

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 171214

APN: 104-121-69

Proposal to construct a 2,400 non-habitable accessory structure (barn) on site with a single family residence (B-171794). Requires an Administrative Residential Development Permit. This project also includes an Archaeological Archival Review (REV171119) and a Biotic Report Review (REV181024).

Property located on Meadow Haven Lane about 450 feet north from Glenhaven Road. (140 Meadow Haven Lane)

OWNER: Jon and Dawn Friesell

APPLICANT: Valerie Hart

SUPERVISORIAL DISTRICT: 1

PLANNER: Lezanne Jeffs, (831) 454-2480

EMAIL: Lezanne.Jeffs@santacruzcounty.us

Public comments must be received by 5:00 p.m. March 19, 2018.

A decision will be made on or shortly after March 20, 2018.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

For more information, call the project planner identified above.

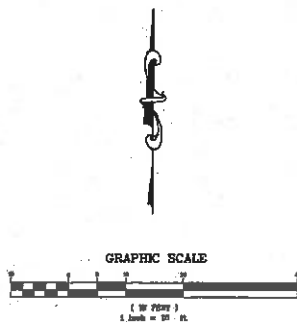
BENCH MARK:
BENCHMARK USED FOR THIS SURVEY IS A MGS BRASS DISC
"N151571" SET IN THE SOUTHWEST CORNER OF CATCH BASIN AT
THE NORTHEAST INTERSECTION OF CALIFORNIA STATE HIGHWAY 1
AND DAVENPORT AVENUE.
ELEVATION = 75.80' (NAVD 88)

BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN MONUMENTS
AS SHOWN ON THAT CERTAIN MAP ENTITLED, "DAVENPORT
SUBDIVISION NO. 2, PART OF RANCHO SAN VICENTE, SANTA CRUZ
COUNTY, CALIFORNIA", FILED FOR RECORD DECEMBER 22, 1919 IN
BOOK 18 OF MAPS, AT PAGE 29, SANTA CRUZ COUNTY RECORDS.

NORTH 48°10'00" WEST

LEGEND

- PROPERTY LINE
- ADJACENT-PROPERTY LINE
- OLD PROPERTY LINE
- ▨ BUILDING FOOTPRINT



APN 058-103-11
DOC. 1999-0034797

LANDS OF FEIN
APN 058-103-10
DOC. 1999-0034797

APN 058-103-30
DOC. 2016-0010663
AREA=13,309.81±
LOT 9

LANDS OF FEIN
APN 058-103-11
DOC. 1999-0034797
LOT 7

APN 058-103-21

DAVENPORT SUBDIVISION
NO. 3
18 M 30
LOT 1

APN 058-103-22

LOT 2

CLIFF STREET
(44' WIDE)

DAVENPORT SUBDIVISION
NO. 2
18 M 29
LOT 8

APN 058-103-12
3159 G.A. 687



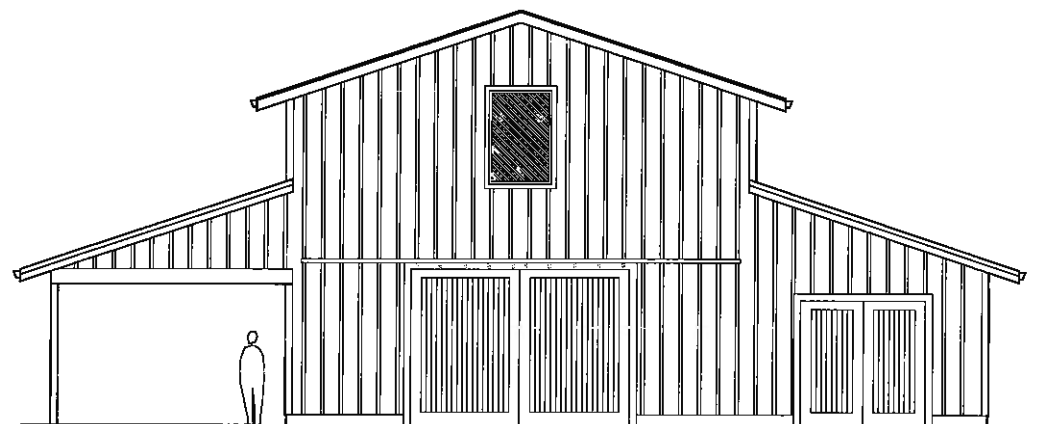
KEVIN SMITH
LAND SURVEYING
1420 MERRILL STREET
SANTA CRUZ, CA 95062
(831) 588-0164
DATE 5-17-17



LOCATION SURVEY
FOR: MATTHEW SUTTON
7 CLIFF STREET, DAVENPORT, CA 95017
APN 058-103-90

SHEET
1 (CI)
OF 2
DATE MAY 2017
JOB NO. K17014

NOTE:
BUILDING PERMIT APPLICATION #B-171794
CURRENTLY IN PROGRESS FOR 4,981 sq.ft. SINGLE
FAMILY DWELLING



PARCEL MAP	BUILDING INFORMATION SUMMARY	DRAWING INDEX																											
	<p>PROJECT DESCRIPTION: CONSTRUCTION OF A 2,400 SQ. FT. EQUIPMENT BARN, SEEKING LEASE IN APPROVAL FOR INCREASE IN ALLOWABLE (1,000 SQ. FT.) SQUARE FOOTAGE FOR ACCESSORY BUILDING.</p> <p>PROJECT ADDRESS: 140 MEADOW HAVEN LANE SOQUEL, CA 95073</p> <p>PARCEL NUMBER: 104-121-09</p> <p>SRA: MODERATE</p> <p>ZONING DESIGNATION: RR</p> <p>OCCUPANCY CLASSIFICATION: RU-9-SINGLE FAMILY DWELLING</p> <p>CONSTRUCTION TYPE: TYPE V-B- PROPOSED SPINELESS</p> <p>HEIGHT ABOVE GRADE PLANE: 20'-7"</p> <p>PROPOSED FLOOR AREA: 2,400 SQ. FT.</p> <p>LOT AREA: 435,541 SQ. FT.</p> <p>SETBACK INFORMATION:</p> <table><thead><tr><th>FRONT YARD</th><th>SIDE YARD</th><th>REAR YARD</th></tr></thead><tbody><tr><td>45'-0"</td><td>20'-0"</td><td>20'-0"</td></tr><tr><td>450'-0"</td><td>417'-10 1/2" (S) & 40'-2 1/2" (S)</td><td>130'-0"</td></tr></tbody></table> <p>LOT COVERAGE CALCULATION</p> <table><tbody><tr><td>1. ZONE DISTRICT:</td><td>31</td><td>RA</td></tr><tr><td>2. PARCEL AREA:</td><td>21</td><td>435,542 sq. ft.</td></tr><tr><td>3. AREA OF RIGHTS-OF-WAY:</td><td>31</td><td>24,732 sq. ft.</td></tr><tr><td>4. NET PARCEL AREA (10-2-2):</td><td>41</td><td>410,810 sq. ft.</td></tr><tr><td>5. COVERAGE BY STRUCTURES:</td><td>31</td><td>2,400 sq. ft. + 3,015 sq. ft. = 5,415 (13.0% max)</td></tr><tr><td>6. PARCEL COVERAGE (15/84 x 100):</td><td>41</td><td>1.2%</td></tr></tbody></table> <p>CODE NOTE: ALL WORK INDICATED ON THE PLANS SHALL COMPLY WITH THE FOLLOWING CODES: 2016 CBC, CBC, CMC, CFC, CA ELECT CODE, CAL GREEN, CA ENERGY CODE.</p>	FRONT YARD	SIDE YARD	REAR YARD	45'-0"	20'-0"	20'-0"	450'-0"	417'-10 1/2" (S) & 40'-2 1/2" (S)	130'-0"	1. ZONE DISTRICT:	31	RA	2. PARCEL AREA:	21	435,542 sq. ft.	3. AREA OF RIGHTS-OF-WAY:	31	24,732 sq. ft.	4. NET PARCEL AREA (10-2-2):	41	410,810 sq. ft.	5. COVERAGE BY STRUCTURES:	31	2,400 sq. ft. + 3,015 sq. ft. = 5,415 (13.0% max)	6. PARCEL COVERAGE (15/84 x 100):	41	1.2%	<p>ARCHITECTURAL SHEETS:</p> <p>T1: TITLE SHEET SURVEY T-1-07 SURVEY T-1-07 A1: SITE PLAN A2: PROPOSED FLOOR PLAN A3: PROPOSED ELEVATIONS</p> <p>PROJECT TEAM</p> <p>OWNERS: JOHN AND MICHELLE FRIESELL P.O. BOX 1902 ATFORD, CA 95825 (916) 419-1184</p> <p>PROJECT DESIGNER: VALERIE HART RESIDENTIAL DESIGN VALERIE HART 3680 N. RODEO GULCH ROAD SOQUEL, CA 95073 PH: (408) 229-1609 val@vhfrd.com</p> <p>LAND SURVEYOR: EDWIN ANDERSON & ASSOCIATES LAND SURVEYING 1517 SEABRIGHT AVENUE SANTA CRUZ, CA 95062 PH: (831) 425-1794</p>
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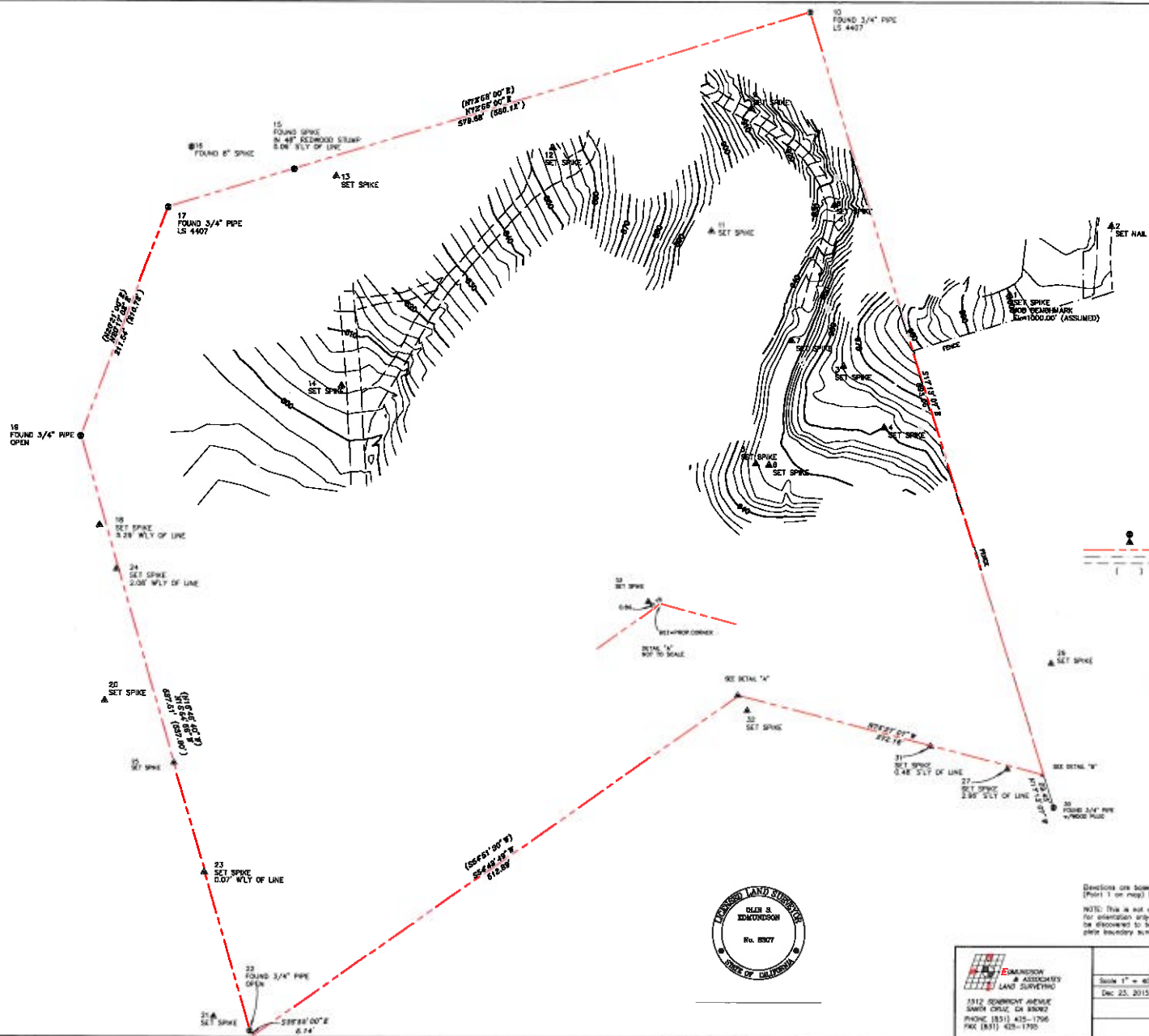
TITLE SHEET

VALERIE HART DRAFTING AND DESIGN
3680 N. RODEO GULCH RD. SOQUEL, CA 95073
(831) 229-1609 val@vhfrd.com

planning submitted JULY 27, 2017

friesell equipment barn
140 meadow haven lane, soquel, ca 95073
apn: 104-121-09

SHEET
T1



Scale 1" = 40'

LEGEND

- Survey control point found as noted
- Survey control point set as noted
- Property line, level of forest
- Fence
- Edge of pavement
- Record data

Directions are based on observed data. Bench mark = Set 8" Spike (Point 1 on map) Elevation 1900.00' (Assumed)

NOTE: This is not a boundary survey. Property lines are shown for orientation only and are based on recorded data. They may be shown to be different, subject to the results of a complete boundary survey.



EDMUNDSON & ASSOCIATES
LAND SURVEYING
1312 ROBINSON AVENUE
SANTA CRUZ, CA 95062
PHONE (531) 415-1700
FAX (531) 421-1700

SITE MAP			
OF ADJACENT'S PARCEL NO. 104-121-00			
Scale 1" = 40'	Santa Cruz County	File 151021SC.DWG	
Dec 22, 2015	California	FB 195/6	
Prepared for		Jon Friesell	
		Job #15162	

Scale 1" = 20'
Contour interval 2'

S72°55'00"W
579.56'

SET SPIKE



EDMUNDSON & ASSOCIATES
LAND SURVEYING
1512 SEABRIGHT AVENUE
SANITA CRUZ, CA 95062
PHONE (831) 425-1788
FAX (831) 425-1733

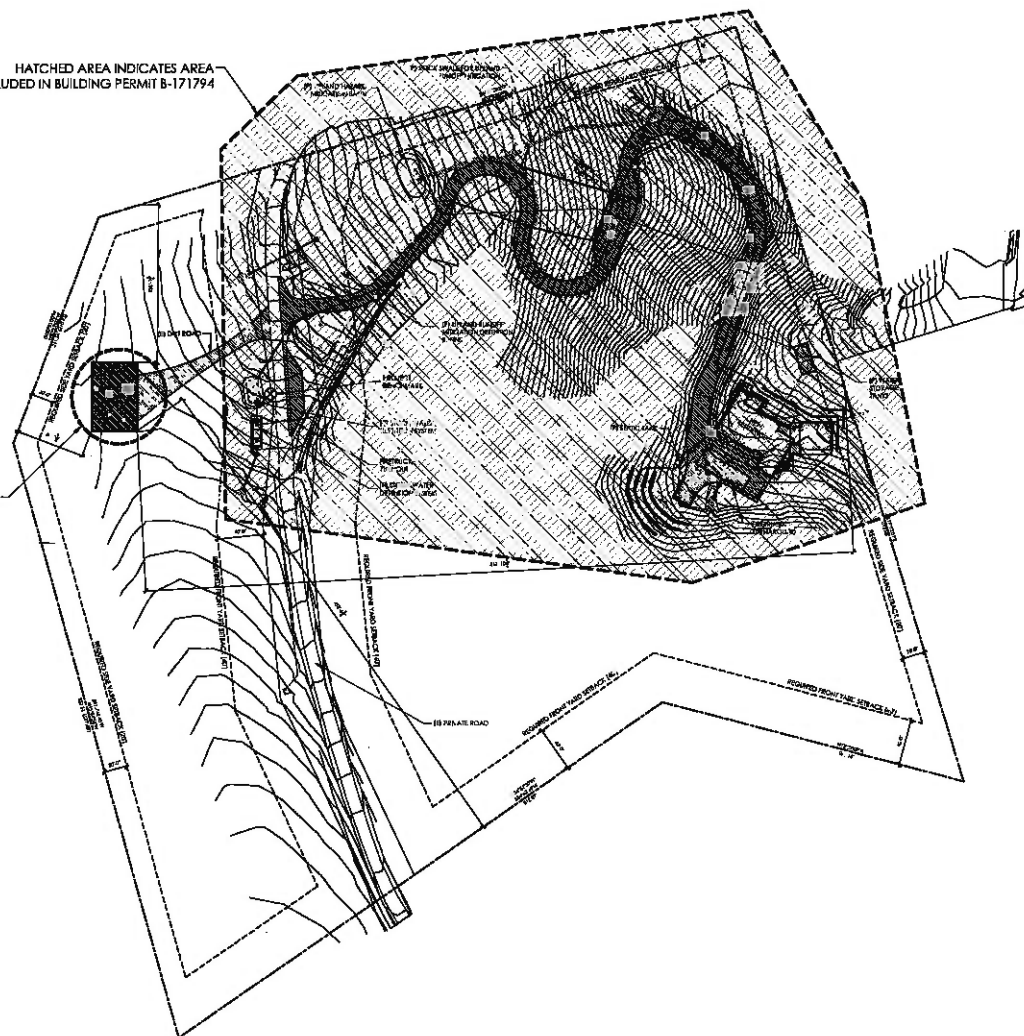
TOPOGRAPHIC SURVEY MAP

OF EDMUNDSON'S PARCEL, NO. 104-121-05

Scale 1" = 20'	Sanita Cruz County California	File 1510270.DWG
January 7, 2016	Prepared for Jon Friesell	FB 195/2
		Job #15182

AREA OF PROPOSED WORK

HATCHED AREA INDICATES AREA INCLUDED IN BUILDING PERMIT B-171794



PROPOSED SITE PLAN



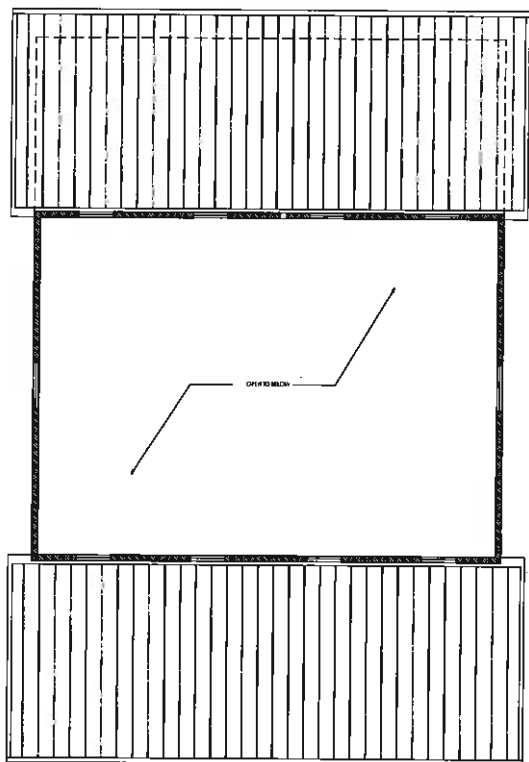
VALERIE HART DRAFTING AND DESIGN
3683 N. RODEO GULCH RD SOQUEL, CA 95073
(408) 238-1408 valerie@valharts.com

planning schedule JULY 27, 2017

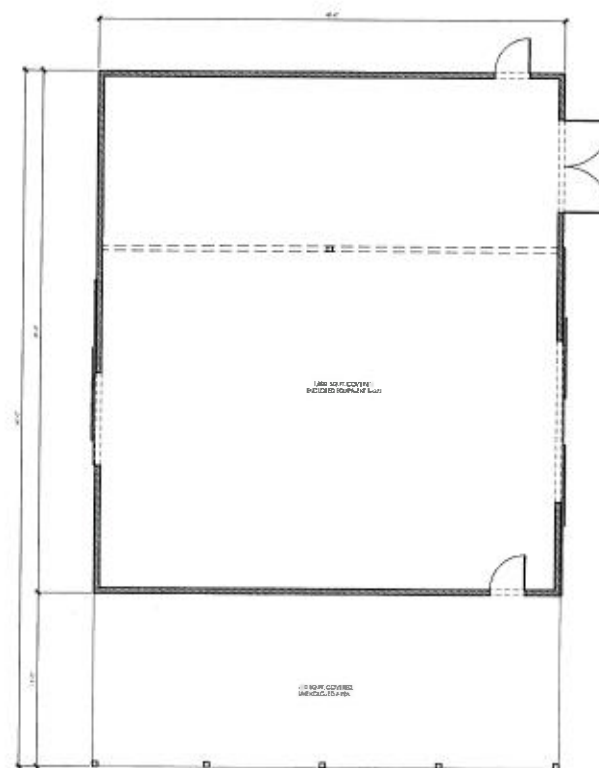
friesell equipment barn
140 meadow hollow lane, soquel, ca 95073
apn: 104-121-09

SHEET: A1

NOTES
BASIC PLAN IN 10' x 10' grid system
PLAN SCALE 1/4" = 10' - 0" (1/4" = 10' - 0")
ALL DIMENSIONS AND LOCATIONS ARE TO BE
VERIFIED BY THE FIELD ENGINEER



CLERESTORY LEVEL



GROUND LEVEL

WALL LEGEND	
	NEW 2x4 STUD WALL
	NEW 2x6 STUD WALL

PROPOSED EQUIPMENT BARN PLAN

SCALE: 1/8" = 1'-0"



VALERIE HART DRAFTING AND DESIGN

3680 N. RODEO CULCH RD. SOQUEL, CA 95073
(408) 235-1429 - valerie@valeriedesign.com

planning sketch set

JULY 27, 2017

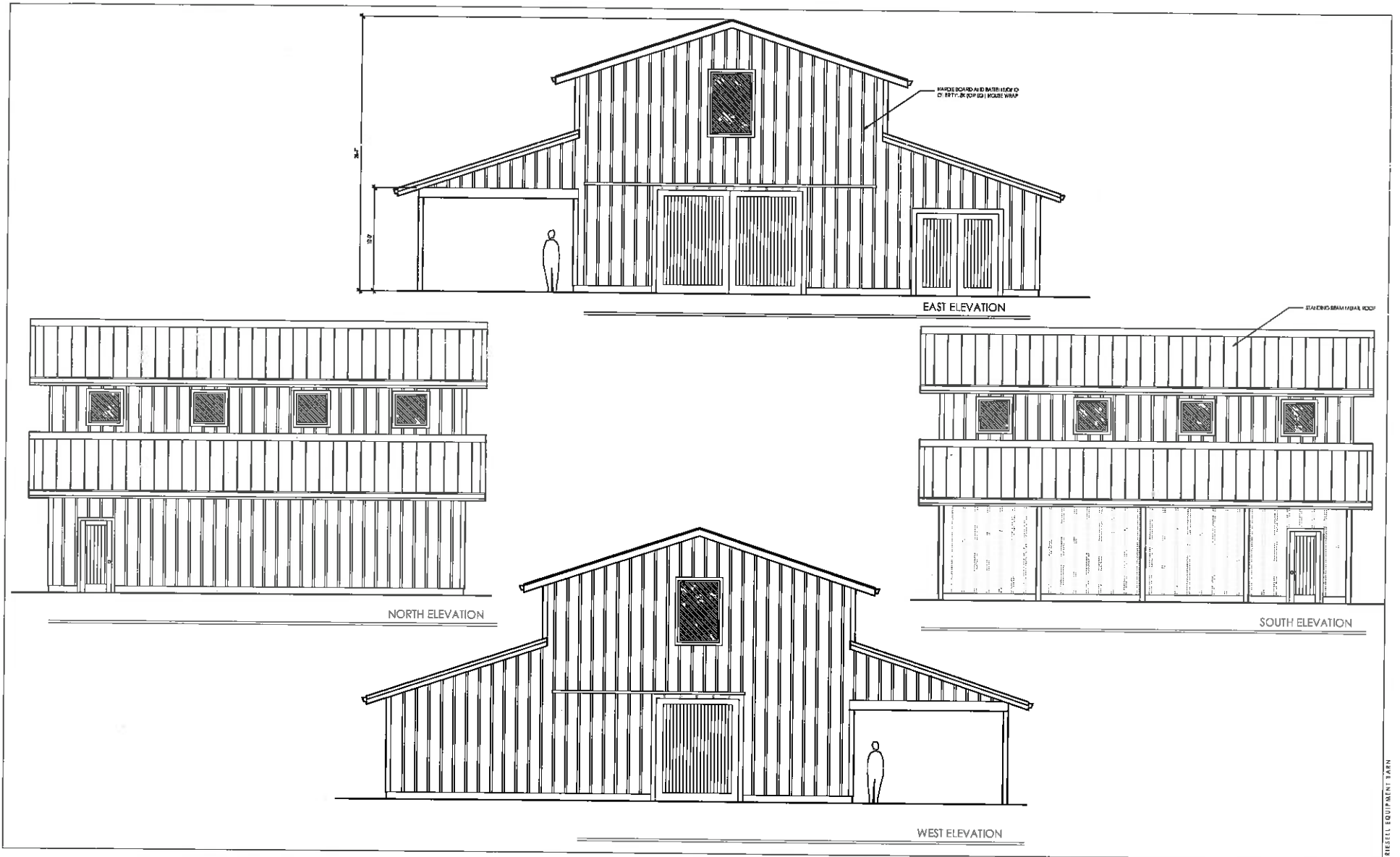
friesell equipment barn

140 meadow haven lane, vaquero, ca 95273
phone: 104-121-49

sheet

A2

FRIESSELL EQUIPMENT BARN



PROPOSED EQUIPMENT BARN ELEVATIONS

SCALE: 1/4" = 1'-0"

VALERIE HART DRAFTING AND DESIGN

3480 N. RODEO GULCH RD. SOQUEL, CA 95073
(831) 239-1609 valerie@95062@yahoo.com

planning submittal

JULY 27, 2017

friesell equipment barn

140 meadow haven lane, soquel, ca 95073
apt: 124-121-49

SHEET:

A3

FRIESSELL EQUIPMENT BARN