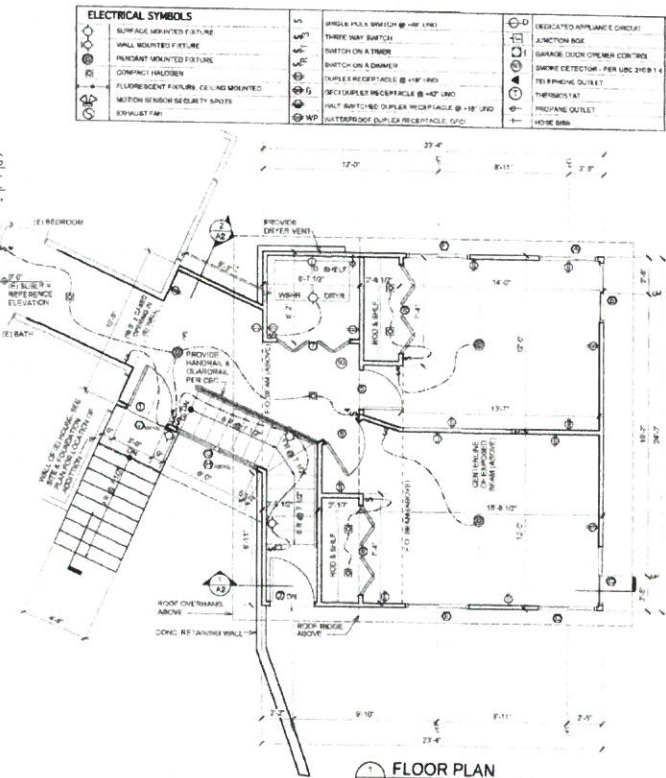
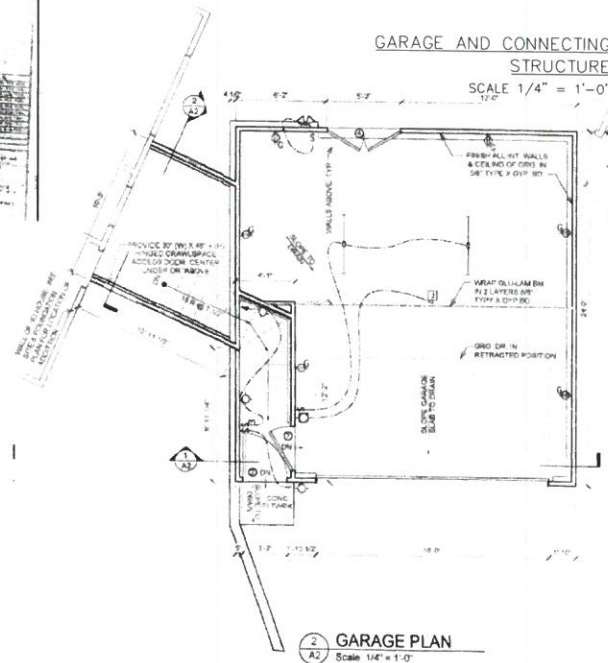
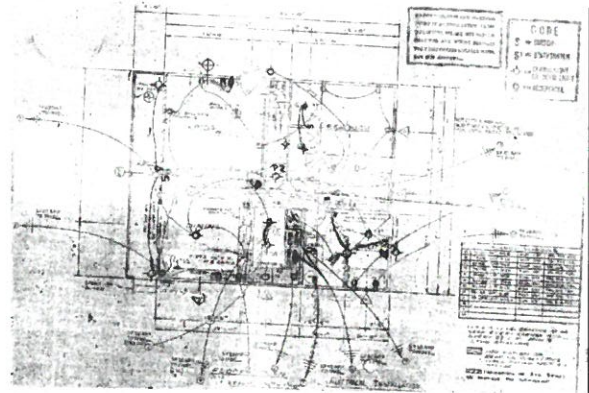
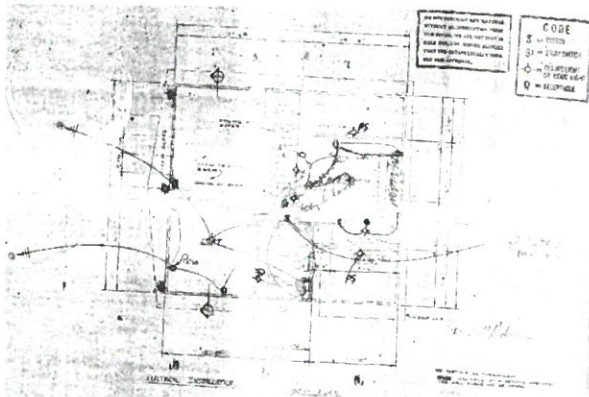
DATE: 07/28/16
JOB # 10151
MICHAEL R. HOGAN PLS 7352 EX. 12/31/16



SCALE VARIES



SCALE 1/4" = 1'-0"



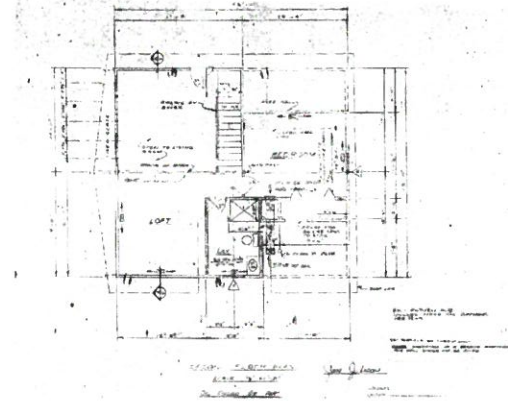
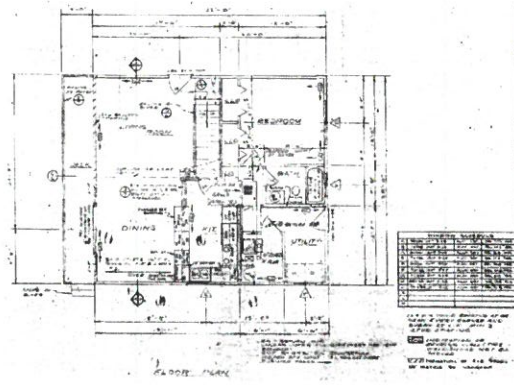
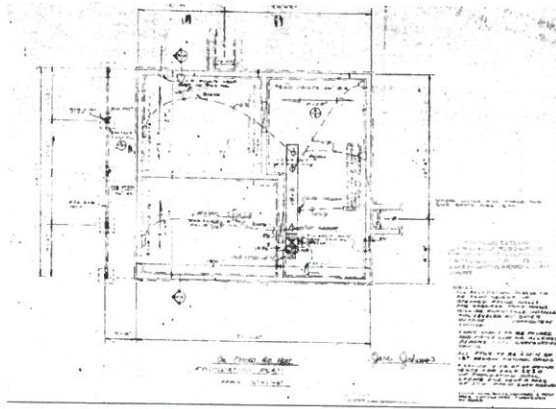
ELECTRICAL PLAN

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A CALIFORNIA CORPORATION

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DATE: 07/08/16
JOB #: H0151
MICHAEL R. HOGAN - PLS 7182 EX. 12/11/16

104 WY WY
BOULDER CREEK, CALIFORNIA
APN: 083-212-11
902 Estates Ave. Suite 100A
Boulder Creek, CA 95008
Tel: (831) 455-1617
Fax: (831) 455-1624
www.hoganland.com



ORIGINAL IMPROVEMENTS
SCALE 1/8" = 1'-0"

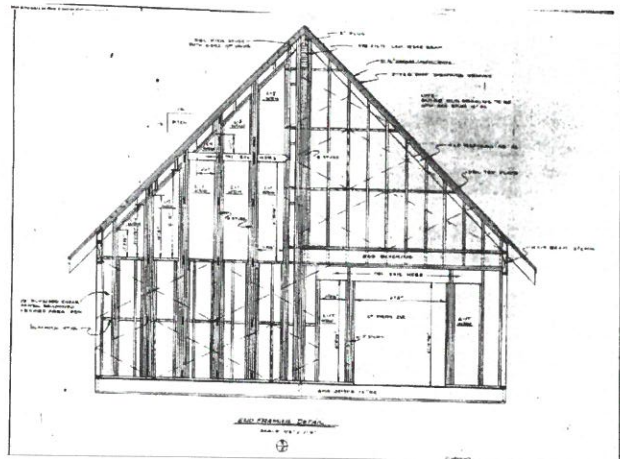
HVAC PLAN

HOGAN LAND SERVICES
A CALIFORNIA CORPORATION
802 E. 10th Ave. Suite 100A
Boulder Creek, CA 95008
Tel: (925) 255-6077
Fax: (925) 255-6074
www.hoganland.com

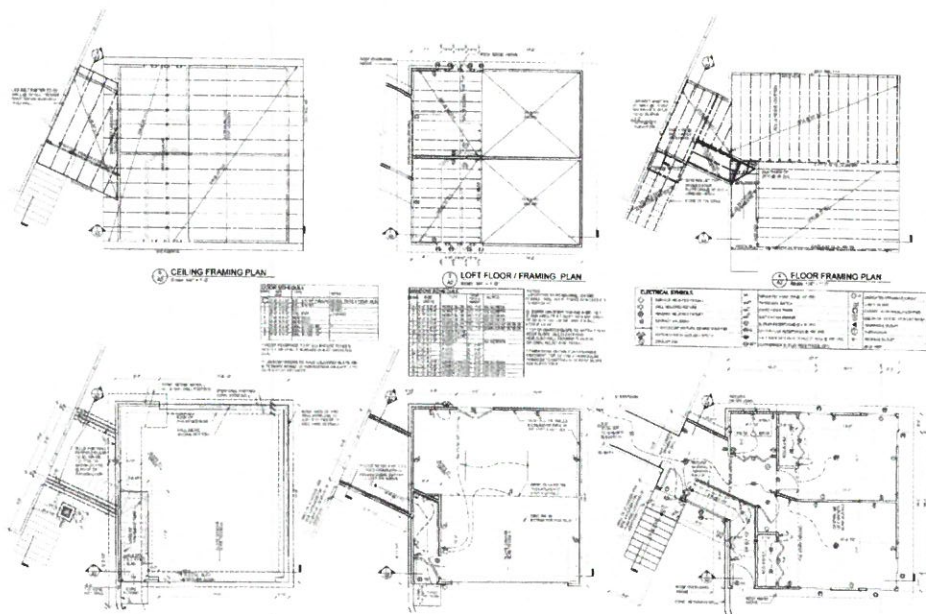
DATE: 01/08/14	CHK: JTF	DATE: 01/08/14	CHK: JTF
JOB # 10151		JOB # 10151	

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UNDER MY DIRECTION AT THE REQUEST OF
ROBERT SERRANO IN JUNE OF 2016
MICHAEL R. HOGAN PLS 7182 EX. 12/11/16

104 WY WY
BOULDER CREEK, CALIFORNIA
APN: 083-212-11



ORIGINAL IMPROVEMENTS
SCALE 1/2" = 1'-0"



GARAGE AND CONNECTING
STRUCTURE
SCALE 1/8" = 1'-0"

FRAMING PLAN

104 IVY WY
BOULDER CREEK, CALIFORNIA

APN: 083-212-11

802 Elsinore Ave, Suite 100A
Alhambra, CA 91803
Tel: (626) 455-0177

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A CALIFORNIA CORPORATION

Fax: (626) 455-0224
www.hoganland.com

DRN:	PSH
CHK:	QTE
DATE:	05/08/14
JOB #:	H0151

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MICHAEL R. HOGAN PLS 73492 EX. 12/11/16

