

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application. Plans for this application can be found under the “Pending Projects” quick link at www.sccoplanning.com.

APPLICATION NUMBER: 171124

APN: 064-264-03

Proposal to reconstruct a non-conforming Accessory Dwelling Unit after a fire. Requires an Administrative Use Permit.

Property located on the west side of Rincon Road, at the intersection with Madrone Drive (160/ 162 Rincon Road).

OWNER: Bernard Sherman

APPLICANT: Dennis Anderson

SUPERVISORIAL DISTRICT: 5

PLANNER: Nathan MacBeth, (831) 454-3118

EMAIL: Nathan.Macbeth@santacruzcounty.us

Comments on this application must be received by the project planner no later than 5:00 p.m. August 4, 2017.

A decision on Application 171124 shall be made on or shortly after August 7, 2017. The decision will be posted on the Planning Department Website.

Appeals to this decision will be accepted until 5:00 p.m. two weeks after the decision date. For questions please contact the project planner listed above.

NOT TO BUILDING PERMIT FINAL APPROVAL. THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION CLEARANCE REQUIREMENTS PRESCRIBED IN THE CALIFORNIA FIRE RESOURCES CODE OR 421 IN CALIFORNIA GOVERNMENT CODE SECTION 5162.

RE 2013 CFC SECTION 932 1.1
THE ROOF SHALL BE PROVIDED WITH A LISTING AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.

RE 2013 CFC SECTION 932.3
BETWEEN THE ROOF PANELS SHALL BE A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING. THE SPACES SHALL BE CONSTRUCTED TO PERMIT THE PUBLICATION OF AIR THROUGH THE ROOF PANELS. THE COVERING MATERIALS, OR HAVE A LAYER OF NO 72 ASTM CPM SHEET INSTALLED OVER THE COMBUSTIBLE DECKING.

RE 2013 CFC SECTION 932.3.1
ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.

RE 2013 CFC SECTION 932.3.2
EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS AND GLAZED PARTITIONS IN EXISTENCE ROOFS SHALL BE CONSTRUCTED TO RESIST BLAZING WITH A MINIMUM OF 10 MINUTES TO 15 MINUTES. GLAZED UNITS, OR HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 30 MINUTES WHEN TESTED ACCORDING TO ASTM E 119.

RE 2013 CFC SECTION 932.3.3
REQUIREMENTS OF SPF 12-242.2 RE 2013 CFC SECTION 932.2 2.1
ROOF DECK ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF SPF 12-242.2 RE 2013 CFC SECTION 932.2 2.1. THE ROOF DECK SHALL BE CONSTRUCTED OF A MINIMUM OF 1/2" THICK COMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STRIPS AND RAELS NOT LESS THAN 1/4" THICK WITH INTERIOR PANELS NO LESS THAN 1/4" THICK, OR SHALL BE A MINIMUM OF 1/2" THICK OR NOT LESS THAN 30 MINUTES WHEN TESTED ACCORDING TO ASTM E 119.

RE 2013 CFC SECTION 932.3.4
(EXCEPTION: NONCOMBUSTIBLE OR EXTERIOR PRE-TREATED WOOD VEHICLE ACCESS DOORS).

THE PROPOSED STRUCTURE IS THE STATE RESPONSIBILITY AREA (RA) OF THE FIRE INSURANCE SEVERITY CODE.

[illegible]

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS, ORDINANCES AND REGULATIONS APPLICABLE AS TO THE PROJECT.
2. 2017 INTERNATIONAL BUILDING CODE
3. 2017 CALIFORNIA BUILDING CODE
4. 2017 CALIFORNIA FIRE PREVENTATION CODE
5. 2017 CALIFORNIA MECHANICAL CODE
6. 2017 CALIFORNIA PLUMBING CODE
7. 2017 CALIFORNIA ELECTRICAL CODE
8. 2017 CALIFORNIA GREEN BUILDING STANDARDS
9. 2017 CALIFORNIA ENERGY EFFICIENCY STANDARDS
10. 2017 CALIFORNIA FIRE CODE

NOTHING IN THIS CONTRACT SHALL BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES, LAWS, ORDINANCES AND REGULATIONS.

1. ALL WORK REQUIRED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE THE WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL WORK SHALL BE MET AND THAT THE WORK IS DONE IN CONFORMANCE TO MANUFACTURER'S REQUIREMENTS.
2. CONTRACTOR SHALL FELD VERIFY EXISTING SITE CONDITIONS PRIOR TO ANY LOW-COST ESTIMATE.
3. ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED ON PROJECT SITE BY THE CONTRACTOR AND EACH TRADE BEFORE WORK BEGINS. OMISSIONS AND INCONSISTENCIES WILL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE CONSTRUCTION BEGINS.
4. ALL ITEMS ARE NEW UNLESS SPECIFICALLY IDENTIFIED OR NOTED AS EXISTING.
5. ALL DIMENSIONS ARE FROM FACE OF STUDO OR CENTERLINE OF COLUMN OR CENTERLINE OF DOOR OR OTHER SPECIFIED OPENING.
6. COORDINATION
THE CONTRACTOR SHALL COORDINATE ALL DIMENSIONS INDICATED ON THE LANDSCAPE, STRUCTURAL, AND ELECTRICAL DRAWINGS WITH THOSE INDICATED ON THE ARCHITECTURAL DRAWINGS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND BE PROCESSED BY THE OWNER.

SEE ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS. ELEVATIONS, DIMENSIONS IN SLAB, OPENINGS IN WALLS AND ROOF, ROOF, SLOPE, CRACKETS AND ROOF DRAINS.

IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE CONSTRUCTION DOCUMENTS THEN THE CONTRACTOR SHALL BE OF THE OBLIGATION TO THE ARCHITECT FOR ANY ADDITIONAL CONDITIONS THAT ARE INDICATED

ROOF COVERINGS TO BE NO LESS THAN CLASS A RATED ROOF.

BUILDING NUMBERS SHALL BE PROVIDED: NUMBERS SHALL BE A MINIMUM OF 4" IN HEIGHT ON CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET WHEN NUMBERS ARE NOT VISIBLE FROM THE STREET ADDITIONAL NUMBERS SHALL BE INSTALLED ON DIRECTIONAL, A SIGN AT THE PROPERTY DRIVEWAY AND THE STREET.

1. BUILDING TO BE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM COMPLYING WITH THE CURRENT ADOPED EDITION OF NFPA 13-0 AND ADOPTED STANDARDS OF THE FELTON FIRE PROTECTION DISTRICT.

2. UNDERGROUND FIRE PROTECTION SYSTEM WORKING DRAWINGS MUST BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE DISTRICT FOR REVIEW.

3. UNDERGROUND FIRE PROTECTION SYSTEM POLICY HANGOUT, UNDERGROUND PLAN, SUBMITTAL AND PERMIT, WILL BE ISSUED TO A CLASS C-1, OR OWNER/BUILDER, NO EXCEPTIONS.

3. THE DESIGNER/INSTALLER SHALL SUBMIT THREE (3) SETS OF PLANS AND CALCULATIONS FOR THE UNDERGROUND AND OVERHEAD REDUNDANT AUTOMATIC FIRE SPRINKLER SYSTEM TO THE FIRE DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION.

2. CONSTRUCTION WASTE MANAGEMENT PLAN ON SHEET G6.1 TO BE SUBMITTED ONCE CONTRACTOR IS CHOSEN

HERS VERIFICATION IS REQUIRED.
HERS IAQ FAN REQUIRED - SEE SHEET EN-1 FOR IAQ FAN 120 CFM

SYMBOLS

	GRID LINE - F.O.S. UNLESS OTHERWISE NOTED		ELEVATION DATUM POINT
	DIMENSION TO FACE OF FRAMING		CROSS SECTION SHEET LOCATION
	DETAIL REFERENCE SHEET LOCATION		EXTERIOR ELEVATION
	INTERIOR ELEVATION KEY AND SHEET LOCATION		DRAWING KEYNOTE
	101 DOOR NUMBER, SEE DOOR SCHEDULE		101 WINDOW NUMBER, SEE WINDOW SCHEDULE

TEMPORARY EROSION CONTROL MEASURES

SEE SANTA CRUZ COUNTY CONSTRUCTION SITE STORMWATER POLLUTION CONTROL BMP MANUAL FOR MORE INFORMATION & STANDARDS FOR BEST MANAGEMENT PRACTICES

1. EROSION SHALL BE CONTROLLED AT ALL TIMES. SPECIFIC MEASURES STATED HERE ARE TO BE IN EFFECT FROM OCTOBER 15 TO MAY 15.

2. ALL SITE STORM-GENERATED RUNOFF SHALL BE PERCOLATED INTO THE GROUND AS SHOWN ON THE PLANS. NO CONCENTRATED RUNOFF SHALL BE OTHERWISE ALLOWED. TO BE DISCHARGED ON THE GROUND.

3. ALL GRADED SURFACES THAT ARE DISTURBED BY GRADING OPERATIONS SHALL BE REVEGETATED WITH THE FOLLOWING NATIVE PERENNIAL BUNCHGRASS SEED MIX BY HAND BROADCASTING AND LIGHTLY RAINING IT INTO THE SOIL.

SEED TYPE	APPLICATION RATE
BROMUS CARINATUS (CALIFORNIA BROME)	7 LB PER ACRE
FESCUE RUBRA (CREeping RED FESCUE)	15 LB PER ACRE
HOREDEW BRACHYANTHERUM (MEADOW BAILEY)	8 LB PER ACRE

ONCE THE SOIL HAS BEEN SEEDDED AND RAINED, COVER IT WITH 2" OF STRAW USE NATIVE BUNCHGRASS STRAW IF AVAILABLE. FERTILIZE WITH AMMONIUM NITROGEN AT AN APPLICATION RATE OF 750 LBS PER ACRE.

4. SILT BARRIERS SHALL BE PLACED ALONG THE BOTTOM OF GRADED SLOPES TO PREVENT A CONTINUOUS BARRIER AT A UNIFORM ELEVATION PARALLEL TO THE CONTIGUOUS (AS REQUIRED).

5. CATCH BASINS SHALL BE ENCLOSED BY HOY BALES OR SILT FENCES (AS REQUIRED).

PROJECT DESCRIPTION	
(N) 544 SQ.FT. ADU TO REPLACE FIRE DESTROYED RESIDENCE.	
LOCATION	167 RINGOLD ROAD FELTON, CA 95018
APN	064-26-403
ZONING	R-1.5
LOT SIZE	14,697 SQ.FT
CONST. TYPE	TYPE V
FIRE SPRINKLERS	FULLY SPRINKLERED
FLOOR AREA	
<u>PROPOSED NET FLOOR AREA:</u>	
EXISTING GARAGE & WORKSHOP (UNCONDITIONED)	1,372 SQ.FT.
EXISTING SINGLE HOUSE (CONDITIONED)	1,556 SQ.FT.
EXISTING ADU	544 SQ.FT
EXISTING LOT COVERAGE	2,338 SQ.FT. (15.7%)
PROPOSED ADU:	544 SQ.FT
PROPOSED LOT COVERAGE:	2,338 SQ.FT. (15.7%)

ARCHITECT	OWNER
ANDERSON MCKELVEY ARCHITECTS 936 SOQUEL AVE. SANTA CRUZ, CA 95062 VOICE: (311) 457-8348	BARNEY SHERMAN 162 RINGON ROAD FELTON, CA (831) 752-3063

R3 CONSULTING ENGINEERS
14792 HIGHWAY 9
BOULDER CREEK, CA 95006
831 548 7628

ARCHITECTURAL DRAWINGS	
A1.0 -	PROJECT DATA & NOTES
A1.1 -	SITE PLAN
A2.0 -	FLOOR PLAN & ROOF PLAN
A3.0 -	EXTERIOR ELEVATIONS & SECTION
ME1.0 -	MECHANICAL & ELECTRICAL PLANS
EN.1 -	TITLE 24
EN.2 -	TITLE 24
GB.1 -	GREEN BUILDING
STRUCTURAL DRAWINGS	
S0.0	STRUCTURAL SPECIFICATIONS
S1.0	FOUNDATION / 1ST FLOOR FRAMING
S2.0	TYPICAL STRUCTURAL DETAILS
S3.0	STRUCTURAL DETAILS

ISSUED:	
PERMIT SUBMITTAL	
10/24/2016	
REVISION DELTA 1	
06/20/2017	

SCALE AS NOTED

JOB NUMBER: 2575

SHEET **A1.0**

APN: 064-26-403

SHERMAN ADU
162 RINCON ROAD
FELTON CA 95018

ISSUED:
PERMIT SUBMITTAL
10.24.2016
REVISION DELTA 1
06.20.2017

PROJECT DATA & NOTES

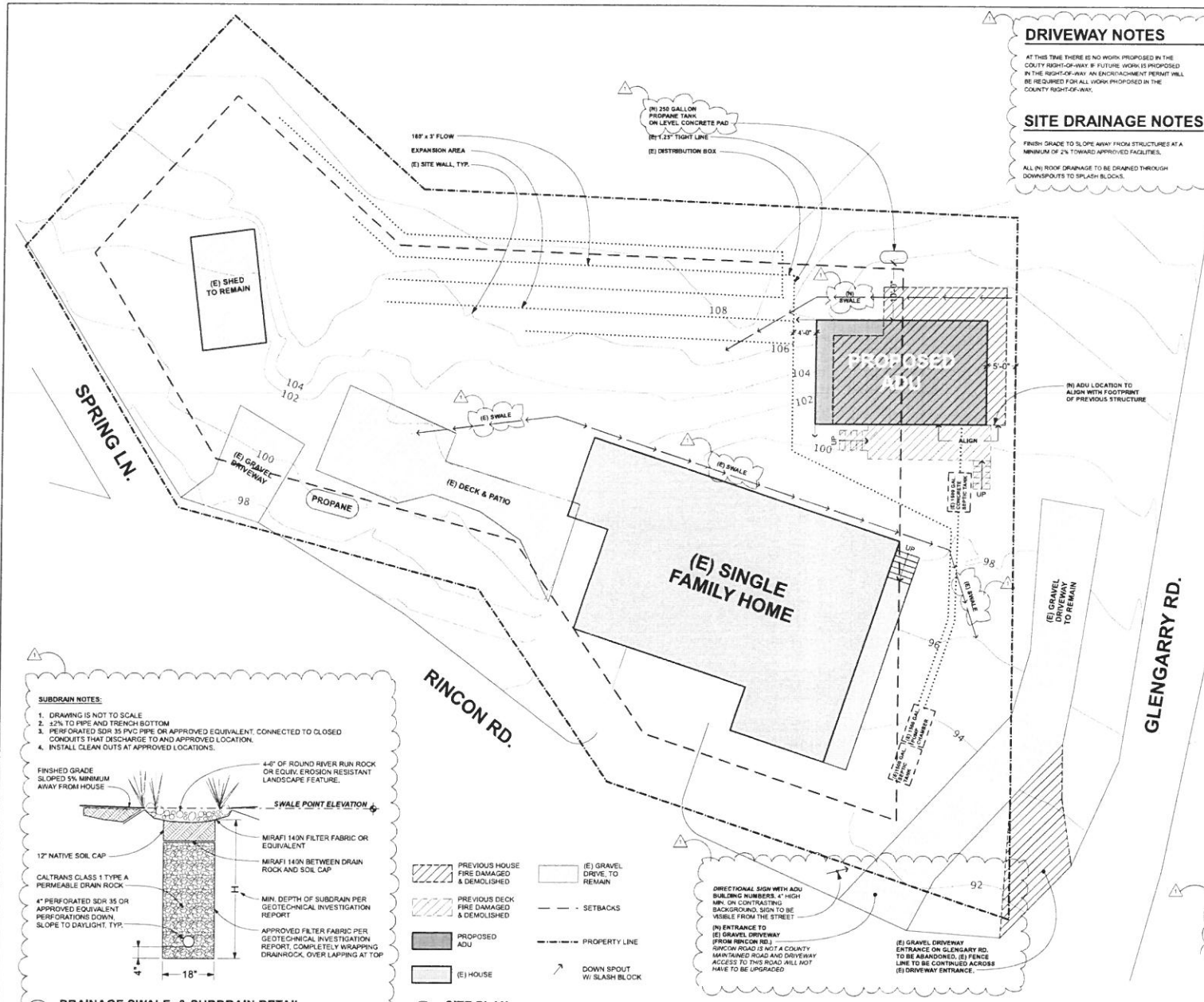
SCALE AS NOTED

JOB NUMBER: 2575

SHEET **A1.0**

A1.0

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DRIVEWAY NOTES

AT THIS TIME THERE IS NO WORK PROPOSED IN THE COUNTY RIGHT-OF-WAY. IF FUTURE WORK IS PROPOSED IN THE RIGHT-OF-WAY, AN ENCROACHMENT PERMIT WILL BE REQUIRED FOR ALL WORK PROPOSED IN THE COUNTY RIGHT-OF-WAY.

SITE DRAINAGE NOTES

FINISH GRADE TO SLOPE AWAY FROM STRUCTURES AT A MINIMUM OF 2% TOWARD APPROVED FACILITIES.
ALL (N) ROOF DRAINAGE TO BE DRAINED THROUGH DOWNSPOUTS TO SPLASH BLOCKS.

CONSTRUCTION SITE STORMWATER POLLUTION CONTROL

SITE HOUSEKEEPING REQUIREMENTS

Construction Materials -

- All loose stockpiled construction materials that are not actively being used (i.e. soil, spoils, aggregate, fly-ash, sludge, hydrated lime, etc.) shall be covered and bermed.
- All chemicals shall be stored in watertight containers (with appropriate secondary containment to prevent any spills or leakage) or in a storage shed (completely enclosed).
- Exposure of construction material to precipitation shall be minimized. This does not include materials and equipment that are designed to be outdoors and exposed to environmental conditions (i.e. poles, equipment parts, conduits, insulators, boxes, etc.).
- Best management practices to prevent the off-site tracking of loose construction and landscape materials shall be implemented.

Waste Management -

- Disposal of any mud or wash waters or materials impervious or previous site surfaces or into the storm drain system shall be prevented.
- Sanitation facilities shall be contained (e.g. portable toilets) to prevent discharges of pollutants to the storm water drainage system or receiving water, and shall be located a minimum of 20 feet away from any water, street or driveway, stream, riparian area or other drainage facility.
- Sanitation facilities shall be inspected regularly for leaks and spills and cleaned or replaced as necessary.
- Stockpiled waste material shall be contained and securely protected from wind and rain at all times unless actively being used.
- Procedures that effectively address hazardous and non-hazardous spills shall be implemented.
- Equipment and material for cleanup of spills shall be available onsite and that soils and leachate shall be cleaned up immediately and disposed of properly.
- Concrete washout areas and other washout areas that may contain additional pollutants shall be contained so there is no discharge into the underlying soil and onto the surrounding areas.

Vehicle Storage and Maintenance

- Measures shall be taken to prevent oil, grease or fuel to leak in to the ground, storm drains or surface waters.
- All equipment or vehicles, which are to be fueled, maintained and stored onsite shall be in designated areas fitted with appropriate drip.
- Leaks shall be immediately cleaned and leaked materials shall be disposed of properly.

Landscape Materials

- Contain stockpiled materials such as mulches and ligers when they are not actively being used.
- Contain fertilizers and other landscape materials when they are not actively being used.
- Discontinue the application of any erodible landscape material within 2 days before a forecasted rain event or during periods of precipitation.
- Apply erodible landscape materials at quantities and application rates according to manufacturers' recommendations or based on written specifications by knowledgeable and experienced field personnel.
- Stack erodible landscape material on pallets and covering or storing such as material when not being used or applied.

EROSION CONTROL NOTES:

1. EROSION CONTROL SHALL BE IMPLEMENTED PER THE COUNTY OF SANTA CRUZ CONSTRUCTION SITE STORM WATER POLLUTION CONTROL BMP MANUAL OCTOBER 2011 EDITION.
2. THE COVER OF BARE SOILS SHALL BE REQUIRED DURING THE WINTER SEASON USING ONE OF TWO METHODS: (1) SEED OR STRAW MULCH OR (2) EROSION CONTROL BLANKETS AS SPECIFIED IN THE COUNTY BMP MANUAL.
3. PERIMETER SEDIMENT CONTROL SHALL BE IMPLEMENTED THROUGHOUT THE COURSE OF THE PROJECT USING ONE OF THE TWO METHODS: (1) PROPERLY TRENCHED FIBER ROLLS OR MATS OR (2) SILT FENCES NO LONGER THAN 200 FEET AS SPECIFIED IN THE COUNTY OF SANTA CRUZ BMP MANUAL.

TREE PROTECTION NOTES:

1. PROVIDE TREE PROTECTION FENCING AT DRYLINE OF ALL TREES AFFECTED BY CONSTRUCTION.

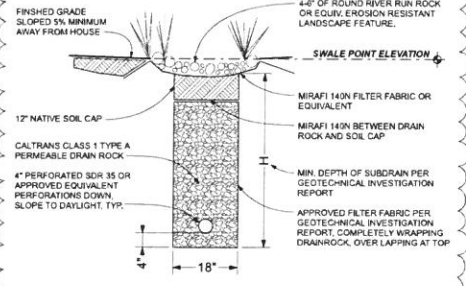
GRADING NOTES:

1. DIRECT SURFACE WATER TO (E) EARTH SWALE WHERE NEW CONSTRUCTION REQUIRES GRADING.

NOTE: THE CAL GREEN MANDATORY REQUIREMENTS ARE LOCATED ON SHEET GB-1

SUBDRAIN NOTES:

1. DRAWING IS NOT TO SCALE
2. 32% TO PIPE AND TRENCH BOTTOM
3. PERFORATED SDIR 35 PVC PIPE OR APPROVED EQUIVALENT, CONNECTED TO CLOSED CONDUITS THAT DISCHARGE TO AND APPROVED LOCATION.
4. INSTALL CLEAN OUTS AT APPROVED LOCATIONS.



DRAINAGE SWALE & SUBDRAIN DETAIL
SCALE 3/4" = 1'-0"

- PREVIOUS HOUSE FIRE DAMAGED & DEMOLISHED
- PREVIOUS DECK FIRE DAMAGED & DEMOLISHED
- PROPOSED ADU
- (E) HOUSE
- (E) GRAVEL DRIVEWAY TO REMAIN
- SETBACKS
- PROPERTY LINE
- DOWNSPOUT W/ SLASH BLOCK

SITE PLAN
SCALE 1/8" = 1'-0"



534 SOQUEL AVENUE
SAN JOSE, CA 95128
TEL 408.437.8348
FAX 408.437.2724



APN: 064-26-403

SHERMAN ADU

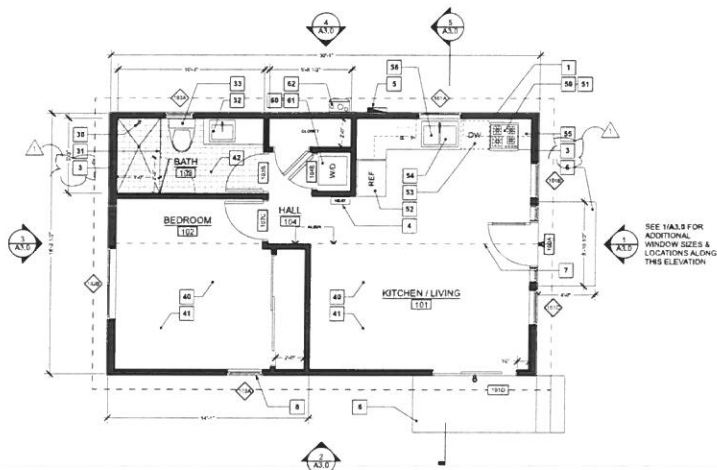
152 RINCON ROAD
FELTON, CA, 95018



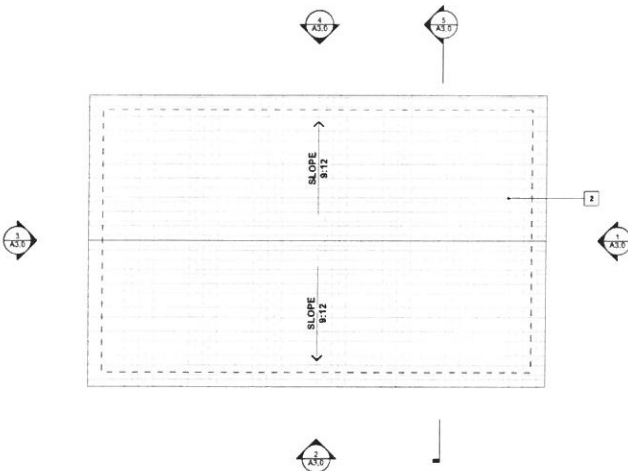
ISSUED:
PERMIT SUBMITTAL
10.24.2018
REVISION DELTA 1
06.20.2017

SITE PLAN

SCALE: AS NOTED
JOB NUMBER: 403
SHEET: **A1.1**



1 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE						
#	LOCATION	TYPE	LEAF SIZE		REMARKS	MFR.
			WIDTH	HEIGHT		
FINISH FLOOR						
100A	ENTRY	SWING	3'-0"	6'-4"	ALUMINUM / TEMPERED / WUBBS	
101D	LIVING	SLIDER	6'-0"	6'-4"	TEMPERED / WUBBS	
102C	BEDROOM	INT SWING	2'-4"	6'-4"	PAINT GRADE / SOLID CORE	
103B	BATHROOM	INT SWING	2'-7 1/2"	6'-4"	PAINT GRADE / SOLID CORE	
104B	HALL LAUNDRY	INT SWING	2'-4"	6'-4"	PAINT GRADE / SOLID CORE W/ DOOR VENT 100 SQ IN MIN.	
WINDOW SCHEDULE						
#	LOCATION	TYPE	SIZE		REMARKS	MFR.
			WIDTH	HEIGHT		
FINISH FLOOR						
101A	KITCHEN	SLIDER	3'-0"	3'-0"	VINYL	MILGARD
101B	LIVING	FIXED	2'-5 3/4"	6'-4 3/4"	VINYL	MILGARD
101C	LIVING	FIXED	2'-5 3/4"	6'-4 3/4"	VINYL	MILGARD
102A	BEDROOM	CASEMENT	2'-4"	4'-0"	EGRESS / VINYL	MILGARD
102B	BEDROOM	SLIDER	5'-0"	2'-0"	VINYL	MILGARD
103A	BATHROOM	CASEMENT	3'-0"	3'-0"	VINYL	MILGARD

WUI COMPLIANCE

- EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS IN EXTERIOR DOORS SHALL BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE, OR HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO ASTM E 3015, OR CONFORM TO THE PERFORMANCE REQUIREMENTS OF SFM 12-7A-2, PER 2013 CRC SECTION R327.8.2.1
- EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF SFM 12-7A-1 OR SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 3/8" THICK WITH INTERIOR PANELS NO LESS THAN 1 1/4" THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO ASTM E 2014, PER 2013 CRC SECTION R327.8.3

KEYNOTES: FLOOR PLAN

GENERAL

- 1 1/2" GYP BOARD 3/4 STUDS @ 16" O.C. - S.S.D.
- 2 COMPOSITE ROOF
- 3 1/2" GYP BOARD 3/4 STUDS @ 16" O.C. - S.S.D.
- 4 WALL MOUNTED GAS HEATER - SEE MEP1.0
- 5 ELECTRICAL SUBPANEL - SEE MEP1.0
- 6 CONCRETE POUGH
- 7 LINE OF RIDGE / EAVE
- 8 EGRESS WINDOW W/ MIN. NET CLEAR OPENING OF 5.7 SQ.FT. MIN. NET CLEAR OPENING HEIGHT OF 24" MIN. NET CLEAR OPENING WIDTH OF 20" MIN. CLEAR OPENING NOT MORE THAN 44" A.F.F. OR R310.1

BATHROOM

- 30 SHOWER W/ CERAMIC TILE SURROUND TO CEILING, SHOWERHEAD TO BE 20"PM @ 80PSI
- 31 TEMPERED GLASS SHOWER ENCLOSURE
- 32 LABATORY SINK W/ BASE CABINET, COUNTERTOP & BACKSPLASH. FAUCET(S) SHALL HAVE A MINIMUM FLOW RATE OF 1.50 GPM @ 60PSI
- 33 DUAL-FLUSH TOILET 1.28 GPF MAX.

CEILING / FLOORING

- 40 VAULTED CEILING
- 41 WOOD FINISH FLOOR - TBD
- 42 TILE FLOOR - TBD

KITCHEN

- 50 30" GAS RANGE
- 51 100CFM EXHAUST FAN ABOVE, VENT TO OUTSIDE, MAINTAIN CLEARANCE OF 3'-0" TO WHERE AIR CAN RE-ENTER BUILDING
- 52 30" REFRIGERATOR
- 53 DISHWASHER
- 54 SINK FAUCET TO BE 1.5 GPM @ 60PSI
- 55 FLOOR MOUNTED BASE CABINET W/ COUNTERTOP - TBD
- 56 GARBAGE DISPOSAL SEE NOTES MEP1.0

MECHANICAL

- 60 ENERGY STAR WASHING MACHINE
- 61 ENERGY STAR CLOTHES DRYER, VENTED TO EXTENSION W/ SMOOTH METAL 4" VENT WITH BACKDRAFT DAMPER, ADD INLINE FAN WITH CEILING ACCESS PANEL FROM GARAGE AS REQ.
- 62 ON-DEMAND GAS WATER HEATER SECURED TO WALL

LEGEND: FLOOR PLAN

- NEW WALL
- WALL BELOW / ABOVE

NOTE:
THE CAL GREEN MANDATORY REQUIREMENTS ARE LOCATED ON SHEET GB.1



APN: 06A-26-403

SHERMAN ADU

162 RINCON ROAD
FELTON, CA. 95018

ISSUED:

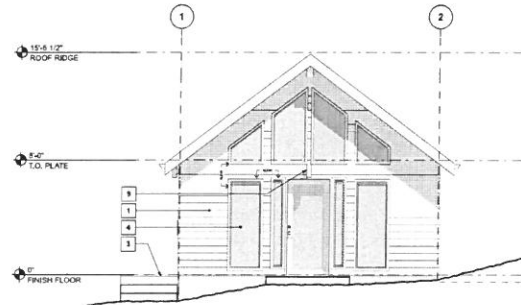
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10.24.2018
REVISION DELTA 1
08.20.2017

FLOOR PLAN & ROOF PLAN

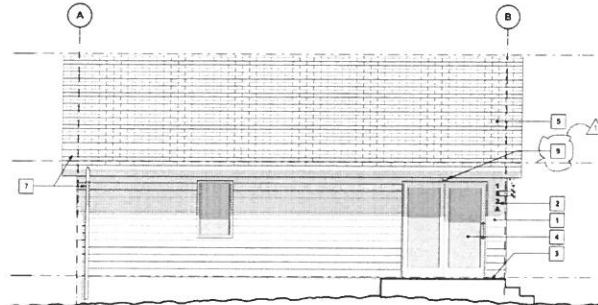
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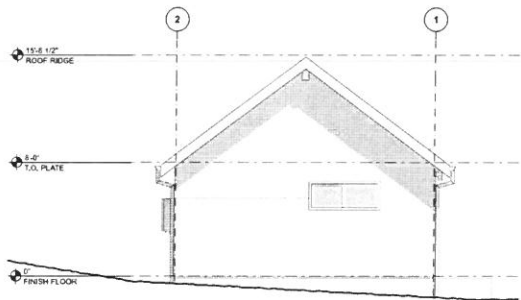
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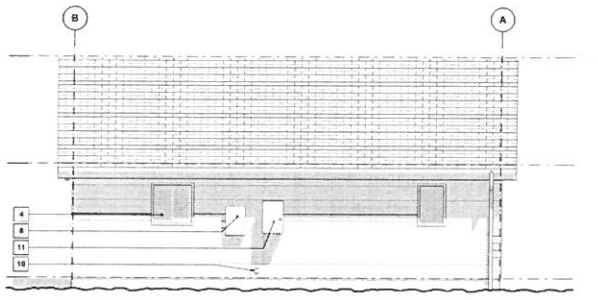
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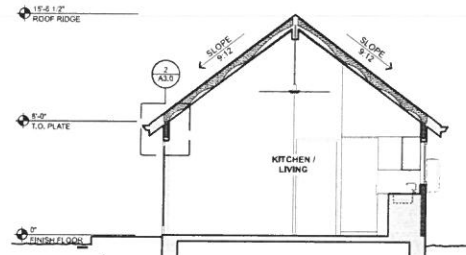
2 SOUTH
SCALE: 1/4\"/>



3 WEST
SCALE: 1/4\"/>



4 NORTH
SCALE: 1/4\"/>



5 SECTION
SCALE: 1/4\"/>

KEY NOTES - EXT. ELEVATIONS:

- 1 HORIZONTAL HARDIPLANK SIDING
- 2 BUILDING NUMBERS 4\"/>
- 3 CONCRETE PORCH
- 4 ALUMINUM WINDOW TYP
- 5 COMPOSITION ROOF
- 6
- 7 METAL GUTTER & DOWNSPOUT
- 8 ON-DEMAND WATER HEATER
- 9 WALL MOUNTED LIGHT FIXTURE
SEE ELEC. PLANS
- 10 DRYER VENT TYP
- 11 ELECTRICAL PANEL

NOTE:
R-30 (APPROX. 5\") POLYURETHANE
SPRAY FOAM INSULATION DIRECT TO
UNDERSIDE OF SHEATHING. USE
GACO WALL FOAM 183M MEETS STATE
OF CALIFORNIA BUREAU OF HOME
FURNISHINGS AND THERMAL
INSULATION GUIDE FOR THERMAL
BARRIER, ICC-ES AC 317 Acceptance
Criteria for Foam Plastic Insulation

COMPOSITE SHINGLES

POLYURETHANE SPRAY
FOAM INSULATION. SEE
NOTE

2x S.S.D.

FINISHED CEILING

BLOCKING W.O.

IGNITION RESISTANT
HARDIBOARD SOFFIT

2x6 FASCIA

IGNITION RESISTANT
HARDIPLANK LAP SIDING

GUTTER TO MATCH (E) - GUTTER
SHALL BE PROVIDED WITH THE
MEANS TO PREVENT THE
ACCUMULATION OF LEAVES AND
DEBRIS IN THE GUTTER. TYP.
R327.5.4

4\"/>

R15 HIGH DENSITY
FIBERGLASS BATT
INSULATION PER ENERGY
CALCULATIONS. TYP.

2 TYPICAL EAVE @ VAULTED CEILING
SCALE: 1 1/2\"/>

NOTE:
THE CAL GREEN MANDATORY REQUIREMENTS
ARE LOCATED ON SHEET 08.1



134 SOQUEL AVENUE
SAN JOSE, CA 95042
TEL 408.457.8548
FAX 408.423.5754



APN: 064-26-403
SHERMAN ADU
162 RINCON ROAD
FELTON CA, 95018

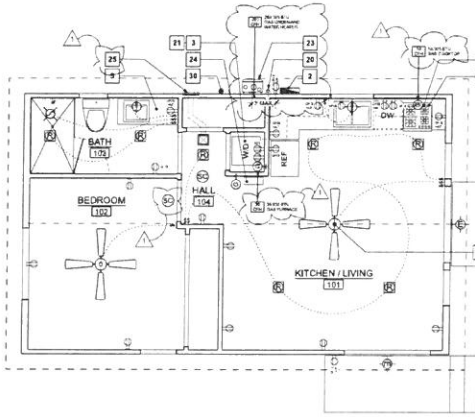
ISSUED:
PERMIT SUBMITTAL
10.24.2018
REVISION DELTA 1
06.20.2017

PROPOSED ELEVATIONS
& SECTIONS

SCALE: AS NOTED

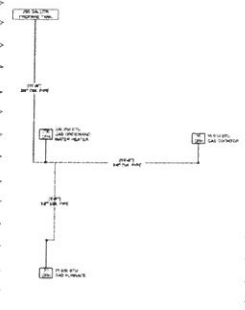
JOB NUMBER: 09%

SHEET: A3.0



FLOOR PLAN
SCALE: 1/4" = 1'-0"

GAS LINE DIAGRAM



LEGEND: PLUMBING

SYMBOL	DESCRIPTION
—	GAS LINE
—	WATER LINE
—	SEWER LINE
—	VENT LINE
—	DRYER VENT LINE

CPC 1206.4.1 & TABLE 1216.2(2) FOR PROPANE

LEGEND: ELECTRICAL, MECHANICAL & PLUMBING PLAN

- RECESSED HIGH EFFICIENCY LED DOWN LIGHT
- RECESSED HIGH EFFICIENCY LED DOWN LIGHT, EXTENDED LOCATION
- RECESSED CEILING FAN, RATED FOR DAMP LOCATION, VENT DIRECTLY TO OUTSIDE
- WALL MOUNTED FIXTURE
- PENDANT
- EXTERIOR WALL MOUNTED HIGH EFFICIENCY FIXTURE
- EXTERIOR WALL MOUNTED HIGH EFFICIENCY FIXTURE WITH MOTION SENSOR OR TIMER
- 6" x 8" x 2" WALL / CEILING MOUNTED TRACK LIGHT
- LED STRIP
- SWITCH
- SWITCH, DIMMER
- SWITCH, OCCUPANCY / VACANCY SENSOR
- 6" x 2" x 2" DUPLEX OUTLET
- GROUND FAULT CIRCUIT INTERRUPTER
- GFCI PROTECTED 120V ELECTRICAL RECEPTACLE IN WATERPROOF COVER
- 220V OUTLET
- FLOOR MOUNTED OUTLET
- CEILING MOUNTED OUTLET
- PHONE / DATA OUTLET
- GAS HOODUP
- HOSE BIB
- ELECTRICAL PANEL
- ELECTRICAL SUB-PANEL
- COMBINATION SMOKE DETECTOR & CARBON MONOXIDE MONITOR OR ALARM
- T.V. OUTLET
- CEILING FAN W/ LIGHT

KEYNOTES: ELECTRICAL, MECHANICAL & PLUMBING PLAN

- ELECTRICAL**
 - CEILING FAN & LIGHT (LIGHT TO BE SWITCHED SEPARATELY)
 - ELECTRICAL PANEL - MAIN (240V MIN. HEAD CLEARANCE IN 3'-0" x 3'-0" CLEAR SPACE IN FRONT OF PANEL)
 - PROVIDE SEPARATE CIRCUIT FOR EACH LAUNDRY APPLIANCE, (15, 20 OR 30 AMP AS REQUIRED) WITH NO OTHER OUTLETS ON THE CIRCUIT. PER CEC SECTION 215.11.
 - PROVIDE ELECTRICAL HOODUP TO APPLIANCE(S) PER MFR. INSTRUCTIONS
 - PROVIDE AT LEAST ONE (1) SEPARATE 20-AMP CIRCUIT FOR BATHROOM OUTLETS, WITH NO OTHER OUTLETS ON THE CIRCUIT. PER CEC SECTION 215.11.
- MECHANICAL**
 - 4" DIAM. SMOOTH METAL DRYER EXHAUST TO EXTERIOR WITH BACKDRAFT DAMPER
 - ENERGY STAR WASHER & DRYER
 - HOOD EXHAUST FAN (100 CFM MIN.) VENTED TO EXTERIOR
 - ON DEMAND NATURAL GAS WATER HEATER. PROVIDE DEDICATED GAS LINE. MONITOR MFR-60. SEE MANUFACTURER'S REQUIREMENTS.
 - GAS WALL FURNACE - WILLIAMS MONTEREY PLUS 3000B27 OR 30B
 - 4" x 14" FRESH AIR INTAKE GRILLE W/ 4" DUCT AND CEILING MOUNTED VENT PER CEC 901
- PLUMBING**
 - FIRE SPRINKLER RISER

NOTES - ELECTRICAL:

- SEE COVER SHEET FOR ENERGY LIFE SAFETY AND MEP GENERAL NOTES.
- CONTRACTOR TO COORDINATE ALL POWER REQUIREMENTS & LOCATIONS FOR ALL APPLIANCES AND EQUIPMENT.
- ALL 120V-15A SINGLE PHASE, 15 & 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- ALL RECEPTACLE OUTLETS FOR 120 VOLT, 15 & 20 AMPERE SHALL BE TAMPER RESISTANT RECEPTABLES.

NOTES - MECHANICAL:

- ALL GAS APPLIANCES TO BE PROPANE

NOTE:
THE CAL GREEN MANDATORY REQUIREMENTS ARE LOCATED ON SHEET GB.1

MECHANICAL NOTES

- All work shall be done in accordance with the latest edition of the U.M.C. and all applicable codes and local ordinances. All heating work is to conform to title 24 on plans. All exhaust fans and dryer shall be vented to the exterior.
- Each bathroom that contains a bathtub, shower or similar source of moisture shall have an exhaust fan ducted to the outside with a minimum ventilation rate of 50 cfm. The ducting shall be sized according to ASHRAE Standard 62.2 Table 7.1.
- Bedroom, Every room, kitchen, dining room, family room and other habitable rooms shall be provided with natural light and ventilation equal to 8% of the floor area, half operable. Mechanical ventilation. Provide two air changes per hour minimum. They must terminate 3 feet from any openings into the building and be provided with back draft dampers. CRC R302.1
- Provide all plumbing, gas, electrical and mechanical fixtures and appliances according to manufacturer's specifications, and in compliance with all applicable codes. Manufacturer's specifications take precedence over these construction documents.
- Provide sound insulation bats in all walls between bedrooms or bedrooms and adjacent rooms. All insulating materials to be formaldehyde free.
- All heating & cooling equipment, which generates a glow, spark, or flame capable of igniting flammable vapors shall be installed with pilots, venting, burners, or heating elements at least 18" above floor level. Appliances shall be suitably protected against damage by being installed behind protective barriers or being elevated or hooded out of the normal path of vehicles.
- In a master garage and duct penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 0.019 inch (No. 26 gage) sheet steel and shall have no openings into the garage per CRC Section R302.5.2
- Furnaces & water heaters located in the attic or under floor space shall provide 30" x 30" minimum access, accessible within 20 and 24" passageway to furnace with solid flooring, provide a switched light and adjacent vent duct.
- Vent clothes dryer to the exterior, 14" maximum length. Provide 4" diameter minimum exhaust fan to outside air at laundry alcove.
- Hot water heater to conform to Title 24 specifications.
- Kitchen EXHAUST HOOD shall have an exhaust fan ducted to the outside with a minimum ventilation rate of 100 cfm. The ducting shall be sized according to ASHRAE Standard 62.2 Table 7.1.
- Contractor to confirm all equipment's power requirements
- New buildings shall have a WHOLE HOUSE continuously operating EXHAUST FAN ducted to the outside with a minimum ventilation rate calculated according to ASHRAE Standard 62.2 Equation 4.1(a). The ducting shall be sized according to ASHRAE Standard 62.2 Table 7.1. One of the local exhaust fans in a bathroom or kitchen may be used provided the exhaust fan meets the minimum ventilation rates for both the local and whole house ventilation requirements. (55010)
- **COMBUSTION AIR:**
 - Appliances in confined spaces shall be provided with air opening with in the upper 12" of the enclosure and one opening within the lower 12" of the enclosure.
 - Each area shall have a free area of at least 1 sq. ft. per 100 BTU/hr of the total output rating of all the interior areas which have adequate ventilation from the outside.
 - The minimum area of both upper and lower combustion air openings shall not be less than 100 sq. ft. each
- **DUCTWORK:**
 - In a garage, all ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 0.019 inch (No. 26 gage) sheet steel and shall have no openings into the garage per CRC Section R302.5.2

ELECTRICAL NOTES

- All work shall be in accordance with the latest edition of the N.E.C., and all applicable codes and local ordinances.
- Contractor to coordinate all power requirements & locations for all appliances and equipment
- Provide 110V smoke detectors with a battery back up @ all new bedrooms. Provide battery smoke detectors @ all existing bedrooms and halls leading to them, and on each story in multi-story dwelling. Smoke detectors shall be suitable in all bedrooms. See electrical plan for additional notes and locations.
- Receptacle outlets shall be installed at each counter space wider than 12" in Kitchen/Dining areas, in addition to outlets rendered inessential by stationary appliances. All 120V receptacles installed in bathrooms, bedrooms, in an unfinished basement, in the garage, in unfinished accessory buildings, all 120V receptacles, when 6' or more apart shall be GFCI protected.
- Exterior outlets shall have a weatherproof enclosure in addition to GFCI.
- Kitchen circuits to be in accordance with California Electrical code Article 210.52(B).
- All 125 volt, 15 and 20 ampere receptacle outlets shall be listed tamper resistant receptacles per CEC 409.11
- All 20 ampere small appliance circuits supplying kitchen and dining room.
- Separate circuit for dishwasher.
- All branch circuits that supply 120 volt single phase, 15 and 20 ampere outlets installed in dwelling unit family rooms, living rooms, bedrooms, or similar rooms or areas shall be arc-fault circuit interrupter (AFCI) protected per CEC 310.12(B).
- **SMOKE DETECTORS:**
 - All sleeping rooms, areas adjacent to sleeping rooms, and stairways shall be equipped with smoke detectors. Each floor regardless of use shall be equipped with smoke detectors. In new construction, all smoke detectors shall be 110V with battery back up (or separate circuit) and interconnected to sound alarm at once.
- All laundry branch circuits in addition to other branch circuit requirements, at least one 20amp branch circuit shall be provided to supply bathroom receptacle outlets. Such circuits shall have no other outlets.
- Laundry Branch circuits in addition to other branch circuit requirements, at least one 20amp branch circuit shall be provided to supply laundry receptacle outlets.
- One outlet per an island or peninsula, regardless of length or size, unless separated into more than one countertop area. On islands and peninsulas spaces, receptacles may be mounted not more than 12" below the countertop where the construction precludes mounting above the countertop.
- Receptacle outlets shall be installed in all habitable rooms. On all wall spaced 2' or more, not more than 6' from openings, not more than 12' O.C., in hallways 10' or longer, at 4' O.C., at kitchen counters.
- Plumbing pipelines prohibited for use as electrical ground.
- Service conductors shall have a clearance of not less than 3 feet from windows, doors, porches, fire escapes, or similar locations.
- Provide new meter panel and meter in location as shown on the drawings. The electrical contractor shall verify that service conductors provide for the proper distribution of loads to prevent overloading of the system. Sub panel to be located at interior if required.

LIGHTING REQUIREMENTS

- **KITCHENS:** High efficiency, or up to 50% max. Total wattage may be low efficiency. All high efficiency and low efficiency lighting must be controlled separately.
- **BATHROOMS:** High efficiency, or manual or occupancy sensor.
- **GARAGE:** High efficiency, or manual or occupancy sensor.
- **LAUNDRY ROOM:** High efficiency, or manual or occupancy sensor.
- **UTILITY ROOM:** High efficiency, or manual or occupancy sensor.
- **ALL OTHER INTERIOR ROOMS:** High efficiency or manual or occupancy sensor or dimmer controlled switch.
- **OUTDOOR LIGHTING ATTACHED TO BUILDING:** High efficiency, or controlled by motion and photo control.
- **WET LOCATIONS:**
 - Commines located above a bathtub or shower shall be listed for wet locations. (410.10D) CEC
- **EXHAUST FANS:**
 - All exhaust fans shall be switched separately from lighting systems. (1509.17B) CEC
- Bathroom exhaust fan shall be controlled by a hardwired per the Green Building Standards Code Section 4.50A (R303.3.1 CRC)

PLUMBING NOTES

- **HOSE BIBS:**
 - House bibs shall be fitted with a non-removable back-flow device. (103.5.7 CEC)
- **WATER HEATER / STORAGE TANK:**
 - Stop the water heater at upper and lower 1/2 of vertical height. The lower stop shall maintain 4" above the controls. (501.2 CEC)
- Water heater shall be provided with temperature and pressure relief valves (504.4, 504.5 CEC) The relief valves shall be provided with a drain which extends from the valves to the outside of the building. See Plans.
- Tankless water heaters shall be naturally vented and be installed in accordance with the installation instructions that were approved as part of their listing. The gas piping serving the appliance must be sized in accordance with the water heater's listed installation instructions and the 2013 California Plumbing Code (APB161.1 CRC)
- **BATHROOMS:**
 - Showers and showerheads shall be provided with individual control valves of the pressure balance, thermostatic, or combination pressure balance, thermostatic mixing valve type that provide noise and thermal shock protection. (603.8 CEC)
- **HOT WATER PIPES:**
 - All hot water pipes to be insulated.



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 162 RINCON ROAD
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 A.P.N.: 064-26-003

ISSUED:
PERMIT SUBMITTAL
12.24.2016
REVISION DELTA 1
06.22.2017

MECHANICAL, ELECTRICAL & PLUMBING

SCALE: AS NOTED

JOB NUMBER: 099

SHEET: MEP1.0



NOTES

1. NAIL SIZE NOTED IN TABLE FOR COMMON OR GALV. UNFINED NAILS. IF NAIL OR UNFINED NAILS ARE USED, THEN THE NEXT LARGER SIZE NAIL MUST BE USED WHICH IS 1" SHORTER ON THE TOTAL NAIL LENGTH.
2. WHERE NAILS ARE SPACED LESS THAN 4" ON CENTER AT EXPOSURE PANEL EDGES AND SKILL PLATE FRAMING SHALL BE 3" ON CENTER. 2" ON CENTER AND NAIL SIZE SHALL BE 16D UNFINED STEEL EDGES.
3. JOIST FRAMING CLIPS SHALL BE 3" LONGER STRONG TIE CO. INC.
4. STAIRS VERTICAL JOINTS WHERE PLYWOOD IS APPLIED TO BOTH SIDES OF THE WALL.
5. ALL FASTENERS (BOLTS, NAILS, WASHERS, HANGING CLIPS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESATURATED LUMBER SHALL BE HOT-DIP GALVANIZED OR COATED ON STEEL SURFACES.
6. ALL PANEL, EDGES SHALL BE SACHED WITH 2" ON MINIMUM FRAMING.
7. ALL ANCHOR BOLTS SHALL BE 3" DIAMETER 2" EMBEDDED AND 4" HOOKS INTO CONCRETE WITH 3/16x22 STEEL PLATE WASHERS 1/2" THICK.
8. BOTTOM PLATE CONNECTION ASSUMES THAT THE 4" PROUDS STOPS AT BOTTOM PLATE AND WEATHER IS TRAVELLED THROUGH PLATE INTO THE FLOOR FRAMING AND REINFORCED. IF IN PLYWOOD CONTACT IT PASS THE PLATE AND IS TRUCKED THROUGH THE ONE END ONE END OF C.E. MINIMUM 1/2" FROM THE OTHER END.

