

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
701 Ocean Street, 4<sup>th</sup> Floor  
Santa Cruz, CA 95060  
(831) 454-2580

**NOTICE OF PENDING ACTION**

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

**APPLICATON NUMBER: 171117**

**APN: 102-441-15**

Proposal to construct a new 2-story, 1,276 square foot garage with a non-habitable accessory structure and two bathrooms with one on each floor and a copper roof. Requires a Residential Development Permit for bathroom facilities in a non-habitable accessory structure.

Property located on the west side of Mainsail Place approximately 400 feet southwest of Transom Court (3919 Mainsail Pl).

**OWNER: Sylvia and Zbigniew Cierkosz**

**APPLICANT: Matson Britton-Logan Chambers**

**SUPERVISORIAL DISTRICT: 1**

**PLANNER: Elizabeth Cramblet, (831) 454-3027**

**EMAIL: Elizabeth.Cramblet@santacruzcounty.us**

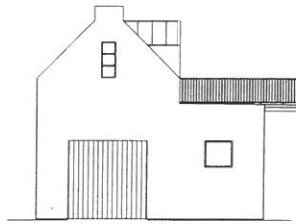
**Public comments must be received by 5:00 p.m. September 19 2017.**

**A decision will be made on or shortly after September 26, 2017.**

**Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.**

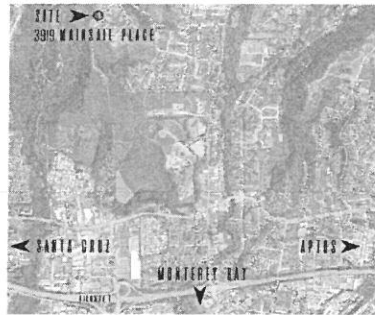
Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

**For more information, call the project planner identified above.**

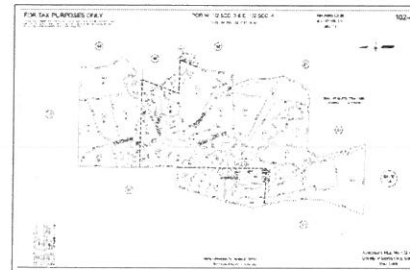


# CIERKOSZ GARAGE & ACCESSORY STRUCTURE

NEW STRUCTURE  
3919 MAINSAIL PLACE  
SOQUEL, CA 95073



VICINITY MAP



PARCEL MAP

1. THESE PLANS SHALL COMPLY WITH 2016 CALIFORNIA BUILDING CODE AND 2016 CALIFORNIA FIRE CODE AND DISTRICT AMENDMENTS.
2. OCCUPANCY R-3 & U, TYPE V-B, FULLY SPRINKLED.
3. ADDRESS NUMBERS SHALL BE POSTED AND MAINTAINED AS SHOWN ON THE SITE PLAN. NUMBERS SHALL BE A MINIMUM OF 4 INCHES IN HEIGHT AND OF A COLOR CONTRASTING TO THEIR BACKGROUND.
4. ROOF COVERING SHALL BE NO LESS THAN CLASS "B" RATED.
5. ALL CHIMNEYS SHALL BE APPROVED WITH AN APPROVED SPARK ARRESTOR ON THE TOP OF THE CHIMNEY. WIRE MESH NOT TO EXCEED  $\frac{1}{2}$ " IS ACCEPTABLE.
6. THE JOB COPIES OF THE BUILDING PLANS AND PERMITS MUST REMAIN ON-SITE DURING INSPECTIONS.
7. PUBLIC FIRE HYDRANT REQUIRED WITHIN 250 FT. OF ANY PORTION OF THE BUILDING WITH A MINIMUM 1000 GALLON FIRE FLOW. AVAILABLE FIRE HYDRANT APPROXIMATELY 90' FROM BUILDING.
8. THIRTY (30) FOOT CLEARANCE TO BE MAINTAINED WITH NON-COMBUSTIBLE VEGETATION AROUND ALL STRUCTURES OR TO THE PROPERTY LINE, WHICHEVER IS SHORTER DISTANCE.

## FIRE PROTECTION NOTES

## ARCHITECTURAL DRAWINGS

- P1 TITLE SHEET
- P2 SITE PLAN
- P3 FLOOR PLANS
- P4 BUILDING ELEVATIONS

## CIVIL DRAWINGS

- C1 GRADING + DRAINAGE
- C2 DETAILS
- C3 STORMWATER POLLUTION CONTROL PLAN

## SURVEY

- SU1 SURVEY PLAN

## SHEET INDEX

OWNER: ZIGGY + SYLVIA CIERKOSZ  
3919 MAINSAIL PLACE  
SOQUEL, CA 95073

A. P. N.: 102-441-15

ZONING: RA

OCCUPANCY GROUP: R-3 & U (PER 2016 CRC)

CONSTRUCTION TYPE: VB (SPRINKLERS)

LOT NUMBER: 15

TRACT NUMBER: 1295

SEACREST HOMEOWNER'S ASSOCIATION

## PROJECT DESCRIPTION:

NEW 2-STORY GARAGE & ACCESSORY STRUCTURE WITH 2 BATHROOMS AND A CANTILEVERED DECK.

## PROJECT INFORMATION

ARCHITECTS: MATSON BRITTON  
ARCHITECTS  
728 N. BRANCIFORTE  
SANTA CRUZ, CA 95062  
PHONE: 831-425-0544  
FAX: 831-425-4795

ENGINEERING: R.I. ENGINEERING, INC.  
303 POTRERO STREET, STE.  
42-202  
SANTA CRUZ, CA 95060  
PHONE: 831-425-3901  
FAX: 831-425-1522

SURVEYING: HANNAGAN LAND  
SURVEYING, INC.  
305-C SOQUEL AVE.  
SANTA CRUZ, CA 95062  
PHONE: 831-469-3428

## CONSULTANTS

TOTAL LOT SIZE: 53,607 SQ. FT. (1.23 ACRE) NET

MAX LOT COVERAGE (10% OF NET LOT SIZE):  
53,607 S.F. X .10 = 5,360.7 S.F.

EXISTING FOOTPRINT: 4,084.0 S.F.  
PROPOSED ADDITION: 1,276.2 S.F.  
NEW TOTAL PROPOSED FOOTPRINT: 5,360.2 S.F.

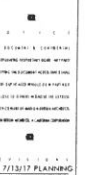
PROPOSED LOT COVERAGE: 10%

PROPOSED NONHABITABLE AREA:  
FIRST FLOOR: 1,276 S.F.  
SECOND FLOOR: 524 S.F.  
DECK: 711 S.F.

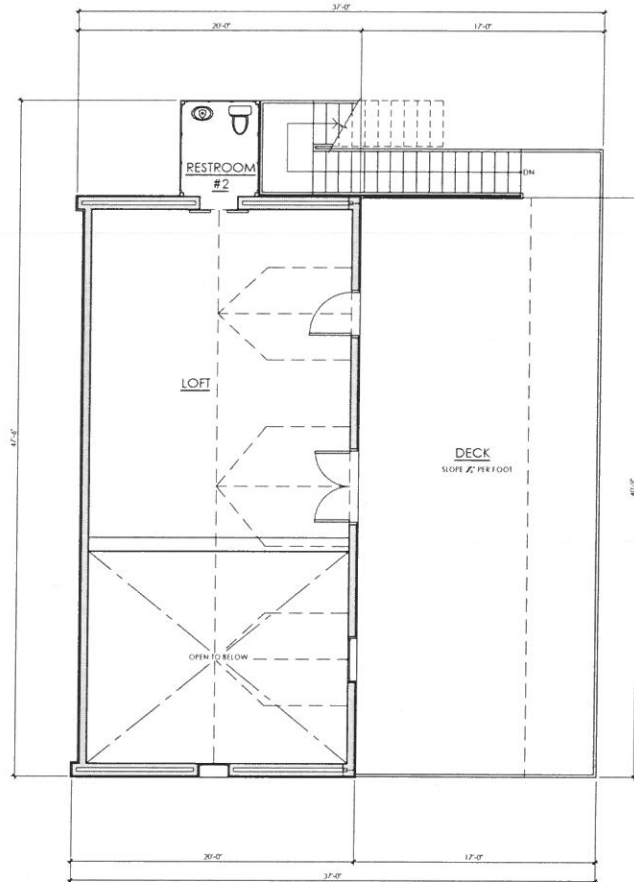
## PROJECT CALCULATIONS



CIERKOSZ  
RESIDENCE  
3919 MAINSAIL PLACE  
SOQUEL, CA 95073  
APN: 102-441-15

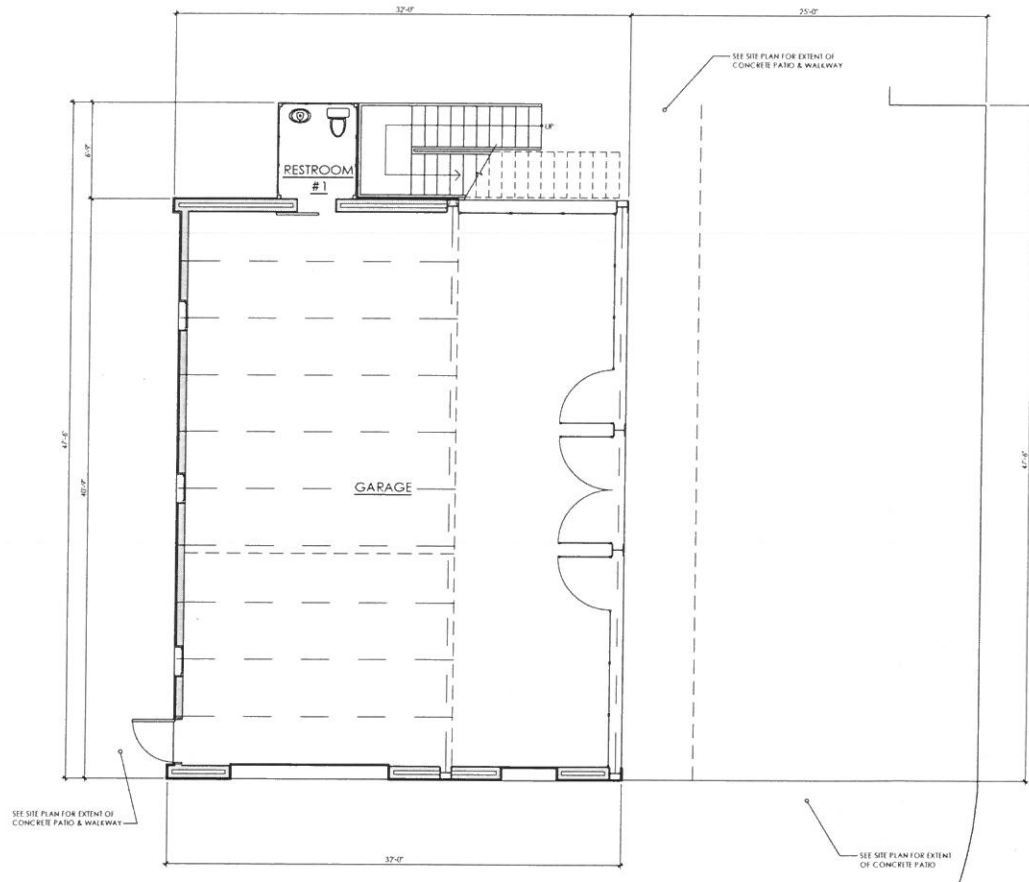






PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"  
3/24/17  
7/15/18 DECK



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"  
1/26/18



THE MATSON GROUP  
ARCHITECTS  
3000 15TH AVENUE, SUITE 100  
SAN FRANCISCO, CA 94115  
415.774.1111  
WWW.MATSONARCHITECTS.COM

7/13/17 PLANS

CIERKOSZ  
RESIDENCE  
3919 MARSALE PLACE  
SIOQUE, CA 95073  
APN: 102-441-15

PROPOSED  
FLOOR PLANS



DATE
04 / 17 / 17
DRAWN
FE
DESIGNED
CIERKOSZ
SHEET

P3



# LEGEND

- (E) PAVERS
- (E) CONCRETE
- PROPOSED CONCRETE
- PROPERTY LINE
- PROPOSED SETBACK
- PROPOSED LIMIT OF GRADING
- PROPOSED SHALE
- PROPOSED FORMER SD
- (E) FLOWLINE
- PROPOSED SDOO
- PROPOSED TREE REMOVAL
- 425.0
- PURPOSED SPOT ELEVATION
- (E) ROCK AND RETAINING WALLS

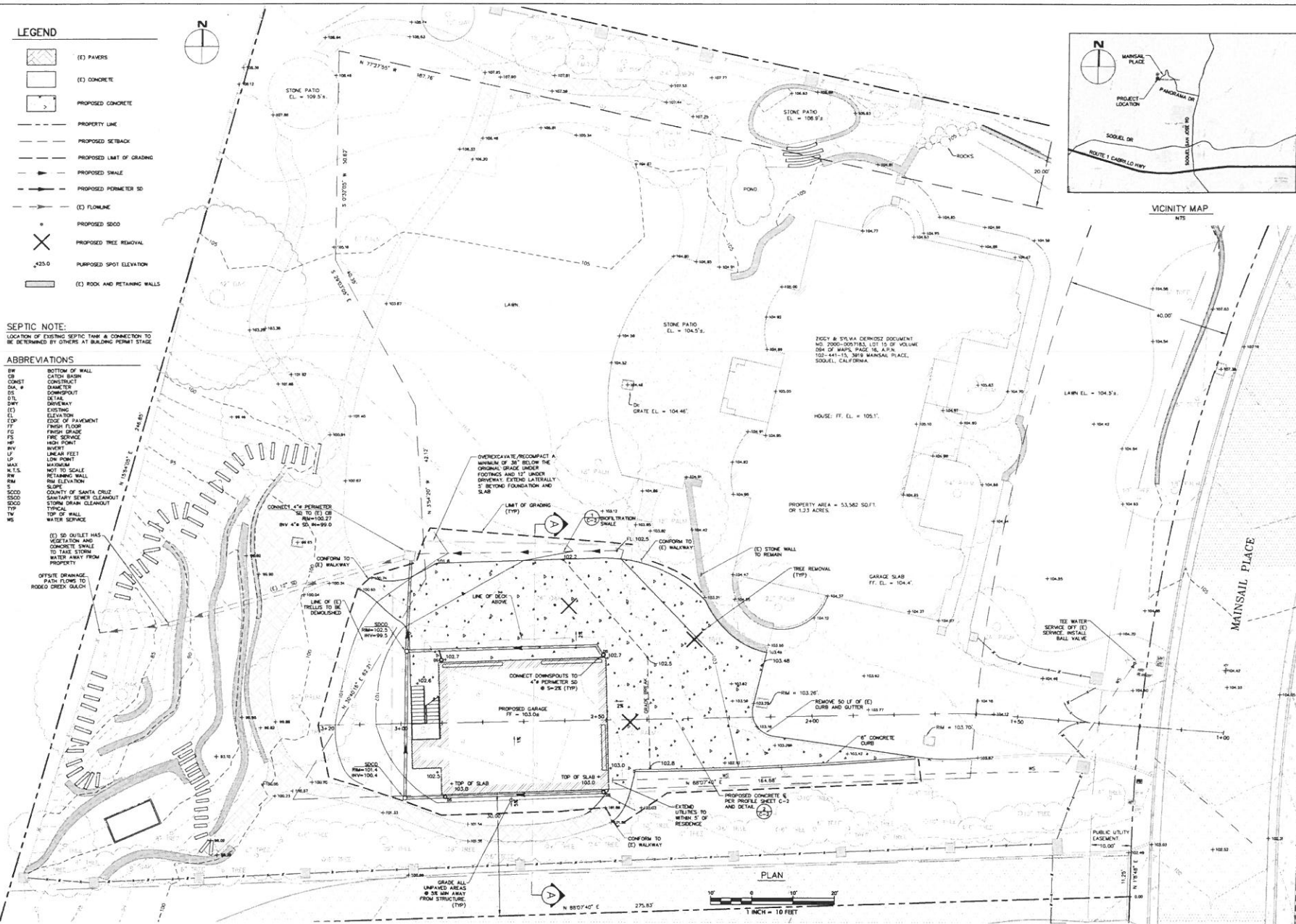
SEPTIC NOTE:  
LOCATION OF EXISTING SEPTIC TANK & CONNECTION TO  
BE DETERMINED BY OTHERS AT BUILDING PERMIT STAGE

## ABBREVIATIONS

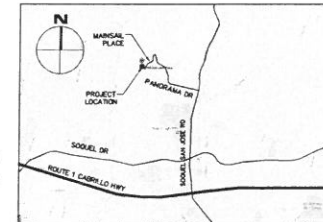
- BM BOTTOM OF WALL
- CB CATCH BASIN
- CONST CONSTRUCT
- DIA # DIAMETER
- DOWN DOWNSPOUT
- DET DETAIL
- DRW DRIVEWAY
- EXIST EXISTING
- EL ELEVATION
- EDGE OF PAVEMENT
- FINISH FLOOR
- FG FINISH GRADE
- FS FIRE SERVICE
- HP HIGH POINT
- INV INVERT
- LF LINEAR FEET
- LP LOW POINT
- MAX MAXIMUM
- N.T.S. NOT TO SCALE
- RETAINING WALL
- RM RETAINMENT
- SDO SLOPE
- SDO COUNTY OF SANTA CRUZ
- SDO SANITARY SEWER CLEARANCE
- SDO STORM DRAIN CLEARANCE
- TOP TOP OF WALL
- TS TYPICAL
- TV TOP OF WALL
- WS WATER SERVICE

(E) SD OUTLET HAS  
VEGETATION AND  
CONCRETE SWALE  
TO TAKE STONE  
WATER AWAY FROM  
PROPERTY

OFFSITE DRAINAGE  
PATH FLOWS TO  
ROAD DRAIN GULCH



## VICINITY MAP



**R.I. Engineering, Inc.**

303 Polero St., Suite 42-202, Santa Cruz, CA 95060  
831-425-3901 www.rilingengineering.com

NEW GARAGE  
FOR  
ZSOGY AND SYLVIA DIERKOSE  
8915 MAINSAIL PLACE  
APR 12-2017  
GRADING & DRAINAGE PLAN

project no.  
18-094-1  
date  
JAN 2017  
scale  
AS SHOWN  
DWG NUMBER  
CIVIL1.dwg

C-1

PLANNING SUBMITTAL

## GENERAL NOTES

- THE CONTRACTOR SHALL MAKE A DETAILED AND THOROUGH STUDY OF THESE PLANS IN THEIR ENTIRETY PRIOR TO ANY WORK ON THE JOB SITE. THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND DISCREPANCIES PRIOR TO THE START OF WORK. THE CONTRACTOR IS ALSO TO VERIFY THE ACCURACY OF THE BOUNDARY SURVEY AND TO CORRECT ANY DISCREPANCIES PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCY OCCURRING ON THE DRAWINGS OR FOUND IN HIS COORDINATION WORK. NO CHANGES IN APPROVED PLANS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE PROJECT ENGINEER AND THE COUNTY OF SANTA CRUZ DEPARTMENT OF PUBLIC WORKS.
- ANY REQUEST FOR ALTERATIONS OR SUBSTITUTIONS MUST BE PRESENTED DIRECTLY TO THE PROJECT ENGINEER, ACCOMPANIED BY A DETAILED SPECIFICATION OF THE PROPOSED WORK. ANY REQUEST WILL BE GIVEN AND PROCEEDING WITH THE WORK ABSOLUTELY NO ALTERATIONS OF THESE DOCUMENTS OF ANY KIND WILL BE APPROVED ON ANY SHOP DRAWINGS.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS (CALTRANS) LATEST EDITION, THE COUNTY OF SANTA CRUZ DESIGN CRITERIA, AND ALL APPLICABLE CODES AND ORDINANCES.
- THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THE PLANS WERE OBTAINED FROM RECORD DRAWINGS AND MAY NOT REPRESENT TRUE LOCATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF THESE UTILITIES PRIOR TO CONSTRUCTION, AND TO NOTIFY THE PROJECT ENGINEER IN CASE OF CONFLICT.
- THE CONTRACTOR SHALL SECURE ALL REQUIRED CONSTRUCTION PERMITS FROM THE COUNTY OF SANTA CRUZ PRIOR TO THE START OF WORK.
- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONTRACTOR FURTHER AGREES TO OBTAIN, MAINTAIN AND HOLD PROJECT ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT. EXISTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE PROJECT ENGINEER.
- GRADING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATIONS AND THE REQUIREMENTS OF THE COUNTY OF SANTA CRUZ.
- THE CONTRACTOR SHALL NOTIFY THE COUNTY GRADING INSPECTOR, GEOTECHNICAL ENGINEER, THE CIVIL ENGINEER, & THE COUNTY CONSTRUCTION ENGINEER AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- WORK SHALL BE LIMITED TO 8:00 A.M. TO 5:00 P.M. WEEKDAYS. NON-NOISE PRODUCING ACTIVITIES, SUCH AS INTERIOR PAINTING, SHALL NOT BE SUBJECT TO THIS RESTRICTION.
- ALL FIGURE (FIG.) REFERENCES, UNLESS OTHERWISE SPECIFIED, REFER TO STANDARD DRAWINGS IN THE CURRENT EDITION OF THE COUNTY OF SANTA CRUZ DESIGN CRITERIA.
- NO LAND CLEARING, GRADING OR EXCAVATING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS THE PLANNING DIRECTOR APPROVES A SEPARATE WHITE EROSION CONTROL PLAN.
- BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY BEFORE COMPLETION OF THE PROJECT. ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE CONTINUOUSLY PROTECTED FROM EROSION.
- THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT CRACKING DURING CURING. LEAVING THE PROJECT SITE, ALL EXPOSED EARTH SHALL BE WATERED DOWN AT THE END OF THE WORK DAY.
- WATER IN TRAVEL TO AND FROM THE PROJECT SITE, ALL TRUCKS TRANSPORTING FILL SHALL BE EQUIPPED WITH WASHES.
- PURSUANT TO SECTIONS 16.40.010 AND 16.42.100 OF THE COUNTY CODE, IF AT ANY TIME DURING SITE PREPARATION, EXCAVATION, OR OTHER GROUND DISTURBANCE ASSOCIATED WITH THIS DEVELOPMENT, ANY ARTIFACT OR OTHER EVIDENCE OF AN HISTORIC ARCHAEOLOGICAL RESOURCE OR A NATIVE AMERICAN CULTURAL SITE IS DISCOVERED, THE RESPONSIBLE PERSONS SHALL IMMEDIATELY CEASE AND DESIST FROM ANY FURTHER SITE EXCAVATION AND NOTIFY THE SHERIFF-CORPSE IF THE DISCOVERY CONTAINS HUMAN REMAINS. OR THE PLANNING DIRECTOR IF THE DISCOVERY CONTAINS HUMAN REMAINS. THE PROCEDURES ESTABLISHED IN SECTIONS 16.40.010 AND 16.42.100 SHALL BE OBSERVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF CONSTRUCTION QUANTITIES PRIOR TO BEGGING ON ANY ITEM. QUANTITY REFERENCES SHOWN ON THESE PLANS OR ENGINEER'S ESTIMATES ARE FOR ESTIMATING PURPOSES ONLY AND SHALL NOT BE CONSIDERED AS A BASIS FOR CONTRACTOR PAYMENT. CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY FLUCTUATIONS IN SUCH QUANTITIES AND ESTIMATES.
- THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR OR LIABLE FOR UNAUTHORIZED CHANGES, OR USES OF THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- UNDERGROUND UTILITY LOCATIONS SHOWN ARE COMPILED FROM INFORMATION SUPPLIED BY UTILITY AGENCIES AND ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY LOCATIONS OF AFFECTED UTILITY LINES PRIOR TO ANY TRENCHING OR EXCAVATING AND PROVIDE THOSE AREAS WHERE EXISTING UTILITIES EXIST OR WHERE DATA IS OTHERWISE INCOMPLETE. FOR LOCATION, CALL USA 1-800-824-1444.
- ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE OWNER'S EXPENSE.

## EARTHWORK AND GRADING

- WORK SHALL CONSIST OF ALL CLEARING, GRUBBING, STRIPPING, PREPARATION OF LAND TO BE FILLED, EXCAVATION, SPREADING, COMPACTION AND CONTROL OF FILL, AND ALL SUBORDINARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADES, AND SLOPES, AS SHOWN ON THE APPROVED PLANS.
- ALL GRADING OPERATIONS SHALL CONFORM TO SECTION 19 OF THE CALTRANS STANDARD SPECIFICATIONS AND SHALL ALSO BE DONE IN CONFORMANCE WITH THE REQUIREMENTS OF THE COUNTY OF SANTA CRUZ. THE MOST STRINGENT REQUIREMENT SHALL PREVAIL.
- REFERENCE IS MADE TO THE GEOTECHNICAL INVESTIGATIONS BY PACIFIC CREST ENGINEERING INC., ENTITLED "GEOTECHNICAL INVESTIGATION FOR PROPOSED RESIDENTIAL DEVELOPMENT AT 3818 MANGA PLAZA," DATED JANUARY 2017. THE CONTRACTOR SHALL MAKE A THOROUGH REVIEW OF THIS REPORT AND SHALL FOLLOW ALL RECOMMENDATIONS THEREIN. THE CONTRACTOR SHALL CONTACT PACIFIC CREST ENGINEERING INC. FOR ANY CLARIFICATION NECESSARY PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL GRADE TO THE LINE AND ELEVATIONS SHOWN ON THE PLANS AND SHALL SECURE THE SERVICES OF A REGISTERED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER TO PROVIDE STAKES FOR LINE AND GRADE.
- THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED AT LEAST FOUR (4) DAYS PRIOR TO ANY SITE CLEARING AND GRADING OPERATIONS.
- STOPPED AREAS SHOULD BE SCARIFIED TO A DEPTH OF ABOUT 1-3 INCHES ABOVE THE OPTIMUM, AND COMPACTED TO A DENSITY EQUIVALENT TO AT LEAST 90% OF THE MAXIMUM DENSITY OF THE SOIL ACCORDING TO ASTM D1557 (LATEST EDITION). SUBGRADES AND AGGREGATE BASE ROCK FOR PAVEMENTS SHOULD BE COMPACTED TO A MINIMUM OF 90%.
- ENGINEERED FILL SHOULD BE PLACED IN THIN LIFTS NOT EXCEEDING 12 INCHES THICKNESS. MOISTURE CONFINED, AND COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.
- MATERIAL USED FOR ENGINEERED FILL SHALL MEET THE REQUIREMENTS OF THE AGGREGATION REPORTS BY PACIFIC CREST ENGINEERING INC.
- IMPORTED FILL MATERIAL USED AS ENGINEERED FILL FOR THE PROJECT SHALL MEET THE REQUIREMENTS OF THE AGGREGATION REPORTS BY PACIFIC CREST ENGINEERING INC.
- ALL FILL MATERIAL SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO JOBSITE DELIVERY AND PLACEMENT. EARTHWORK OPERATIONS SHALL BE PERFORMED WITHOUT THE DIRECT OBSERVATION AND APPROVAL OF THE GEOTECHNICAL ENGINEER.
- BARE GROUND WITHIN 10' OF FOUNDATIONS SHALL BE SLOPED ABOUT 8:1 MINIMUM OR 2% MINIMUM FOR PAVED SURFACES.

## PROPOSED IMPERVIOUS SURFACE

(C) IMPERVIOUS TO BE REMOVED	150 SF
GARAGE (IMPERVIOUS)	1354 SF
CONCRETE DRIVEWAY - (IMPERVIOUS)	3022 SF
TOTAL NEW IMPERVIOUS AREA	4376 SF
TOTAL INCREASE IN IMPERVIOUS AREA	4226 SF

## TOPOGRAPHIC SURVEY

THE TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION PROVIDED HEREON WAS COMPLETED BY MANGA LAND SURVEYING INC. IN EXISTING INC. MAKES NO GUARANTEE AS TO THE ACCURACY OF BOTH. THE CONTRACTOR SHALL VERIFY THE BOUNDARY LOCATION AND TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING WORK.

## BASES OF BEARINGS

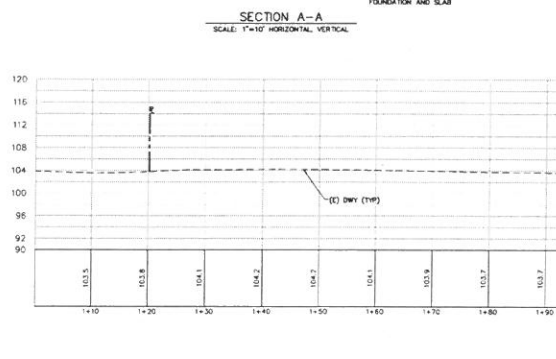
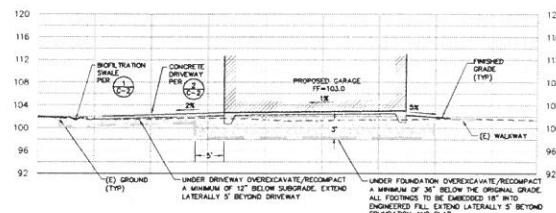
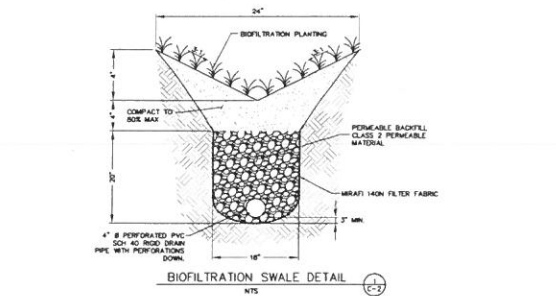
TRACT NO. 1285 MAP, 084-M-16, SANTA CRUZ COUNTY RECORDS

## BASES OF ELEVATION

1/2" FROM PPM LOCATED 160' SOUTH OF (C) DMY, US 551.3, ASSUMED 100.00'

## POST CONSTRUCTION STORM DRAIN SYSTEM MAINTENANCE SCHEDULE

ITEM	INTERVAL	INSPECTION	REPAIR
SWALES	ANNUAL	1. BUSHINGS 2. MISPLACED ROCK 3. ACCUMULATION OF TRASH & DEBRIS	1. REPLACE TRANSPORTED ROCK 2. REMOVE TRASH & DEBRIS



## APPROXIMATE EARTHWORK QUANTITIES

	CUT	FILL	NET
SITE GRADING	36	72	36 FILL
EXCAVATION/RECOMPACTION	816	816	0

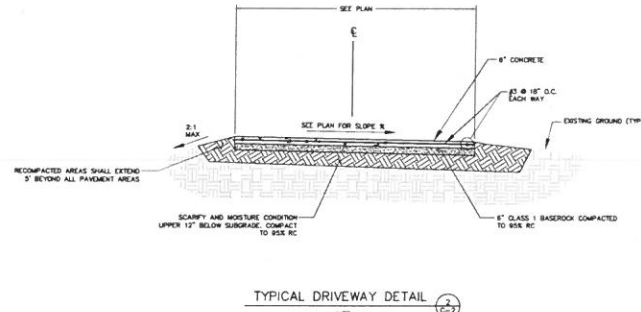
NOTES:  
1. EARTHWORK QUANTITIES ARE APPROXIMATE AND SHALL BE INDEPENDENTLY VERIFIED BY THE CONTRACTOR FOR BIDDING PURPOSES.  
2. EARTHWORK VOLUMES FOR GARAGE GRADING INCLUDE EXCAVATION TO REMOVE GRADE FOR CONSTRUCTION OF THE PROPOSED RESIDENCE. EARTHWORK VOLUMES REQUIRED TO CONSTRUCT THE FOUNDATIONS HAVE NOT BEEN INCLUDED.  
3. EXCESS SOIL SHALL BE HAULED OR PLACED IN A COUNTY APPROVED LOCATION.

## STORM DRAINAGE NOTES

- OUTLETS SHALL POLYETHYLENE CHLORIDE (PVC 30035) OR HIGH DENSITY POLYETHYLENE (HDPE) AND OF EQUAL AND SHALL HAVE A SMOOTH INTERIOR CONFORMING TO SECTION E - STORM DRAINAGE FACILITIES OF COUNTY OF SANTA CRUZ DESIGN CRITERIA.
- INLETS SHALL BE CRUSHED CONCRETE PRODUCTS OR APPROVED EQUAL WITH SMOOTH CONCRETE BOTTOM.
- CONNECT ALL DOWNSPOUTS TO PERMITTER STORM DRAIN.

## STORM DRAIN SYSTEM MAINTENANCE

THE HOME OWNER IS RESPONSIBLE FOR MAINTAINING THE STORM DRAINAGE SYSTEM AND ALL COMPONENTS. EVERY YEAR PRIOR TO THE 3RD WEEK IN DECEMBER (OCTOBER 15TH) ALL THE CATCH BASINS AND STORM DRAIN CLEANSOUTS SHALL BE INSPECTED AND CLEANED OF ANY DEBRIS, SLT, TRASH AND SEDIMENT.



**R.I. Engineering, Inc.**  
303 Potrero St., Suite 42-202, Santa Cruz, CA 95060  
831-425-3901 www.ringengineering.com

NEW GARAGE  
FOR  
2869 AND SYLVIA CIEROSE  
2869 AND SYLVIA CIEROSE  
SANTA CRUZ, CA 95060  
APR 02 441-15  
DETAILS

project no.  
18-094-1  
date  
JAN 2017  
scale  
AS SHOWN  
dwg name  
CIVIL1.dwg

C-2

PLANNING SUBMITTAL



# SITE HOUSEKEEPING REQUIREMENTS

## CONSTRUCTION MATERIALS

1. ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (E.G. SOIL, SPILLS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND REMOVED.
2. ALL CHEMICALS SHALL BE STORED IN WATERPROOF CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
3. EXPOSURE OF CONSTRUCTION MATERIALS TO PREVENT SPILLAGE SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOOR AND EXPOSED TO ENVIRONMENTAL CONDITIONS (E.G. PUMPS, EQUIPMENT PADS, CABINETS, CONDUCTORS, HOISTWAYS, BRIDGES, ETC.).
4. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

## LANDSCAPE MATERIALS

1. EXPOSED STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
2. CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
3. DISCONTINUE THE APPLICATION OF ANY EROSION CONTROL MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIOD OF PRECIPITATION.
4. APPLY EROSION CONTROL MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
5. STOCK EROSION CONTROL MATERIAL ON PALETTE AND COVERING OR STOCKING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

## VEHICLE STORAGE AND MAINTENANCE

1. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.
2. ALL EQUIPMENT ON VEHICLES, WHICH ARE BE FUELED MAINTAINED AND STORED ON-SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BAYS.
3. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

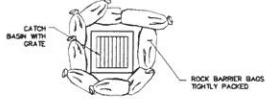
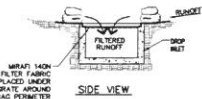
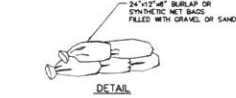
## WASTE MANAGEMENT

1. DISCHARGE OF ANY RUNOFF OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
2. SANITATION FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED AT A MINIMUM OF 50 FEET AWAY FROM ANY WET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
3. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
4. COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
5. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM SHALL BE PREVENTED.
6. STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAINFALL TIMES WHEN NOT ACTIVELY BEING USED.
7. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
8. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY.
9. CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

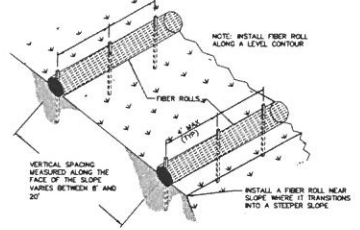
## EROSION CONTROL MEASURES

1. EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BY OCTOBER 15.
2. UNLESS SPECIFIC MEASURES ARE SHOWN OR NOTED ON THIS PLAN, ALL COLLECTED RUNOFF SHALL BE CARRIED TO DRAINAGE COURSES IN LINED CONSULTS. DISCHARGE SHALL BE IN THE LOCATIONS SHOWN ON THE PLANS.
3. THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. IF FAILED INSPECTIONS BY COUNTY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
4. ALL DISTURBED AREAS NOT CURRENTLY BEING USED FOR CONSTRUCTION SHALL BE SEEDS WITH THE FOLLOWING SEED MIXTURE:  
WINTER BARLEY 25%/ACRE
5. AFTER SEEDING, STRAW MULCH WILL BE APPLIED IN 4" (MAX.) LAYERS.
6. ANNUOUS PHOSPHATE FERTILIZER, 8-3-3, SHALL BE APPLIED AT A RATE OF 30 LBS. PER ACRE ON SLOPES GREATER THAN 20% EROSION CONTROL BLANKET (NORTH AMERICAN GREEN) SHALL BE APPLIED.
7. SALT BARRIERS SHALL BE PLACED END TO END AND STAYED DOWN ALONG THE BOTTOM OF ALL GRAZED SLOPES.

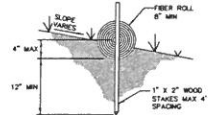
ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO SALT FENCES, FIBER ROLLS AND SLOPE PROTECTION SHALL BE IN PLACE BY OCTOBER 15TH. THE ENGINEER OF RECORD SHALL INSPECT ONCE EROSION CONTROL MEASURES HAVE BEEN INSTALLED.



GRAVEL BAG CATCH BASIN PROTECTION  
NTS



TYPICAL FIBER ROLL INSTALLATION  
NTS



FIBER ROLL DETAIL IN SLOPE AREA  
NTS

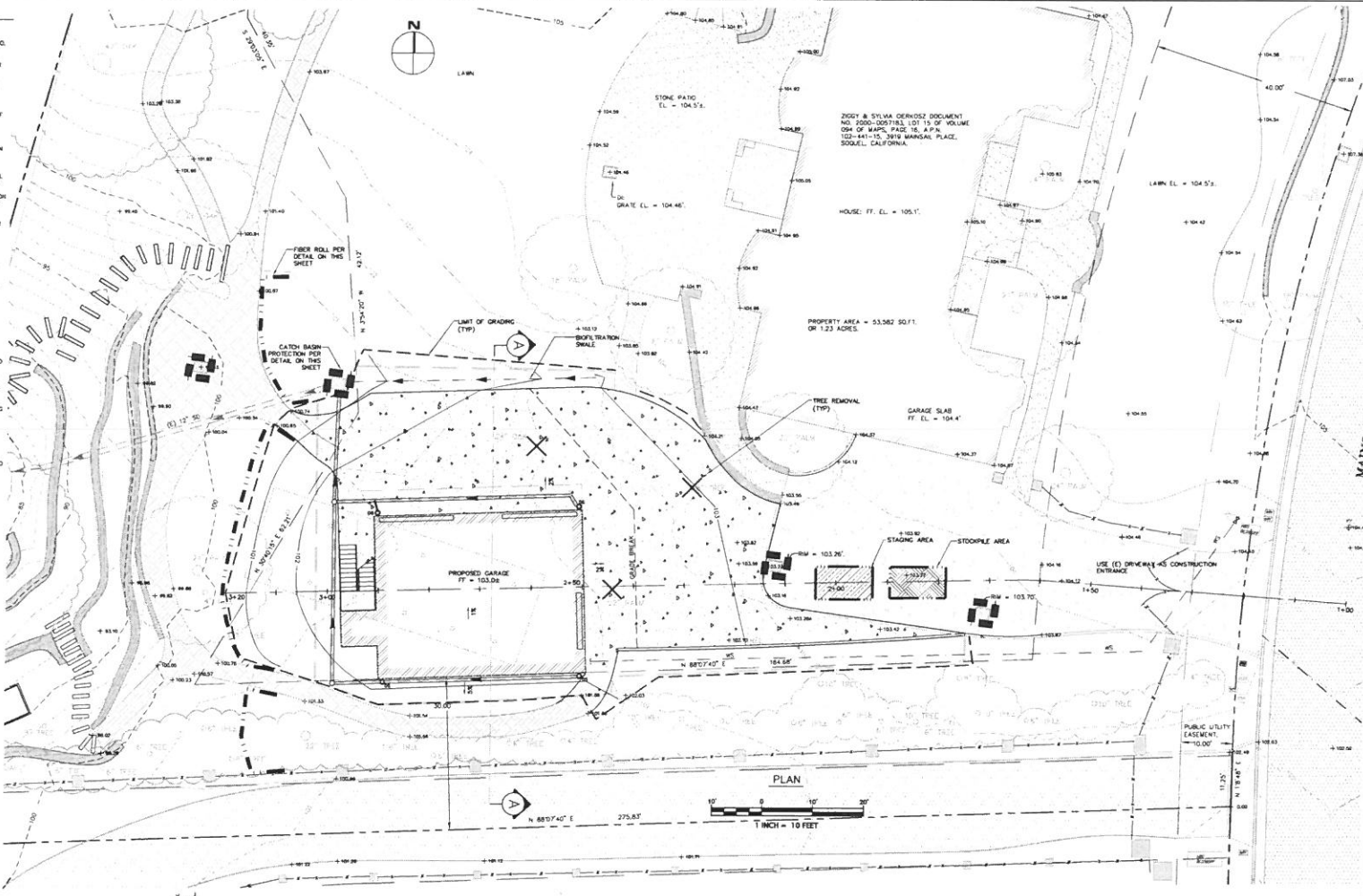
## EROSION CONTROL LEGEND

- INSTALL FIBER ROLL PER DETAILS THIS SHEET
- INSTALL CATCH BASIN PROTECTION PER DETAIL THIS SHEET
- PROPOSED STOCKPILE AREA
- PROPOSED STAGING AREA

## EXPOSED SLOPE MEASURES

1. COVER ALL EXPOSED SLOPES
2. STRAW 2 TONS/ACRE ON SLOPES ≤ 20% WITH SOIL BINDER
3. USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES > 20%

TOTAL AREA OF DISTURBANCE = 0.127 ACRES



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NEW GARAGE FOR ZIGGY AND SYLVIA CERNOSZ  
SCHEMATIC DEVELOPMENT  
SANTA CRUZ, CA 95060  
APN 02-441-15  
STORMWATER POLLUTION CONTROL PLAN

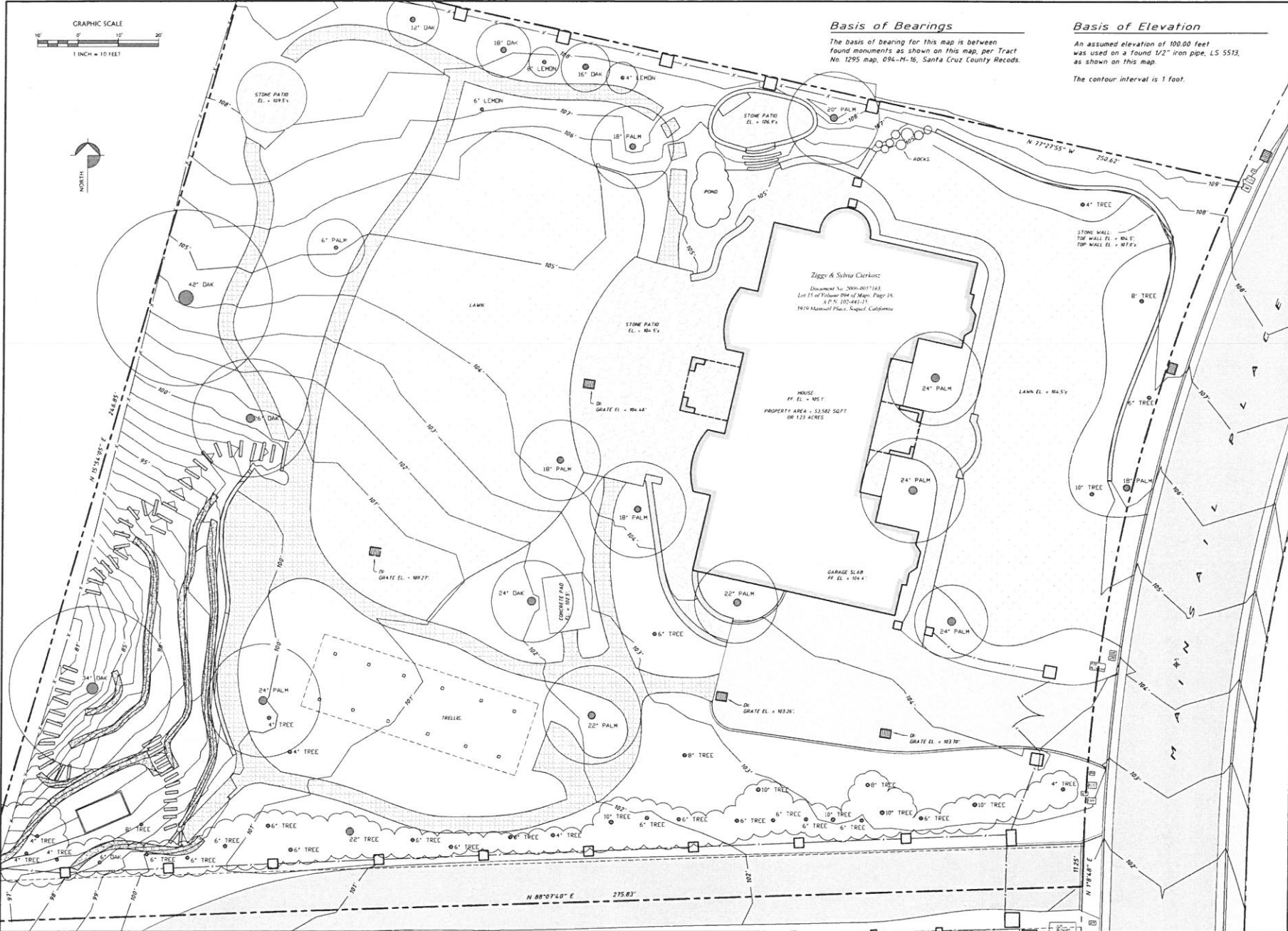
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C-3

PLANNING SUBMITTAL



This map was prepared by the Surveyor for the purpose of showing the location of the proposed improvements and the location of the existing improvements. It is not to be used for any other purpose. The Surveyor is not responsible for the accuracy of the information provided by others. The Surveyor is not responsible for the accuracy of the information provided by others. The Surveyor is not responsible for the accuracy of the information provided by others.



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PREPARED BY <b>Ziggy &amp; Sylvia Cierkosz</b> 3919 Mansall Place, Soquel, CA 95073	CHECKED BY Paul Hanagan, L.S. 7797
A.P.N. 02-441-15 DATE 4/11/2016 SCALE 1" = 20'	SHEET <b>SU-1</b> OF 1 SHEETS 16013 JOB NO