

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
701 Ocean Street, 4<sup>th</sup> Floor  
Santa Cruz, CA 95060  
(831) 454-2580

**NOTICE OF PENDING ACTION**

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

**APPLICATON NUMBER: 161390**

**APN: 065-092-07**

Proposal to change an existing non-conforming use to another non-conforming use with no intensification and establish a Master Occupancy Program. Project includes demolition of approximately 1,000 square feet of unpermitted building area, installation of accessibility improvements, restripe the existing parking lot, and install site landscaping. Requires an Administrative Use Permit.

Property located on the south side of Graham Hill Road at the intersection with Covered Bridge Road. (6185 Graham Hill Road)

**OWNER: Landess Trustees**

**APPLICANT: Charlie Eadie**

**SUPERVISORIAL DISTRICT: 5**

**PLANNER: Nathan MacBeth, (831) 454-3118**

**EMAIL: Nathan.MacBeth@santacruzcounty.us**

**Public comments must be received by 5:00 p.m. December 19, 2018. A decision will be made on or shortly after December 20, 2018.**

**Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.**

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

**For more information, call the project planner identified above.**

BETTY LANDESS ARCHITECT  
225 Vance Square  
Pacific Palisades, CA 90272  
310 454 4101

REVISIONS		
#	DESCP.	DATE
1	PLAN REVIEW	6/6/18

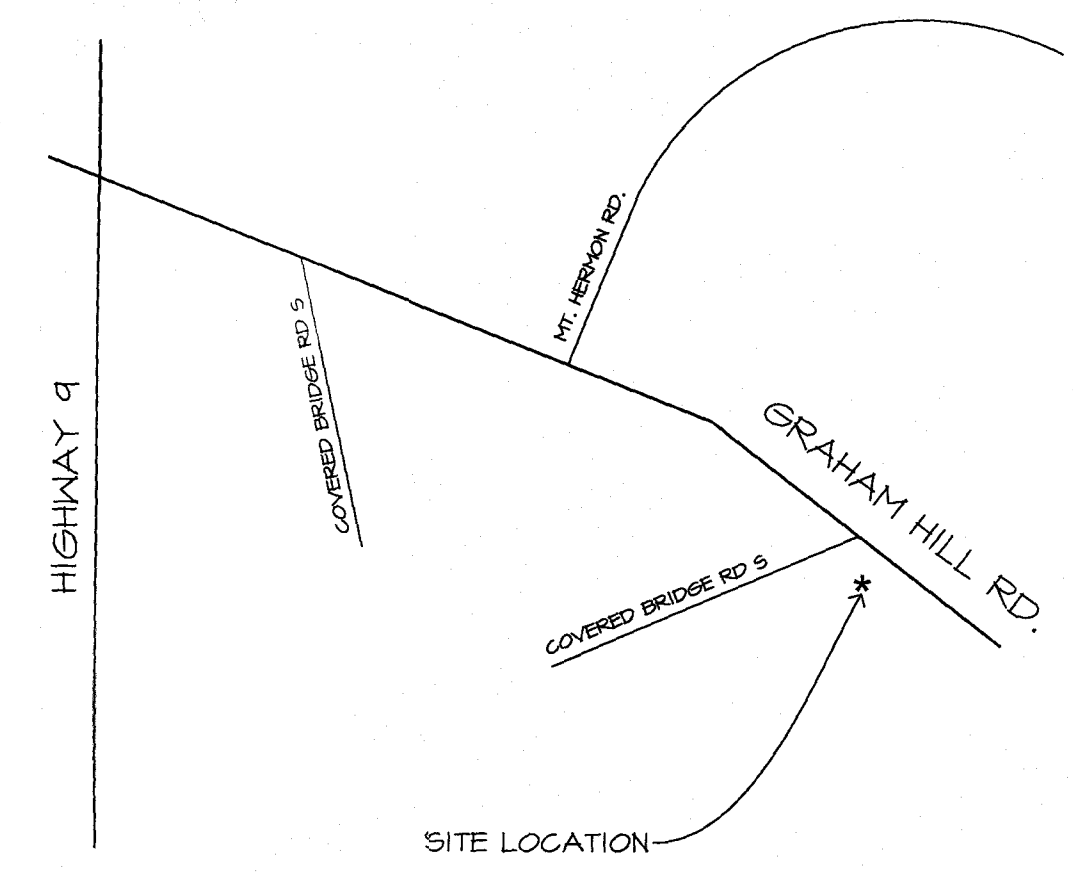
DRAWING BY:	

MASTER OCCUPANCY PERMIT  
FOR EXISTING COMMERCIAL BUILDING  
6185 GRAHAM HILL RD.  
FELTON, CA 95018  
APN 06509207

SITE PLAN / PROJECT INFORMATION

A1

SHEET#



VICINITY MAP

BETTY HANSEN LANDESS  
225 VANCE SQUARE  
PACIFIC PALISADES, CA 90272  
OWNER

PROJECT ZONING IS SU-GH  
APN# 06509207  
LOT AREA ± 12241 SF PER BALDWIN SURVEY

SITE INFORMATION

CONSTRUCTION SHALL CONFORM TO THE 2016 CALIFORNIA BUILDING CODE (CBC), 2016 CALIFORNIA FIRE CODE (CFC), 2016 CALIFORNIA ELECTRIC CODE (CEC), 2016 CALIFORNIA PLUMBING CODE (CPC), 2016 CALIFORNIA MECHANICAL CODE (CMC), 2016 CALIFORNIA ENERGY CODE, 2016 CALIFORNIA GREEN BUILDING CODE AND

GENERAL NOTES

MASTER OCCUPANCY PERMIT FOR EXISTING COMMERCIAL BUILDING  
DEMOLITION OF UNPERMITTED PARTS OF EXISTING STRUCTURE  
SLURRY COAT AND RESTRIPE EXISTING PARKING  
INSTALL NEW LANDSCAPING

PROJECT DESCRIPTION

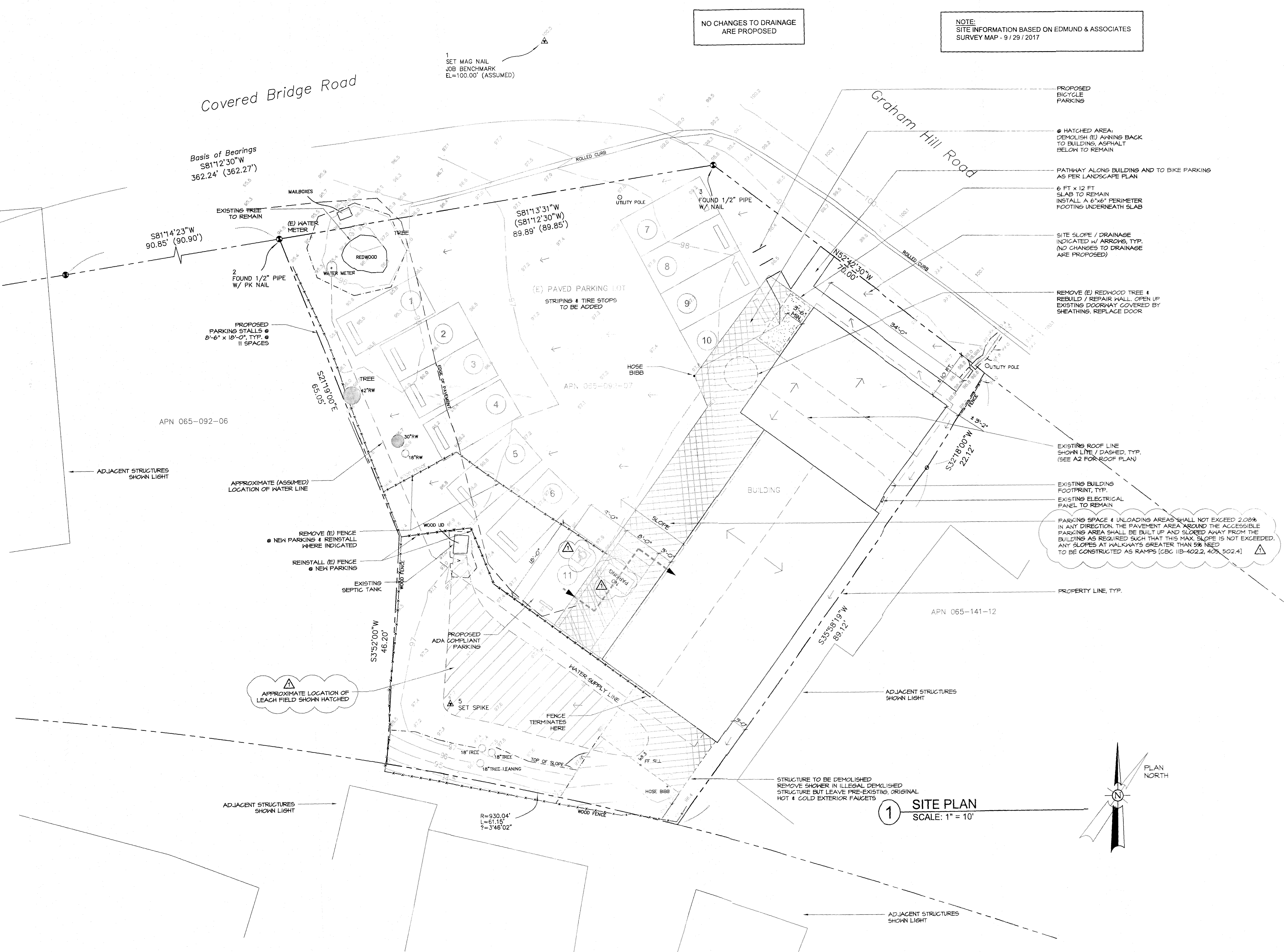
EXISTING SQUARE FOOTAGE:	
(E) BUILDING/STORE	= 3531 SF
(E) STRUCTURE (TO BE DEMOLISHED)	= 1164 SF
(E) TOTAL	= 2367 SF

PROPOSED SQUARE FOOTAGE:	
(E) BUILDING/STORE (ENCLOSED)	= 1966 SF
(E) ENCLOSED AREA CONVERTED TO COVERED PATIO	= 401 SF
TOTAL	= 2367 SF

PROJECT DATA

- A1 SITE PLAN / PROJECT DATA
- A2 EXISTING / DEMOLITION FLOOR PLAN & ROOF PLAN
- A3 EXTERIOR ELEVATIONS
- L1 TOPO / SURVEY MAP
- L2 LANDSCAPE PLAN

DRAWING INDEX



[illegible]

DRAWING BY:	A.K. 36/2018	DRAWING BY:

**A1**

SHEET#



PROJECT ZONING IS SU-GH  
APN# 06509207  
LOT AREA  $\pm$  12241 SF PER BALDWIN SURVEY

## SITE INFORMATION

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## GENERAL NOTES

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## PROJECT DESCRIPTION

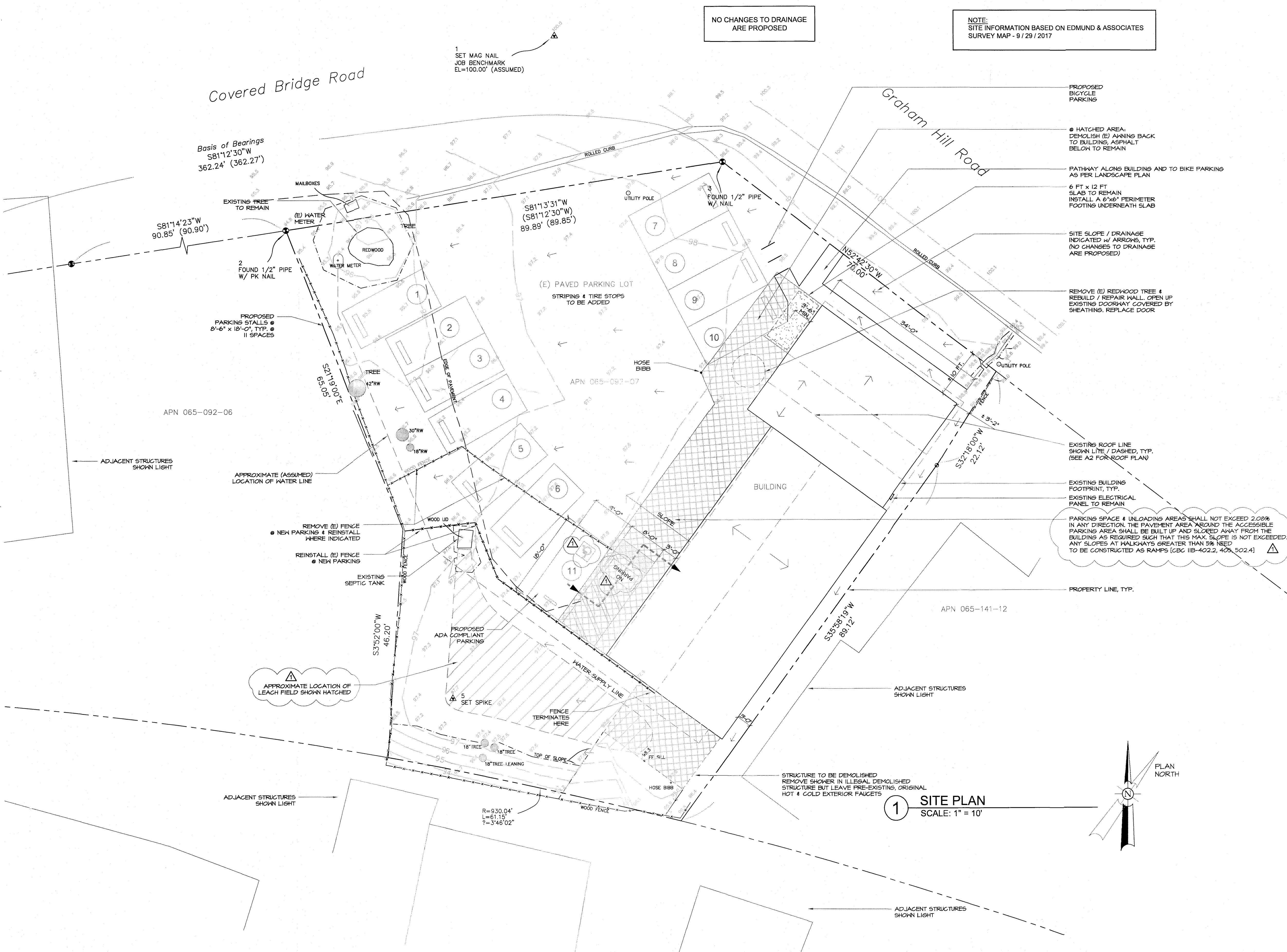
<u>EXISTING SQUARE FOOTAGE:</u>		
(E) BUILDING/STORE	=	3531 SF
(E) STRUCTURE (TO BE DEMOLISHED)	=	1164 SF
(E) TOTAL	=	2367 SF

<u>PROPOSED SQUARE FOOTAGE:</u>			
(E) BUILDING/STORE (ENCLOSED)	=		1966 SF
(E) ENCLOSED AREA CONVERTED TO COVERED PATIO	=		401 SF
<u>TOTAL</u>			<u>2367 SF</u>

## PROJECT DATA

A1	SITE PLAN / PROJECT DATA
A2	EXISTING / DEMOLITION FLOOR PLAN & ROOF PLAN
A3	EXTERIOR ELEVATIONS
	TOPO / SURVEY MAP
L1	LANDSCAPE PLAN

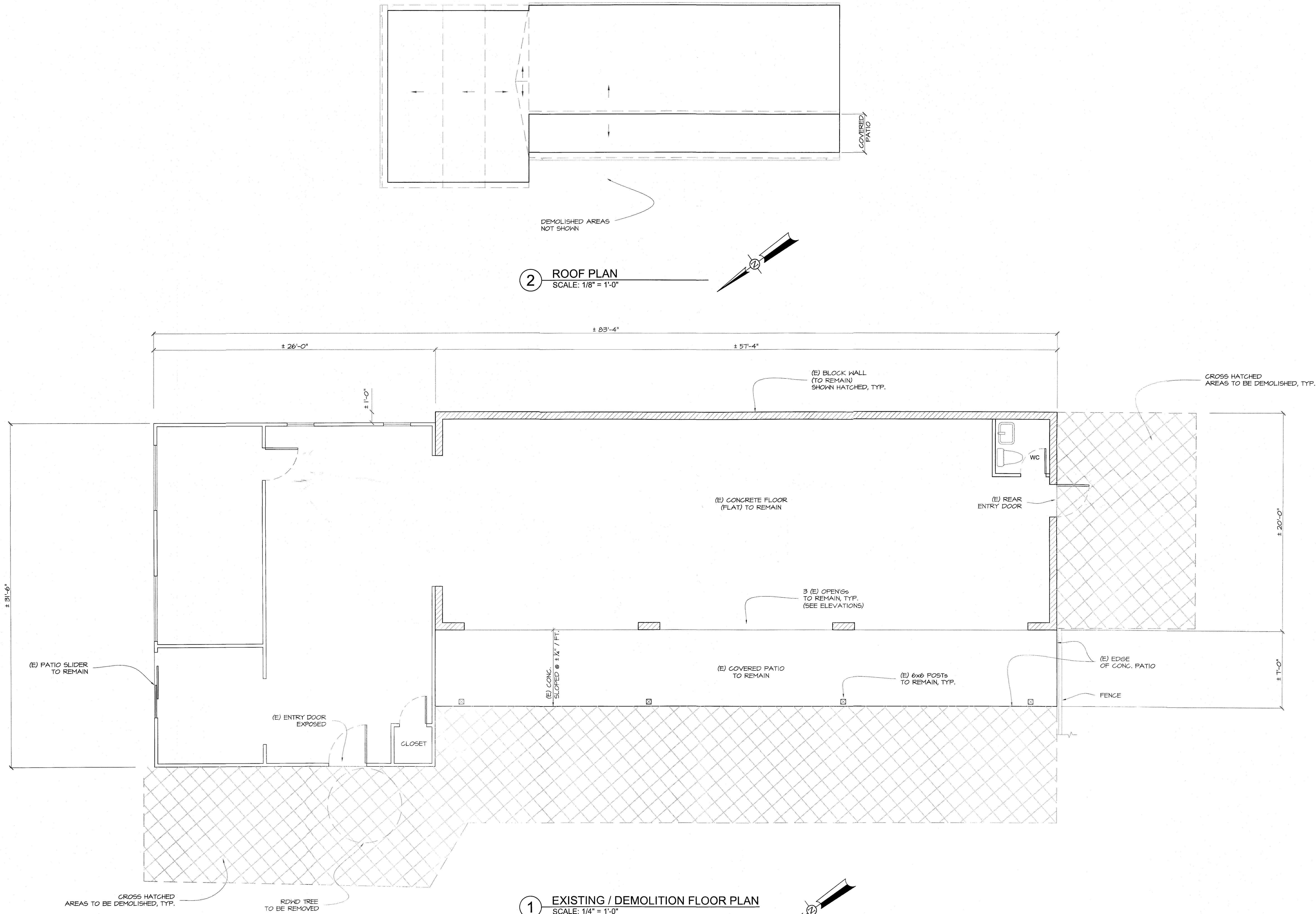
## DRAWING INDEX



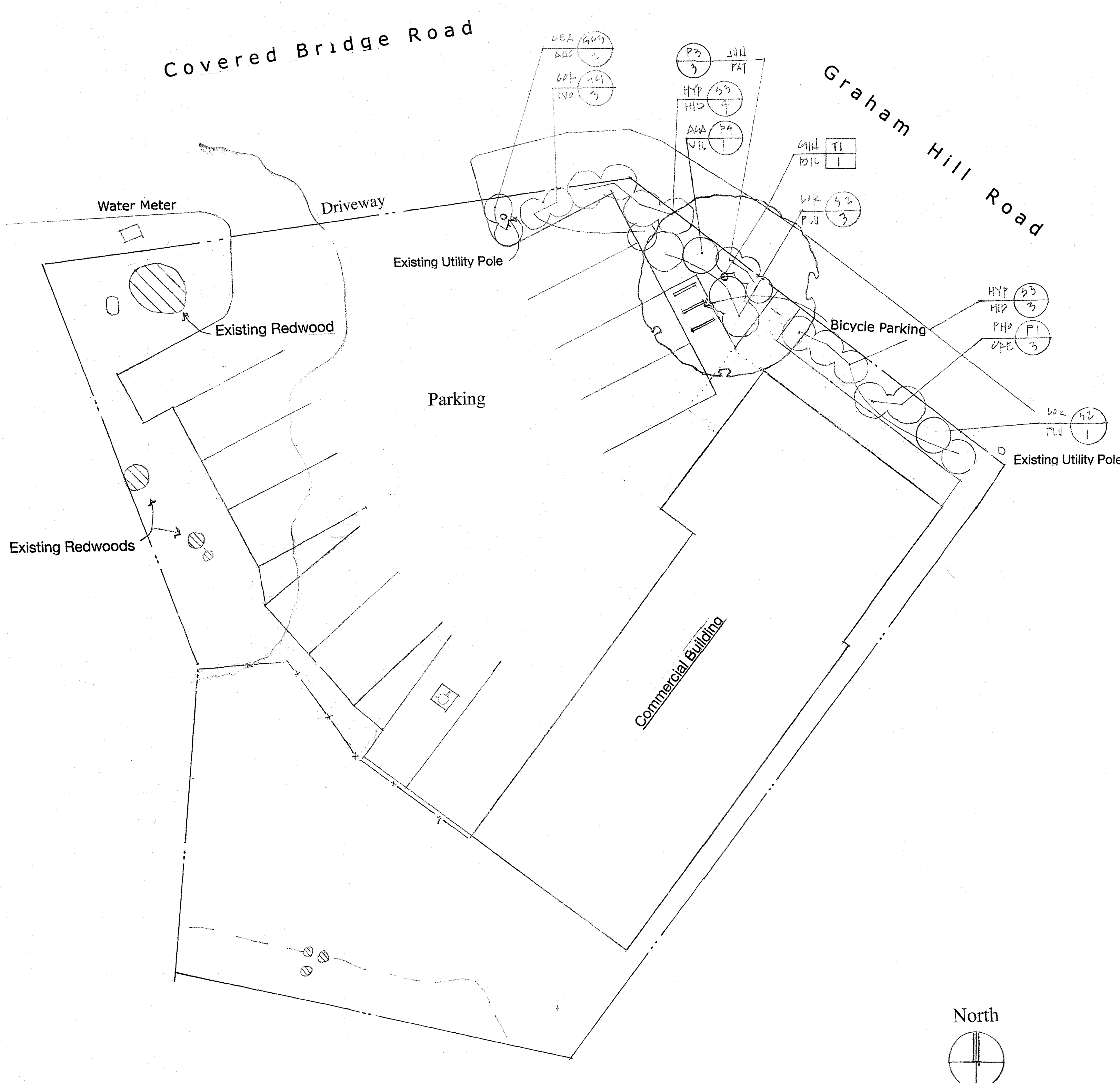


REVISIONS		
#	DESCP.	DATE

DRAWING BY:	DATE	REVISION
AK 3/6/2016		







Planting Plan

Plant Legend

Sym	Botanical Name	Common Name	Size	Quan
Trees				
T1	Ginko biloba	Ginko	15GC	1
Shrubs				
S1	Prunus illicifolia	CA Native Hollyleafed Cherry	5GC	
S2	Loropetalum 'Plum Delight'	Red-leafed Magenta Fringe Flower	5GC	4
S3	Hypericum 'Hidocce'	Yellow St. John's Wort	5GC	8
Groundcovers				
GC1	Correa 'Ivory Bells'	Grey-leafed White Australian Fuchsia	1GC	3
GC3	Ceanothus gloriosus 'Anchor Bay'	CA Native Blue Wild Lilac	1GC	2
Perennials				
P1	Phormium 'Cream Delight'	Green/White Variegated Flax	5GC	3
P2	Polystichum minimum	CA Native Western Sword Fern	1GC	
P3	Juncus patens	CA Native California Rush	1GC	3
P4	Agave villmoriniana	Octopus Agave	5GC	1

Planting Notes

- PLANTING AREA PREPARATION**
1. Remove soil as required to accommodate soil amendments and ensure positive drainage away from all structures.
  2. Cultivate all planting areas to a minimum of 8" incorporating a minimum of four cubic yards per 1,000 square feet of permeable area into the soil. Soils with greater than 6% organic matter in the top 6 inches of soil are exempt from adding compost and tilling.
  3. After the completion of all grading and underground construction, all planting areas shall be finish graded, to smooth, even surfaces with positive drainage per existing topography or to drainage swales or structures.
  4. Existing plants to be saved shall be protected from injury.
  5. No stockpiles of plants or materials to be saved shall be located within the drip line of any existing tree to be saved.
- QUALITY OF PLANT MATERIALS**
1. All plant material shall be nursery grown, healthy and free from disease and pests.
  2. Plants not conforming to common nursery standards or found unacceptable by the Landscape Architect will be considered defective and shall be replaced at no additional cost to the owner.
  3. Plants shall be protected from drying out, wind burn and injury during handling and storage.
- INSTALLATION**
1. Planting holes shall be as deep as the root ball and 3 times the width of the root ball.
  2. Each plant shall have a pre made or site made gopher basket of the appropriate size.
  3. Backfill for the planting holes shall be 80 % site soil and 20% 50- 50 blend mushroom compost, aged chicken manure or other approved material.
  4. All planting areas shall be mulched with 3" of redwood bark, fir bark or other approved material, except in turf areas, creeping or rooting groundcovers, or direct seeding applications.
  5. All trees shall be staked with 2, 2" x 10' lodge pole pine tree stake outside the root ball and secured with two rubber tree ties.

Sheet  
L1

Revisions  
2-28-18  
3-7-18

Date  
2-19-18

831-426-6845  
Ca. Lic. #2937

Ellen Cooper  
Landscape Architect

Landess  
Project Address:  
6185 Graham Hill Road, Felton, Ca.

Planting Plan



Covered Bridge Road

Graham Hill Road

Basis of Bearings  
S81°12'30"W  
362.24' (362.27')

S81°14'23"W  
90.85' (90.90')

S81°13'31"W  
(S81°12'30"W)  
89.89' (89.86')

N52°12'30"W  
70.00'

3 FOUND 1/2" PIPE  
W/ WOOD PLUG

2 FOUND 1/2" PIPE  
W/ PK NAIL

3 FOUND 1/2" PIPE  
W/ NAIL

APN 065-092-06

APN 065-092-07

APN 065-141-12

Approximate position of  
Zone AE based on Santa Cruz County GIS

Approximate edge of floodway  
based on Santa Cruz County GIS

Basis of Bearings  
3-9 S81°12'30"W, 362.24'  
( 501-554 S81°12'30"W, 362.27')  
Based on Bowman and Williams Dec. 1956 survey  
file 24-61.

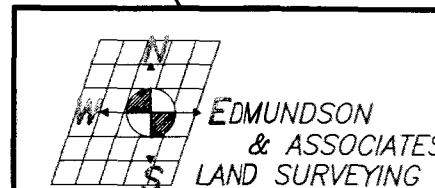
#### LEGEND

- Survey control point found as noted
- Survey control point set as noted
- Property line, lands of Landless
- Other property line
- Structure line
- Fence
- Tie line
- Edge of pavement
- Tree
- Record data

#### ELEVATION DATUM

Base Flood Elevation at site is 266.00 feet, FEMA FIRM Map Number 060353, Panel 212,  
Suffix E. Map revision date May 16, 2012. Map Number 06087C0212E

Elevations are based on NAVD88 Datum as established by an network RTK GPS reading.



1512 SEABRIGHT AVENUE  
SANTA CRUZ, CA 95062  
PHONE (831) 425-1796  
FAX (831) 425-1795

#### TOPOGRAPHIC SURVEY MAP

OF ASSESSOR'S PARCEL NO. 065-092-07

Scale 1" = 10'	Santa Cruz County California	File 17151B.DWG FB 198/50
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Prepared for  
**Richard Landess**

Revised Nov. 14 to translate to NAVD88 datum  
File 17151C.DWG

Job #17151

NOTE: This is not a boundary survey. Property lines are shown  
for orientation only and are based on recorded data. They may  
be discovered to be different, subject to the results of a com-  
plete boundary survey.