COUNTY OF SANTA CRUZ PLANNING DEPARTMENT 701 Ocean Street, 4th Floor Santa Cruz, CA 95060 (831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application. Plans for this application can be found under the "Pending Projects" quick link at www.sccoplanning.com.

APPLICATON NUMBER: 171124 APN: 064-264-03

Proposal to reconstruct a non-conforming Accessory Dwelling Unit after a fire. Requires an Administrative Use Permit.

Property located on the west side of Rincon Road, at the intersection with Madrone Drive (160/162 Rincon Road).

OWNER: Bernard Sherman APPLICANT: Dennis Anderson SUPERVISORIAL DISTRICT: 5

PLANNER: Nathan MacBeth, (831) 454-3118 EMAIL: Nathan.Macbeth@santacruzcounty.us

Comments on this application must be received by the project planner no later than 5:00 p.m. August 4, 2017.

A decision on Application 171124 shall be made on or shortly after August 7, 2017. The decision will be posted on the Planning Department Website.

Appeals to this decision will be accepted until 5:00 p.m. two weeks after the decision date. For questions please contact the project planner listed above.

CALFORM FULL RESOURCES CODE 437 ON LANDMINE AUTOMINE AUTOMINE
SCHOOL \$132.

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PER 7917 OF SECTION 1927 3

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MANACTURE THE ROOT SICKING ASSEMBLY ON THE THEIR SHALL SECTION THE PROPERTY OF THE PROPERTY APPROVED MATERIALS, OR HAVE A LAYER OF NO, 72 ASTM CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING PER 2013 CRC SECTION R327.5.2

PER 2012 DEC SECTION 1827-3 I.

ROY GUTTERS PAUL BE PROVIDED WITH THE WEARS TO PREVENT THE ACCUMULATION OF LEWES AND DESHIS IN THE GUTTER. PER 2012 DEC SECTION 1827-34 I.

EXTENSIVE WINDOWS, WINDOWS LAZED DOORS AND GLAZED EXTENSIVE WINDOWS, WINDOWS LAZED DOORS AND GLAZED FOR WILLIAMS (GLAZED ACCUMENTS OF HIGH COLUMNISTICS OF HIGH CALLING WINDOWS LAZED ACCUMENTS OF HIGH CALLING ACCUMENT ACCUMENT OF HIGH COLUMNISTICS WHEN THE FIRE ACCUMENTS OF HIGH COLUMNISTICS OF HIGH CALCUMING ACCUMENT ACCUMENT ACCUMENT ACCUMENT OF HIGH COLUMNISTICS WHEN THE FIRE ACCUMENTS OF SIN 12-72, PER 2013 DEC SECTION 1822 8.2 THE CERTIFICATION OF SIN 12-72, PER 2013 DEC SECTION 1822 8.2 THE CERTIFICATION OF SIN 12-72, PER 2013 DEC SECTION 1822 8.2 THE CERTIFICATION OF SIN 12-72, PER 2013 DEC SECTION 1822 8.2 THE COLUMNISTICS WINDOWS LATER ACCUMENT ACCUMENTS OF HIGH COLUMNISTICS WINDOWS LATER ACCUMENTS OF SIN 12-73. OF SIN 12-

THAN 1 35" THICK WITH INTERIOR PANELS NO LESS THAN 1 16" THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO ASTM E 2074.

PER 2013 CRC SECTION R327 8 3 (EXCEPTION NONCOMBUSTIBLE OR EXTERIOR FIRE-RETARDANT TREATED WOOD VEHICL & EXCESS DOORS.)

THE PROPOSED STRUCTURE IS IN THE STATE RESPONSERLITY AREA (SRA)
AND IS IN THE MODERATE SEVENIT JONE

ABBREVIATIONS

CONTROLOUS
COUNTERS
C FOUNDATION
FINISH
R.OOR
FINISH
R.OOR
FREPROOFING
FOOTING
GALVANIZED IRON
GYPSUM WALLBO
GAUGE
GLASS
HOLLOW CORE
HOT WATER
HOSEBB
HEADER
HORIZONTAL
HEIGHT
HEATER T.O. T.O.C. T.O.C. T.O.C. T.O.C. T.O.W. T.P.H. T.P.H. T.P.H. T.P.H. V.T.R. V.T.

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OVER
ON CENTER
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PLATIC LAMINATE
PLYWOOD
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RAIN WATER LEADER
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WOOD WINDOW WATER HEATER

GENERAL NOTES

GENERAL NOTES

ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS, ORDINANCES AND REGULATIONS APPLICABLE AS FOLLOWS.

2012 INTERNATIONAL BUILDING CODE

2013 GALIFORNIA BUILDING CODE 2013 CALIFORNIA RESIDENTIAL CODE

2012 CALIFORNIA MECHANICAL CODE 2012 CALIFORNIA PLUMBING CODE

2012 CALIFORNIA ELECTRICAL CODE

2013 CALIFORNIA GREEN BUILDING STANDARDS 2013 CALIFORNIA ENERGY EFFICIENCY STANDARDS

2013 CALIFORNIA FIRE CODE

NOTHING IN THE CONTRACT DOCUMENTS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES, LAWS, ORDINANCES AND REGULATIONS.

ALL WORK LISTED. SHOWN, OR IMPLIED ON ANY CONSTITUTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GISTERIAL CONTRACTOR EXCEPT WHERE SHOWN AND THE CONTRACTOR SHOWN AND ANY CONTRACTOR EXCEPT WHEN WORK WITH THAT OF THE CONTRACTOR SHOWN AND CONTRACTOR SHOWN AND ANY CONTRACTOR SHOWN ANY CONTRACTOR SHOWN AND ANY CONT

CONTRACTOR SHALL FIELD VERSEY EXISTING SITE CONDITIONS PRIOR TO COMMENCING WITH COST ESTIMATE.

ALL ITEMS ARE NEW UNLESS SPECIFICALLY INDICATED OR NOTED AS EXISTING

ALL DINENSIONS ARE FROM FACE OF STUD OR CENTERLINE OF COLUMN OR CENTERLINE OF DOOR OR OTHER SCHEDULED OPENING.

THE CONTRACTOR SHALL COORDINATE LAYOUT DIMENSIONS INDICATED ON THE LANGSCAPE, STRUCTURAL, AND ELECTRICAL DRAWINGS WITH THOSE INDICATED ON THE ARCHITECTURAL DRAWINGS, ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

SEE ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS, ELEVATIONS, DEPRESSIONS IN SLAB, OPENINGS IN WALLS AND ROOF, ROOF SLOPE, CRICKETS, AND ROOF DRAWINGS.

IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE CONSTRUCTION DOCUMENTS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SHIELAR CONCETIONS THAT ARE SHOWN.

THE CONTRACTOR SHALL VERIFY ALL ELECTRICAL, NECHANICAL, TELEPHONE AND SECURITY REQUIREMENTS BEFORE CONSTRUCTION BEGINS.

THE CONTRACTOR SHALL COORDINATE THE LOCATIONS OF LIGHTS, HVAC OUTLET AND INLET REGISTERS, AND SMOKE DETECTORS BEFORE CONSTRUCTION BEGINS.

ON ALL CONTINUOUS SURFACES WHERE CONSTRUCTION INVOLVES MORE THAN ONE MATERIAL, FINISH OR MATERIAL THICKNESS, ALIGN FACE OF FINISH U.N.O.

THE CONTRACTOR SHALL REPLACE OR REPAIR AT CONTRACTOR'S EXPENSE, ALL DAMAGED. REMOVED OR OTHERWISE DISTURBED EXISTING UTLITTEE. WHERCOMMENTS ON FEATURES OF WAITEVER NATURE. TO THEIR DRIGINAL CONDITION WHETHER SHOWN ON THE DRAWINGS OR NOT.

VERFY MOUNTING HEIGHTS OF BACKING PLATES AND SPECIAL STRUCTURAL SUPPORT REQUIREMENTS WITH EQUIPMENT MANUFACTURERS BEFORE INSTALLING BACKING PLATES AND SUPPORT.

THE USE OF THE WORD "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTOXICED TO MEAN THAT SUCH SHALL BE FURNISHED. INSTALLED AND CONNECTED WHERE 30 REQUIRED, U.N.O.

THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL INFAIOS. AND SHALL PROYDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.

ALL DIMENSIONS ON THE FLOOR PLAN AND SECTIONS NEED TO BE VERIFIED.
MAINTAIN ACCESSIBILITY REQUIRED MINIMUM CLEARANCES.

FIRE NOTES

ROOF COVERINGS TO BE NO LESS THAN CLASS 'A RATED ROOF.

BUILDING NUMBERS SHALL BE PROVIDED, NUMBERS SHALL BE A MINIMUM OF 4" IN HEIGHT ON CONTRASTING BACKGROUND AND VISBLE FROM THE STREET, WHEN NUMBERS ARE NOT VISBLE FROM THE STREET ADDITIONAL NUMBERS SHALL BE INSTALLED ON DIRECTIONAL A CONCLUSIVE OF THE STREET ADDITIONAL AND THE STREET ADDITIONAL AND THE STREET. SIGN AT THE PROPERTY DRIVEWAY AND THE STREET.

1. BUILDING TO BE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM COMPLYING WITH THE CURRENT ADOPTED EDITION OF NEPS 13-D, AND ADOPTED STANDARDS OF THE FELTON FIRE PROTECTION DISTRICT,

3. THE DESIGNER / INSTALLER SHALL SUBMIT THREE (3) SETS OF PLANS AND CALCULATIONS FOR THE UNDERGROUND AND OVERHEAD RESIDENTIAL AUTOMATIC FIRE SPRINKLER SYSTEM TO THE FIRE DEPARTMENT FOR APPROVAL PRIOR TO INSTALL.

DEFERRED SUBMITTALS

1. FIRE SPRINKLER DRAWINGS & CALCULATIONS TO BE SUBMITTED AS DEFERRED SUBMITTAL

2. CONSTRUCTION WASTE MANAGEMENT PLAN ON SHEET GB.1 TO BE SUBMITTED ONCE CONTRACTOR IS CHOSEN

HERS VERIFICATION

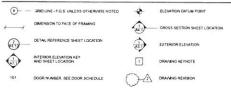
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HERS VERIFICATION IS REQUIRED. HERS IAQ FAN REQUIRED - SEE SHEET EN 1 FOR IAQ FAN I 20 46 CFM me men

VICINITY MAP



SYMBOLS



WINDOW NUMBER, SEE WINDOW SCHEDULE

EROSION CONTROL

SEE SANTA CRUZ COUNTY CONSTRUCTION SITE STORMMATER POLLUTION CONTROL BMP MANUAL FOR MORE INFORMATION & STANDARDS FOR BEST MANAGEMENT PRACTICES

EROSION SHALL BE CONTROLLED AT ALL TIMES. SPECIFIC MEASURES STATED HERE ARE TO BE IN EFFECT FROM OCTOBER

19 TO JAMEL 15.

ALL SIES STORM GOPERANDED RUNDIFS SHALL BE PERCOLAFEE INTO THE GROUND AS SHOWN ON THE PLANS, NO CONCENTRATION RUNDIFS SHALL BE OTHERWISE ALL OWNED. TO BE CONCENTRATION RUNDIFS SHALL BE SHAPE OF THE GROUND.

ALL CROUND SHAPES SHAPE ARE DESTROYED OF GORDON OPERATIONS SHALL BE REPORTATION WITH THE FOLLOWING NATIVE PREFINAL BUNCHIGHASS SEED MIX BY HAND BROADCASTRIS AND LIGHTLY RANKS IT INTO THE SOIL.

FESCUE RUBRA (CREEPING RED FESCUE)

HORDEUM BRACHYANTHERUM A LIS PER ACRE

ONCE THE SOIL HAS BEEN SEEDED AND RAKED. COVER IT WITH 2" OF STRAW, USE NATIVE BUNCHGRASS STRAW IF AWAILABLE, FERTILIZE WITH AMMONIUM PHOSPHATE AT AN APPLICATION RATE OF 250 LBS PER ACRE.

10 LB PER ACRE

SILT BARRIERS SHALL BE PLACED ALONG THE BOTTOM OF GRADED SLOPES TO PREVENT A CONTINUOUS BARRIER AT A

CATCH BASINS SHALL BE ENCIRCLED BY HAY BALES OR SILT FENCES. (AS REQUIRED)

PROJECT DATA

PROJECT DESCRIPTION

(N) 544 SQ.FT. ADU TO REPLACE FIRE DESTROYED RESIDENCE.

APN 064-26-403 R-1-5 14,897 SQ.FT

FIRE SPRINKLERS FULLY SPRINKLERED

CONST TYPE FLOOR AREA

PROPOSED NET FLOOR AREA:

EXISTING GARAGE & WORKSHOP (UNCONDITIONED): 1.372 SQ.FT. EXISTING SINGLE HOUSE (CONDITIONED) 1.556 SQ.FT.

TYPE V

544 SQ.FT

EXISTING ADU

EXISTING LOT COVERAGE 2 338 SQ FT (15.7%)

544 SQ.FT

PROPOSED LOT COVERAGE: 2,338 SQ.FT. (15.7%)

OWNER

CONTACT

ARCHITECT

ANDERSON MCKELVEY ARCHITECTS 536 SOQUEL AVE SANTA CRUZ, CA 35052 VOICE, 5331) 457-8348 FAX. (531) 423-2724

STRUCTURAL

SHEET INDEX

ARCHITECTURAL DRAWINGS

PROJECT DATA & NOTES A1.0 -SITE PLAN A2.0 -FLOOR PLAN & ROOF PLAN A3.0 -EXTERIOR ELEVATIONS & SECTION ME1.0 MECHANICAL & ELECTRICAL PLANS EN.1 -TITLE 24

EN.2 -TITLE 24 GB.1 -GREEN BUILDING

STRUCTURAL DRAWINGS

STRUCTURAL SPECIFICATIONS \$1.0 FOUNDATION / 1ST FLOOR FRAMING \$2.0 TYPICAL STRUCTURAL DETAILS 53.0 STRUCTURAL DETAILS

MCKELVE

536 SOQUEL AVENUE SANTA CRUZ. CA 95062 TEL 831, 457, 8548 FAX 831, 423 2724



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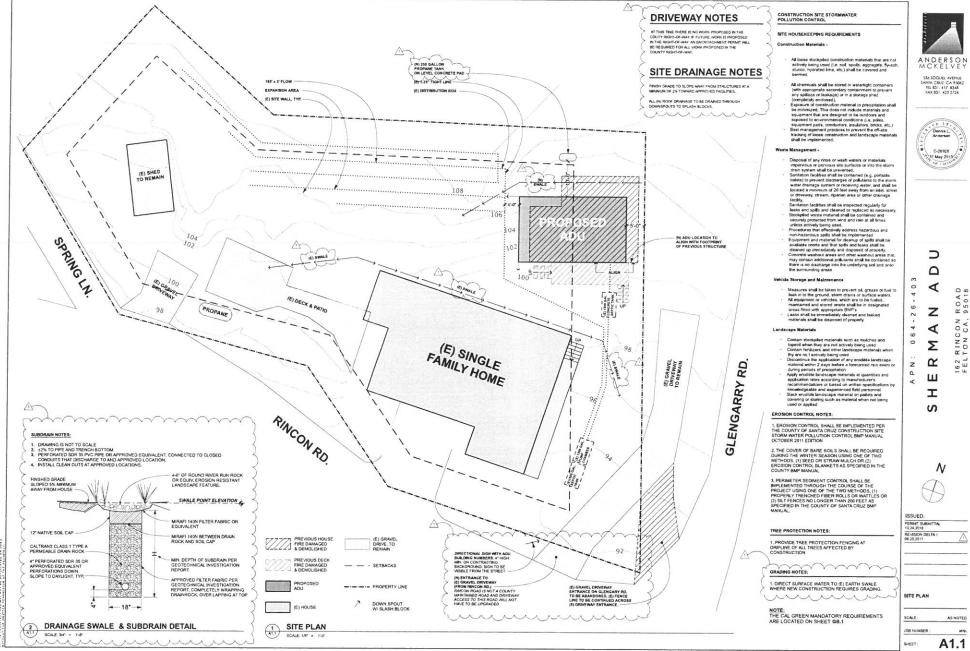
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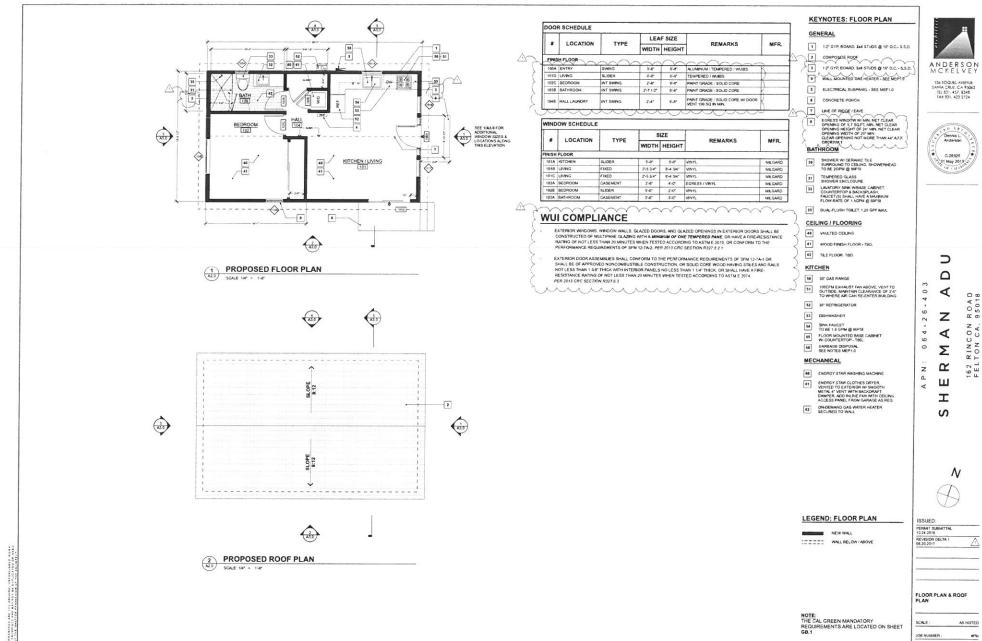
PROJECT DATA & NOTES

SCALE AS NOTED OB NUMBER

A1.0





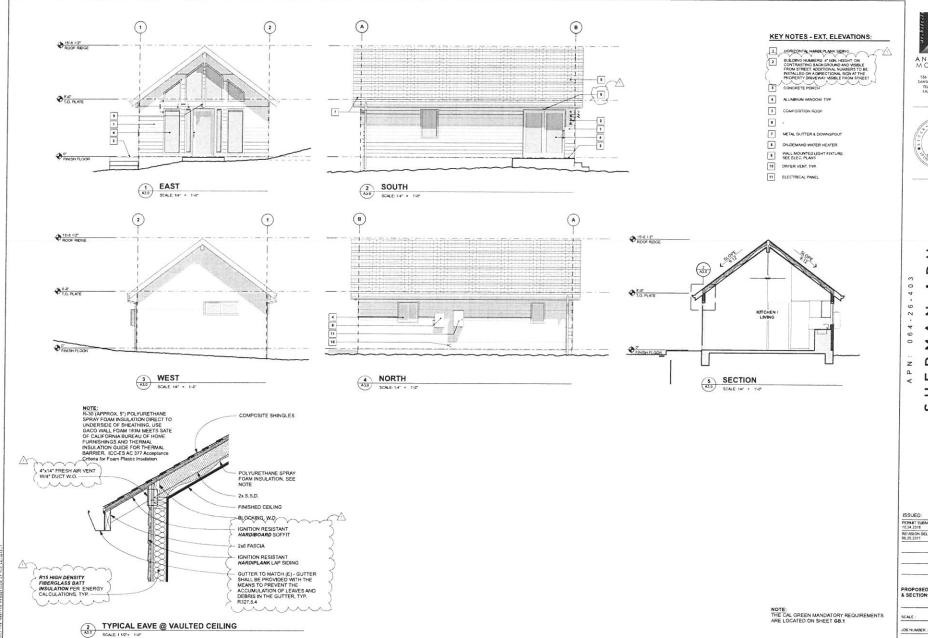




AS NOTED #Pln

SHEET

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ANDERSON MCKELVEY

536 SOQUEL AVENUE SANIA CRUZ. CA 95062 TEL 831 - 457 8348 FAX 831 - 423 2724



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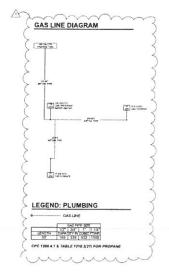
PERMIT SUBMITTAL 10.24.2016

PROPOSED ELEVATIONS & SECTIONS

AS NOTED aPin

A3.0





LEGEND : ELECTRICAL, MECHANICAL & PLUMBING PLAN

RECESSED HIGH EFFICIENCY LED DOWN LIGHT , EXTERIOR LOCATION Ø

0

EXTERIOR WALL MOUNTED HIGH EFFICIENCY FIXTURE -€H

6 6 6 WALL/CELING MOUNTED TRACK LIGHT

O LED STRIF

s SWITCH

f SWITCH DRIABLE

5 SWITCH DCCUPANCY VACANCY SENSOR



CEILING MOUNTED OUTLET

PHONE / DATA OUT: ET

©+ GAS HOOKUP

HOSE BIB

ELECTRICAL PANEL

COMBINATION SMOKE DETECTOR & CARBON MONOXIDE MONITOR ALARM

TV)

CEILING FAN W. LIGHT

KEYNOTES: ELECTRICAL, MECHANICAL & PLUMBING PLAN

ELECTRICAL

1 CEILING FAN & LIGHT (LIGHT TO BE SWITCHED SEPARATELY)

ELECTRICAL PANEL - MAINTAIN 6-6" MIN.
HEAD CLEARANCE IN 3'-0" X 3'-0" CLEAR
SPACE IN FRONT OF PANEL

PROVIDE SEPARATE CIRCUIT FOR EACH LAUNDRY APPLIANCE, (15, 20 OR 30 AMP AS REQUIRED) WITH NO OTHER OUTLETS ON THE CIRCUIT, PER CEC SECTION 210,11.

PROVIDE ELECTRICAL HODKUP TO APPLIANCE(S) PER MFR. INSTRUCTIONS

PROVIDE AT LEAST ONE (1) SEPARATE 26-AMP CIRCUIT FOR BATHROOM OUTLETS, WITH NO OTHER OUTLETS ON THE CIRCUIT, PER CEC SECTION 210.11.

MECHANICAL

4" DIAM, SMOOTH METAL DRYER EXHAUST TO EXTERIOR WITH BACKDRAFT DAMPER

21 ENERGY STAR WASHER & DRYER

HOOD EXHAUST FAN (100 CFM MIN), VENTED TO EXTERIOR

ON DEMAND NATUAL GAS WATER HEATER, PROVIDE DEDICATED GAS LINE, NORITZ NRCHI-OD, SEE MANUFACTURE'S REQUIREMENTS 23

24 GAS WALL FURNACE - WILLIAMS MONTEREY PLUS 199921 GR SRI. 23 4'X14' FRESH AIR INTIACE GRULE WI'4' DUCT AND CEILING MOUNTED VENT PER CMC 791.1 PLUMBING PER CMC 701

10 FIRE SPRINKLER RISER

NOTES - ELECTRICAL:

SEE COVER SHEET FOR ENERGY, LIFE SAFETY AND MEP GENERAL NOTES.

ALLI20-VOLT, SINGLE PHASE, 15 & 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

ALL RECEPTACLE OUTLETS FOR 120 VOLT, 15 & 20 AMPERE SHALL BE TAMPER RESISTANT RECEPTACLES.

NOTES - MECHANICAL:

- ALL GAS APPLIANCES TO BE PROPANE

NOTE: THE CAL GREEN MANDATORY REQUIREMENTS ARE LOCATED ON SHEET GB.1

MECHANICAL NOTES

All work shall be done in accordance with the latest edition of the U.M.C. and all applicable codes and local protrianoces. All heating works to conform to title 24 on plans, All exhaust fans and dryer shall be vested to the exterior.

Each balmoon that content a bashula, spower or emilar source of motions with here are exhault to exhault to the outside with a motion with a motion with a motion of the content of the co

draft damperers, CRC R303.1
Thistel all plumbing, pis, electrical and mechanical fixtures and appliances according to manufactures specification's, and in complaince with all applicable occless. Manufactures specifications take procedure over these construction documents.

- All Heating & cooling equipment, which generates a glow, spark, or flame capable of igniting flammable vapors shall be installed with plotts, self-times, burners, or heating elevanter at last 15th above, floor lavel. Appliumose shall be suitably guarded against demage by being installed beind protectly burners or by being elevated or located out of the normal path of varieties.

in a private garage and duces penetrating the walls or cealings separating the dewling unit from the garage shall be constructed of a minimum 0.019 inch (no. 25 gauge) sheet steel and shall have no openings into the garage per CRC Section R302.5.2

Furnaces & water heaters focated in the aftic or under floor space shall provide 30" x 30" minimum access, access within 30" and 24 passageway to furnace with solid flooring, provide a switched light and adjacent receptacle.

Vent cloths dryer to the extenor, 14' maximum longth, Provide 4" diameter nanimum exhaust fen to outsidn air at laundry alcoves,

- Hot water heater to conform to Title 24 specifications.

KITCHEN EXAUST HOOD shall have an exhaust fan ducted to the outside with a minimum ventilation rate of 100 cfm; The ducting shall be sized according to ASHRAE Standard 82.2 Table 7.1.

Contractor to confirm all equipment's power requirements

New buildings shall have a WHOLE HOUSE continuously operating EXHAUST FAM ducted to the conside with a minimum verification rate calculated according to ASHRAE Standard (2.2 Equation 4.1(s), The ducting shall be sized according to ASHRAE Standard (2.2 Taber 7.1.) from of the fload individual from an adversion or furthern way the used, provided the contact fair moses the minimum vanishing rates for both the local and which house verification regionwheats. (SIN) the local and which house verification regionwheats, (SIN) and the contact fair moses the minimum vanishing to be the local and which house verification regionwheats, (SIN) and the contact fair moses the minimum vanishing to be the local and which house verification.

COMBUSTION AIR:

COMBUSTION AIR:

Appliances in confined spaces shall be provided with one opening with in the upper 12" of the windows and one opening within the upper 12" of the windows.

A provided of the street of the street

DUCTWORK: In a private parties, all ducts penetrating the walk or ceilings separating in a private parties, all ducts penetrating the walks or ceilings separating the divelling unit from this garage are for constructed of a minimum 0.018 into (No. 26 gazg) at when motal and shall have no openings into the garage pare CRG Section 1982.2.2

ELECTRICAL NOTES

All work shall be in accordance with the latest edition of the N.E.C., and all applicable codes and local ordinances.

Contractor to coordinate all power requirements & locations for all appliances and equipment.

Provide 110V smoke detections with a battery back up @ all new consolucion. Provide battery smoke detectors @ all existing bedrooms and halls leading to blevel, and on sech story in maldistori dwelling. Smoke detectors shall be auditio in all bedrooms. See electrical plan for additional notes and locations.

Recestacle suffets shall be installed at each counter space wider than 12" or Kitchen/Dening areas, in addition to culted sendered anothered and accessable by stationary appliances. All 120V receptables installed in bathrooms, cuddoors, in an unfinished basement, in the garage, in unfinished accessory buildings, at all bitthe countertops, within 6" of a wet bor exist hall be difficult protected.

Exterior outlets shall have a weatherproof enclosure in addition to GPCI.

Kitchen circuits to be in accordance with California Blecomal code Article 210-52(b).

A two 20 amp- small appliance circuits supplying latches and dering more. It is distributed to the control of 8. Separate circuit for distributed with the C. Separate circuit for disposal, (distributed receptable must be accessible, locate under shirly,

Furnace to be on separate circuit.

Provide a minimum of one receptance adjacent to basin in bathroom, outdoors at front and back of SFD'S, in the basement, for general use in the garage.

Bathroom branch circuits: In addison to other branch circuit requirements, at least one 20-amp branch droug shall be provided to supply bathroom receptade outlets. Such circuits shall have no other outlets.

Laundry Branch circuits. In addition to other branch circuit requirements, at least one 20-amp branch circuit shall be provided to supply laundry receptade outlets.

One outlet per an Island or perinsular, regardless of length or size, unless separated into more than one countertop area. On Islancia a perhindia spaces, recestables may be mounted not more than 1.2" before the counterop where this construction preductes mounting above the countertop.

Receptacle outlets shall be installed in all habitable rooms. On all wall spaced 2' or wider, not more than 6' from openings, not more than 12' O.C., in hallways 10' or longer, at 4' O.C., at letchen court

Plumbing pipelines prohibited for use as electrical ground.

Provide new main panel and mater in location as shown on the drawings. The electrical contractor shall verify that service capacities provide for the proper distribution of loads to prevent overboading of the system. Sub-panel to be located at interior if required.

All 125 volt, 15 and 20 ampere receptacle outlets shall be listed lamper resistant receptacles per CEC 406.11

All branch circuits that supply 120 volt single phase. 15 and 20 ampiere outlets installed in dwelling unit family rooms. Eving room bestooms, or einitial room or areas shall be arc-leuit circuit interrupter (AFCI) protected par CEC 210,12 (B).

SMOKE DETECTORS:

- All sinepany rooms, areas adjacent to sleeping rooms, and stainways shall be equipped with analysis deletators. Each stoor regardless of use shall be equipped with annive directors, in new construction, all smoke detectors must be 110 with bettery back up on separate control(s) and riferenceded to source slaims at once.

LIGHTING REQUIREMENTS

KITCHENS: High efficancy, or up to 50% max Total wattage may be low efficancy, All nigh efficancy and low efficancy lighting must be controlled separately. BATHROOMS: High efficancy, or manual on

GARAGE: High efficancy, or manual on occupancy

LAUNDRY ROOM: High efficiency, or manual on occupancy sensor.

UTILITY ROOM: High efficiency, or manual on occupancy sensor. ALL OTHER INTERIOR ROOMS: High efficancy, or manual on occupancy sensor or dienner controlled switch,

WET LOCATIONS: Luminaires located above a bathtub or shower shall be listed for wet locations, (410.10(D) CEC)

EXHAUST FANS:

Bathroom exhaust fan will be controlled by a humidistat per the Green Building Standards Code Section 4,506, [R303.3.1 CRC]

PLUMBING NOTES

HOSE BIBS: Hose bibs shall be fitted with a not flow device. (603,5.7 CPC)

WATER HEATER / STORAGE TANK Strap the water heater at upper and lower 1/5 of vertical height. The lower strap shall maintain 4" above the controls. [507.2 CPC]

Water heater shall be provided with temperature and pressure relief valves. ISO4.4, 504.5 CPC] The relief valves shall be provided with a drein which extends from the valves to the outside of the building. See Plant.

Tankless water heaters shall be nationally feted and bir resalted in accordance with the installation instructions that were approved as part of their latters. The gas piping serving the appliance must be stred in compliance with the water heater's state installation instructions and the 2013 Cellfornia Plumbing Code 1/(\$47106). [Osc.]

SATHROOMS: Showers and shower-tubs shall be provided with individual control valence of the pressure balance, thermostatic or control-ratio pressure balance; thermostatic mixing valve type that provide stall and thermal shooth-stockedon, (408.3 CPC)

All hot water pipes to be insulated.

ANDERSON 536 SDQUEL AVENUE ANIA CRUZ. CA 95062 IEL 831, 457, 8348 FAX 831, 423 2724





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ISSUED PERMIT SUBMITTAL 10.24.2016

REVISION DELTA 1 06.20.2017

MECHANICAL, ELECTRICAL & PLUMBING

SCALE: AS NOTED

JOB NUMBER : SHEET: MEP1.0

A. GENERAL

MATERIALS AND WORANAMORP SHALL CONFORM WITH THE 2013 EDITION OF THE CALIFORNIA BUILDING CODE AND LOCALY CIN-ORCO CODES. ALL BUILDING MATERIALS SHALL BE PASTA LLD AS DIRECTED BY THE LATEST WRITTEN SHACEBEACTRON KINETY IN-HIGH OTHERWISE AND THE

- 2. DESIGN SPECIFICATIONS: 1. ROOF SIVE LOAD 20 PSF

- Amendment (2004) COLOMBIA (120)

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- THE CONTRACT SERVICINAL DISAMPSS AND SEQUENCING REPRISENT THE EMBERG SERVICIAL. THEY DO NOT pROCRET FOR METHOD OF CONTRACTOR THE CONTRACTOR SHALL MODIFIED BLUE MERITS DESCRIBED TO PROTECT HE STRUCTURE SHORE CONTRICTIONS OF COMPACING SHALL MEDICAL SHAPE OF LUMINEST DISAMPS, SHAPEN, SHAPEN, SHAPEN, SHAPEN, SHAPEN, CONTRACTOR SHAPEN, SHAPEN,
- CONTRACTOR SHALL BE EXPONED LESS ON MEDICATION OF ALL DIMENSIONS WITH CONTRACT DEALWRISE, WIS THE EXITED AND ADMINISTRATION OF CONTRACTOR AND ADMINISTRATION OF ALL DIMENSIONS AND ADMINISTRATION OF ADMINISTRATI
- WHETE'S CHILDRENGTHS AND TO BE USED FOR THE CONSTRUCTION OF THE PROJECT. ALL WRITTEN DIMENSIONS SHALL TAIL PRECEDENCE OWER SCALED DIMENSIONS.
- WHERE ANY DISCRIPTANCES OCCUR BITWEEN PLANS, DETAILS, GENERAL STRUCTURAL SPECIALCIONS, THE GREATER REQUIREMENTS SHALL SOVERE, MODERATION OF CREATER COMMISSION OF CREATER AS PART OF THE SHOP CREATERS SHALL BE ANTERCRETED AS THE CONTRACTION.
- 7. ALL MATERIAL STORED ON SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERMINATION. 8. CONSTRUCTION MATERIAL SHALL BE SPREAD OUT B PLACED ON FRAMING. LOAD SHALL NOT EXCEED THE DESIGN LINE LOAD PER SQUARE FOOT.
- WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EXTERN AND/OR ACCUMULAN
- 10 ESTABUSH AND YERRY ALL DYENINGS AND INSERSS FOR ARCHITECTURAL INCOHANCAL ELECTRICAL AND PLIMBING WITH APPROPRIATE TRACK 5, DNAMINGS AND 51-8CONTRACTORS PRIOR TO CONSTRUCTION.
- NOTES AND DETAILS ON DRIVENSS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS. WHICE NO SPICIFIC DETAILS AND ENDING. CONSTRUCTION SHALL CONFORM TO SHALLAR MORE ON THE PROJECT
- 12 TYPICAL DETAILS ARE NOT CUT ON DRAWINGS, BUT APPLY UNLESS NOTED OTHERWISE.
- 14 IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE TEMPORARY SHORING, BRACINE, FORW WORK AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION.
- 15 THE CONTRACTOR SHALL PROVIDE ALL RECESSARY FRANKING FOR SUPPORT OF HOW-STRUCTURAL ILLIMENTS.

B. EXCAVATIONS

- FOUNDATION EXCAVATIONS, FOOTINGS, SUBGRADE PREPARATION, ETC. SHALL BE PER THE CURRENT VERSION OF THE CALL CHIEF DUELDING CODE. FOOTINGS SHALL BEAR ON FIRM, COMPETANT NATIVE GRADE.
- 2. PROVIDE MIN. 2N POSITIVE DRAINAGE AWAY FROM FOUNDATION ELEMENTS.

C. CONCRETE

- 1. CONTRACTOR IP-ALL SUBMIT CORCRETE MIX DESIGNS FOR FAVORABLE REVIEW PRIOR TO INSTALLATION OF CONCRETE.
- ALL CONDICTE SHALL BE STACK MEY, READY MIXED CONFORMING WITH ASTM C.SH, 4" MAX. SLUMP, AND ATTAIN THE FOLLOWING MINIMUM STRENGTHS AT 28 DAYS. 2500 ps
- ALL CONSTRUCTION SHALL COME, Y WITH APPLICABLE PROMISONS OF THE FOX. OWING LATEST ACISTANDARDS:

 a. ACI 101: SPECIFICATIONS FOR STRUCTURAL CONCUSTE BUILDING.

 b. ACI 114 A BUILDING CODE REQUESTIONED FOR SEPREFACED CONCUSTE.
- 4. CONCRETE FOOTINGS AND PADS MAY BE POURED AGAINST NEAT EXCAVAISONS.

CAST	AGAINST AND EXPOSED TO EARTH	3 m		
(1905	ED ED EARTH OF WEATHER			
	#6 - PLE SARS	2 m		
	ES BAR AND SMALLER	1% in		
NOT E	SPOSED TO LAKTH OR WEATHER			
	SLARS, WALLS, AND IORSTS			
	E14 AND E18 BARS	tis in		
	#11 BAH AND SMALLER	% m		
	BLAMS, COLLIMNS			
	PRIMARY REINFORCEMENT, TIES, STRAILPS, SPRAES	15(=		
	SHEUS FOURD PLATE MENNERS			
	26 SAR AND LARGER	K in		
	PS BAIL AND SMALLER	16 m		

- 6. ALL METAL ANCHORAGE DEVICES SHALL BE SECURED IN PLACE AND INSPECTED BY ENGINEER PRIOR TO PLACING CONCRETE.
- CURING OF CONCRETE SHALL BE IN ACCORDANCE WITH ACI 308 LATEST EDITION. METHOD OF DURING SHALL BE REVIEWED
 AND APPROVIDE BY THE INSTITUTE.
- 8 ALL NETWORKING BARS, ANCHOR BOLTS AND CONDRETE INSERTS SHALL BE SECURED IN POSITION PRIOR TO PLACING
- 9) PROVIDE SEE VES FOR PLUMBING AND ELECTRICAL OPERINGS IN CONCRETE REFORE PLAQUIG CONCRETE. VERIEY OPERINGS WITH ELECTRICAL AND INECHANICAL DRIWINGS. DO NOT CUT ANY REINFORCING WHICH MAY CONFIDET.
- NO CONSTRUCTION IONITS (OTHER THAN THOSE SHOWN ON DRAIMINGS) SHALL BE INSTALLED WITHOUT APPROVAL OF THE ENGINETIS. PROVIDE 3/4" CHAMPER AT ALL EXPOSED COMPRIS.
- CONTRACTOR SHALL NOTSFY THE STRUCTURAL ENGINEER 24 HAS BY ADVANCE TO DESERVE COMPLETED FOOTING EXCAVATION AND ALL REINFORCING BAR PLACEMENTS BEFORE ANY CONCRETE IS PLACED.

D. REINFORCEMENT

- ALL REPRODUCING STEEL SHALL BE DEFORMED BARS CORPORMENG TO ASTM 4-615 GRADE AD FOR 84-OH-LESS, GHADE 60
 FOR 85 DR GREATER.
- 2. ALL REPROPORTING BY CONCRETE SHALL BE CONTINUOUS OR LAPPED IN ACCORDANCE WITH ACI 358, AND NOT LESS THAN AS DIAMETERS.
- ACCURATELY FORTION, SUPPORT, AND SECURE REINFORCOMENT FROM DISPLACING DUE TO FORMMORE, CONSTRUCTION, ON CONCRETE PARKENERY OPERATIONS. LOCATE AND SEPPORT REINFORCING BY MET ALICHARIS, RUMPLE, BOLLSTEIS, SPACIES, AND INHABIGIES AT A MARIMINAL JOINT SPACING.
- 4 ALL REINFORDING SHALL BE INSPECTED BY THE EMGINEER PRIOR TO PLACING AW CONCRETE OR GROUT.
- ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF AGUITE LATESS EDITION, PARTICULARLY CHAPTER 7, "DETAILS OF REINFORCEMENT".
- 6. ALL REPREORGEMENT FOR BE WELDED SHALL BE ARK GRADE 60.
- 7 TERMINATE REPRORUNG STEEL IN STANDARD HODIES, UNLESS OTHERWISE SHOWN.
- B. PROVIDE REINFORGING SHOWN OR NOTED CONTINUOUS IN LENGTHS AS JOING HOSSIBLE.

E. WOOD FRAMING

- E. WOOD FRAMING

 A CONCINCTION CONTROL OF THE STANKA CONTRACTOR WIGHTHAM THE IN TOWNSHOOM.

 A CONCINCTION CONTROL CONTROL OF THE STANKA CONTRACTOR WIGHTHAM THE STANKA CONTROL OF THE STANKA CONTROL O
- PRAMENG LUMBER DOUGLAS HE (COAST REGION) GRADED AND NAMED IN ACCORDANCE WITH THE STANDARD CRUZ-RALES NO. 27 OF THE WEST COAST LUMBER INSPICTION BUREAU DIVIDING ALL DIVIDING HE WEST BY LUMBER GRADING REGION OF THE WEST BAY WOOD PRODUCTS ASSOCIATION BY WE A JUST LUMBER OF THE COLDINGWIS CARRY.

SILLS PTDF NO 2 OR BETTE JOSTS, RAPTERS, BEAMS, HEADERS		PTDF NO. 2 OR BETTER	
			UF104a
	4	DF NO. 1	
STUDS AND BLOCKING POSTS AND DOUBLE TOP PLATES GLU LAMP BEARS		DE STANDARD, NO. 2 OR BETTER	
		DF NO.	
		241 V4	

- ALL RYPODOD DESCRIPTION IN ALL SE AFFA ANTID SHEET HERE, EXTENSE EXPOSED, CONSCIOURNESS TO THE LUTEST EXTENSION OF LL PRODUCT STAMPHOND THE OTHER CONSTITUTION OF AN OPERATION IN PRODUCT SLL PIES SHALL BE CORNET (LO). SECURE, SPACE PARKET UNION AND CODES SET IMPROVADA METERS (MET DR. HERBOC COMMITTION OF REVIAL, DOCUMENT OF ANY COMMITTION OF THE CONSCIOURNESS AND COMMITTION OF THE COMMIT
- 5 STUD WHILS SUPPORTING BLAMS SHALL HAVE POSTS WITH A MEMBRUM WEDTH EQUAL TO THE WEDTH OF THE BLAM LOCATED BLOW THE BLAM UNILES HOTED OTHICSWISE.
- COLD OWNERS FOR MAKES A PERMA EXPERIENCEMENT HAS DOES TO MANAGE ACCIDING THE ALL AND THE COMMENT OF THE REST.

 GROWN THE THE COMMENT OF THE C
- WHIRE NOT SPECIFICO OTHERWISE, THE HARRING REQUIREMENTS OF CRC TABLE 2304.9 (LIATEST EXCITION, SHALL ARE, F.
- BOXTS AND THREADER HODS: ASTMINATE, SQUARE OR HEXASONAL HEAD MACHINE BOETS WITH ASSMINASAS MUTS, USE MALE AND NOT METHOR OF OR CUT WASHING UNDER HEAD AND NUT WHEN IN CONTRACT WITH IN DOD. AT SEL PLATES USE 27/27/21/27/27 MARMALIN HEAD WASHINS.
- BOST HOUSE SHALL BE LITSE RECHT ARREST THAN THE NOMBRILL BZE OF THE BOLL. CLIT FLAT WASHING SHALL BE PROMOSE
 AFFAIL HE SOST AND THAT SHEET WOULD FOR HOWER BLAD BANG CITY ON WOOD. ALL BOXES SHALL BE INSTRUCTED TO A
 WILL MANY THAN PRACESSING BLO JOHN HOW OF COMENT THEN OR A MAN PRACE LITSE CONSTRUCTIONS YOU WHOM
 WILL MANY THAN PRACESSING.
- TE. LING CREWS ASSMIRANCE AND AND AND AND STANDARD NEEDS FOR AND AND AND ADMINISTRATION UPON
- SCREW'S INSTITUTED AND AND ANGLASME STANDARD BLB S.T. USE CADMIUM PLATED PAYOR ROUND HEAD SOREW, AT STEEL TO 12. WOOD AND WOOD TO WOOD CONNECTIONS.
- 13. ARTON ANNOUNT LOSS ACTIVATES
- 14. BOLES, NUTS, WASHERS, STRAPS, AND OTHER HARDWARE DIPOSED TO WEATHER TO BE HOT-OPPED SALVANIZED ON.
- 15. WALL PLATES OR SILES EMAL BE MICHORED TO FOOTINGS WITH. NO WESTER, MICHOR BOUTS EMBEDDED AT LIKES 7 MICHOROUS CHARLES FOR MICHORED AND PLATE HERE SHE WAS AN ADMINISTED THE SHE WILL BE AN ADMINISTED THE SHE WILL BE AN ADMINISTED THE SHE WILL BE AND ONE BOUT LOOKED THE AND ONE BOUTS OF WITH DEPOSIT PLATE ON BOUTS OF THE SHE WAS ADMINISTED AND FOR SHE SHOULD BE AND ONE BOUTS OF THE SHE WAS ADMINISTED AND FOR SHE SHOULD SHE SHE WAS ADMINISTED. AND FOR BOUT SHALLS ON BOUTS OF THE SHE WAS ADMINISTED.
- 28. ALL FRANCIS LUMBER SHALL HAVE 19K MAXIMUM MOISTURE CONTENT AT TIME OF INSTALLATION OR FABRICATION

F. EPOXY ANCHORS

- ANCHORS. ASTM AND THREADED ROOS WITH ASTM A 563 GRADE & NUTS AND AVSIBLE 22.1 TITLE A N ADHERS, LINELSS OTHERWISE MOTED.
- THE DRAMETER OF THE HOLES IS HER THE MAYUR ACTURIES SHIS TRUCTIONS. PRIOR TO MOTALING ANCHORS OR DOWNES, WHE IRRUSH HOLES TO REMOVE RESIDUE, BLOW OUT WITH OIL-FIRE COMPRESSED AN AN OLLOW HOLE TO DAY.
- 4. PLACE ACHESIVE VIETH THE MANUFACTURIER'S RECORMMENDED APPLICATION FOOL TO A DEPTH AS SPECIFICD BY THE MANUFACTURIER AND TO IMMUNICE THE AMOUNT OF ACHESIVE THAT WILL OVERFLOW OUT OF THE HOLE WHISH THE BAR IS INSERTED. REMOVE DICESS ACHESIVE ON AGRICATE ISSURACES.
- MISERT THE ANDHOR BOLT OR DOWSL IN THE HOLE WITH A TWISTING MOTION TO THE REQUIRED LIMBLOMENT DUPTH. DO NOT FUNNT THE ANDHOR OR DOWEL IN AND OUT OF THE HOLE.
- 6. WEDGE BARS TIGHT AND CENTERED IN THE HOLE WITH WOODEN WEDGES (GOLF TEES) TO HOLD IT IN FLACE UNTIL THE ADMILIYE SETS.
- P. ALPROPICTURIN' IS INCONTEXED DIRENG DREUBIG, ABRADON AND SHE'T THE HOLE LOCATION.
 TO AND THE REMODECHMENT PROPICE A INTERNAL OF 2 ANOTHER CHARTES OF 3 HIGH, WHITEHER AS LANCES, OF
 SOUND CHARTES OF MYSTER THE CONTENT AND THE ABRADON POLIC.
 THE THE ABRADONIO CHARTES WITH MOTOR AND A PROPILED. IT THE ARRICHMENT DOWNLY MAY NOT BE SHE'TED AS MOTEO
 AND AND THE CHARTES WITH LOTTERING A REVENUE DATE OF THE ARRICHMENT OF THE ARRICHME
- LDCATE ATHRORIGH (NY AND CONFIRM FINAL ANCHOR LOCATIONS PRIOR TO FAMILIATING PLATES, MEMBERS, OR OTHER STEEL ASSEMBLES ATTACHED WITH BEHINDING.

G. NAILING

- DRIVE NAILS PERPENDICULAR TO GRAPL U.N.D. 2. PREDABLY MOUS TO N. OF MAIL CHAMETER WHERE SPECIFIED AND WHERE WORD TENDS TO SHUT
- MR-DRIVEN NAILS TO BE FULL HEADED NAILS, DO NOT OVERDRIVE HARS,
- USE OF MACHINE MULTIPLE IS SUBJECT TO A SATES ACTION FOR SHE DEMONSTRATION FOR EACH PROJECT AND THE PROJECT INCRINES. PMANEOS THAT PRETENTS THE DUTTE RY MORE THAN WOOLD FOR A HAND THE PRETENTS THE DUTTE RY MORE THAN WOOLD FOR A HAND THE PRETENT AND ADMINISTRATION OF WIGHTER COORDINATED THE DESTALLATION IS UNLATED FOR MAINING IS NOT A PROVIDED BY, "OR LESS SHEATHERS."
- 6. GLUE FLOOR SHEATHING AT ALL POINTS OF CONTACT

L	FASTE	NING SCHEDULE TABLE 2304.9	.1	
	CONNECTION	FASTENING ***	LOCATION	
	JOIST TO SILL OR GIADOR	3-84 CONMICK [1]-10 1817 8-8'NO 181" NAILS	TOENAL	
2	ewog-wc to lost	SEI COMMON (F) G 181") 8-3" IO 181" NAIS 3-3" 14 GAGE STAFLES	TOENALEACHEND	
,	1"M" SUBFLOOR OR LESS TO EACH KRIST	2 84 COMMON (2310 1917)	FACE NAIL	
ě	WIGGS THAN 1"ME" SUBFLOOR TO EACH JOIST	5-84 COMMON (2) 10 191")	FACE MAL	
,	2" SUMPLOOR TO JOIST OR CIRCUR	2-184 COMMON (8-) NO. 2627	BUND AND FACE NAV.	
	SOLE PLATE TO JOIST OR BLOCKING	160 (9) '40 195") AT 18" O.C. 3"40 191" NAUS AT 8" O.C. 3" 14 GACE STAMES AT 12" O.C.	THICALINCENIE	
	SOLE PLATE TO JOIST ON BLOCKING AT BRACED WALL PANEL	3" 160 (35"/43 135") AT 16" (3 C. 4-3" ki 131" NAUS AT 8" (3 C. 4-3" 14 GAGE 5" MALIS AT 12" (3 C.	BRACED WALL FRACES	
,	TOP PLATE TO STUD	2-16d COMMON (8-7-X0.1627) 3-3" (0.1831" NAUS 3-3" 14 GAGE STAPLES	END NAL	
	STUD TO SOLE PLATE	4 Re COMMON (2]"NO 131") 4-3"NO 191" NAUS 3-9" 14 GAGE STAPLES	TOE NAL	
	AT 3" NOMINAL SILL PLATE USE 2-208 BOX END NAILS AS A SUBSTITUTE FOR 2-16d COMMON NAILS	J THE COMMON(\$) NO.162") 3-3" NO.131" NAUL 3-3" 14 GAGE STAPLES	END NAS	
	DOUBLE STUDS	366 (3) "60 (35") AT 34" O.C. (3"40 33)." NAES A1 8" O.C. (3" 16 GAGE STAPLES AT 8" O.C.	FACE NAIL	
0	DOUBLE TOP PLATES	154 (1) 0 (157) AT 15" O.C. T'40 151" NAILS AT 12" O.C. T'14 GAGE STAPLES AT 12" O.C.	TIPCA, FACT HAR	
	DOUBLE TOP PLATES	349 (3) 10 185 7 AT 18" O.C. 5"40 131" NAILS AT 12" O.C. 9" 14 GAGE STAPLES AT 12" O.C.	LAP SPLICE	
1	BLOCHING BETWEEN JOISTS OR HAPTERS TO TOP PLATE	PARCOMMON (1) IS 131 5 3 KI 131" NAIS 5 3" 14 GAGESTAPUS	IDENAL	
2	KIN JOST TO TOP PLATE	AGD TWO SELTS AT 6" O.C. 3-3"MD 1511" NAILS AT 6" D.C. 3" 14 GAGE STAPLES AT 6" D.C.	TOENAL	
,	TOP PLATES, LAPS AND INTERSECTIONS	2-386 COMMON (3-5740.3627) 3-3740.3137 NAVLS 3-87 14 GAGE STAPLES	FACE NAL	
	CONTINUOUS HEADER, TWO RECES	18d COMMON (1)"NO 162")	16" O C. ALONG EDGE	
	CBUNG KNSTS TO PLATE	S GO COMMON (2)" ID 191") S S 'ID 191" NAUS S-I" 14 GAGE STANZS	TOENAL	
	CONTINUOUS HEADER TO STUD	4 ac COMMON (2 (140 2311)	TOENAL	
	COLUNG KOISTS, LAPS OVER PARTITIONS DEL SECTION 2508 10 4.1. TABLE 2 508 10 4 11	3-34c COMMON (35%) (207) MINIMUM, TABLE 2508 10 4.3 4 3 NO 131" NAIS 4-3" 14 GAGE STARLES	FACE MAIL	
	COUNG JOSTS TO PARALLEL RAFTEPS ISSE SECTION 2908-10 4 1, TABLE 2908-30 4 1)	3-164 COMMON (3-)*40.162*1 MINNMUNE, TABLE 2308.10 4-2 4-3*40.231* NAIS 4-3* 14 GAGE STAPLES	FACE MAIL	
	RAFTER TO PLATE (SEE SECTION 2308 10.4.1. TABLE 2308 10.4.1)	3 9" 14 GAGE STANLES	TOENAL	
	1" DIAGONIAL BRACE TO EACH STUD AND PLATE	2-64 CDMMON (2) 40 1311) 2-3140 1311 NAILS 3-31 14 GAGE STAPLES	FACE NAL	
	1"ME" SHEATHING TO EACH BEARING	3 84 COMMON (2)"10:333")	FACE MAIL	
	WIDER THAN 1"JR" SHEATHING TO EACH BEARING	3-64 COMMON (2)"-0:171")	FACE HALL	
	BUILT-UP CORNER STUDS	16d COMMON (I PMC.161") FMC.181" NAILS 3 F 14 GAGE STAPLES	16" O.C. 16" O.C.	
4	BUILT UP GROTE AND BEAMS	206 COMMON (4"x0 392") 9"x0 353" NAIS AT 24" D.C. 3-3" 14 GAG(STAPLES AT 24" D.C.	FACE HAIL AT TOP AND BOTTON STAGGERED ON OPPOSITE SIDES	
		2-20s COMMON (6"x0.192") 9-3"x0.131" NAILS AT 24" O.C. 9-3" 14 GAGE STAPLES AT 24" O.C.	FACE NAIL AT ENDS AND AT EAC SPLICE	
	21 FLANIS	16d COMMON (SPND 1627)	AT EACH SEARING	
	COLUMN 1 E FO RAFTER	3-100 COMMON (3*80.148*) 4 3*80.131* NAES AT 24* D.C. 4-3* 34 GAIG STAPLES AT 24* O.C.	FACE MAIL	
	SACK PARTOR TO HIP	S-IDECOMMON (S'MC IAE') 4 3'WO ISI'N AILS 4 3" 34 GAGE STAPLES	TOENAL	
		2-166 COMMON (3) 'NO 162") 3-3"40 331" NAIS 3-3" 14 GAGE STANLES	FACINAL	
	ROOF RAFTER TO 2 BY RIDGE BEAM	5-10s COMMON (5"MD 148") - 4-1"HO 131" NAIS 4-3" 14 GACE STARES	TOE NAL	
		2-16c COMMON (3)*16:167") - 3-11-0:131"NANS 3-11" 14 GAGE STAPLES	FACE NAIL	
	JOST TO BAND JOIST	A THO COMMON (A \$140.2821) A \$140.2811 HARS 4 31 SA GAGE STANCES	FACE NAIL	
	LEDGER STREET	3-16e COMMON (3)***(1:62*)	FACE NAL	

*ASTEMING SCHEDULE, CONT

31	#-000 STRUCTURAL PANELS AND PARTICLEBOARD SUBFLOOR, ROOF AND WALL SHEATHING (TO FRANING)	1 AND LESS	66 2 1 1 11 11 MAG 11 15 CAGE STAPU	
		B. 101.	Be Office 2 Pro 113 NAN 2" 16 GAGE STAPLE	
		1 101	Art C	
		141.00.111	30e 54 ac **	
	SINGLE FLOOR (COMMINATION SUBFLOOR LINDERLAYMENT TO FRAMING)	it and cos	se*	
		i to i*	Rd*	
		11.4011.	10x be as	
12	PANEL SIDING (TO FRAMING))" AND LESS	ed'	
		1	and ⁴	
117	FREFRCARD SHEATHING	i	11 GAGE ROCKING NAS. 46 COMMON NAS. (2"HD.113") 16 GAGE STARLE 1	
		#	11 GAGE RODEING NAU. 6d COMMON MAU. (2"40.118") 16 GAGE STARLE	
ja .	NTERIOR PAREUNG	i'	44 1	
		1	64 *	

- DECEMBER 1997 AND PROPERTY OF THE PROPERTY OF

H. BOLTS/SCREWS

- DRILL BOLE HOLES A MAJEMUM OF 1/4" LARGER IN DIAMETER SHAN NOMINAL BOLT DIAMETER
- 2. DARLI PRE-BORED LEAD HOLES FOR WOOD SCREWS AS FOLLOWS.
- EXTEND THE LEAD HOLE FOR THE THREADED FOR TION OF THE SCALWS WITH A DRILL BHT WHOSE DIAMAGER IS % THE DRAMAGER OF THE WOOD SCALW AS THE ROOT OF THE THREAD.
- E. INSERT THE SCREWINGS THE LEAD HOLE BY TURNING, DO NOT DRIVE WITH A HANNIER 6. LUMBICATE WITH SCAP OF BEESWAY TO FACILITATE ESSTALLATION

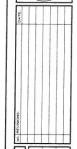
I. OBSERVATION

- 1 STRUCTURAL ENGINEER SHALL PERFORM STRUCTURAL DISERVATION OF THE PRIMARY STRUCTURAL FRAMING AT THE FOLLOWING STRUCTS OF WORK:
 - * FOUNDATION PRIOR TO POLISING CONCRETE BUT AFTER PERIFORMING STEEL AND STEEL EMBEDMENTS AND BY FLACE.
- 6 WOOD FRAMING: UPON COMPLETION OF ROUGH FRAMING

engineers consulting

3 The designs and besign estable contained within these developing provided for use solely, all of the providing provided for use solely, all on the providing provided for use solely, all other problems or provided to select any problems of the provided provided provided to the provided provided to the provided provide

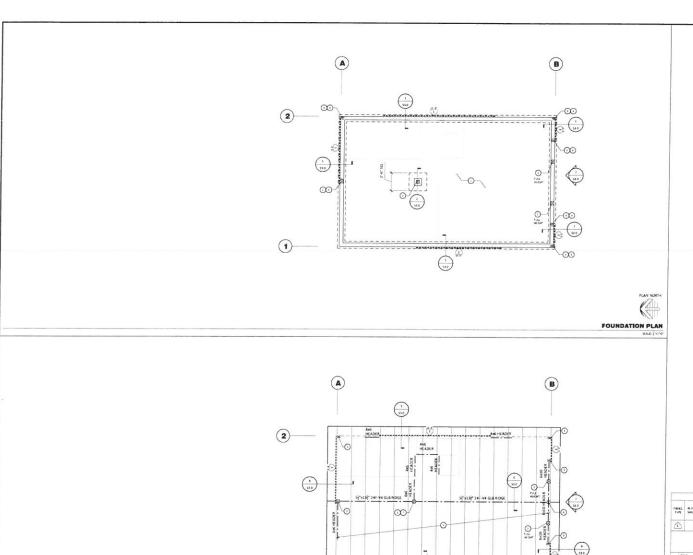




STRUCTURAL SPECIFICAT

0203-R-16-SHE AUGUST 2016

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(30)

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KEYED NOTES 4" CONCRETE SLAB W/ MI AT 16" O.C. FACH WAY IN CENTER OF SLAB OVER
1 30 MIL VISQUEEN (MO-STOP OR FQUAL) OVER 6" CLEAK CRUSHED ROCK
OVER ENGINEERED FILL PER THE PROJECT GEOTECHNICAL REPORT. 2 6x6 POST 3 4x POST OR DBL. 2x STICHNALED W/ 10d NAILS STAGGERED AT 6" O.C 4 NSTALL HDU2-SDS2.5 HOLDOWN W/SST816 ANCHOR BOLT 4/52.0 5 2x10 RAFTERS AT 24" O.C. 6 6x6 KING POST 7 CCQ66 COLUMN CAI 8 OMITTED 9 4x6 POST

PLAN NOTES

- 1 REFER TO STRUCTURAL SPECIFICATIONS SHEET SO.O.
- DIMENSIONS ARE TO FACE OF CONCRETE, CENTERLINE FOOTING AND POSTS, ETC.,
 UNIESS MOTED OTHERWISE. NOTIEV ARCHITECT OF ANY DISCREPANCES, VERIEV ALL
 DIMENSIONS WITH ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
- FRAMING CONNECTORS MANUFACTURED BY SIMPSON CO. SAN LEANDRO, CA. AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND THESE DRAWINGS.
- POOF PLYMOOD SHALL BE 19/32" APA RATED SHEATHING C-0 GRADE OR BETTER WITH PARKEL SPAN RATING OF 24/15 FASTER WITH 100 AT 6" O. C. EGG NAULING EEN JAND BOUNDARY NAULING (BA, JAD 12" O. C. AT INTERMEDIATE SUPPORT If N.) FACE PLYMOOD PARKES WITH FACE GRAIN PREPRODUCTION TO SUPPORT AND STAGGER FOR PARKE JOINTS, NO BLOCKING STROUGHED AT PARKE EGGES.

SUBCRADE PREPARATION

SUBCREASE SHE PARATION

SUBCREASE SHE CONNECT FOR MAYOUNG SHEAD AS CREATED A MERICAN OF SHEAD AS CREATED A MERICAN OF SHEAD AS CREATED AS CREAT

PLYWOOD SHEAR SCHEDULE PANEL ALLOWARLE SHEATHING EDGE NAIL HELD NAIL BOLTED RETRORE N'AT-48" FAP AT 36" 16" D.C.

ROOF FRAMING PLAN

- HAR SIZE NOTES IN TABLE IS FOR COMMON OR GALVARIZED BCT NAUS. IF BOTOR SINEER NAIS ARE USED, THEN THE NEXT LARGER SHEAR MARK THAN THAT WHICH IS SHOWN ON THE PLANS SHALL BE USED.
- WHERE MARS ARE SPACED LESS THAN 6 INCHES ON CENTER AT ADJORNING PANEL EDGES AND SILL PLATES, FRAMING SHALL BE 3 INCH NOMINAL OR WIDER AND MARS SHALL BE STAGGERED.
- A35 FRAMING CUPS SHALL BE BY SIMPSON STRONG TIE CO., INC. A STACGER VERTICAL JOINTS WHERE PLYWOOD IS APPUAD TO BOTH MOES OF THE WALL
- ALL FASTENERS (BOLTS, NAICS, WASHERS, HAMING CUPS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE THEATED LUMBER SHALL BE HOT-OPP GALVANIZED ZINC COATED OR STAINLESS STEEL.
- ALL PANEL EDGES SHALL BE BACKED WITH 24 NOMINAL DR WIDER FRAMING ALL ANCHOR BOLTS SHALL BE "N" DIAMETER EMBEDDED AR LEAST 7 INCHES INTO CONCRETE WITH SLEED 229 STEEL PLATE WASHING, U.P.O.
- BOTTOM PLATE CONNECTION ASSUMES THAT THE PLITMODO STOPS AT BOTTOM PLATE AND SHEAR IS TRAVMERIED THROUGH THE PLATE INTO THE FLOOR FRAMING AND BURNINGERING. IF PLITMODD CONTRILES PAST THE PLATE AND IS PRICED ON RIM, THIS FLOET IN THE CONTRILE OF THE PLATE REGION PLATE REGION FOR

(3) consulting engineers







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