

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
701 Ocean Street, 4<sup>th</sup> Floor  
Santa Cruz, CA 95060  
(831) 454-2580

**NOTICE OF PENDING ACTION**

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

**APPLICATON NUMBER: 171088**

**APN: 044-171-65**

**Proposal to recognize the construction of retaining walls and garden walls that exceed 3 feet in height within sight distance triangles adjacent to the driveway and 8 feet in the required side yard setback. Requires an Over-height Wall Permit.**

**Property located on the south side of Cresta Vista (808 Cresta Vista Way) at about 400 feet east of the intersection with mar Vista Drive in Aptos.**

**OWNER: Cynthia Morris and Diego Olagaray Trustees**

**APPLICANT: Cynthia Morris and Diego Olagaray Trustees**

**SUPERVISORIAL DISTRICT: 1**

**PLANNER: Elizabeth Cramblet, (831) 454-3027**

**email: [elizabeth.cramblet@santacruzcounty.us](mailto:elizabeth.cramblet@santacruzcounty.us)**

**Public comments must be received by 5:00 p.m. June 13, 2017.**

**A decision will be made on or shortly after June 20, 2017.**

**Appeals of the decision will be accepted until 5:00 p.m. July 5, 2017.**

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

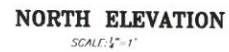
**For more information, call the project planner identified above.**

		WALL	
7	BUILT-UP CORNER STUD	10d (2" @ 0.1387")	24" OC
8	BUILT-UP HEADS TWO PIECES WITH 1" SPACER	116d (3" @ 0.1387")	18" OC ALONG EACH END
9	CORNERHEAD HEADS, TYPICAL	116d (3" @ 0.1387")	18" OC ALONG EACH END
10	CORNERHEAD STUD TO STUD, TYPICAL	4-40d (3" @ 0.1375)	24" OC
11	DOUBLE STUD, FACE, WALL	10d (2" @ 0.1387")	24" OC
12	DOUBLE TOP PLATE, FACE, WALL	10d (2" @ 0.1387")	-
13	DOUBLE TOP PLATE, MINIMUM 48-INCH DISTANCE OF END JOINTS, FACE WALL, 4 LAPPED JOINTS	8-160d (3" @ 0.1387")	18" OC
14	SOLE PLATE TO JOIST OR BLOODING AT BRIDGED WALL PANELS	116d (3" @ 0.1387")	18" OC
15	SOLE PLATE TO JOIST OR BLOODING AT BRIDGED WALL PANELS	3-160d (3" @ 0.1387")	-
16	STUD TO SOLE PLATE, TYPICAL	3-40d (3" @ 0.1375)	-
17	STUD TO SOLE PLATE TO STUD, END WALL	2-160d (3" @ 0.1387)	-
18	TOP PLATE, LAP AT CORNERS AND INTERSECTIONS, FACE WALL	3-100d (2" @ 0.1387)	-
19	2" BRANCHES TO EACH STUD AND PLATE, FACE WALL	2-40d (3" @ 0.1375)	-
20	1" x 8" BRACING TO EACH BEARING, FACE WALL	2-40d (3" @ 0.1375)	-
21	1" x 8" BRACING TO EACH BEARING, FACE WALL	2-40d (3" @ 0.1375)	-
22	WOOD FROM 1" x 8" BRACING TO EACH BEARING, FACE WALL	2-40d (3" @ 0.1375)	-
		2 STUDS 1"	-
FLOOR			
23	JOIST TO BOLT OR BRIDGE, TYPICAL	3-40d (3" @ 0.1375)	-
24	1" x 4" BRIDGEOVER OR LESS TO EACH JOIST	2-40d (3" @ 0.1375)	-
25	8" BRIDGEOVER TO JOIST OR BRIDGE, BUNG AND RAIL JOINTS	2 STUDS 1"	-
26	8" BRIDGEOVER TO TOP PLATE, TYPICAL, NOOD APPLICATIONS ALSO	3-160d (3" @ 0.1387)	-
27	2" PLANKS (PLANKS & BEAM-FLOOR JOINT)	2-40d (3" @ 0.1375)	-
28	BUILT-UP GROUNDING AND BRIDGE, 8-INCH LAMBER LAYERS	3-100d (2" @ 0.1387)	-
29	LEADER STUD SUPPORTING JOISTS OR RAFTERS	3-160d (3" @ 0.1387)	-
		100' TOP LAYER AND FOLLOWING 50' OF 100' TOP AND 50' OF 100' TOP AND 50' OF 100' TOP	AT EACH JOIST OR RAFTER

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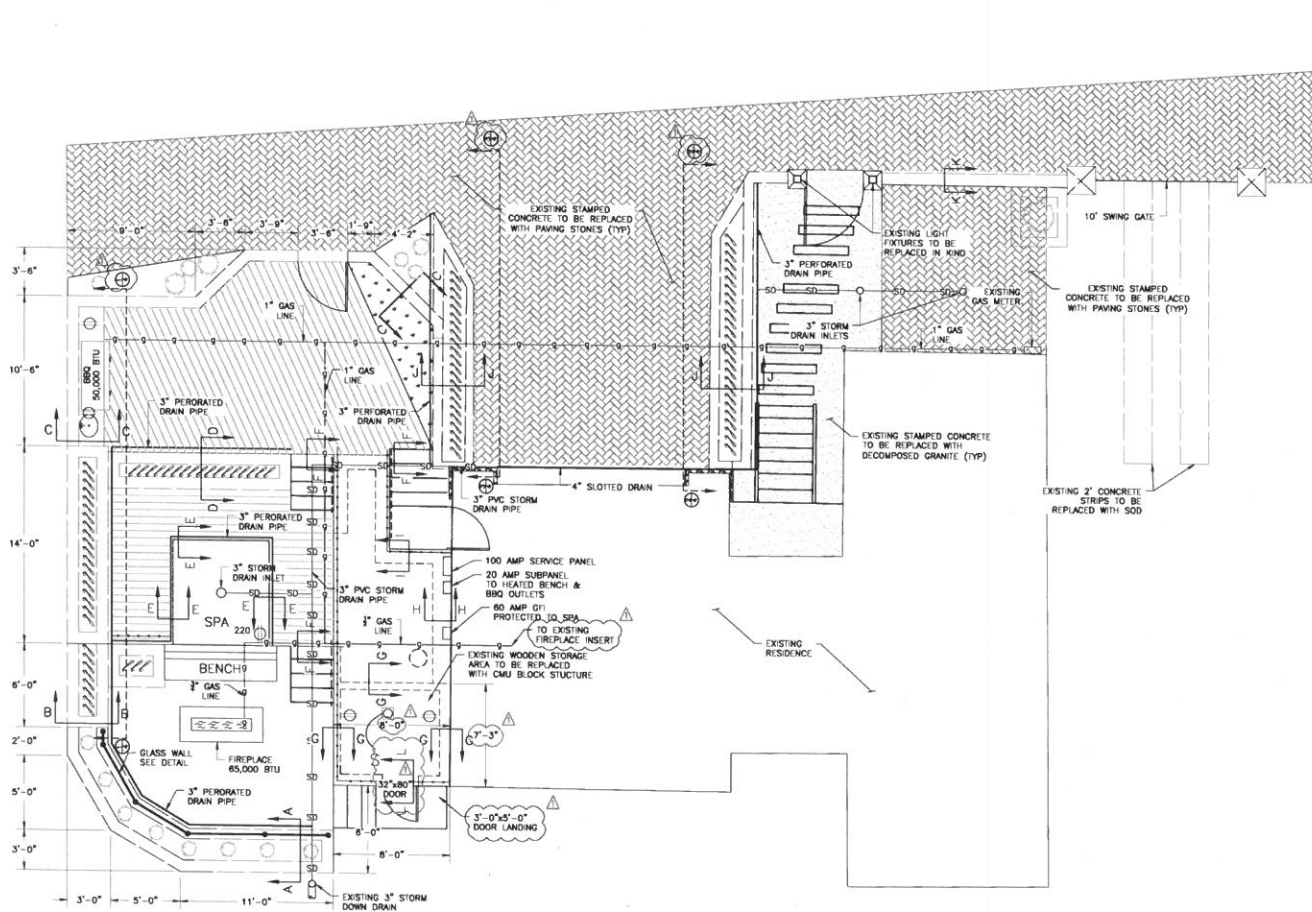
RECONSTRUCT EXISTING COURTYARD WITH MASONRY BLOCK WALLS AND PLANTERS AND REPLACE EXISTING CONCRETE FRONTAGE WITH PAVERS. REPLACING EXISTING WOOD RETAINING WALLS WITH MASONRY WALL, AND REPLACING WOOD STORAGE AREA WITH MASONRY BLOCK STRUCTURE.

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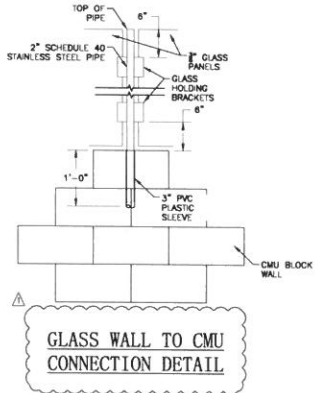
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0 4' 8' 12'  
SCALE: 1/4" = 1'

- GENERAL NOTES:**
1. HOT TUB SHALL HAVE A LISTED SAFETY COVER INSTALLED.
  2. HANDRAIL DETAILS SEE CONSTRUCTION DETAILS ON SHEET #5.
- ELECTRICAL NOTES:**
1. ALL EXTERIOR OUTLETS MUST BE WEATHER PROOF GROUND FAULT CIRCUIT INTERRUPTER (GFCI).
  2. 30" MINIMUM CLEARANCE IS REQUIRED AROUND ELECTRICAL SERVICE AND/OR SUB-PANELS.
  3. STORAGE ROOM LIGHT FIXTURE WILL BE HIGH EFFICIENCY AND CONTROLLED BY VACANCY SENSOR.
- GAS PIPING NOTES:**
1. ALL MATERIAL SHALL BE SCHEDULE 40 METALLIC PIPE (GALVANIZED OR BLACK).
  2. UNDERGROUND INSTALLATION SHALL BE COATED WITH A FACTORY CORROSION RESISTANT COATING.
  3. UNDERGROUND PIPE REQUIRED A MINIMUM 18" OF COVER.
- LEGEND**
- ⊙ RECESSED INCANDESCENT CAN
  - ⊕ SWITCH
  - ⊕ 110 OUTLET
  - ⊕ 220 OUTLET
  - ⊕ 220 OUTLET (SEE LAYOUT FOR SIZE)
  - SD 3" STORM DRAIN PIPELINE
  - PAVING STONES
  - DECOMPOSED GRANITE
  - STEEL RAIL TO 42" W/ HORIZ. CABLES AT 4" O.C. MAX. 3"x1"x0.120" STAINLESS STEEL POST ATTACHED TO CONCRETE DECK WITH (4) 8"x14" STAINLESS STEEL TITAN HD SCREW AND/OR 7'-0" MAX POST SPACING
  - HANDRAIL (SEE DETAILS ON SHEET #5)



Owner: DIEGO & CYNTHIA OLAGARY  
808 CRESTA VISTA WAY  
APTOS, CA 95003

REVISIONS				
NO.	DATE	ISSUED FOR	BY	
1	1/13/17	SANTA CRUZ COUNTY	DM	
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Drawn By: DRH  
Issue Date: 5/9/17  
Job No.: 17002  
Checked: DM  
Design By:  
2017-03-14, Layout.dwg



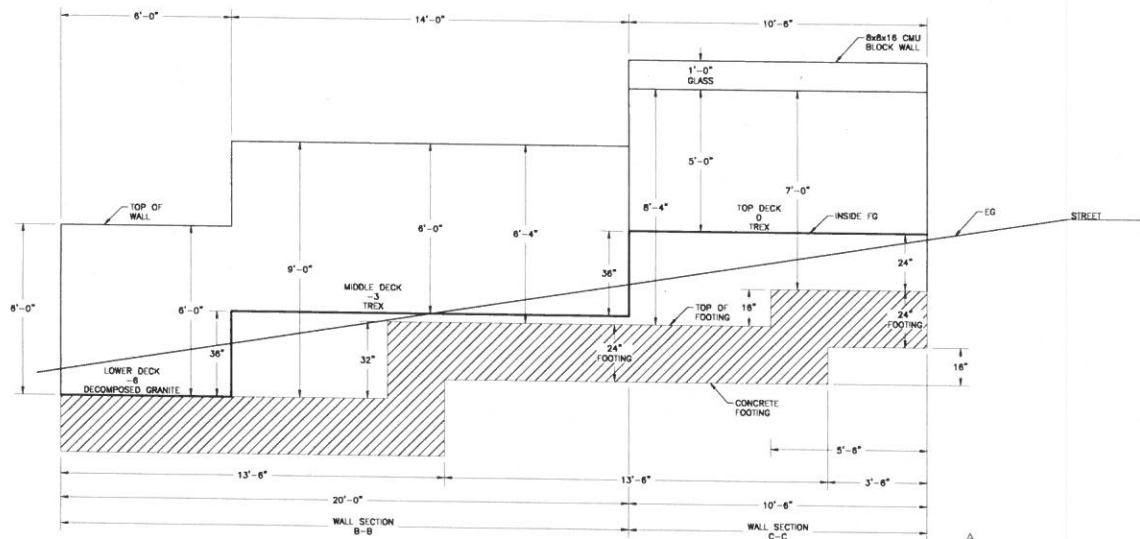
DAVE MENDOZA  
1282 CORWIN DR.  
MANTECA, CA 95337

COURTYARD  
COURTYARD LAYOUT

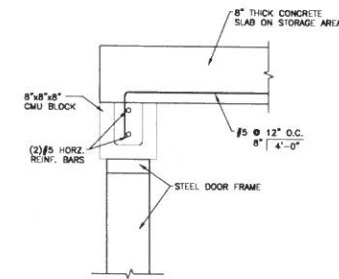
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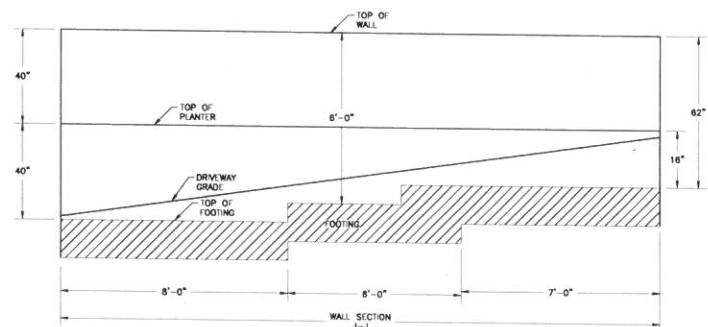
① HILLSIDE WALL PROFILE



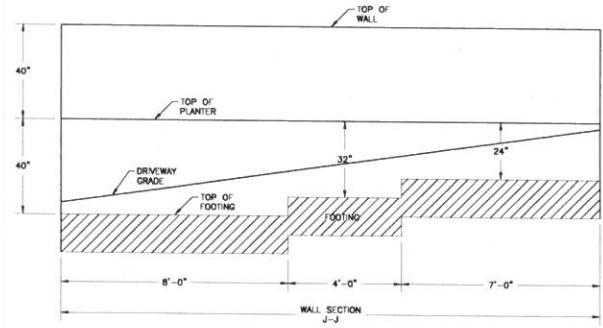
STEEL FRAME HEADER/LINTEL DETAIL  
SECTION L-L

GENERAL NOTES  
1. FOR ALL REINFORCEMENT IN WALLS & FOOTINGS SEE SHEET #5  
SECTIONS B-B, C-C & J-J

- MASONRY AND MASONRY REINFORCEMENT NOTES**
1. AGGREGATE: MAXIMUM AGGREGATE SIZE 1"
  2. CEMENT: MINIMUM 6 SAC PER YARD
  3. MIX STRENGTH
    - 3.A. MINIMUM 7 DAY STRENGTH = 1,250 PSI
    - 3.B. MINIMUM 28 DAY STRENGTH = 2,500 PSI
  4. GROUT CELLS AS SHOWN ON PLANS WITH 10 FEET MAXIMUM LIFT CMU'S SHALL BE DRY AND CLEAN BEFORE GROUTING
  5. PLACE #5 VERTICAL BAR AT ALL CORNERS AND CELL ADJACENT TO DRAINAGE
  6. ALL VERTICAL REINFORCEMENT SHALL BE TIED TO HORIZONTAL BARS
  7. MINIMUM SPACING FOR SPLICES IN VERTICAL REINFORCEMENT FOR MASONRY WALLS SHALL BE 48" CENTER TO CENTER OF SPLICE
  8. WALLS EXCEEDING 6'-0" IN HEIGHT SHALL HAVE 4"x4" CLEANOUTS AT EVERY VERTICAL REINFORCEMENT BAR. PLACEMENT SHALL BE AT FOOTING TO CMU BLOCK CONSTRUCTION JOINT
- CONCRETE NOTES**
1. MAXIMUM SLOPE OF ANY LANDING SHALL NOT EXCEED 1" PER FOOT
  2. ALL CONCRETE STEPS SHALL HAVE A MAXIMUM RISE OF 7.75" AND A MINIMUM RUN WIDTH OF 10"
  3. MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 2,500 PSI, 4" MAXIMUM SLUMP AND 1" MAXIMUM AGGREGATE SIZE



② EAST DRIVEWAY PLANTER & WALL PROFILE



③ WEST DRIVEWAY PLANTER & WALL PROFILE

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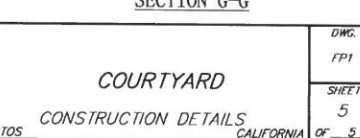
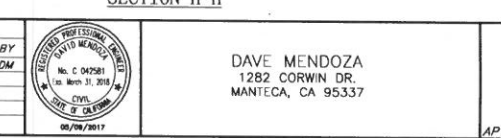
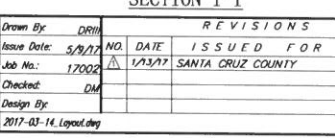
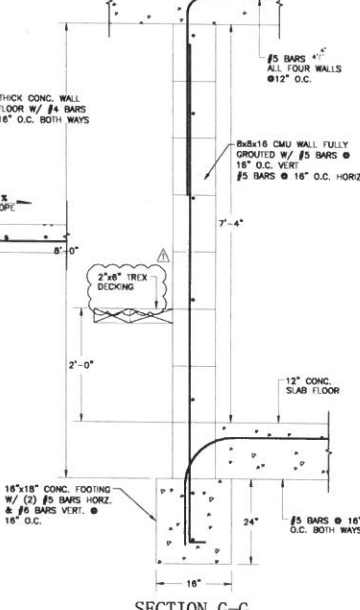
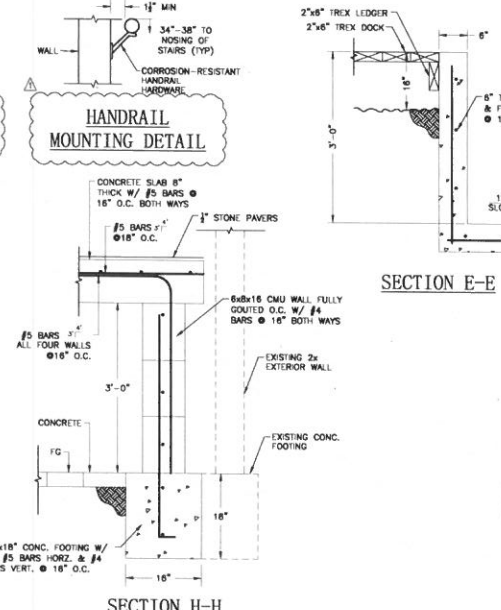
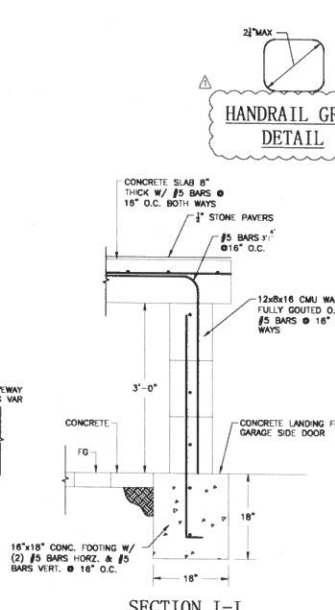
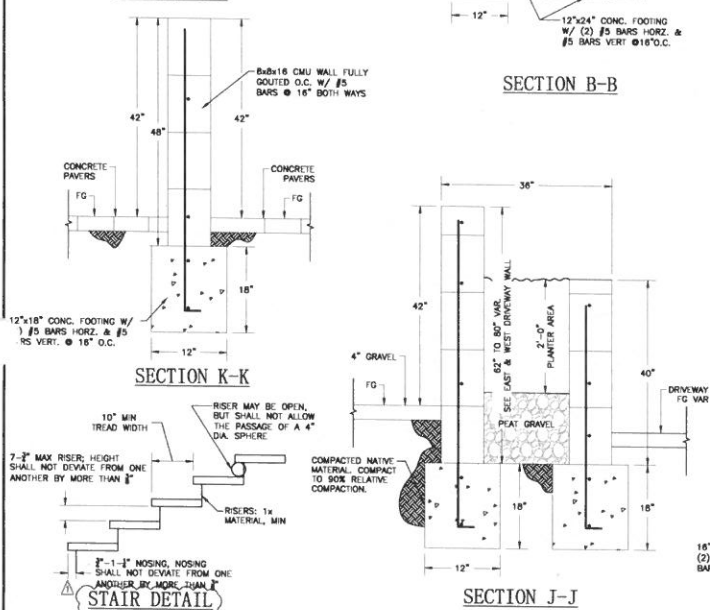
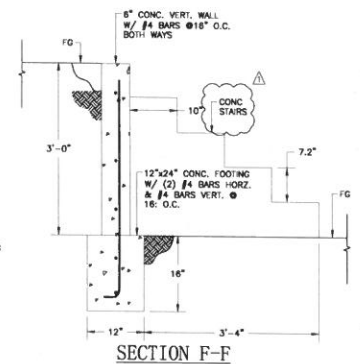
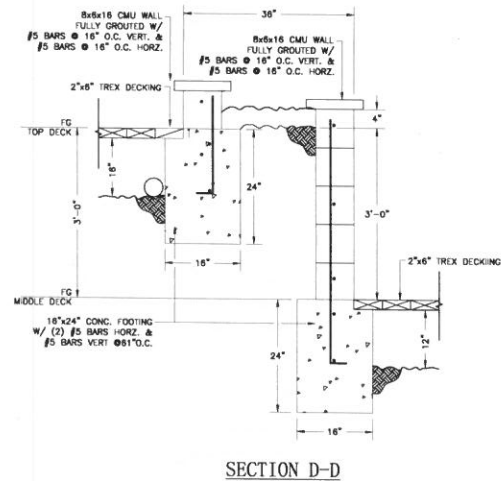
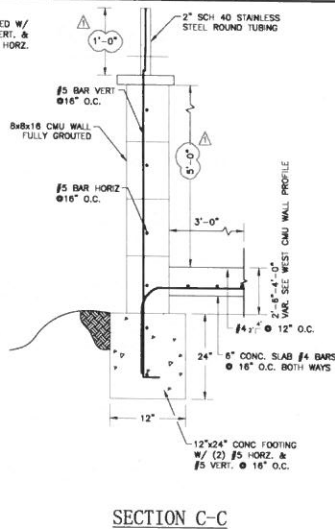
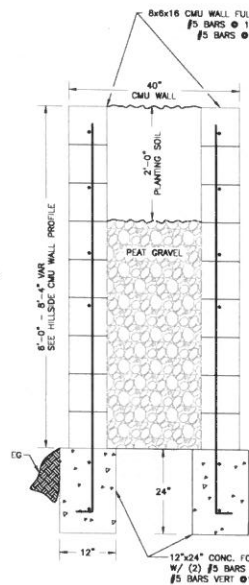
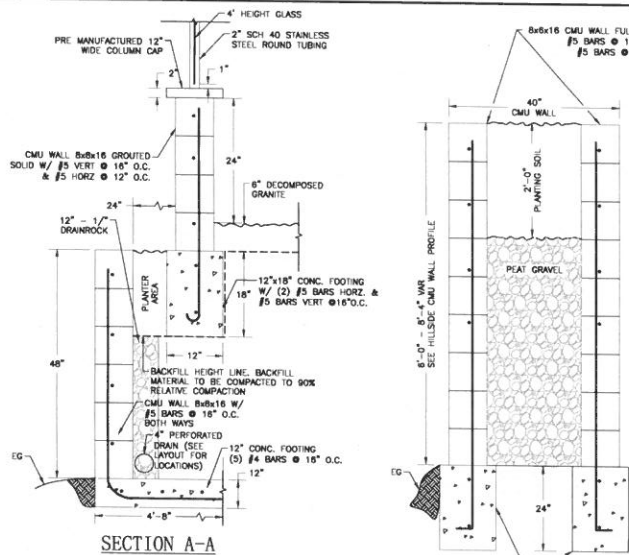


DAVE MENDOZA  
1282 CORWIN DR.  
MANTECA, CA 95337

COURTYARD  
WALL PROFILE SHEET

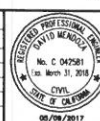
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APTOS WALL PROFILE SHEET CALIFORNIA



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REVISIONS				
Drawn By:	DATE	ISSUED FOR	BY	
Issue Date:	5/9/17	1/13/17 SANTA CRUZ COUNTY	DM	
Job No.:	17002			
Checked:	DM			
Design By:				
2017-03-14 Layout.dwg				



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1282 CORWIN DR.  
MANTECA, CA 95337

COURTYARD  
CONSTRUCTION DETAILS  
CALIFORNIA

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5  
OF 5