

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application. Plans for this application can be found under the “Pending Projects” quick link at www.sccoplanning.com.

APPLICATON NUMBER: 171164

APN: 045-183-07

Proposal to construct a 112 square foot second story addition and remodel an existing nonconforming single-family dwelling. Requires a Minor Exception to reduce the required street side yard from 10 feet to 8 feet 9 inches for the addition.

Property located on the southeast side of Playa Boulevard (201 Playa Boulevard) at the southeast corner with Solano Avenue in La Selva Beach.

OWNER: Nanette and Vincent Schuster

APPLICANT: Matson Britton Architects

SUPERVISORIAL DISTRICT: 2

PLANNER: Lezanne Jeffs, (831) 454-2480

EMAIL: Lezanne.Jeffs@santacruzcounty.us

Comments on this application must be received by the project planner no later than 5:00 p.m. August 4, 2017.

A decision on Application 171164 shall be made on or shortly after August 7, 2017. The decision will be posted on the Planning Department Website.

Appeals to this decision will be accepted until 5:00 p.m. two weeks after the decision date. For questions please contact the project planner listed above.

| | | | |
|-------------|--|---------|------------------------|
| & | AND | H.B. | HOSE BIB |
| L.A. | ANGLE | HDR. | HEADER |
| @ | AT | HDWR. | HARDWARE |
| | DEGREE | HORIZ. | HORIZONTAL |
| A.B. | ANCHOR BOLT | HT., H. | HEIGHT |
| (A) | ABOVE | I.D. | INSIDE DIAMETER |
| A.C.I. | AMERICAN CONCRETE INSTITUTE | IN. | INCHES |
| ADJ. | ADJACENT | INSUL. | INSULATION |
| A.F.F. | ABOVE FINISH FLOOR | INT. | INTERIOR |
| A.I.S.C. | AMERICAN INSTITUTE OF STEEL CONSTRUCTION | JT. | JOINT |
| ALT. | ALTERNATE | K.P. | KING POST |
| ALUM. | ALUMINUM | L. | LENGTH |
| APPROX. | APPROXIMATELY | LIN. | LINEAR |
| ARCH. | ARCHITECTURAL | MAX. | MAXIMUM |
| A.S.T.A. | AMERICAN SOCIETY OF TESTING MATERIALS | M.S. | MACHINE BOLT |
| (B) | BELOW | MEMB. | MEMBRANE |
| BD. | BOARD | MFR. | MANUFACTURER |
| BLDG. | BUILDING | MIN. | MINIMUM |
| BLKG. | BLOCKING | MISC. | MISCELLANEOUS |
| BM. | BEAM | MTL. | METAL |
| B.N. | BOUNDARY NAILING | MW. | MICROWAVE |
| B.O. | BOTTOM OF | N. | NORTH |
| BOT., BOT. | BOTTOM | (N) | NEW |
| BTWN. | BETWEEN | N.T.S. | NOT TO SCALE |
| CAB. | CABINET | O/ | OVER |
| C.B. | CEILING BEAM | O.C. | ON CENTER |
| C.J. | CEILING JOIST | O.D. | OUTSIDE DIAMETER |
| CLG. | CEILING | O.H. | OPPOSITE HAND |
| CLR. | CLEAR | OV. | OVEN |
| COL. | COLUMN | N.I.C. | NOT IN CONTRACT |
| CONC. | CONCRETE | PL. | PLATE |
| CONT. | CONTIGUOUS | PLYWD. | PLYWOOD |
| CTR. | CENTER | PKG. | PARKING |
| CL | CENTERLINE | P.S.F. | POUNDS PER SQUARE FOOT |
| Db | BAR DIAMETER | P.S.I. | POUNDS PER SQUARE INCH |
| DBL. | DOUBLE | QTY. | QUANTITY |
| DEG. | DEGREE | RAD. | RADIUS |
| DEMO. | DEMOLISH | R.B. | ROOF BEAM |
| DET., DETL. | DETAIL | RCP. | REFLECTED CEILING PLAN |
| D.W. | DISHWASHER | RE. | REFERENCE |
| DWG. | DRAWING | REF. | REFRIGERATOR |
| DWN. | DOWN | REINF. | REINFORCED |
| DN. | | REG.D. | REQUIRED |
| (E) | EXISTING | RM. | ROOM |
| EA. | EACH | R.O. | ROUGH OPENING |
| E.N. | EDGE NAILING | R.R. | ROOF RAFTER |
| EL. | ELEVATION | SCHED. | SCHEDULE |
| ELEV. | | SF. | SQUARE FOOT |
| ELEV. | ELEVATOR | SQ. FT. | SQ. FT. |
| ENG. | ENGINEER | SHTG. | SHEATHING |
| EQ. | EQUAL | SHT. | SHEET |
| EXT. | EXTERIOR | SM. | SIMILAR |
| E.W. | EACH WAY | SL. | SLOPED |
| F.B. | FLOOR BEAM | SPKL. | SPRINKLER |
| F.F. | FINISHED FLOOR FINISH | SG. | SQUARE |
| FN. | | STAGG. | STAGGER |
| F.J. | FLOOR JOIST | STD. | STANDARD |
| FL. | FLUSH | STL. | STEEL |
| FLR. | FLOOR | STR. | STRUCTURAL |
| F.N. | FIELD NAILING | STRUCT. | |
| FND. | FOUNDATION | T&B | TOP & BOTTOM |
| F.O. | FACE OF | T&G | TONGUE & GROOVE |
| FP. | FIREPLACE | THK. | THICK |
| F.R. | FIRE RATED | T.O. | TOP OF |
| FT. | FOOT OR FEET | T.P. | TOILET PAPER |
| FTG. | FOOTING | TRF. | TYPICAL |
| FZR. | FREEZER | U.&C. | UNIFORMED |
| GA. | GAUGE | VERT. | VERTICAL |
| Galv. | GALVANIZED | W. | WIDTH |
| G.B. | GRADE BEAM | WD. | WOOD |
| GLB. | GLU-LAM BEAM | WH. | WATER HEATER |
| GYP. BD. | GYP-SUM WALL BOARD | | |
| G.W.B. | | | |

ABBREVIATIONS



SCHUSTER RESIDENCE

REMODEL/ADDITION

201 PLAYA BOULEVARD

LA SELVA BEACH, CA 95076



VICINITY MAP



- THESE PLANS SHALL COMPLY WITH 2016 CALIFORNIA BUILDING CODE AND 2016 CALIFORNIA FIRE CODE AND DISTRICT AMENDMENTS.
- OCCUPANCY R-3 & U, TYPE V-B.
- ADDRESS NUMBERS SHALL BE POSTED AND MAINTAINED AS SHOWN ON THE SITE PLAN. NUMBERS SHALL BE A MINIMUM OF 4 INCHES IN HEIGHT AND OF A COLOR CONTRASTING TO THEIR BACKGROUND.
- ROOF COVERING SHALL BE NO LESS THAN CLASS B RATED.
- ALL CHIMNEYS SHALL BE APPROVED WITH AN APPROVED SPARK ARRESTOR ON THE TOP OF THE CHIMNEY. WIRE MESH NOT TO EXCEED 1/2" IS ACCEPTABLE.
- THE JOB COPIES OF THE BUILDING PLANS AND PERMITS MUST REMAIN ON-SITE DURING INSPECTIONS.
- PUBLIC FIRE HYDRANT REQUIRED WITHIN 250 FT. OF ANY PORTION OF THE BUILDING WITH A MINIMUM 1000 GALLON FIRE FLOW. AVAILABLE FIRE HYDRANT APPROXIMATELY 90' FROM BUILDING.

FIRE PROTECTION NOTES

HERS VERIFICATION REQUIRED FOR:
AIR DISTRIBUTION SYSTEM - DUCT TESTING

HERS REQUIREMENTS



PARCEL MAP



ARCHITECTURAL DRAWINGS

- AG.1 TITLE SHEET
- AG.2 GENERAL NOTES
- AG.3 CALGREEN MANDATORY RES. CHECKLIST
- AG.4 CALGREEN RES. VOC LIMIT TABLES
- A1.0 SITE PLAN
- A1.1 FIRST FLOOR DEMO PLAN
- A1.2 SECOND FLOOR DEMO PLAN
- A2.0 FIRST FLOOR PLAN
- A2.1 SECOND FLOOR PLAN
- A2.2 ROOF PLAN
- A3.0 EXTERIOR ELEVATIONS
- A3.1 EXTERIOR ELEVATIONS
- A4.0 BUILDING SECTIONS
- A5.0 EXTERIOR DETAILS
- A6.0 DOOR SCHEDULE
- A6.1 WINDOW SCHEDULE
- A7.1 REFLECTED CEILING PLANS
- E1.0 FIRST + SECOND FLOOR ELECTRICAL PLANS
- M1.0 INDOOR VENTILATION NOTES GAS PIPE LAYOUT DIAGRAM

STRUCTURAL DRAWINGS

- S1 GENERAL NOTES
- S2 FOUNDATION + FIRST FLOOR FRAMING PLAN
- S3 SECOND FLOOR FRAMING PLAN
- S4 ROOF FRAMING DETAILS
- S5 FOUNDATION + FRAMING DETAILS
- S6 ROOF FRAMING DETAILS

ENERGY COMPLIANCE

- EN1 ENERGY COMPLIANCE CALCULATIONS
- EN2 RESIDENTIAL MANDATORY MEASURES

SURVEY

- SU1 SURVEY

SHEET INDEX

THE FOLLOWING ITEMS ARE DEFERRED SUBMITTALS AND SHALL BE REVIEWED BY THE ARCHITECT PRIOR TO FINAL APPROVAL:

- PLAN CHECK #1
- ITEM 6 CLARIFY IF 75% OF THE DUCT SYSTEM IS TO BE REPLACED.

DEFERRED SUBMITTALS

OWNER: VIRCENT + NANETTE SCHUSTER
 APN: 045-183-07
 ZONING: R-1-6
 OCCUPANCY GROUP: R-3 + U (PER 2016 CRC)
 CONSTRUCTION TYPE: V-B
 PROJECT DESCRIPTION:

REMODEL EXISTING TWO STORY RESIDENCE OF THREE BEDROOMS, THREE BATHROOMS, KITCHEN, LIVING AREA, DINING ROOM, AND BREAKFAST ROOM TO HAVE NEW MASTER BEDROOM SUITE, NEW LAUNDRY AREA, NEW KITCHEN, + NEW STAIR.
 REMODEL AND EXTEND HEIGHT OF EXISTING CHIMNEY WITH NEW FIREPLACE AT DECK (ROOF CLEARANCE PER CODE.)

PROJECT INFORMATION

MATSON BRITTON ARCHITECTS
 728 N. BRANICORTE
 SANTA CRUZ, CA 95062
 PHONE: 831-425-0544
 FAX: 831-425-4795

RICHARD IRISH ENGINEERING
 303 POTRERO STREET #42
 SANTA CRUZ, CA 95060
 PHONE: 831-425-3901

INTELLIGENT HOUSE DESIGN
 SANTA CRUZ, CA 95062
 PHONE: 831-345-1028

HATHAGAN LAND SURVEYING, INC.
 305-C SOQUEL AVENUE
 SANTA CRUZ, CA 95062
 PHONE: 831-469-3428

CONSULTANTS

| | |
|---|-----------------|
| TOTAL LOT SIZE: | 9,487.4 SQ. FT. |
| MAX. LOT COVERAGE (40% OF NET LOT SIZE) | 3,794.96 |
| EXISTING FIRST FLOOR: | 1,462.12 SF |
| SECOND FLOOR: | 699.27 SF |
| GUEST HOUSE: | 556.6 SF |
| GARAGE: | 605.2 SF |
| TOTAL: | 3,323.19 SF |
| FAR: 3,323.19/9,487.4* | 35% |
| PROPOSED FIRST FLOOR: | 1,462.12 SF |
| SECOND FLOOR: | 811.3 SF |
| GUEST HOUSE: | 556.6 SF |
| GARAGE: | 605.2 SF |
| TOTAL: | 3,435.22 SF |
| FAR: 3,435.22 (INCL. 225 SF GARAGE CREDIT)/9,487.4* | 36% |

PROJECT CALCULATIONS

THIS RESIDENTIAL CONSTRUCTION COMPLIES WITH TITLE 24 AND THE FOLLOWING CODES: 2016 CALIFORNIA RESIDENTIAL CODE (CRC), 2016 CALIFORNIA BUILDING CODE (CBC), 2016 CALIFORNIA MECHANICAL CODE (CMC), 2016 CALIFORNIA PLUMBING CODE (CPC), 2016 CALIFORNIA ELECTRICAL CODE (CEC) AND THE 2016 CALIFORNIA ENERGY CODE.

CODE COMPLIANCE



728 N. BRANICORTE
 SANTA CRUZ, CA 95062
 PHONE: 831-425-0544
 FAX: 831-425-4795



303 POTRERO STREET #42
 SANTA CRUZ, CA 95060
 PHONE: 831-425-3901



SANTA CRUZ, CA 95062
 PHONE: 831-345-1028



305-C SOQUEL AVENUE
 SANTA CRUZ, CA 95062
 PHONE: 831-469-3428



201 PLAYA BLVD.
 LA SELVA BEACH, CA 95076
 APN: 045-183-07

TITLE SHEET

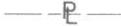




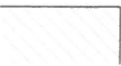

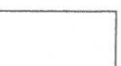



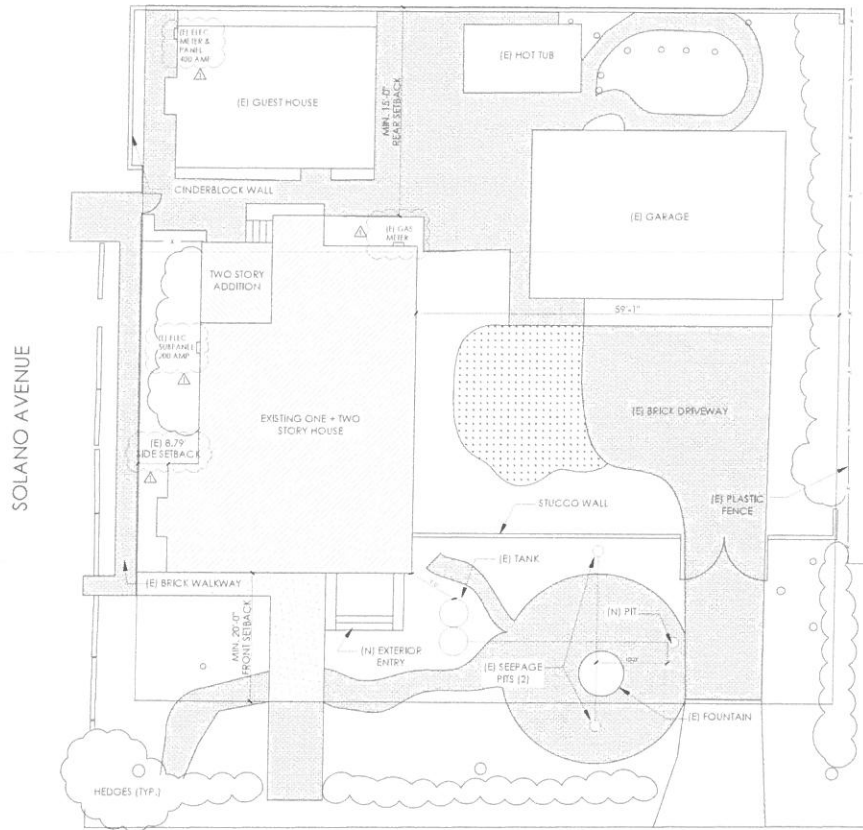
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SCHUSTER

A0.1

| SITE LEGEND | |
|--|-------------------------|
|  | PROPERTY LINE |
|  | SETBACK LINE |
|  | (E) 5-5 WOOD FENCE |
|  | (E) CHAIN-LINK FENCE |
|  | (E) TREE & DRIPLINE |
|  | (E) RESIDENCE TO REMAIN |
|  | (N) RESIDENCE ADDITION |
|  | (N) IMPERVIOUS SURFACE |
|  | LANDSCAPING |
| GRADING & DRAINAGE NOTES | |
| 1. PROJECT REQUIRES MINIMAL GRADING. | |
| 2. UNNECESSARY GRADING AND DISTURBING OF THE SOIL SHALL BE AVOIDED. | |
| 3. ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF-SITE OR STOCKPILED IN A MANNER TO AVOID RUNOFF ONTO ADJACING PROPERTIES. | |
| 4. ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC. | |
| 5. PROJECT TO MAINTAIN EXISTING DRAINAGE PATTERNS. | |



SITE PLAN
SCALE: 1/8" = 1' - 0"





THE ARCHITECTS

1000 S. GARDEN STREET
SUNNYVALE, CA 94086
TEL: 415.353.1100
WWW.MATSONARCH.COM

PROJECT NO. 16-0001

DATE: 07/08/16

SCHUSTER RESIDENCE
REMODEL/ADDITION
2017 PLAYA BLVD.
LA SEVIA BEACH, CA 95076
A.P.H. 045-183-07

EXISTING FLOOR PLANS



07/08/16

ECS








SCHUSTER

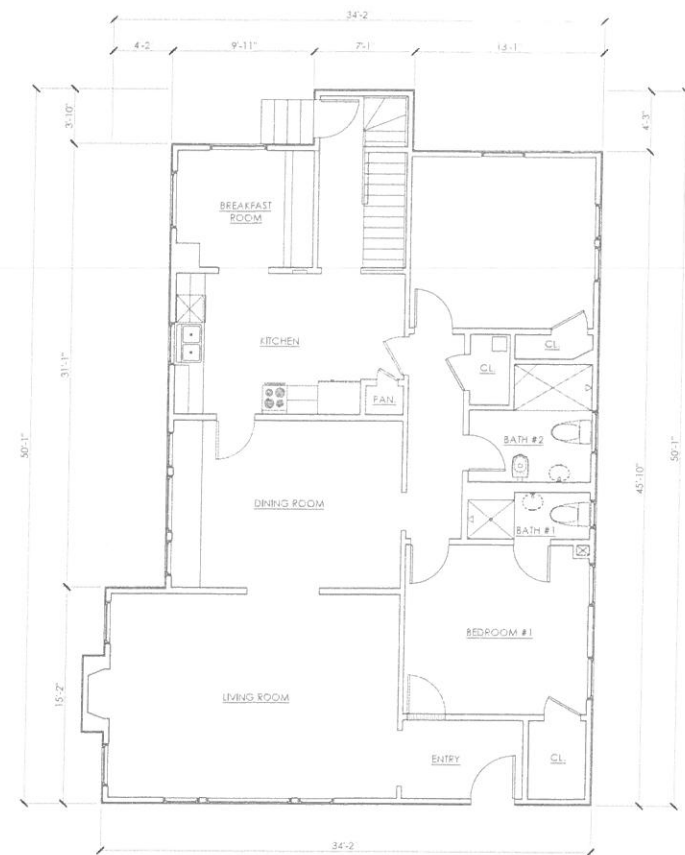
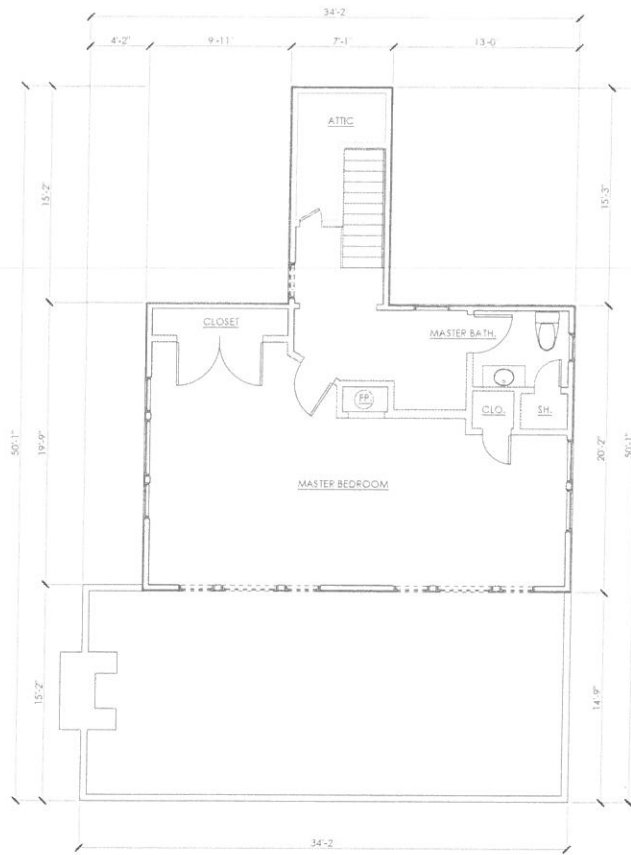
A1.0

DEMOLITION NOTES

1. FOR ADDITIONAL INFORMATION ON WINDOWS AND DOORS TO BE REPLACED SEE PROPOSED FLOOR PLANS A2.0-2.1 AND WINDOW & DOOR SCHEDULES, A6.0-6.1.
2. REFER TO STRUCTURAL AND ARCHITECTURAL DRAWINGS PRIOR TO MODIFICATION OR REMOVAL OF ROOF.
3. REFER TO FLOOR PLAN FOR LOCATION OF WALLS TO BE REMOVED. DEMOLITION INCLUDES ALL ELEMENTS WITHIN AND CONNECTED TO THE WALL. TERMINATE ALL ASSOCIATED ITEMS (I.E. ELECTRICAL, GAS, CABLE, ETC.) AS NECESSARY. ALL PIPING CONDUIT, ETC. SHALL BE TERMINATED AND CAPPED IN A LOCATION THAT WILL NOT BE VISIBLE WHEN NEW CONSTRUCTION IS COMPLETE.
4. PROTECT ALL SURFACES ADJACENT TO AREAS OF DEMOLITION. CONTRACTOR TO BE RESPONSIBLE FOR ALL ITEMS DAMAGED DURING DEMOLITION.
5. ITEMS TO BE SALVAGED SHALL BE CAREFULLY REMOVED BY A WORKER TO ENSURE MINIMUM DAMAGE AND SHALL BE STORED IN A STAGING AREA DESIGNATED BY THE OWNER. ALL MATERIALS, EQUIPMENT, AND OTHER ITEMS NOT TO BE RETAINED FOR FUTURE USE SHALL BE REMOVED FROM SITE.
6. REMOVE ALL EXISTING BRANCH CIRCUIT FEEDERS AND CONDUITS BACK TO ELECTRICAL PANEL.
7. SEE E1.0 - E1.1 FOR ELECTRICAL FIXTURE AND LIGHTING INFORMATION.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL EXISTING EQUIPMENT THAT IS TO REMAIN IS IN PROPER WORKING ORDER.

DEMOLITION LEGEND

-  EXISTING WALL / FOOTING TO REMAIN
-  EXISTING DOOR & WINDOW TO REMAIN
-  EXISTING DOOR & WINDOW TO BE FILLED
-  EXISTING WALL, FIXTURE, APPLIANCE TO BE REMOVED
-  EXISTING DOOR & WINDOWS TO BE REMOVED
-  INDICATES ELEMENTS ABOVE
-  INDICATES CEILING SLOPE DIRECTION



THE MATSON GROUP
ARCHITECTS
1000 S. GARDEN STREET
LA JOLLA, CA 92037
TEL: 858.534.1100
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SCHUSTER RESIDENCE
REMODEL/ADDITION
201 PLAYA BLVD.
LA SELVA BEACH, CA 95076
A.P.N. 045-185-07

EXISTING FLOOR PLANS



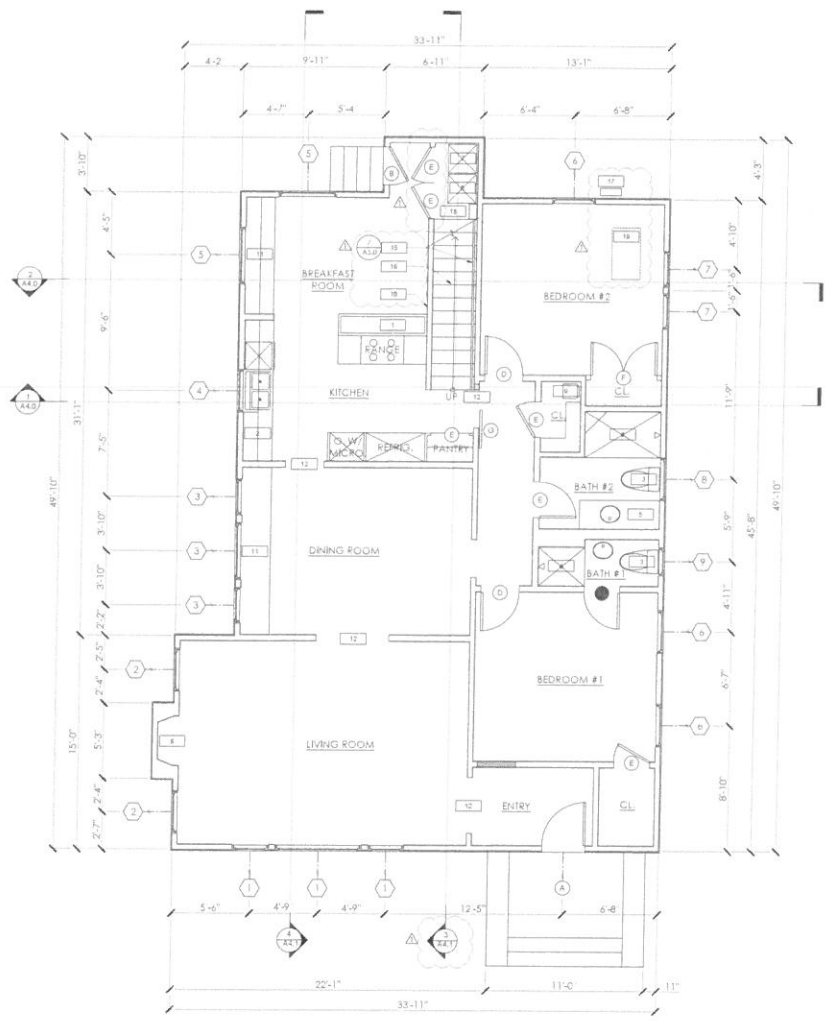
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SCHUSTER

A1.1

| FLOOR PLAN NOTES | |
|------------------|--|
| 1 | 42" BAR COUNTER |
| 2 | COUNTERTOP W/ CABINETS ABV. |
| 3 | TOILET |
| 4 | SHOWER |
| 5 | LAV. VANITY TOP W/ BACKSLASH |
| 6 | WASHER |
| 7 | DRYER (VENT TO OUTSIDE) |
| 8 | (E) FIREPLACE, ADD GAS |
| 9 | (N) DUCTING TO BE ENCLOSED |
| 10 | ASCENDING WALL WITH GUARD AND WITH STORAGE BELOW |
| 11 | (N) CABINETS |
| 12 | ARCHED OPENING |
| 13 | (N) EXTERIOR GAS FIREPLACE |
| 14 | LINEN CABINET |
| 15 | HANDRAIL, PER CRC R311.7 |
| 16 | 34" - 38" VERT FROM TREAD NOSING |
| 18 | (N) (REPLACEMENT) STAIRS |
| 18 | 18 RISERS @ 6 1/2" |
| 17 | 17 TREADS @ 11" |
| 17 | EXISTING GAS METER |
| 19 | (H) TANKLESS WATER HEATER |
| 20 | (N) FAU (MOUNTED UNDERFLOOR) |

| FLOOR PLAN KEY | |
|----------------|-------------------------|
| | 2x WOOD STUDS |
| | CEILING LINE/TRANSITION |
| | FIRST FLOOR LINE BELOW |

| FLOOR PLAN LEGEND | |
|-------------------|--------------------------------------|
| | (N) 2x4 WOOD STUDS @ 16" O.C. U.N.O. |
| | (E) 2x4 WOOD STUDS @ 16" O.C. U.R.O. |



PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1' - 0"

MATSON
 ARCHITECTS

THE MATSON ARCHITECTS
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 TEL: 714.771.1111 FAX: 714.771.1112
 WWW.MATSONARCHITECTS.COM

PROJECT NO. 1823117
 DATE: 04/20/17

SCHUSTER RESIDENCE
 REMODEL/ADDITION
 201 PLATA BLVD.
 LA SELVA BEACH, CA 95076
 A.P.N. 045-183-07

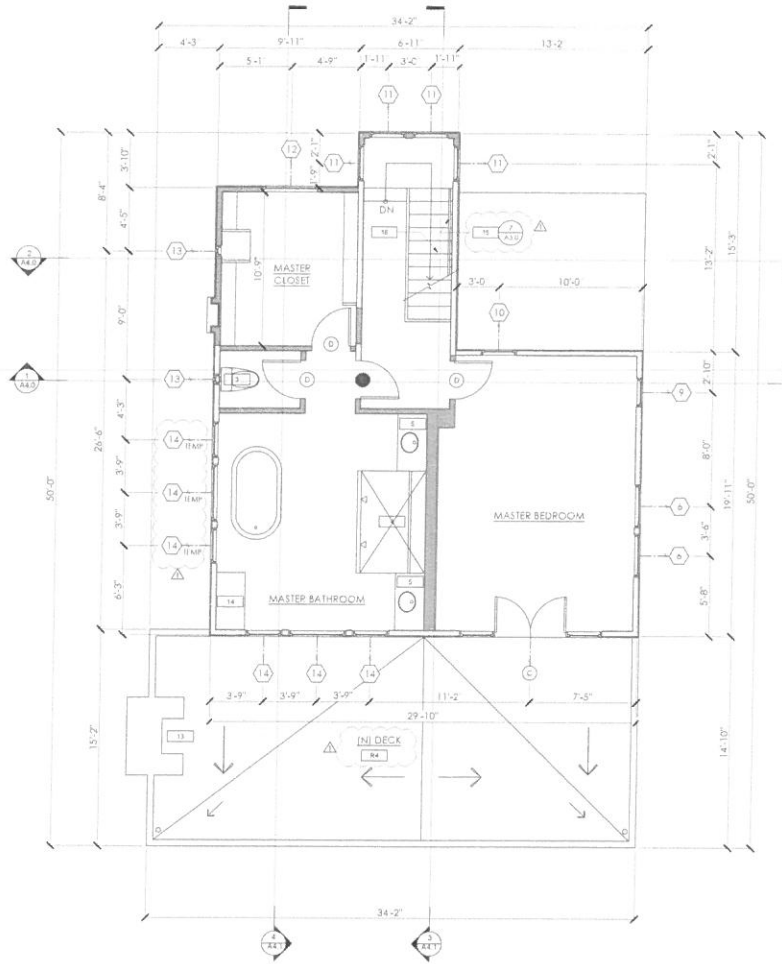
PROPOSED FLOOR PLANS

07/08/16
 ECS
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 A2.0

| FLOOR PLAN NOTES | |
|------------------|---|
| 1 | 42" BAR COUNTER |
| 2 | COUNTERTOP W/ CABINETS ABV. |
| 3 | TOILET |
| 4 | SHOWER |
| 5 | LAV. VANITY TOP W/ BACKSPLASH |
| 6 | WASHER |
| 7 | DRYER (VENT TO OUTSIDE) |
| 8 | (E) FIREPLACE, ADD GAS |
| 9 | (N) DUCTING TO BE ENCLOSED |
| 10 | ASCENDING WALL WITH GUARD AND WITH STORAGE BELOW |
| 11 | (N) CABINERY |
| 12 | ARCHED OPENING |
| 13 | (N) EXTERIOR GAS FIREPLACE |
| 14 | LINEN CABINET |
| 15 | HANDRAIL PER CRC R311.7 34" VERT FROM TREAD NOSING |
| 16 | (N) (REPLACEMENT) STAIRS |
| 17 | 18 RIGERS @ 6 3/4" 17 TREADS @ 11" |
| 18 | EXISTING GAS METER |
| 19 | (N) TANKLESS WATER HEATER |
| 20 | (N) FAU (MOUNTED UNDERFLOOR) |

| FLOOR PLAN KEY | |
|----------------|-------------------------|
| | 2X WOOD STUDS |
| | CEILING LINE/TRANSITION |
| | FIRST FLOOR LINE BELOW |

| FLOOR PLAN LEGEND | |
|-------------------|--------------------------------------|
| | (N) 2X4 WOOD STUDS @ 16" O.C. U.N.O. |
| | (E) 2X4 WOOD STUDS @ 16" O.C. U.N.O. |



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1' - 0"



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SCHUSTER RESIDENCE
REMODEL/ADDITION
201 PALMA BLVD.
LA SELVA BEACH, CA 94026
A.P.N. 045-183-07

PROPOSED FLOOR PLANS

APPROVED ARCHITECT
NO. C-276
DATE: 07/08/16
STATE OF CALIFORNIA

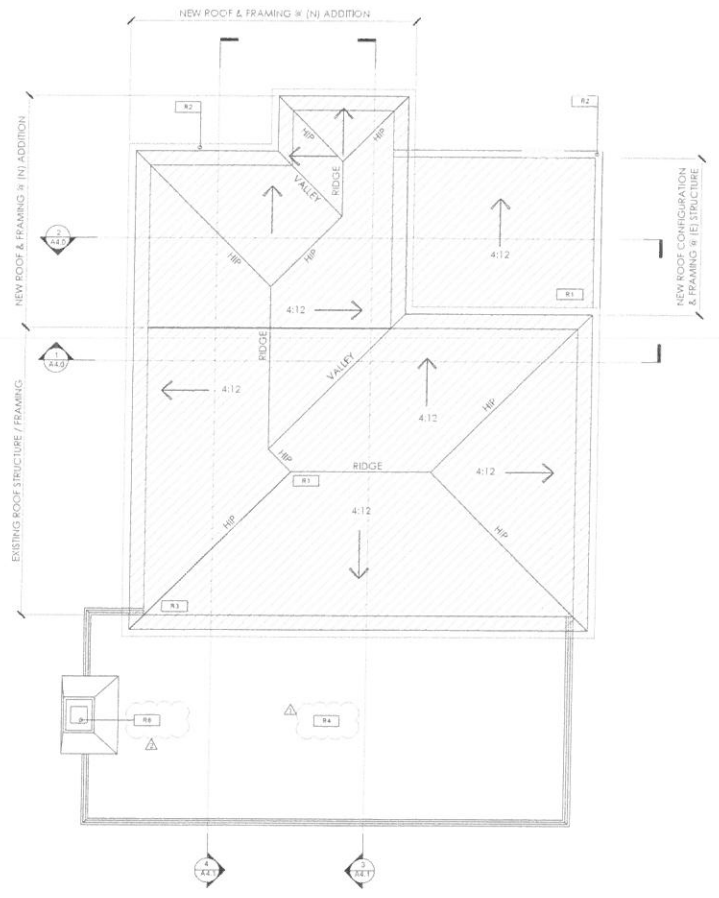
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SCHUSTER

A2.1

| ROOF NOTES | |
|------------|--|
| 1. | ROOF TO BE SPANISH CLAY TILES OVER SPACE DE & WATER SHIELD HORIZONTALLY APPLIED & 2" LAP OVER 2" STRICTLY ROOF PLYWOOD SHEATHING OVER CLOSED CELL SPRAY FOAM INSULATION APPLIED DIRECTLY TO THE UNDERSIDE OF THE ROOF SHEATHING. |
| 2. | ROOF & BUILD-UP ROOFING TO BE MINIMUM FIRE RATED CLASS B PER 2016 C.R.C. |
| 3. | FLASH & COUNTERFLASH AS REQUIRED. |
| 4. | DOWNSPOUTS LOCATIONS & NUMBERS ARE SCHEMATIC. FINAL LOCATIONS AND NUMBERS TO BE VERIFIED BY ARCHITECT PRIOR TO PLACEMENT. |
| 5. | ARROWS POINT TO DOWNSLOPE. |
| 6. | PROVIDE APPROVED SPARK ARRESTOR AT CHIMNEY TERMINATION WIRE MESH OF 1/2 INCH MAXIMUM. |
| 7. | ALL ROOF SLOPES CALLED OUT ARE APPROXIMATE SLOPES. VERIFY ALL SLOPES IN FIELD. |

| ROOF PLAN LEGEND | |
|------------------|---|
| R1 | NEW MISSION CLAY TILES |
| R2 | COPPER GUTTER |
| R3 | LINE OF 2ND STORY |
| R4 | NEW TILE DECK OR ELASTOMERIC WATER PROOFING, DURADECK TILEDECK, QALLETING NO. 810233-2 EDITION 5 (OR EQUAL) |
| R5 | DRAIN + OVERFLOW SLOPE TO DRAIN 1/2" MINIMUM |
| R6 | REMODELED IEI CHIMNEY / INI FIREPLACE TO COMPLY WITH ROOF CLEARANCE, SEE EXTERIOR ELEVATIONS |

| ROOF PLAN KEY | |
|---------------|-----------------------------------|
| | DIRECTION OF DRAINAGE |
| | NEW ROOF STRUCTURE |
| | EXISTING ROOF STRUCTURE TO REMAIN |



PROPOSED ROOF PLAN
 SCALE: 1/4" = 1' - 0"



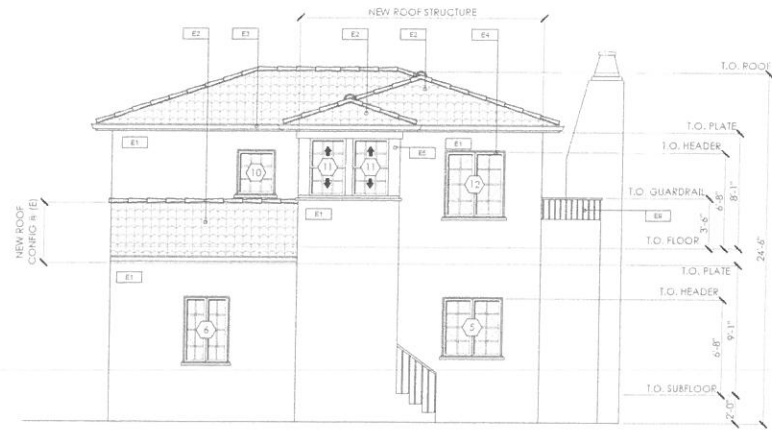
SCHUSTER RESIDENCE
 REMODEL/ADDITION
 201 PLATA BLVD.
 LA SEVIA BEACH, CA 90266
 A/P/N: 045-183-07

PROPOSED ROOF PLAN

07/08/16
 ECS
 SCHUSTER

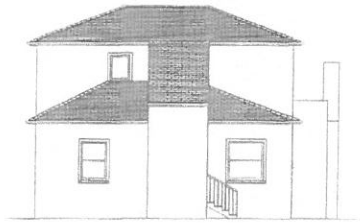
A2.2

| ELEVATION NOTES | |
|-------------------|---|
| E1 | 4 COAT HARD TROWEL STUCCO W/ WHITE INTEGRAL COLOR |
| E2 | MISSION CLAY TILE ROOF |
| E3 | COPPER GUTTER |
| E4 | ALUMINIUM CLAD WOOD WINDOWS |
| E5 | PAINTED WOOD, WHITE |
| E6 | NEW CANOPY, BY OWNER INSTALLED BY CONTRACTOR |
| E7 | EXTEND (E) CHIMNEY W/ (N) METAL FLUE + FRAMING/FINISH |
| E8 | NEW COPPER SHROUD CHIMNEY CAP WITH SPARK ARRESTOR COPPER SLO CUSTOM CHIMNEY SHROUD (#23)UL CLASSIFIED MH3DC42 FACTORY-BUILT CHIMNEY SYSTEM, INSTALL PER MFR. |
| E9 | NEW WOOD GUARDRAILING AT ROOF DECK, PAINTED |
| E10 | STATUE ALCOVE W/ FIGURINE |
| ELEVATION SYMBOLS | |
| E6 | ELEVATION KEY NOTE |
| B | WINDOW OR CURTAIN WALL NUMBER, REFER TO WINDOW SCHEDULE |
| D | DOOR NUMBER, REFER TO DOOR SCHEDULE |
| A | REFER TO DOOR SCHEDULE |



SOUTH EAST ELEVATION
SCALE: 1/4" = 1' - 0"

②



EXISTING SOUTH EAST ELEVATION
SCALE: NTS

②.1



EXISTING NORTH WEST ELEVATION
SCALE: NTS

①.1



NORTH WEST ELEVATION
SCALE: 1/4" = 1' - 0"

①

THE COMPANY OF ARCHITECTS
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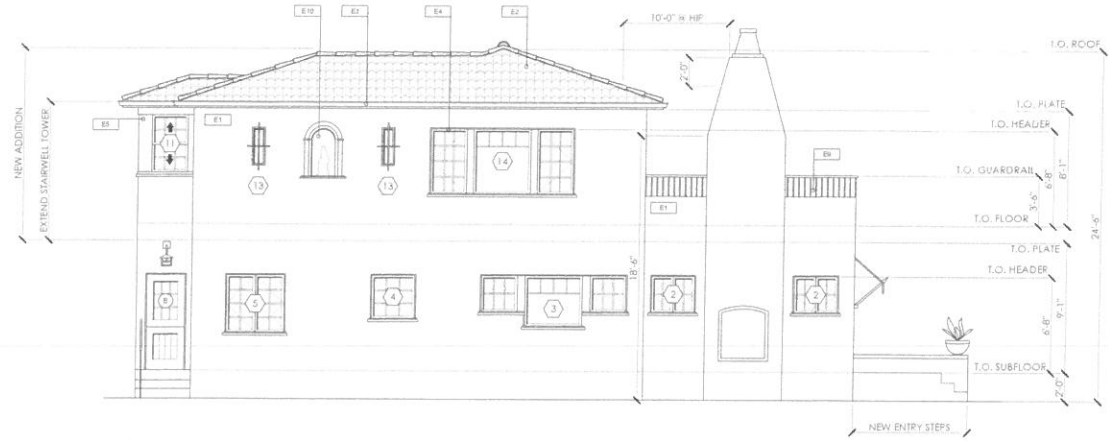
SCHUSTER RESIDENCE
 REMODEL/ADDITION
 201 PLATA BLVD.
 LA SEÑA BEACH, CA 90676
 APR 18th 2017

EXTERIOR ELEVATIONS

07/08/14
 ECS
 SCHUSTER

A3.0

| ELEVATION NOTES | |
|-------------------|---|
| E1 | 4 COAT HAND TROWEL STUCCO W/ WHITE INTEGRAL COLOR |
| E2 | MISSION CLAY TILE ROOF |
| E3 | COPPER GUTTER |
| E4 | ALUMINIUM CLAD WOOD WINDOWS |
| E5 | PAINTED WOOD, WHITE |
| E6 | NEW CANOPY, BY OWNER INSTALLED BY CONTRACTOR |
| E7 | EXTEND (E) CHIMNEY W/ (N) METAL FLUE + FRAMING/FINISH |
| E8 | NEW COPPER SHROUD CHIMNEY CAP WITH SPARK ARRESTOR COPPER SLO CUSTOM CHIMNEY SHROUD #423UL CLASSIFIED, M100C42 FACTORY-BUILT CHIMNEY SYSTEM, INSTALL PER MFR. |
| E9 | NEW WOOD GUARDRAILING AT ROOF DECK, PAINTED |
| E10 | STATUE ALCOVEW/ FIGURINE |
| ELEVATION SYMBOLS | |
| SP | ELEVATION KEY NOTE |
| W | WINDOW OR CURTAIN WALL NUMBER, REFER TO WINDOW SCHEDULE |
| D | DOOR NUMBER, REFER TO DOOR SCHEDULE |



NORTH EAST ELEVATION
SCALE: 1/4" = 1' - 0"

4



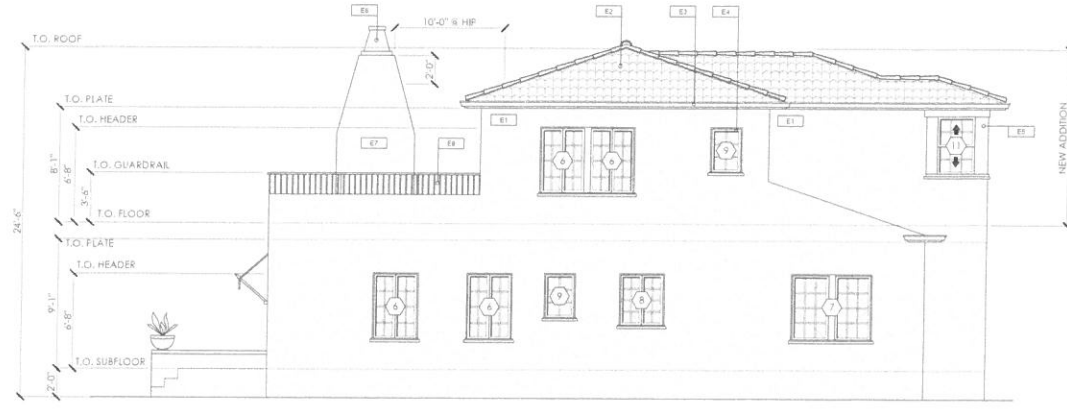
EXISTING NORTH EAST ELEVATION
SCALE: NTS

4.1



EXISTING SOUTH WEST ELEVATION
SCALE: NTS

3.1



SOUTH WEST ELEVATION
SCALE: 1/4" = 1' - 0"

3

MATSON
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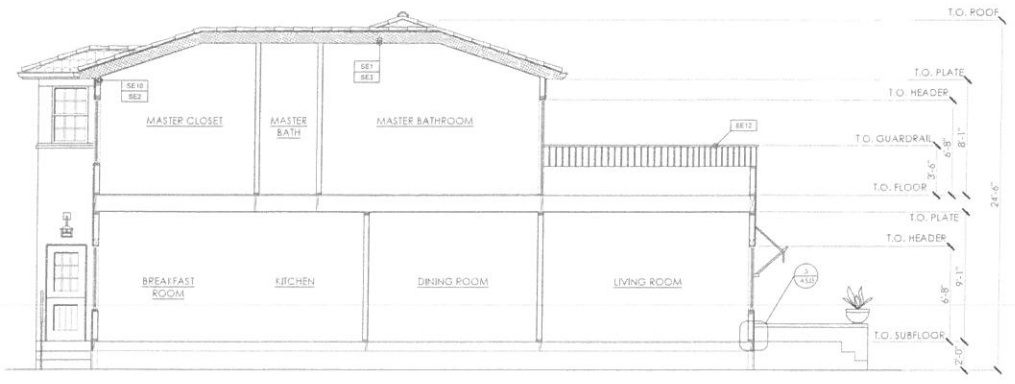
SCHUSTER RESIDENCE
REMODEL/ADDITION
201 PALMA BLVD.
LA SIENA BEACH, CA 95076
APN: 045-183-07

EXTERIOR ELEVATIONS

077 DR / 16
ECS
SCHUSTER
A3.1

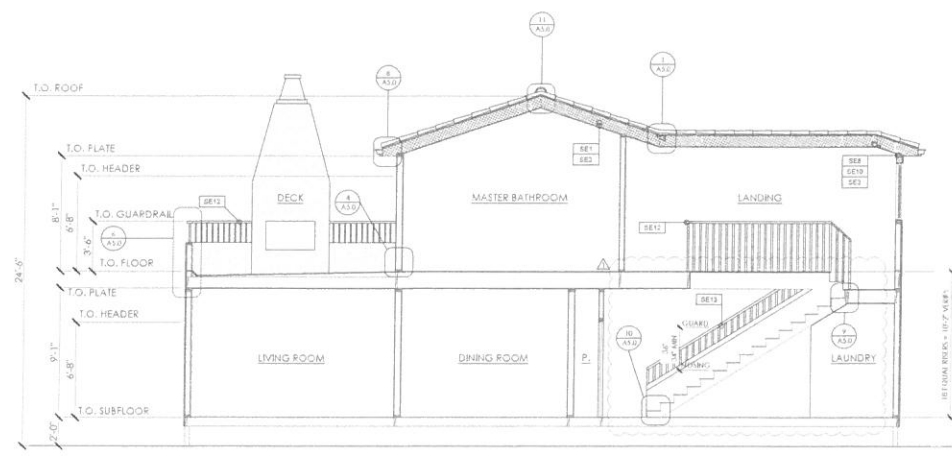
| SECTION KEYNOTES | |
|------------------|---|
| SE1 | VOID KATERS PER FRAMING PLANS |
| SE2 | WOOD HEADS PER FRAMING PLAN |
| SE3 | SOLID CELL INSULATION @ ROOF BASE 6" MIN. STAIRS: 1" MIN. (1) WALL (FLOOR) SAY 1/2" J.O. @ JOIST GLEYS |
| SE4 | ON FRAME SET REAR/HTL-FIRE/SMI INSULATION BULKHEAD |
| SE4 | 3/4" C.D.X. PLYWOOD SHEATHING @ FLOOR JOISTS PER FRAMING PLAN |
| SE5 | 3/8" I BEAM C.K. MUMENT FRAME PER FRAMING PLANS |
| SE6 | WD 2x6/PSL BEAM PER FRAMING & FRAMING PLAN |
| SE7 | WD 2x6 FRAMED WALL PER FRAMING PLANS |
| SE8 | BATT INSULATION R-15 BATT @ 2X6 WALLS, U.N.G. @ TITLE 24 CALCS |
| SE9 | 2X CEILING JOISTS PER FRAMING PLAN |
| SE10 | 3/8" GYPSUM BO. TYP. |
| SE11 | CONC. SLAB PER FOUNDATION PLAN |
| SE12 | 42" H. GUARD. BALUSTRADE OPENINGS SHALL NOT ALLOW PASSAGE OF SPHERE 4" DIA. |
| SE13 | 34" - 38" H. GUARD. BALUSTRADE OPENINGS SHALL NOT ALLOW PASSAGE OF SPHERE 4" DIA. AND SPHERE OF 1" DIA. @ TRIANGULAR OPENINGS OF RISE TO RUN WHERE APPLICABLE. |

| BUILDING SECTION LEGEND | |
|----------------------------|------------------------------|
| | CONCRETE SLAB |
| | NEW DRIVEWAY/WALKWAY/DREWEAY |
| | EXTERIOR |



NORTH EAST SECTION
SCALE: 1/4" = 1' - 0"

4



SOUTH WEST SECTION
SCALE: 1/4" = 1' - 0"

3

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EXTERIOR ELEVATIONS

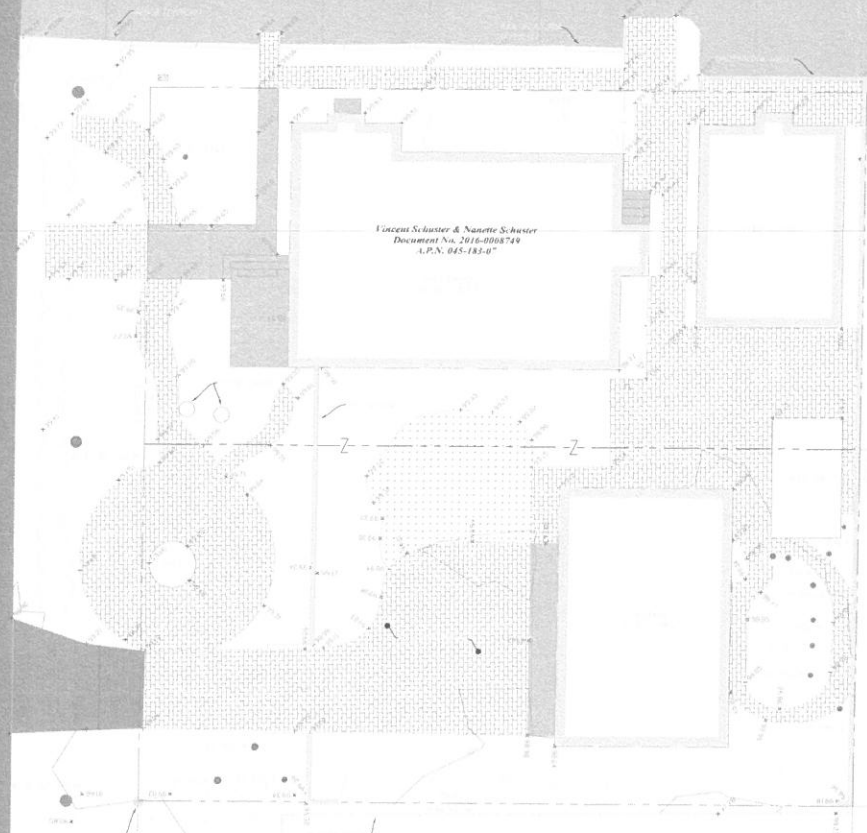
07/08/16
ECS
SCHUSTER

A4.1

SOLANO AVENUE



Vincent Schuster & Nanette Schuster
Document No. 2016-0008749
L.P.N. 045-183-0"



Basis of Bearings

The Basis of Bearing for this map is between Point A and Point B per Record of Survey Map 26-27-05 in the Contra Costa County Records.

Basis of Elevation

An assumed elevation of 198.00 feet was used as a vertical control point as shown below.
The contour interval is 1 foot.

Vertical Datum: NAVD83
Horizontal Datum: NAD83
Projection: UTM
Zone: 18N
Units: Feet
Scale: 1" = 8'

| | |
|--|---|
| <p>Surveyor's Seal</p> | |
| <p>HANAGAN LAND SURVEYING, INC. 305-C BODUL AVE., SANTA CRUZ, CA 95062 PHONE: 831-469-3426</p> | |
| <p>Nanette Schuster 771 Polya Blvd., Santa Rosa, CA</p> | |
| <p>Map No. 2016-0008749</p> | <p>Scale: 1" = 8'</p> |
| <p>Sheet No. SU-1</p> | <p>Date: 10/1/16</p> |
| <p>Project No. 2016-0008749</p> | <p>Client: Vincent & Nanette Schuster</p> |