

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 161390

APN: 065-092-07

Proposal to change an existing non-conforming use to another non-conforming use with no intensification and establish a Master Occupancy Program. Project includes demolition of approximately 1,000 square feet of unpermitted building area, installation of accessibility improvements, restripe the existing parking lot, and install site landscaping. Requires an Administrative Use Permit.

Property located on the south side of Graham Hill Road at the intersection with Covered Bridge Road. (6185 Graham Hill Road)

OWNER: Landess Trustees

APPLICANT: Charlie Eadie

SUPERVISORIAL DISTRICT: 5

PLANNER: Nathan MacBeth, (831) 454-3118

EMAIL: Nathan.MacBeth@santacruzcounty.us

Public comments must be received by 5:00 p.m. December 19, 2018. A decision will be made on or shortly after December 20, 2018.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.

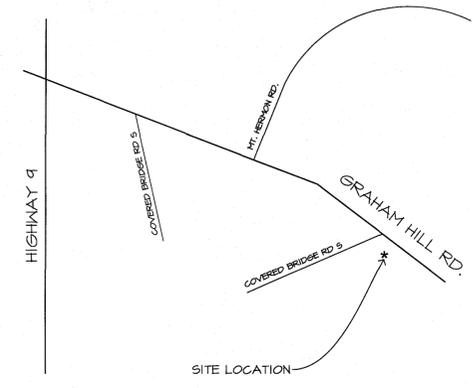
Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

For more information, call the project planner identified above.

REVISIONS		
#	DESCP.	DATE
1	PLAN REVIEW	6/6/18

DRAWING BY:	
A.K. 3/26/18	
DRAWING BY:	

MASTER OCCUPANCY PERMIT
 FOR EXISTING COMMERCIAL BUILDING
 6185 GRAHAM HILL RD.
 FELTON, CA 95018
 APN 06509207
SITE PLAN / PROJECT INFORMATION



VICINITY MAP

BETTY HANSEN LANDESS
 225 VANCE SQUARE
 PACIFIC PALISADES, CA 90272
OWNER

PROJECT ZONING IS SU-GH
 APN# 06509207
 LOT AREA ± 12241 SF PER BALDWIN SURVEY

SITE INFORMATION

CONSTRUCTION SHALL CONFORM TO THE 2016 CALIFORNIA BUILDING CODE (CBC), 2016 CALIFORNIA FIRE CODE (CFC), 2016 CALIFORNIA ELECTRIC CODE (CEC), 2016 CALIFORNIA PLUMBING CODE (CPC), 2016 CALIFORNIA MECHANICAL CODE (CMC), 2016 CALIFORNIA ENERGY CODE, 2016 CALIFORNIA GREEN BUILDING CODE AND

GENERAL NOTES

MASTER OCCUPANCY PERMIT FOR EXISTING COMMERCIAL BUILDING
 DEMOLITION OF UNPERMITTED PARTS OF EXISTING STRUCTURE
 SLURRY COAT AND RESTRIPE EXISTING PARKING
 INSTALL NEW LANDSCAPING

PROJECT DESCRIPTION

EXISTING SQUARE FOOTAGE:

(E) BUILDING/STORE	=	3531 SF
(E) STRUCTURE (TO BE DEMOLISHED)	=	1164 SF
(E) TOTAL	=	2367 SF

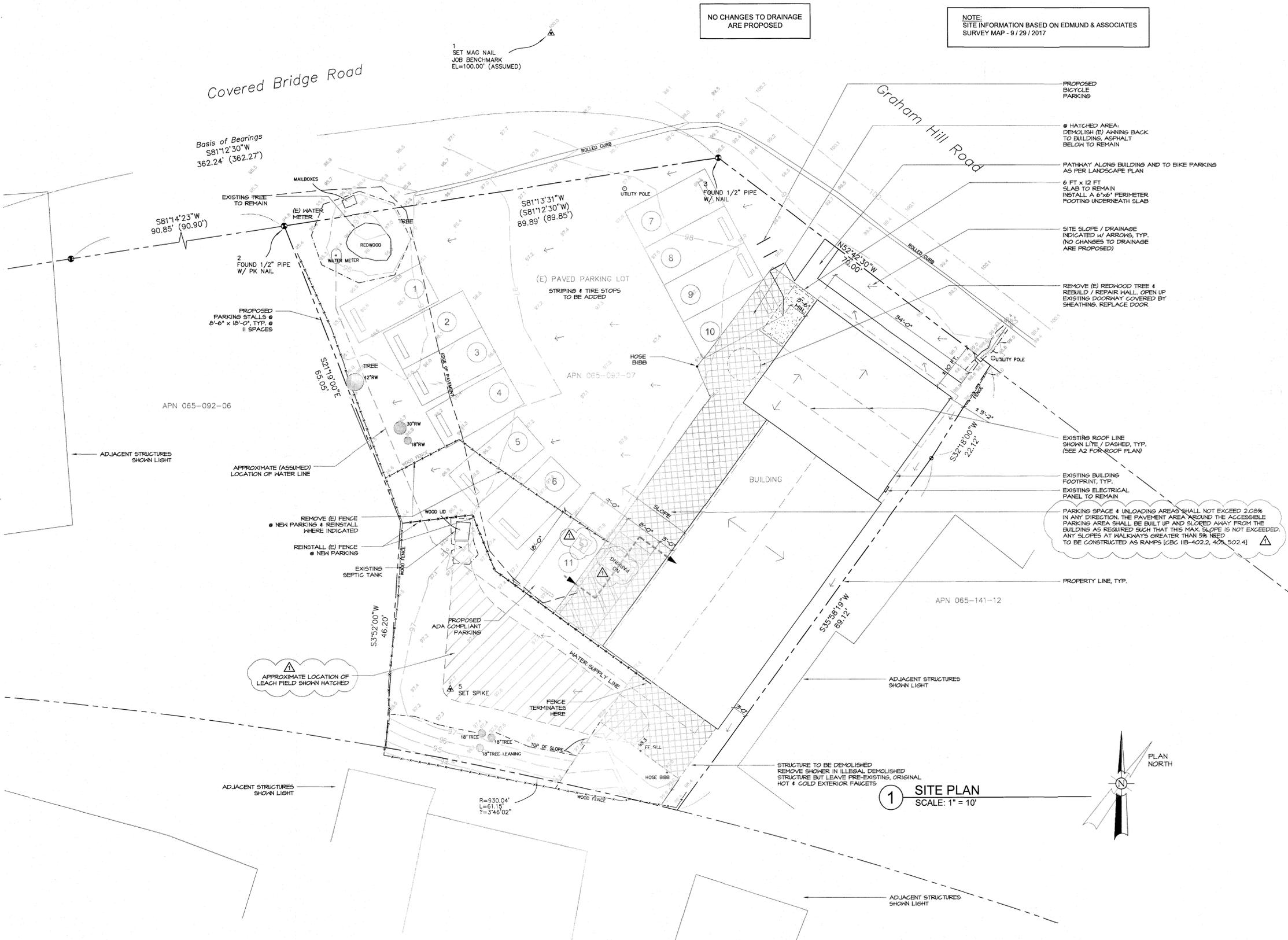
PROPOSED SQUARE FOOTAGE:

(E) BUILDING/STORE (ENCLOSED)	=	1966 SF
(E) ENCLOSED AREA CONVERTED TO COVERED PATIO	=	401 SF
TOTAL	=	2367 SF

PROJECT DATA

- A1 SITE PLAN / PROJECT DATA
- A2 EXISTING / DEMOLITION FLOOR PLAN & ROOF PLAN
- A3 EXTERIOR ELEVATIONS
- TOPO / SURVEY MAP
- L1 LANDSCAPE PLAN

DRAWING INDEX



NO CHANGES TO DRAINAGE ARE PROPOSED

NOTE:
 SITE INFORMATION BASED ON EDMUND & ASSOCIATES
 SURVEY MAP - 9 / 29 / 2017

1 SET MAG NAIL
 JOB BENCHMARK
 EL=100.00' (ASSUMED)

Covered Bridge Road

Graham Hill Road

Basis of Bearings
 S81°12'30"W
 362.24' (362.27')

S81°14'23"W
 90.85' (90.90')

S81°13'31"W
 (S81°12'30"W)
 89.89' (89.85')

S35°59'19"W
 89.12'

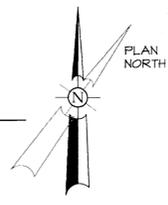
S35°59'19"W
 89.12'

APN 065-092-06

APN 065-092-07

APN 065-141-12

PARKING SPACE # UNLOADING AREAS SHALL NOT EXCEED 2.00% IN ANY DIRECTION. THE PAVEMENT AREA AROUND THE ACCESSIBLE PARKING AREA SHALL BE BUILT UP AND SLOPED AWAY FROM THE BUILDING AS REQUIRED SUCH THAT THIS MAX. SLOPE IS NOT EXCEEDED. ANY SLOPES AT WALKWAYS GREATER THAN 5% NEED TO BE CONSTRUCTED AS RAMPS [CBC IIB-402.2, 405, 502.4]



APPROXIMATE (ASSUMED) LOCATION OF WATER LINE

APPROXIMATE LOCATION OF LEACH FIELD SHOWN HATCHED

STRUCTURE TO BE DEMOLISHED
 REMOVE SHOWER IN ILLEGAL DEMOLISHED STRUCTURE BUT LEAVE PRE-EXISTING ORIGINAL HOT & COLD EXTERIOR FAUCETS

ADJACENT STRUCTURES SHOWN LIGHT

ADJACENT STRUCTURES SHOWN LIGHT

REMOVE (E) FENCE & REINSTALL WHERE INDICATED
 REINSTALL (E) FENCE & NEW PARKING

EXISTING SEPTIC TANK

WOOD UP

PROPOSED ADA COMPLIANT PARKING

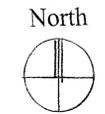
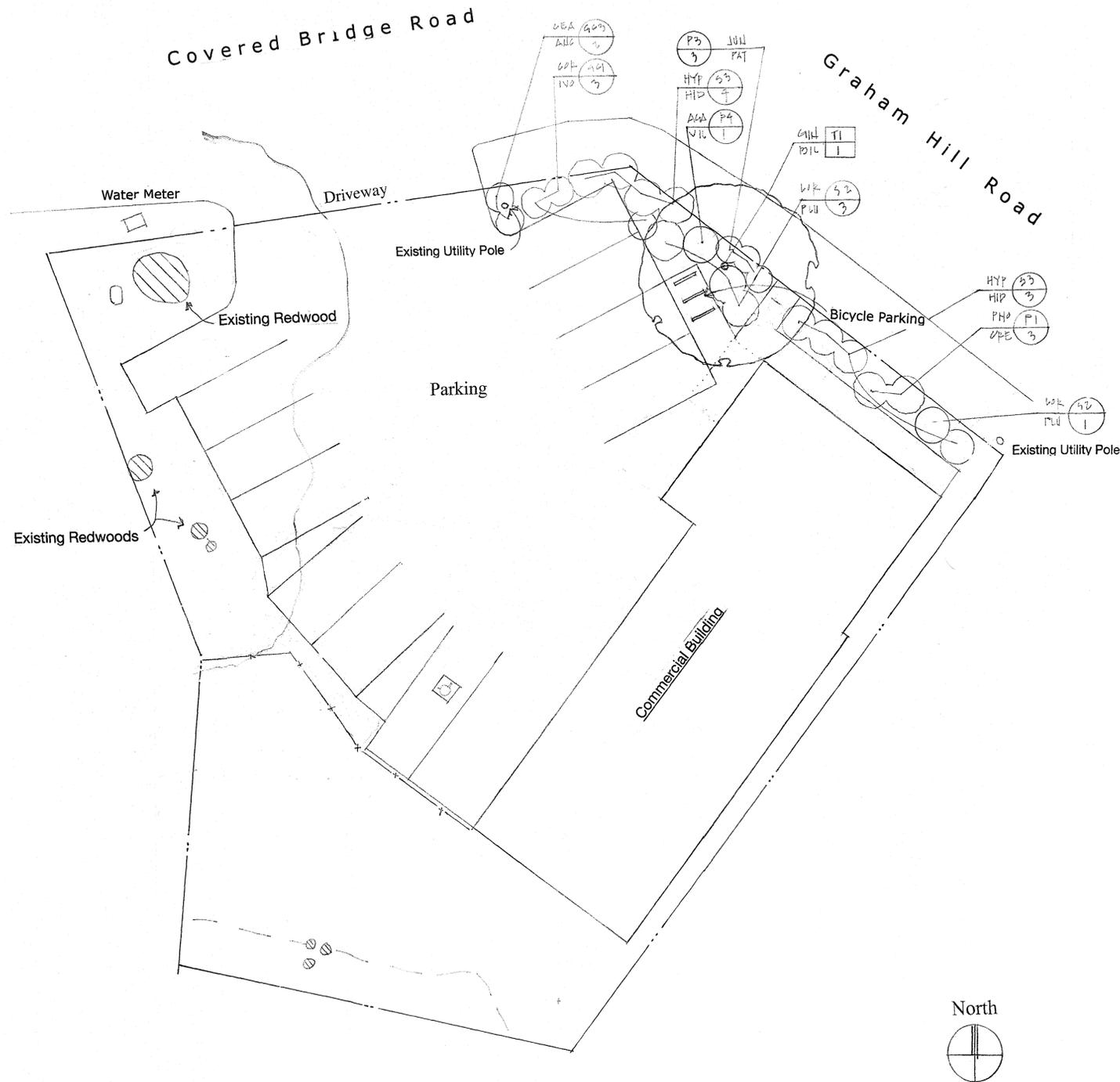
WATER SUPPLY LINE

FENCE TERMINATES HERE

WOOD FENCE

HOSE BIB

Planting Plan



1" = 10'-0"

Plant Legend

Sym	Botanical Name	Common Name	Size	Quan
Trees				
T1	Ginkgo biloba	Ginkgo	15GC	1
Shrubs				
S1	Prunus illicifolia	CA Native Hollyleaved Cherry	5GC	
S2	Loropetalum 'Plum Delight'	Red-leaved Magenta Fringe Flower	5GC	1
S3	Hypericum 'Hidocet'	Yellow St. John's Wort	5GC	2
Groundcovers				
GC1	Correa 'Ivory Bells'	Grey-leaved White Australian Fuchsia	1GC	3
GC3	Ceanothus glaucus 'Anchor Bay'	CA Native Blue Wild Lilac	1GC	2
Perennials				
P1	Phormium 'Cream Delight'	Green/White Variegated Flax	5GC	3
P2	Polystichum minimum	CA Native Western Sword Fern	1GC	
P3	Juncus patens	CA Native California Rush	1GC	3
P4	Agave villmoriniana	Octopus Agave	5GC	1

Planting Notes

PLANTING AREA PREPARATION

1. Remove soil as required to accommodate soil amendments and ensure positive drainage away from all structures.
2. Cultivate all planting areas to a minimum of 8" incorporating a minimum of four cubic yards per 1,000 square feet of permeable area into the soil. Soils with greater than 6% organic matter in the top 6 inches of soil are exempt from adding compost and tilling.
3. After the completion of all grading and underground construction, all planting areas shall be finish graded, to smooth, even surfaces with positive drainage per existing topography or to drainage swales or structures.
4. Existing plants to be saved shall be protected from injury.
5. No stockpiles of plants or materials to be saved shall be located within the drip line of any existing tree to be saved.

QUALITY OF PLANT MATERIALS

1. All plant material shall be nursery grown, healthy and free from disease and pests.
2. Plants not conforming to common nursery standards or found unacceptable by the Landscape Architect will be considered defective and shall be replaced at no additional cost to the owner.
3. Plants shall be protected from drying out, wind burn and injury during handling and storage.

INSTALLATION

1. Planting holes shall be as deep as the root ball and 3 times the width of the root ball.
2. Each plant shall have a pre made or site made gopher basket of the appropriate size.
3. Backfill for the planting holes shall be 80 % site soil and 20% 50- 50 blend mushroom compost, aged chicken manure or other approved material.
4. All planting areas shall be mulched with 3" of redwood bark, fir bark or other approved material, except in turf areas, creeping or rooting groundcovers, or direct seeding applications.
5. All trees shall be staked with 2. 2" x 10' lodge pole pine tree stake outside the root ball and secured with two rubber tree ties.

Sheet
L1

Revisions
2-08-18
3-7-18

Date
1-19-18

831-426-6845
Ca. Lic. #2937

Landscape Architect

Ellen Cooper

Landsc
Project Address:
6185 Graham Hill Road, Felton, Ca.

Planting Plan

Covered Bridge Road

Graham Hill Road

Basis of Bearings
 $S81^{\circ}12'30''W$
 $362.24'$ (362.27')

$S81^{\circ}14'23''W$
 $90.85'$ (90.90')

$S81^{\circ}13'31''W$
 $(S81^{\circ}12'30''W)$
 $89.89'$ (89.85')

$N52^{\circ}12'30''W$
 $70.00'$

$S8^{\circ}52'00''W$
 $46.20'$

$S33^{\circ}58'15''W$
 $89.12'$

APN 065-092-06

APN 065-092-07

APN 065-141-12

Scale 1" = 10'
 Contour Interval 1'

Approximate position of
 Zone AE based on Santa Cruz County GIS

Approximate edge of floodway
 based on Santa Cruz County GIS

Basis of Bearings
 $3-9 S81^{\circ}12'30''W, 362.24'$
 $(501-554 S81^{\circ}12'30''W, 362.27')$
 Based on Bowman and Williams Dec. 1956 survey
 file 24-61.

LEGEND

- Survey control point found as noted
- Survey control point set as noted
- Property line, lands of Landless
- Other property line
- Structure line
- Fence
- Tie line
- Edge of pavement
- Tree
- Record data

NOTE: This is not a boundary survey. Property lines are shown for orientation only and are based on recorded data. They may be discovered to be different, subject to the results of a complete boundary survey.

ELEVATION DATUM

Base Flood Elevation at site is 266.00 feet, FEMA FIRM Map Number 060353, Panel 212, Suffix E. Map revision date May 16, 2012. Map Number 06087C0212E

Elevations are based on NAVD88 Datum as established by a network RTK GPS reading.



EDMUNDSON & ASSOCIATES
 LAND SURVEYING
 1512 SEABRIGHT AVENUE
 SANTA CRUZ, CA 95062
 PHONE (831) 425-1796
 FAX (831) 425-1795

TOPOGRAPHIC SURVEY MAP		
OF ASSESSOR'S PARCEL NO. 065-092-07		
Scale 1" = 10'	Santa Cruz County California	File 17151B.DWG FB 198/50
Sept. 29, 2017	Prepared for Richard Landess	
Revised Nov. 14 to translate to NAVD88 datum File 17151C.DWG	Job #17151	