

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 171177

APN: 080-351-07

Proposal to construct a 1,600 square foot, 3 bedroom 2 bath, single family dwelling with a detached 600 square foot accessory dwelling unit and a detached 288 square foot non-habitable shop building; removal of four significant trees (22 inch dba dead redwood, two 20 inch dba firs, and one 33 inch dba fir); and grading of approximately 95 cubic yards cut and 25 cubic yards fill. Requires a Coastal Development Permit, Soils Report Review, and Archaeological Report Review.

Property is located on the west side of Pine Flat Road, approximately 1/2 mile north from Bonny Doon Road, north of Highway One.

APPLICANT: Andrew Webster

SUPERVISORIAL DISTRICT: 3

PLANNER: Sheila McDaniel, (831) 454-2255

EMAIL: Sheila.McDaniel@santacruzcounty.us

Public comments must be received by 5:00 p.m. October 27, 2017.

A decision will be made on or shortly after October 30, 2017.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

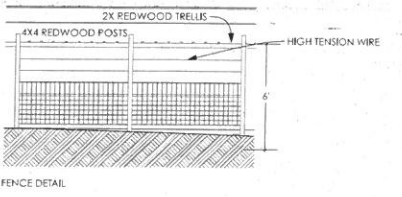
For more information, call the project planner identified above.



KEY NOTES

- A: 50' MIN SETBACK FROM CREEK
- B: VEGETABLE GARDEN & FRUIT ORCHARD
(10 (N) FRUIT TREES, BUSHES, & VEGETABLE BEDS)
- C: AREA TO BE TERRACED FOR GARDEN USING SOIL FROM CONSTRUCTION GRADING. FILL SHALL BE LESS THAN 2'.
- D: GARDEN SHALL BE IRRIGATED W/ DRIP TUBING ON TIMER
- E: AREA OF FILL FOR SHOP DRIVEWAY
- F: OMI RAIN GARDEN (SEE SHEET C-1 FOR DRAINAGE DETAILS)
- G: DECK & SHED TO BE REMOVED
- H: 2-5000 GAL WATER TANKS
- I: NEW 1826 SF DRIVEWAY MADE W/ OF 6" COMPACTED BASE ROCK
- J: FIRE HYDRANT
- K: DEER FENCE
- L: DEER FENCE AT DRIVEWAY (SEE DRAWING BELOW FOR DETAILS)
- M: 15" DBH FR
- N: MADRONE SHALL BE TRIMMED TO AVOID HOUSE SITE
- O: WATTLE TO BE PLACED DURING CONSTRUCTION
- P: 22" DBH REDWOOD FOR REMOVAL-DEAD STANDING
- Q: 33" DBH FR to be removed
- R: 20" DBH FR to be removed
- S: 20" DBH FR to be removed
- T: SEE L-1 FOR VIEW SCREEN DETAILS

Scale 1" = 20'
Contour interval 2'



LEGEND

- Survey control point found as noted
 - Survey control point set as noted
 - Property line, lots of APN 080-351-07
 - Other property line
 - Edge of Right of Way
 - Fence
 - Tie line
 - Edge of easement
 - Overhead utility line
 - Tree (only trees greater than 24" located)
 - Record data
- Deviations are based on assumed datum. Bench Mark = 564 PK nail point 3010. Elevation 100.00' (Assumed)
- Note: See Job# 08030 for additional boundary information.
- NOTE: This is not a boundary survey. Property lines are shown for orientation only and are based on recorded data. They may be discovered to be different, subject to the results of a complete boundary survey.

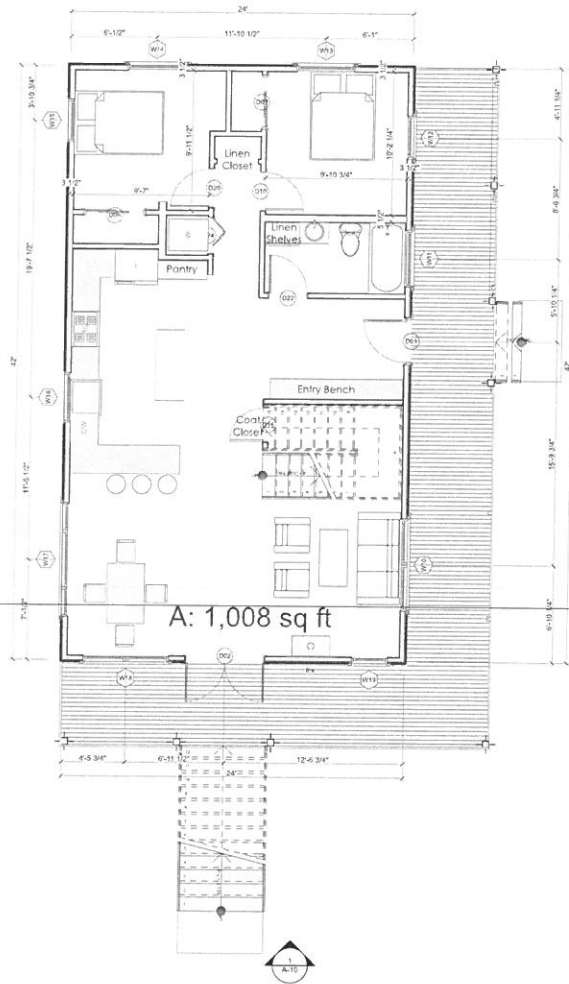


Olin S. Edmondson

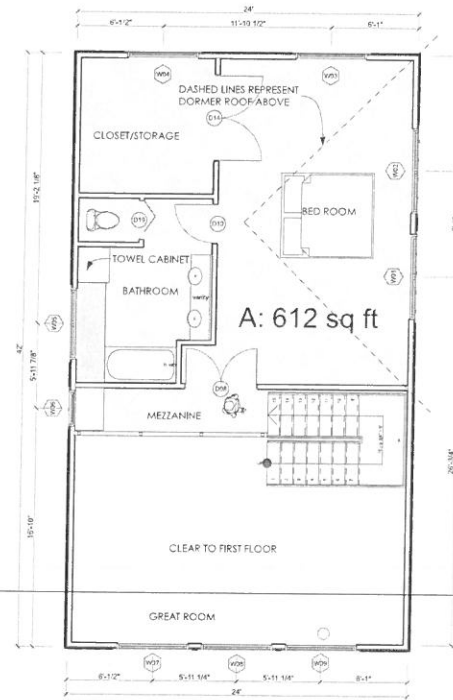
TOPOGRAPHIC SURVEY MAP			
OF ASSESSOR'S PARCEL NO. 080-351-07			
Scale 1" = 20'	July 8, 2014	San Luis Obispo County California	File 141001.DWG FB 184/28
Prepared for		Elizabeth Easton	
Job #14100			

EDMONDSON & ASSOCIATES
LAND SURVEYING
1512 SEABRIGHT AVENUE
SAN LUIS OBISPO, CA 93402
PHONE (831) 425-1798
FAX (831) 425-1795

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2 FIRST FLOOR
SCALE 1/4\"/>



1 SECOND FLOOR
SCALE 1/4\"/>



**Webster/
Johnston**
Pine Flat Rd
Bonny Doon CA

MARK	DATE	REVISIONS	DESCRIPTION
	08/31/17	1706	PROJECT NO:
	8/31/17	1706	DATE:
		8K	DRAWN BY:
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SHEET TITLE
FLOOR PLAN

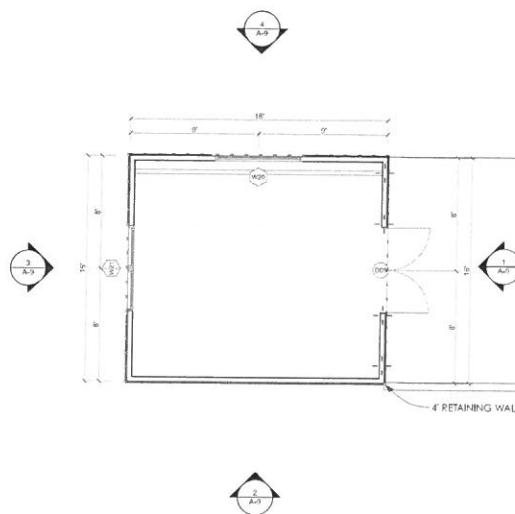
A-5

SHEET 5 OF 17

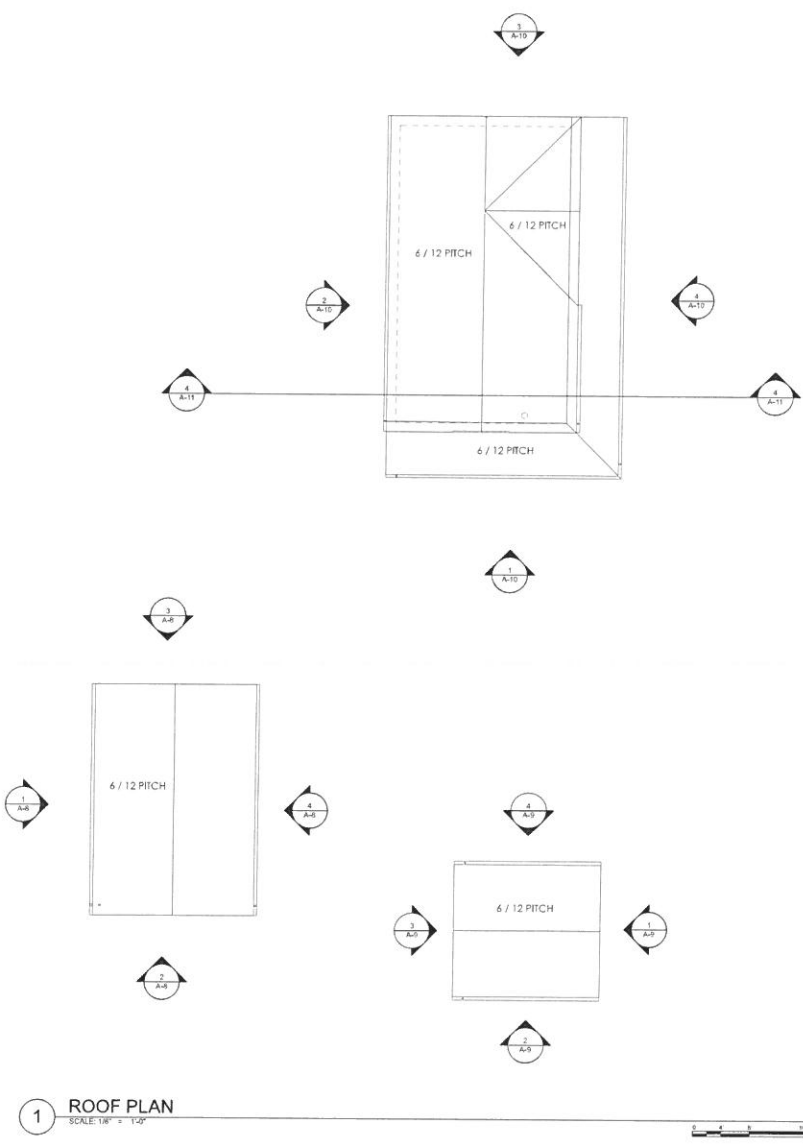
	08/31/17	REVISIONS
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DATE:		8/31/17
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SHEET TITLE
ADU/ SHOP FLR

A-6



2 SHOP FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 ROOF PLAN
SCALE: 1/8" = 1'-0"

ROOF SHEET NOTES

ALL ROOFS SHALL BE GUTTERED WITH DOWNSPOUTS PIPED TO THE DRAINAGE COLLECTION AND INFILTRATION SYSTEM.
DOWNSPOUTS SHALL INCORPORATE SCREENS AT THE TOP TO PREVENT ALL DEBRIS FROM ENTERING DOWNSPOUTS.
ROOFING SHALL BE CLASS A OR BETTER. (SEE SAMPLE PROVIDED)
UNDERLAYMENT MUST BE A MIN OF 1 LAYER OF 15# FELT.
ALL SOFFITS SHALL BE ENCLOSED WITH HARD SOFFIT VENT

SEE PROVIDED SAMPLES FOR COLOR



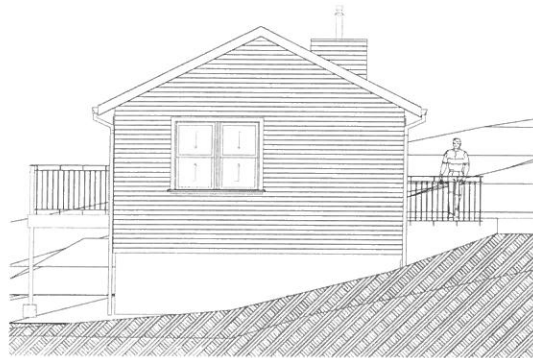
**Webster/
Johnston**
Pine Flat Rd
Bonny Doon CA

MARK	DATE	DESCRIPTION
△	08/31/17	REVISIONS

PROJECT NO: 1706
DATE: 8/31/17
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SHEET TITLE
ROOF PLAN

A-7
SHEET 7 OF 17



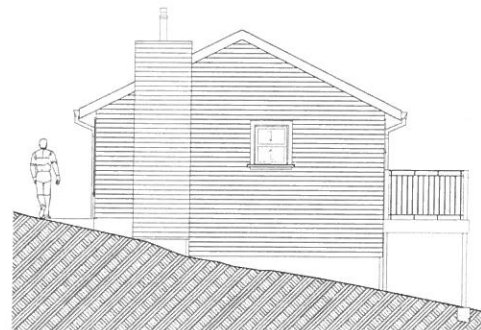
2 SOUTH ADU
SCALE: 1/4" = 1'-0"



1 WEST ADU
SCALE: 1/4" = 1'-0"



4 EAST ADU
SCALE: 1/4" = 1'-0"



3 NORTH ADU
SCALE: 1/4" = 1'-0"



FINISHES

Body/Siding: Hardie Siding/ Panel,
Country Lane Red
(equivalent to Valpar T5R3, see sample)

Trim: Valpar T568, Buttermilk, see sample

Roof: GAF, Timberline Charcoal

Railings & Deck: Redwood

Fence: Redwood

Gutters: Grey Aluminum

Windows: Jeld Wen Silene
(French Vanilla)

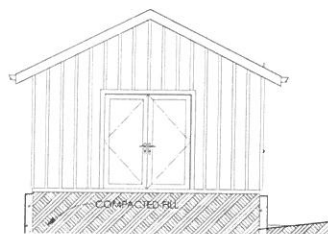


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Pine Flat Rd
Bonny Doon CA

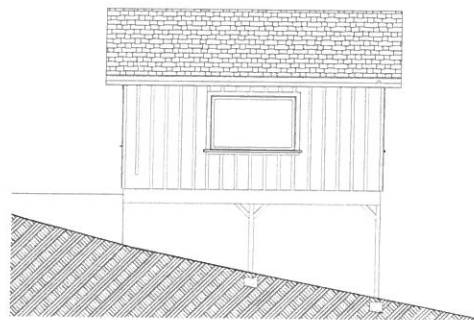
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△	08/31/17	REVISIONS
PROJECT NO:	1706	
DATE:	8/31/17	
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SHEET TITLE
ADU

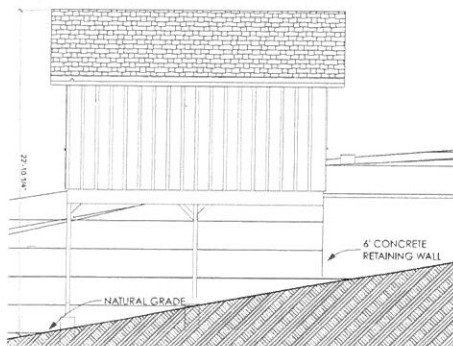
A-8
SHEET 8 OF 17



1 EAST SHOP
SCALE 1/4" = 1'-0"



4 NORTH SHOP
SCALE 1/4" = 1'-0"



2 SOUTH SHOP
SCALE 1/4" = 1'-0"



3 WEST SHOP
SCALE 1/4" = 1'-0"

FINISHES	
Body / Siding:	Hardie Siding / Panels, Country Lane Red (equivalent to Valpar 1583, see sample)
Trim:	Valpar 1588, Butternut, see sample
Roof:	GAF, Timberline Charcoal
Railings & Deck:	Redwood
Fence:	Redwood
Gutters:	Grey Aluminum
Windows:	Jeld Wen Sifline (French Vanilla)



**Webster/
Johnston**
Pine Flat Rd
Bonny Doon CA

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PROJECT NO: 1706		
DATE: 8/31/17		
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SHEET TITLE
SHOP

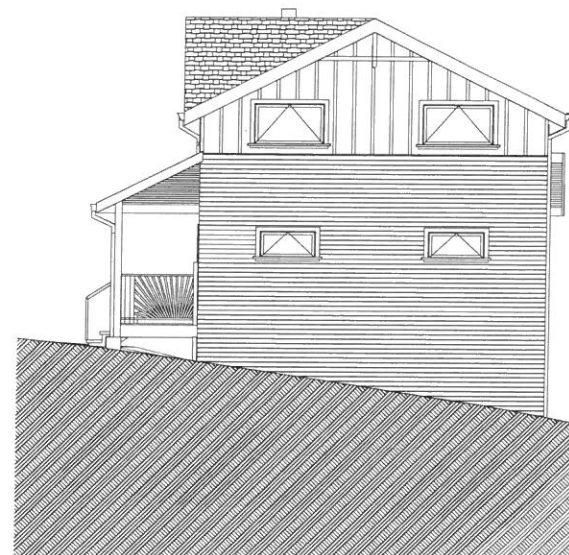
A-9

SHEET 9 OF 17

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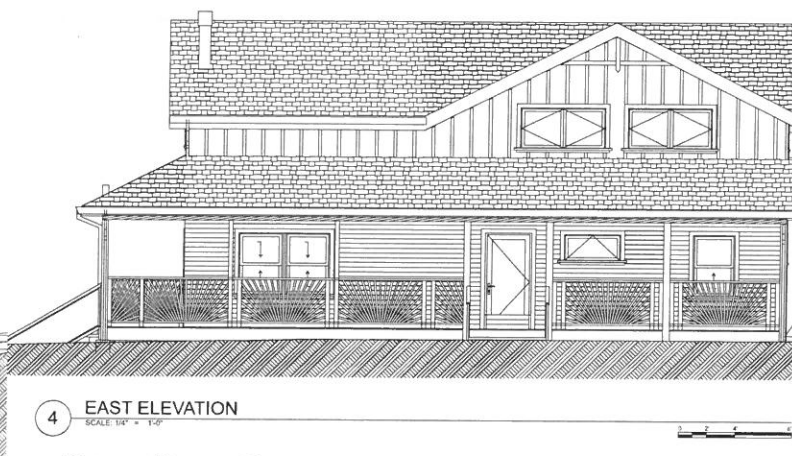
2 WEST ELEVATION
SCALE 1/4" = 1'-0"



3 NORTH ELEVATION
SCALE 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE 1/4" = 1'-0"



4 EAST ELEVATION
SCALE 1/4" = 1'-0"

SEE CIVIL SHEETS FOR HEIGHT SURVEY

FINISHES	
Body/Siding	Hardie Siding/ Panels, Country Lane Red (equivalent to Valpar 1568, see sample)
Trim	Valpar 1568, Buttermilk, see sample
Roof	GAF Timberline Charcoal
Railings & Deck	Redwood
Fence	Redwood
Gutters	Grey Aluminum
Windows	Jeld Wen Silestone (French Vanilla)



**Webster/
Johnston**
Pine Flat Rd
Bonny Doon CA

MARK	DATE	REVISIONS
1	08/31/17	REVISED

PROJECT NO: 1706
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SHEET TITLE
ELEVATIONS

A-10
SHEET 10 OF 17



WINDOW SCHEDULE					
ID	SIZE		TYPE	MATERIAL	NOTES
	WIDTH	HEIGHT			
W01	5'	3'	AWNING	Wood Aluminum	All WINDOWS are Max Double Aluminum Clad Insulation Level 104 Tempared Glass in West, Passive Film, Espace Air Filter, Treatment Clad, Co. CA Union 1 in Core Lined
W02	5'	3'	AWNING	Wood Aluminum	
W03	5'	3'	AWNING	Wood Aluminum	
W04	5'	3'	AWNING	Wood Aluminum	
W05	5'	3'	DI	Wood Aluminum	
W06	2'-0"	2'-0"	DI	Wood Aluminum	
W07	5'	3'	FIXED	Wood Aluminum	
W08	5'	3'	FIXED	Wood Aluminum	
W09	5'	3'	FIXED	Wood Aluminum	
W10	6'-0"	6'-0"	DI	Wood Aluminum	
W11	4'	2'	AWNING	Wood Aluminum	
W12	3'	6'-0"	DI	Wood Aluminum	
W13	4'	2'	AWNING	Wood Aluminum	
W14	4'	2'	AWNING	Wood Aluminum	
W15	3'	6'-0"	DI	Wood Aluminum	
W16	2'-0"	6'	DI	Wood Aluminum	
W17	6'	6'-0"	DI	Wood Aluminum	
W18	4'	6'-0"	DI	Wood Aluminum	
W19	2'-0"	6'-0"	DI	Wood Aluminum	
W20	6'	6'	FIXED	Wood Aluminum	
W21	6'	6'	DI	Wood Aluminum	
W22	6'	5'	DI	Wood Aluminum	
W23	6'	5'	DI	Wood Aluminum	
W24	6'	5'	DI	Wood Aluminum	
W25	6'	5'	DI	Wood Aluminum	
W26	3'	5'	AWNING	Wood Aluminum	
W27	2'-0"	3'	DI	Wood Aluminum	

ID	TYPE	DOOR				FRAME		DETAILS			RATING	HW SET	NOTES
		W	HT	THK	MATL	GLZ	W	THK	HEAD	JAMB			
D02	Jeld Wen SiteLine Aluminum Clad.	3'	6-8"	0-1 1/8"			0-2"	0-4"					
D03	Tempered.	5-4"	6-8"	0-1 1/8"			0-3/4"	0-4"					
D04	Urban Fire Code Labeled	3'	6-8"	0-1 1/8"			0-2"	0-4"					
D05	—	4'	6-8"	0-1 1/8"			0-3/4"	0-4"					

BRBD
 BERUJAIN BORDJAN
 BUILDING & DESIGN

Berujain Building, Creative
 Pte. Ltd. www.berujain.com, Tel: 6733 2244
 110, Jalan Bukit Merah, Singapore
 CA Home January 1994 16

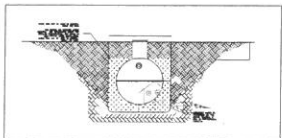
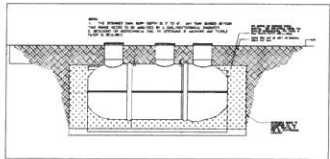
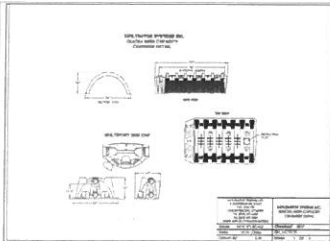
**Webster/
Johnston**
Pine Flat Rd
Bonny Doon CA

	08/31/17	REVISIONS
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PROJECT NO:		1706
DATE:		8/31/17
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SECTION/DTLS

A-11

SHEET 11 OF 17



PLAN NOTES:

1. Septic system to serve new SFD. A ADU may be built in the future. System to consist of new EnviroSepTec EnviroServer ES6, 4" tightline, Zabel Flow Divider, and 2 - 32' leachfields of Infiltrator High Capacity Quik4 (16 units total), with inspection risers at 1 end of each. This area has sandy soils and gentle slopes. Lot size is 1.2 acres. Water supply is a new well on the SW side of the property.
2. Excess dirt to be spread on site. Any bare soil or fill that results from the installation of a septic system shall be seeded and mulched or otherwise treated to prevent erosion between October 15 and April 15.
3. Adjust placement of leachfields as needed to conform to slope. Be sure to measure 100' away from existing well and creek from tank and leachfields.
4. All work is to conform to the requirements of the Santa Cruz County Sewage Disposal Ordinance.
5. All work is to be performed by an appropriately licensed contractor, approved by the EnviroSepTec representative.
6. Septic tank and connections to be watertight. Water lines must be located at least 10' from the septic system.
7. Installation manual, Service manual, and Owners manual provided with purchase of EnviroServer system. Consult with Designer for burial techniques. Pea gravel backfill mandatory.
8. Electrical work must be done under permit and inspection of the Santa Cruz County Building Department.

CONSTRUCTION INSPECTIONS

Septic system installation inspections, design revisions, and materials changes are to be coordinated by Environmental Concepts (EC). Contractor is to call EC (684-1555) to set up EHS inspections. EHS requires 24 hour notice for inspections, so call EC accordingly. Contractor is to be certified by the EnviroServer dealer.

The required inspections are as follows:

- A. Preconstruction conference at the site with EHS, EC, the owner or builder, and the septic contractor. The plan will be discussed, the system laid out on the ground, and any changes or clarifications to the plan are confirmed.
- B. The tank must be tested by filling with water 1" into the riser. The water level is marked and the tank left overnight. The water level must not fall more than 1/2". If it does, check for leaks at the seams and repair as necessary. When the test is completed, the tank can be backfilled.
- C. The dispersal system shall be 64' of High Capacity Infiltrator, Quik4 model.
- E. A final inspection is performed when the construction is complete and the site is cleaned up.

DESIGN PARAMETERS:

New 3 bedroom single family dwelling with a design flow of 325 gallons per day. Water table is not an issue on this property due to 1-5 mpc per rate. The limitation on this site is fast percolation for leaching in a watershed area. Leaching system is reduced by 50% due to the use of enhanced treatment.



General Notes

No.	Revision/Issue	Date

Plan By:
Environmental Concepts
P.O. Box 1445
Aptos, CA 95001
(831) 684-1555
kmaple@ecol.com

Project Name and Address:
A Septic System Plan for:
The Webster/Johnson SFD7143
Pine Flat Rd
Bonny Doon, CA
APN 080-351-07

Project: 16-SC-007	Sheet: 1 of 1
Date: February 1, 2017	
Scale: 1:20	





KEY NOTES

- A: 50' MIN SETBACK FROM CREEK
- B: VEGETABLE GARDEN & FRUIT ORCHARD
(10 IN FRUIT TREES, BUSHES, & VEGETABLE BEDS)
- C: AREA TO BE TERRACED FOR GARDEN USING SOIL FROM CONSTRUCTION GRADING. FILL SHALL BE LESS THAN 2'.
- D: GARDEN SHALL BE IRRIGATED W/ DRIP TUBING ON TIMER
- E: AREA OF FILL FOR SHOP DRIVEWAY
- F: GMB RAIN GARDEN (SEE SHEET C-1 FOR DRAINAGE DETAILS)
- G: DECK & SHED TO BE REMOVED
- H: 2-5000 GAL WATER TANKS
- I: NEW 1826 SF DRIVEWAY MADE W/ OF 6" COMPACTED BASE ROCK
- J: FIRE HYDRANT
- K: DEER FENCE
- L: DEER FENCE AT DRIVEWAY (SEE DRAWING BELOW FOR DETAILS)
- M: 15" DBH FIR
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- O: WATTLE TO BE PLACED DURING CONSTRUCTION
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- Q: 33" DBH Fir to be removed
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- S: 20" DBH Fir to be removed
- T: SEE L-1 FOR VIEW SCREEN DETAILS

Landscape Plan

All species are either drought tolerant California natives or Mediterranean species

Area 1: Vines to be trained on the fence as drawn in the fence detail

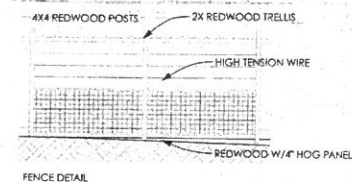
Possible species:

Kiw: 2 plants- to be trained to the top trellis of the fence- spacing 10-15', 2 vines to 12' tall, deciduous
Climbing roses- spacing 7-8', to 7-8' tall depending on frequency of pruning
Blackberry- spacing 3', to cover the lower 3-4' of the fence- taye berry, Native Honey suckle, *Lonicera* sp.- spacing 7-8', to 7' tall, evergreen

Area 2: Between the road and the driveway where not obstructing the view from the driveway to oncoming traffic. Final Species and number chosen based on availability. Taller species to be planted furthest from the road.

Possible species:

Chaste tree, *Vitex agnus*- spacing 3-5', 5-10' tall, deciduous
Canthus sp.- spacing 4-8', varieties to 15' tall, 6-8 desired, evergreen
Butterfly Bush, *Buddleja* sp.- spacing 5', 5-10' tall, evergreen
Rosemary- spacing 2-5', 2-4' tall, evergreen
Lavender- spacing 2-4', 2-3' tall, evergreen
Yerba Santa, *Eriodictyon californicum*- spacing 4-8', 3-6' tall, evergreen
Tayon, *Heteromeles arbutifolia*- spacing 8', to 10' tall, evergreen
Salvia leucophylla- spacing 6-8', to 4' tall, evergreen



FENCE DETAIL

LEGEND

- Survey control point found as noted
- Survey control point set as noted
- Property line, lands of APN 080-351-07
- Other property line
- Edge of Right of Way
- Fence
- Fire line
- Edge of pavement
- Overhead utility line
- Tree (only trees greater than 24" located)
- Record data

Elevations are based on assumed datum. Bench Mark = Set PK nail point 3010. Elevation 100.00' (Assumed)

Note: See Job# 08030 for additional boundary information.

NOTE: This is not a boundary survey. Property lines are shown for orientation only and are based on recorded data. They may be discovered to be different, subject to the results of a complete boundary survey.

Scale 1" = 20'
Contour Interval 2'



Elizabeth Easton

EMERSON & ASSOCIATES
LAND SURVEYING
1512 SEABRIGHT AVENUE
SANTA CRUZ, CA 95062
PHONE (831) 425-1795
FAX (831) 425-1795

TOPOGRAPHIC SURVEY MAP			
OF ASSESSOR'S PARCEL NO. 080-351-07			
Scale 1" = 20'	Santa Cruz County	File 141007.DWG	
July 8, 2014	California	PG 184/28	
Prepared for		Elizabeth Easton	
		Job #14100	

Fire Protection Notes

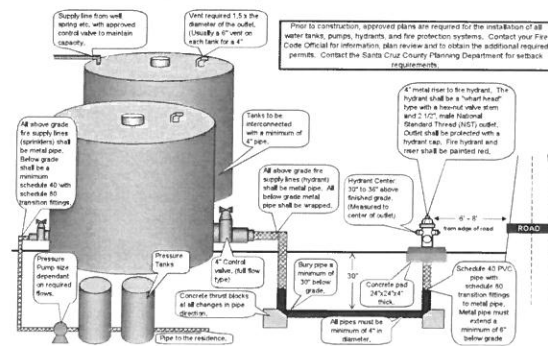
- These plans are in compliance with California Building and Fire Codes (2016 edition) and Santa Cruz County Amendments.
- All underground piping systems shall comply with the County Standard FPO-006 and shall require plan submittal and permit approval prior to installation. The standard is available at the Santa Cruz County Fire Marshal's office upon request.
- All buildings shall be protected by an approved automatic fire sprinkler system complying with the current adopted edition of the NFPA 13 D and adopted standards of Santa Cruz County.
- The Designer/Installer shall submit three sets of plans and calculations for the underground and overhead Residential Automatic Fire Sprinkler System to the County Fire Marshal's office for approval.
- An UNDERGROUND FIRE PROTECTION SYSTEM WORKING DRAWING must be prepared by the Designer/Installer. The plans shall conform with the UNDERGROUND FIRE PROTECTION SYSTEM INSTALLATION POLICY HANDOUT. Underground plan submittal and permit will be issued to a Class B, Class C-16, Class C-36 or owner's builder. No exceptions.
- The job copies of the building and fire systems plans and permits must be on site during inspections.
- ACCESS ROAD/ DRIVEWAY REQUIREMENTS:**
 - The access road and driveway shall be an "all weather" surface. "All weather surface" is defined as a minimum of 6" compacted aggregate base rock, class II or equivalent, and certified in writing by a licensed engineer to 95% compaction for grades up to and including 5%. For grades in excess of 5% but not exceeding 15%, oil and sands shall be applied to a minimum 6" of compacted aggregate base rock, Class II or equivalent, certified in writing by a licensed engineer to 95% compaction.
 - The max grade of the access road shall not exceed 20%, with grade greater than 15% not permitted for distances of more than 200 feet at a time. The access road shall have a vertical clearance of 13'6" for its entire length, including turnouts.
 - An approved turn around shall be provided for access roads and driveways in excess of 150' in length. Driveway details for the road or driveway shall conform to current engineering practices, including erosion control measures.
 - All private access roads, driveways, turn around and bridges are the responsibility of the owner of record and shall be maintained to ensure the fire department's safe and expedient passage of all times.

FIRE NOTES

GUIDE TO WATER STORAGE FOR FIRE PROTECTION

Attachment G-1

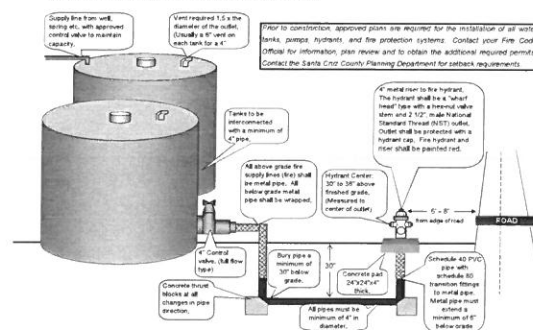
Santa Cruz County requires a minimum of 10,000 gallons of water storage and a fire department hydrant to access the water for all new residential, non-residential and building additions of more than 500 square feet. (Exception: If an approved municipal water system fire hydrant, is located within 400' of structure, then a private water supplied hydrant system is not required.) Note: All new dwellings require the installation of a residential fire sprinkler system. Hydrant location: To be a minimum of 50' and a maximum of 150' from the protected structure. The hydrant is to be located a minimum of 6' or a maximum of 8' from the edge of the road, driveway or turnout. A turnout is required if the driveway or road is less than 18' in width to allow additional fire apparatus to pass. Questions regarding the location of the fire hydrant will be addressed by the Fire Code Official.



GUIDE TO WATER STORAGE FOR FIRE PROTECTION

Attachment G-2

Santa Cruz County requires a minimum of 10,000 gallons of water storage and a fire department hydrant to access the water for all new residential, non-residential and building additions of more than 500 square feet. (Exception: If an approved municipal water system fire hydrant, is located within 400' of structure, then a private water supplied hydrant system is not required.) Note: All new dwellings require the installation of a residential fire sprinkler system. Hydrant location: To be a minimum of 50' and a maximum of 150' from the protected structure. The hydrant is to be located a minimum of 6' or a maximum of 8' from the edge of the road, driveway or turnout. A turnout is required if the driveway or road is less than 18' in width to allow additional fire apparatus to pass. Questions regarding the location of the fire hydrant will be addressed by the Fire Code Official.



HYDRANT REQUIREMENTS

FOR FIRE TRUCK TURNAROUND SEE SHEET A-2



Webster/Johnston
Pine Flat Rd
Bonny Doon CA

MARK	DATE	DESCRIPTION
PROJECT NO:	1706	
DATE:	6/28/17	
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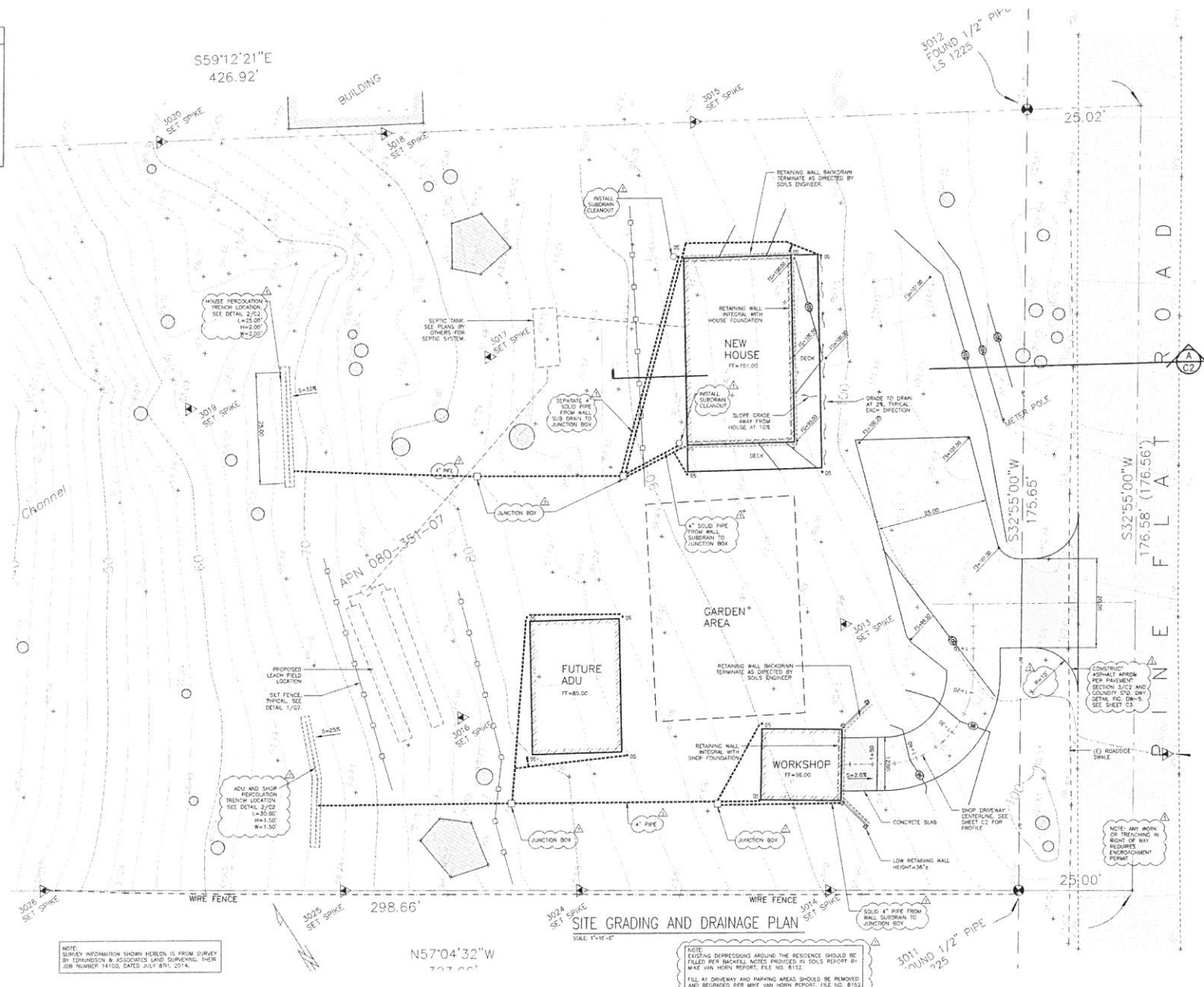
SHEET TITLE

FIRE

F-1

SHEET 13 OF 13

* DRIVEWAY IS GRAVEL AND THEREFORE PARTIALLY PERVIOUS SO AN AREA REDUCTION FACTOR OF 50% WAS USED



NOTE:
SURVEY INFORMATION SHOWN HEREON IS FROM SURVEY
BY EDMUNDSON & ASSOCIATES LAND SURVEYING, THEIR
JOB NUMBER 14100, DATED JULY 8TH, 2014.

NOTE:
EXISTING DEPRESSIONS AROUND THE RESIDENCE SHOULD BE
FILLED PER BACKFILL NOTES PROVIDED IN SOILS REPORT BY
MIKE VAN HORN REPORT, FILE NO. 8152.


FILL AT DRIVEWAY AND PARKING AREAS SHOULD BE REMOVED
AND REGRADED PER MIKE VAN HORN REPORT, FILE NO. 8152

REVISION	DESCRIPTION	DATE
1	ISSUED FOR PLAN CHECK COMMENTS	8/20/17

<p>SITE GRADING, DRAINAGE AND EROSION CONTROL PLAN</p>	<p>ANDREW WEBSTER APN 080-351-07 PINE FLAT ROAD Bonny Doon, CA</p>
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<p>Andrew C. Radovan Civil Engineering, Inc.</p>	<p>3815 Hazen Street, Santa Cruz, CA 95060</p>
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	<p>REGISTERED PROFESSIONAL ENGINEER STATE OF CALIFORNIA No. C 0007138 Exp. 6-30-18 CIVIL ENGINEERING</p>
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<p>JOB NO.: 17-17</p>	<p>DATE: 6/15/17</p>
<p>DRAWN BY: ACR</p>	<p>SCALE: AS NOTED</p>

SHEET

C1

GENERAL NOTES:

9. **ANY FEATURES**

- PLANS FOR SMOKE EXHAUSTION. THESE PLANS ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND NOTIFY THE SMOKE EXHAUSTION EVENT IN THE EVENT OF A CONFLICT, PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT TO THE SMOKE EXHAUSTION EVENT IN THE FORM OF A DETAILED SWITCH FOR REVIEW BEFORE AN APPROVAL WILL BE GIVEN, AND BEFORE PROCEEDING WITH THE WORK. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE CALIFORNIA STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- IF THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION, AND THE EXISTING UTILITIES ARE NOT KNOWN, THE CONTRACTOR SHALL SECURE ALL REQUIRED CONSTRUCTION PERMITS FROM THE COUNTY OF SANJUAN CRUZ BUILDING DEPARTMENT PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY THE COUNTY BUILDING INSPECTOR AT LEAST 48 HOURS PRIOR TO FINDING ANY DISCREPANCY.

EARTHROCK AND READING NOTES

4. ALL EARTHWORK AND DRAGS SHALL BE DONE IN CONFORMANCE WITH THE GEOTECHNICAL ENGINEERS REPORT BY MIKE VAN HORN INC., THEIR JOB NO. 8152 DATED NOVEMBER 17, 2015, AND SOILS REPORT UPDATE LETTER DATED 5-30-16. NOTIFY THE GEOTECHNICAL ENGINEER PRIOR TO PROCEEDING IN THE EVENT THAT UNUSUAL SOIL CONDITIONS ARE ENCOUNTERED.
5. ALL EXCESS EXCAVATED SOIL SHALL BE PLACED ON THE SITE AS ENGINEERED FILL OR HAULED OFF AND DEPOSITED OF IN A LEGAL MANNER. ALL EARTHWORK SHALL BE IN CONFORMANCE WITH THE GEOTECHNICAL ENGINEERS REPORT.

STORM DEATHS:

1. STORM DRAINAGE CATCH BASIN SHALL BE BY THE CHRISTY COMPANY OR APPROVED EQUIVALENT. BOXES IN TRAFFIC AREAS SHALL HAVE TRAFFIC RATED GRATES. STORE AND INSTALL SUCH PRODUCTS AS SPECIFIED BY THE MANUFACTURER.
2. STORM DRAINAGE PIPE SHALL BE SDR 35 PVC PIPE, OR HDPE PIPE SUCH AS AEG BRAND N12 OR THE APPROVED EQUIVALENT. PIPE EXPOSED TO THE SUN SHALL BE UV STABLE.
3. PERMEABLE MATERIAL FOR PERMEATION TRENCHES SHALL BE 1/2" CLEAN CRUSHED GRAVEL OR EQUIVALENT.
4. PERMEABLE PIPE SHALL BE PERMEATION SDR 35 PVC PIPE, OR HDPE PIPE WITH THE PERMEATIONS FACING DOWN.
5. NO WOOD MULCH SHALL BE USED IN LANDSCAPE AREAS WHICH WILL SERVE AS PART OF THE STORM DRAINAGE SYSTEM. ORGANIC MULCH SUCH AS PEA GRAVEL OR RIVER ROCK MAY BE USED IN LANDSCAPE AREAS WHICH WILL SERVE AS PART OF THE STORM DRAINAGE SYSTEM.

TEMPORARY EROSION CONTROL MEASURES

1. EROSION SHALL BE CONTROLLED AT ALL TIMES. SPECIFIC MEASURES STATED HERE ARE TO BE IN EFFECT FROM APRIL 15 TO OCTOBER 15.
2. ALL SITE SLOPE GENERATED RUNOFF SHALL BE PERCOLATED INTO THE GROUND AS SHOWN ON THE PLANS. NO CONCENTRATED RUNOFF SHALL BE OTHERWISE ALLOWED TO BE DISCHARGED ON THE GROUND.
3. ALL GROUND SURFACES THAT ARE DISTURBED BY GRADING OPERATIONS SHALL BE REVEGETATED WITH THE FOLLOWING SEED Mixture: 10% BAHIA, 50% GRASS, AND 40% LEGUME. SEED SHALL BE APPLIED AT A RATE OF 10 LBS PER 1000 SQ. YD.

SEED TYPE:	APPLICATION RATE:
BROMUS CARINATUS (CALIFORNIA BROME)	7 LB PER ACRE
FESTUCA RUBRA (KEEPING RED FESCUE)	10 LB PER ACRE
HORDEUM BRACHYANTHERUM (MEADOW BARLEY)	8 LB PER ACRE

ONCE THE SOIL HAS BEEN SEEDED AND RAKED, COVER IT WITH 2" OF STRAW. USE NATIVE BLUNCHGRASS STRAW IF AVAILABLE. FERTILIZE WITH AMMONIUM PHOSPHATE AT AN APPLICATION RATE OF 250 LBS PER ACRE.

4. ALL EXCAVATED MATERIAL SHALL BE DEPOSITED OFF SITE IN A LEGAL MANNER, OR INCORPORATED INTO OTHER DIGEST GRADING PROVIDED IT IS DONE SO BASED ON ACCEPTED STANDARDS TO PREVENT EROSION.
5. CONTRACTOR SHALL PROVIDE WATER SUPPLY DURING CONSTRUCTION TO AID IN COMPACTION OF SOIL AND TO PREVENT DUST FROM BECOMING AIRBORNE.
6. SOFT FENCING SHALL BE INSTALLED BELOW AREAS OF GRADING PARALLEL TO CONTOURS PER DETAIL 1/C2.
7. WET DALES SHALL BE INSTALLED AROUND CATCH BASINS DURING CONSTRUCTION PER DETAIL 1/C2

STORM-WATER BEST-MANAGEMENT PRACTICES:

1. PAYMENT

- 1.1. NO ERODIBLE AREAS SHALL DRAIN ONTO PAVEMENT.
- 1.2. SUBGRADE SHALL BE UNIFORM AND MINIMALLY COMPACTED.
- 1.3. RESERVOIR BASE COURSE SHALL BE OF OPEN-GRADED CRUSHED STONE. BASE DEPTH SHALL BE ADEQUATE TO RETAIN RAINFALL AND SUPPORT DESIGN LOADS.
- 1.4. WHERE SUBDRAIN IS PROVIDED, OUTLET ELEVATION SHALL BE 3" ABOVE BOTTOM OF BASE COURSE.

2. CONSTRUCTION MATERIALS

- 2.1. LOOSE STOCKPILED MATERIALS THAT ARE NOT ACTIVELY BEING USED SHALL BE COVERED AND BURIED.
- 2.2. EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED.
- 2.3. ALL CHEMICALS SHALL BE STORED IN WATER TIGHT CONTAINERS OR IN A STORAGE SHED.
- 2.4. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

3. WASTE MANAGEMENT:

13. DISPOSAL OF ANY RUNOFF WASH WATER OR WATER ON IMPERVIOUS OR PEROUS SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
14. FACILITIES SHALL BE MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM A DRAINAGE FACILITY. FACILITIES SHALL BE MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM A DRAINAGE FACILITY.
15. COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY WORK DAY AND DURING A RAIN EVENT.
16. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM SHALL BE PREVENTED.
17. WASTE DISPOSAL CONTAINERS SHALL BE MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM A DRAINAGE FACILITY.
18. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND SHALL BE USED TO CLEAN UP SPILLS AND MATERIALS ASSOCIATED WASTE SHALL BE IMMEDIATELY CLEANED UP AND DISPOSED TO APPROPRIATE FACILITIES THAT MAY COMPLY WITH THE CONTRACT AND WITH DISCHARGE TO SURROUNDING AREA.

4. VEHICLE STORAGE AND MAINTENANCE:

- 4.1. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK INTO THE GROUND, STORM DRAINS, SURFACE WATERS.
- 4.2. ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED, AND STORED ON SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
- 4.3. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

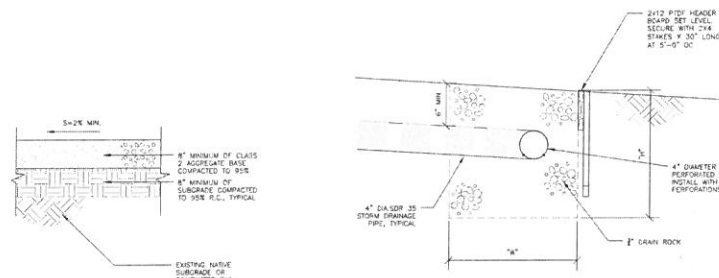
5. LANDSCAPE MATERIALS:

- 5.1. DISCONTINUE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
- 5.2. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT BEING USED.
- 5.3. CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT BEING USED.
- 5.4. ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURER RECOMMENDATIONS.
- 5.5. STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING WHEN NOT BEING USED OR APPLIED.



3	TYPICAL ASPHALT PAVEMENT SECTION
C2	

1	EROSION CONTROL DETAILS
C2	



4	PARKING SURFACE SECTION
C2	

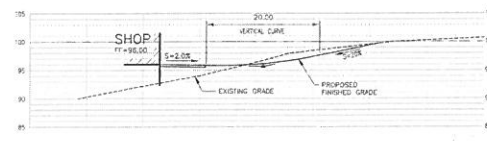
2
C2 PERCOLATION TRENCH DETAIL

[illegible]

NOTES REGARDING DRAINAGE DESIGN:
THE PRO ISOPLETH WAS TAKEN FROM
THE SOILS REPORT STATED A SOIL PER-
MEABILITY GREATER THAN 18" AND 3 IN
VALUE WAS USED. FOR THE HOUSE,
APPEAR BELOW:

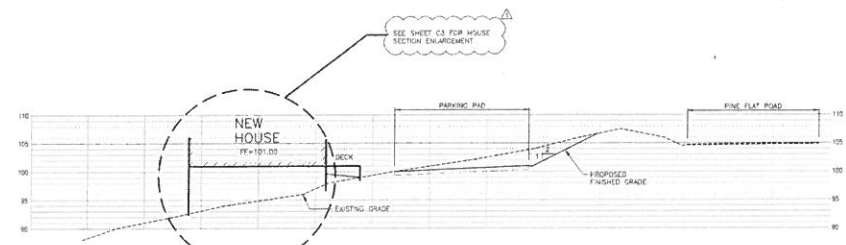
SEE PLAN SHEET C1 FOR "W", "H" AND LENGTH "L" DIMENSIONS FOR THE VARIOUS PERCOLATION TRENCHES.

AB	ANCHOR BOLT
AC	ARCHITECTURAL
ATR	ALL THREADED ROD
BTAN	BETWEEN
CF	CENTERLINE
CS	CONNECTION
DJ	DONUTS/OUT
EQ	EQUALIZER
EA	EACH
EPF	EQUIVALENT FLOOR PRESSURE
FF	FINISHED FLOOR
FG	FINISHED GRADE
FL	FLOOR LVL
FS	FINISHED SURFACE
FT	FEET
GALV	GALVANIZED
HEAD	HEAD
INV	INVERT
LF	LINEAL FEET
LSC	LANDSCAPE PLANTER
MAX	MAXIMUM
OC	ON CENTER
PCF	POUNDS PER CUBIC FOOT
PSF	POUNDS PER SQUARE FOOT
PSF	POUNDS PER SQUARE FOOT
S	SCHEDULE
SQ	SQUARE
TR	TYPICAL
UNV	UNNOTED OTHERWISE
VERT	VERTICAL



SHOP DRIVEWAY CENTERLINE PROFILE

SCALE: 1"=10'-0"



SITE CROSS SECTION A/C2

SCALE: 1"=10'-0"

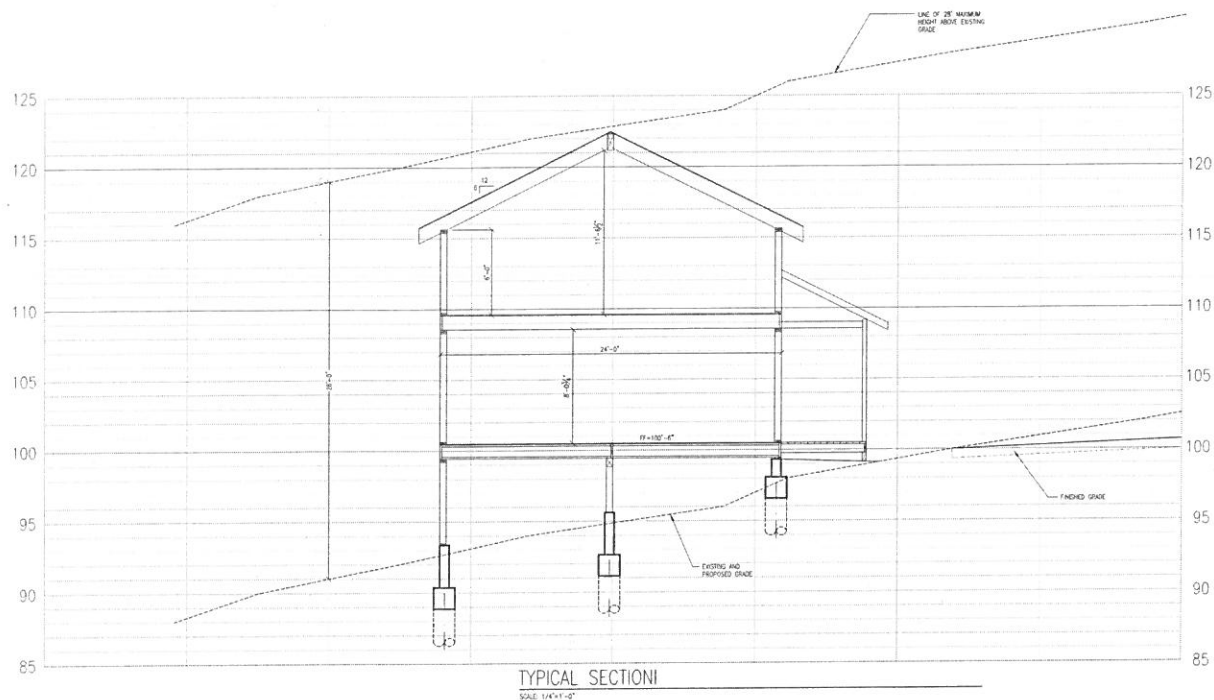
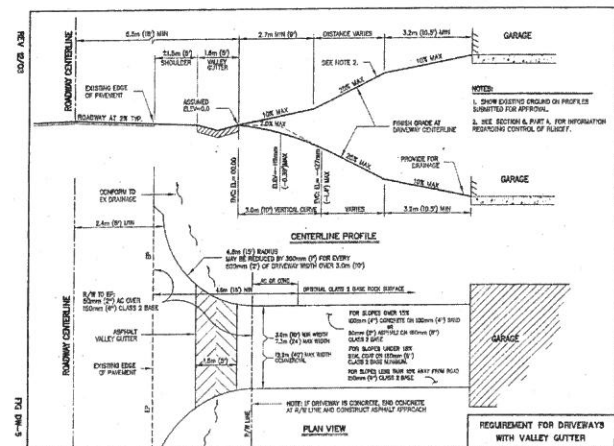
REVISION	DESCRIPTION	DATE
1	REVISED IN RESPONSE TO PLAN CHECK COMMENTS	8/26/12

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JOB NO.:	17-17
DATE:	6/5/17
DRAWN BY:	ACR
SCALE:	AS NOTED

C2



ANDREW WEBSTER APN 080-351-07 PINE FLAT ROAD BONNY DOON, CA	BUILDING SECTION ENLARGEMENT	REVISION	DESCRIPTION	DATE
			ADDED IN RESPONSE TO PLAN CHECK COMMENTS	8/30/17

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SHEET



JOB NO.: 17-17
 DATE: 8/30/17
 DRAWN BY: ACB/JCR
 SCALE: AS NOTED