

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 171266

APN: 102-311-26

Proposal to construct a 3,975 square foot nonhabitable accessory structure (barn). Requires a Residential Development Permit.

Property located on the east side of Chardonnay Road (3380 Chardonnay Road) approximately 1,200 feet east of the intersection with North Rodeo Gulch.

OWNER: John and Diane La Rue

APPLICANT: John and Diane La Rue

SUPERVISORIAL DISTRICT: 1

PLANNER: Randall Adams, (831) 454-3218

EMAIL: randall.adams@santacruzcounty.us

Public comments must be received by 5:00 p.m. December 22, 2017.

A decision will be made on or shortly after December 29, 2017.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

For more information, call the project planner identified above.

PROPOSED BARN FOR JOHN K. LA RUE AND DIANNE B. LA RUE REVOCABLE FAMILY TRUST.



PROJECT ADDRESS: 3380 Chardonay Rd.
SOQUEL, CA 95073

OWNERS:
JOHN & DIANNE LA RUE
3380 Chardonay Rd.
SOQUEL, CA 95073
PHONE: (831) 848-2127
EMAIL: jrlh@stapleton.com

APPLICANT:
JEFF STAPLETON
STAPLETON CONSTRUCTION
1727 SAN MIGUEL CANYON RD.
ROYAL OAKS, CA 9507
831-761-2651
JEFF@STAPCON.COM

A.P.N. 102-311-26
OLD A.P.N. 102-311-09
4.9 ACRES 211,800 SQ. FT.

PROJECT DESCRIPTION:
CONSTRUCT NEW 3,000 SQ. FT. STEEL BUILDING WITH 9/5
MEZZANINE, ELECTRIC
ZONING: RA
OCCUPANCY: U, SPRINKLED
GENERAL PLAN DESIGNATION: RURAL RESIDENTIAL
FIRE DISTRICT: CENTRAL FIRE
WATER: PRIVATE WELL
FIRE WATER EXISTING STORAGE CAPACITY: 15,000 GALLONS

SITE AREA: 211,800 SQ. FT. (4.862 ACRES)

SITE COVERAGE:

MAIN HOUSE: 7,008 SQ. FT.

GARAGE: 1,215 SQ. FT.

DECKS: 2,611 SQ. FT.

GARAGE:

OFFICE GYM: 1,200 SQ. FT.

TOTAL EXISTING: 12,034 SQ. FT.

PROPOSED: BARN 3,000 SQ. FT. WITH 9/5 SQ. FT. MEZZANINE

TOTAL PROPOSED SITE COVERAGE: 15,534 SQ. FT.

PROPOSED SITE COVERAGE: 7.4%

PROPOSED BUILDING HEIGHT: 27'-0" FT. ABOVE EXISTING
GRADE.

EXISTING HOUSE: 2 STORY.

COVERED PARKING SPACES: 2 CAR GARAGE - EXISTING

UNCOVERED PARKING SPACES: 6

NUMBER OF EXISTING DRIVEWAYS: 1

TREES TO BE REMOVED: NONE

WILDLAND-URBAN INTERFACE CODE (WUC) CRC R327.

SRA-MODERATE, SCCC 12 10 215(E)

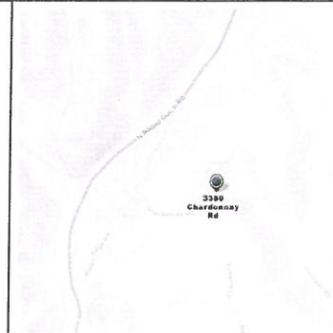
Project Data 07

1. Fire Sprinkler Plans.

GENERAL CONSTRUCTION NOTES ALSO SEE GENERAL DEMOLITION NOTES 01/1A/01
1. CONTRACTOR SHALL MAINTAIN A CURRENT SET OF APPROVED CONSTRUCTION
DOCUMENTS AND COPIES OF THE CONSTRUCTION CONTRACT AGREEMENT AND / OR
PROPOSED AND / OR APPROVED ITEMS OF CHANGE COMMUNICATIONS WITH OWNERS
ON SITE.
2. CONTRACTOR TO INDICATE ON A COPY SET OF APPROVED DOCUMENTS ALL
APPROVED CHANGES TO THE PROJECT AS A RECORD SET THAT WILL BE DELIVERED TO
THE OWNER AT THE END OF THE JOB.
3. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY FIELD CONDITIONS AND
COORDINATION WITH THE PROJECT DOCUMENTS PRIOR TO PROCEEDING WITH THE
WORK. CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE PROJECT
DOCUMENTS AND EXISTING CONDITIONS TO THE ARCHITECT FOR CLARIFICATION AND
REVISION PRIOR TO BEGINNING WORK.
4. ANY DISCREPANCY BETWEEN THE PROJECT DOCUMENTS SUPPLIED BY DESIGNER
AND CONSULTANT DRAWINGS ARE TO BE BROUGHT TO THE ATTENTION OF THE
OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
5. IF FIELD CONDITIONS DICTATE AN UNDISCOVERED FIELD CONDITION DURING
CONSTRUCTION, THE CONTRACTOR IS TO INFORM THE OWNER AND CEASE WORK
IN THAT SPECIFIC AREA OF WORK UNTIL THE CONDITION IS RESOLVED AND A
CLEAR DIRECTION IS DETERMINED AND AGREED UPON BEFORE
PROCEEDING.
6. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. LARGER
SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND
COORDINATION OF ALL TRADES AND GOVERNING AGENCIES. THE CONTRACTOR SHALL
PROVIDE ALL MATERIALS AND LABOR SHOWN OR REFERENCED ON THESE DOCUMENTS TO
RENDER THE WORK COMPLETE.
8. CONTRACTOR SHALL PROTECT THE BUILDINGS FROM DAMAGE, INCLUDING, BUT
NOT LIMITED TO, DUST AND WATER. CONTRACTOR SHALL PROVIDE PROTECTION FOR
ALL WORK AREAS. ANY DAMAGES DUE TO THIS WORK OR ACCIDENTS SHALL BE
REPAIRED OR REPLACED BY THE CONTRACTOR, AT THE SOLE DISCRETION OF THE
OWNER. THE CONTRACTOR SHALL BEAR FINANCIAL RESPONSIBILITY FOR SUCH
DAMAGE AND THE CORRECTIVE WORK.
9. CONTRACTOR SHALL PROVIDE BARRIERS, FENCING, BARRICADES, SIGNALS, ETC.
AS REQUIRED TO PROTECT THE OWNER OWNERS PROPERTY AND THE GENERAL
PUBLIC FROM ANY AND ALL HARM AND DAMAGE AS A RESULT OF THE EXECUTION OF
THIS WORK.
10. THE CONTRACTOR SHALL COORDINATE THE WORK WITH ALL EQUIPMENT,
FURNISHINGS AND SYSTEMS PROVIDED BY THE OWNER.
11. MATERIALS, EQUIPMENT NOT INDICATED ON PROJECT DOCUMENTS BUT ESSENTIAL
TO THE SUCCESSFUL AND EFFICIENT COMPLETION OF THE INSTALLATION AND / OR
CONSTRUCTION SHALL BE FURNISHED AND INSTALLED WITH NO INCREASE IN COST TO
THE OWNER.
12. CONTRACTOR SHALL COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND
RECOMMENDATIONS WHEN THOSE INSTRUCTIONS AND RECOMMENDATIONS EXCEED
THE REQUIREMENTS OF THE PROJECT DOCUMENTS.
13. CONTRACTOR SHALL MAINTAIN AN ON-SITE COPY OF MANUFACTURER'S
INSTALLATION INSTRUCTIONS FOR ALL FABRICATED PRODUCTS, INCLUDING, BUT NOT
LIMITED TO, FIREPLACE, APPLIANCES, FURNACE, FINE SEALANTS, MECHANICAL
EQUIPMENT, ELECTRICAL EQUIPMENT, ETC. THE COPY SHALL BE MADE AVAILABLE TO
THE BUILDING INSPECTOR UPON REQUEST.
14. WHERE NOT SPECIFICALLY INDICATED ON DRAWINGS, FINAL LOCATIONS OF ALL
MECHANICAL AND ELECTRICAL EQUIPMENT, PANEL BOARDS, FIXTURES, METERS,
FLUES, VENTS, ETC. SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.
15. ALL FIXTURES ARE TO BE INSTALLED IN ALL ASPECTS WITH TRIM SEALS, SEALANT
AS REQUIRED TO MAKE WORK READY FOR PROPER SERVICE AND USE.
16. THE CONTRACTOR SHALL PERFORM THE WORK AT THE PROJECT SITE DURING
NORMAL BUSINESS HOURS, UNLESS OTHERWISE AGREED UPON BY THE OWNER.
17. ANY REQUEST TO PERFORM WORK THAT TAKES PLACE AFTER NORMAL BUSINESS
HOURS SHALL BE MADE IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE.
REQUESTS SHALL BE DIRECTED TO THE ARCHITECT AND / OR THE OWNER.
18. ANY PROPOSED SHUTDOWNS OF UTILITIES SHALL BE REQUESTED IN WRITING AS
LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE
ARCHITECT AND / OR THE OWNER.
19. PROJECT DOCUMENTS AND SHALL COMPLY WITH ALL APPLICABLE BUILDING
CODES, REGULATIONS, AND ORDINANCE REQUIREMENTS.

THESE REQUIREMENTS NOTES:
a. Plans are in compliance with California Building and Fire Codes (2016)
and Central Fire Protection District amendments.
b. New upgraded hydrants, water storage tanks, and/or upgraded roadways shall
be installed PRIOR to construction (CFC 806.5).
c. Barn shall be protected by an approved automatic sprinkler system complying
with NFPA 13 Ordinary Hazard Group 1.
d. Fire sprinkler design installer shall submit two (2) sets of plans, calculations,
and cut sheets for the underground and overhead Residential Automatic Sprinkler
System to this agency for approval. Installation shall follow our guide sheet.
Cut sheets shall include, but not limited to, piping, valves, gauges, and sprinkler heads.
e. Address numbers will be posted and maintained. Address numbers shall be a
minimum of FOUR (4) inches in height and of a color contrasting to their background.
f. A 100-foot clearance will be maintained with non-combustible vegetation around
all structures Wildland-Urban Interface code (WUC) CRC R327. Please note SRA -
Moderate.
Note: Water tank system was upgraded to 15,000 gallon capacity in May 2016
per permit issued by Mike DeMars. See attached fire tank sheet 11.

REVISIONS:
1. COUNTY COMMENTS: 2-25-17
2. ZONING COMMENTS: 10-29-17



Location Map N.T.S. 04

ALL WORK SHALL CONFORM TO ALL APPLICABLE GOVERNING CODES,
INCLUDING, BUT NOT LIMITED TO, THE LATEST EDITIONS OF THE FOLLOWING:
2013 CALIFORNIA ADMINISTRATIVE CODE
2013 CALIFORNIA BUILDING CODE (CBC) VOL. 1
2013 CALIFORNIA BUILDING CODE (CBC) VOL. 2
2013 CALIFORNIA RESIDENTIAL BUILDING CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA FIRE CODE
2013 CALIFORNIA ENERGY CODE
2010 CALIFORNIA GREEN BUILDING CODE
2013 CALIFORNIA REFERENCED STAGGARD CODE

Applicable Codes 03

Contractor:
Jeff Stapleton
Stapleton Construction
1727 San Miguel Canyon Rd.
Royal Oaks, CA 95076
831-761-2651
email: jeff@stapcon.com

Suite Engineer:
Mike Van Horn, Inc.
101 Fortuna Avenue
Santa Cruz, CA 95062-2022
Office: 831-429-6364
Cell: 831-234-5860
email: SoliSurgeon@gruzzo.com

Chief / Structural Engineer:
Steven Wilson
Montgomery Bay Engineers, Inc.
907 Charles Ave. Suite B
Seaside, CA 93955
831-899-7899
email: mbyayngi@mbay.net

Building Manufacturer:
CBC Steel Buildings
P.O. Box 1009
Lathrop, CA 95330
209-983-0310

Project Team 02

A-0 COVER SHEET, LOCATION MAP, PROJECT INFORMATION
A1.1 MAIN FLOOR PLAN
A1.2 MEZZANINE FLOOR PLAN
A2.1 NORTH & SOUTH ELEVATIONS
A2.2 EAST & WEST ELEVATIONS
C1. CIVIL IMPROVEMENT SITE PLAN
C2. SITE, GRADING, EXISTING SEPTIC PLAN
C3. GRADING EROSION PLAN
C4. EROSION CONTROL BEST PRACTICES.

Date: 11-09-2017

Revisions:
1. COUNTY COMMENTS: 2-25-17
2. ZONING COMMENTS: 10-29-17
A.P.N 102-311-26
OLD A.P.N 102-311-09
APP. B-165027

A 0

Aerial View

08

Deferred Submittals

06

General Construction Notes

05

Index to Drawings

01



Project Construction
Project Design
Excavation
Septic Systems
1727 San Miguel Canyon Rd.
Royal Oaks, CA 95076
Office: 831-761-2651
Email: jef@stapleton.com
www.stapletonconstruction.com

Owner:
JOHN K. LA RUE
AND
DIANNE B. LA RUE
REVOCABLE
FAMILY TRUST.

Main Floor Plan

Project Address:

3380 Chardonay Dr.
Soquel, CA 95073

Date:

11-09-2017

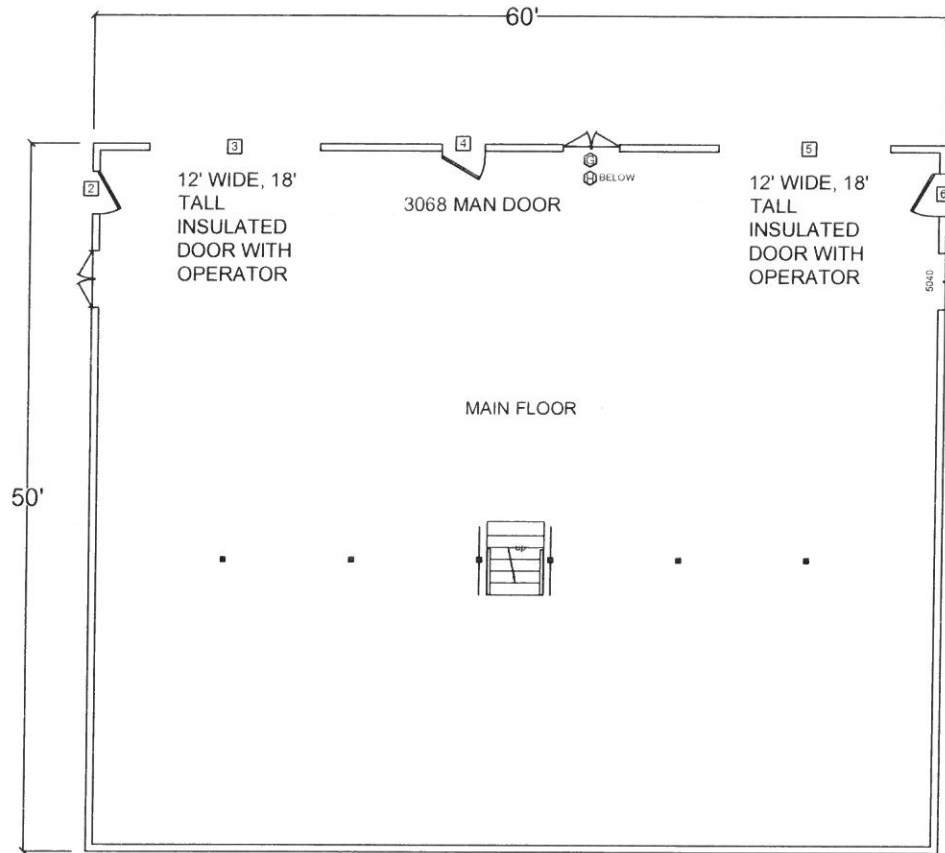
Revisions:

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A.P.N 102-311-26
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APP. B-165027

Sheet Number

A1.1



MAIN FLOOR PLAN

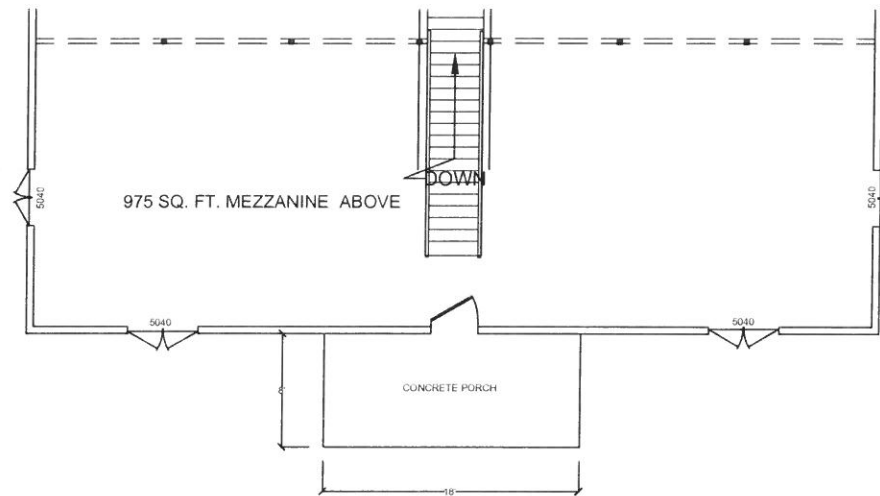
Scale $\frac{1}{4}" = 1'-0"$ 1



Project Construction
Project Design
Excavation
Septic Systems
1727 San Miguel Canyon Rd.
Royal Oaks, CA 95076
Office: 831-761-2651
Email: jett@stapleton.com
www.stapletonconstruction.com

Owner:
JOHN K. LA RUE
AND
DIANNE B. LA RUE
REVOCABLE
FAMILY TRUST.

Mezzanine Floor Plan



Project Address:

3380 Chardonay Dr.
Soquel, CA 95073

Date:

11-09-2017

Revisions:

1. COUNTY COMMENTS 2-17-17
2. ZONING COMMENTS 10-29-17

A.P.N 102-311-26
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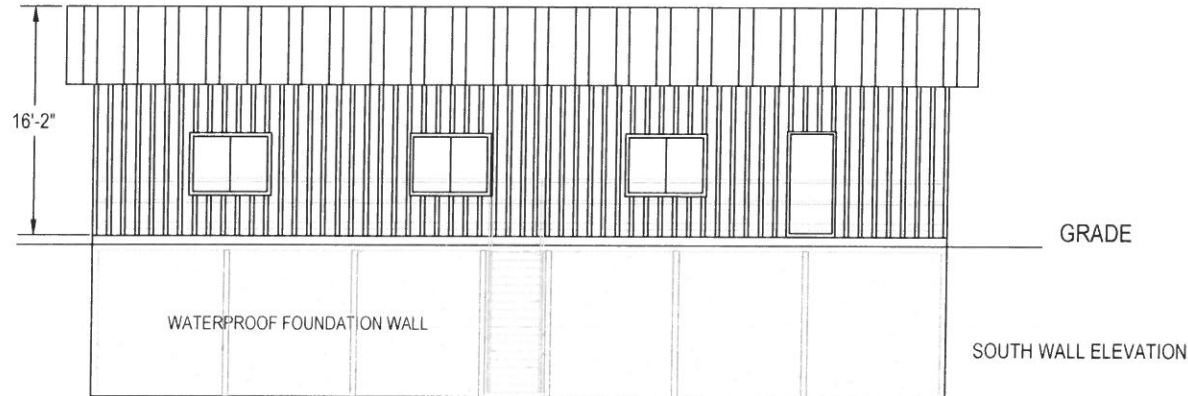
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A1.2

MEZZANINE FLOOR PLAN

Scale $\frac{1}{4}" = 1'-0"$ 2

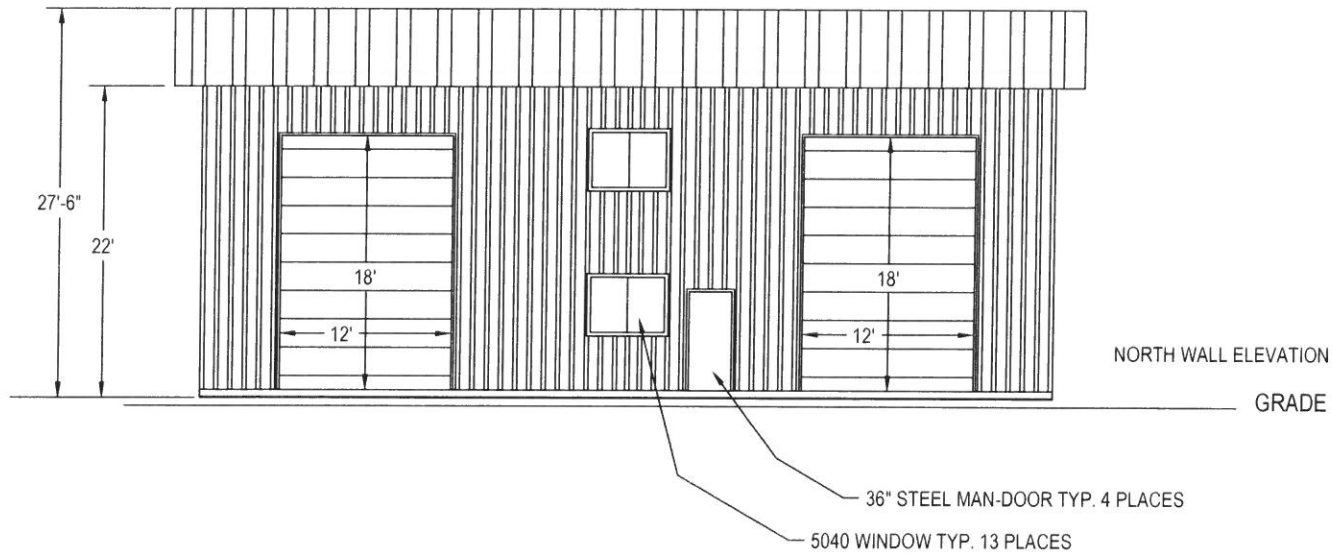
Building Colors:
Siding: Burnished Slate
Roof: Burnished Slate



SOUTH ELEVATION

Scale 1/4" = 1'-0"

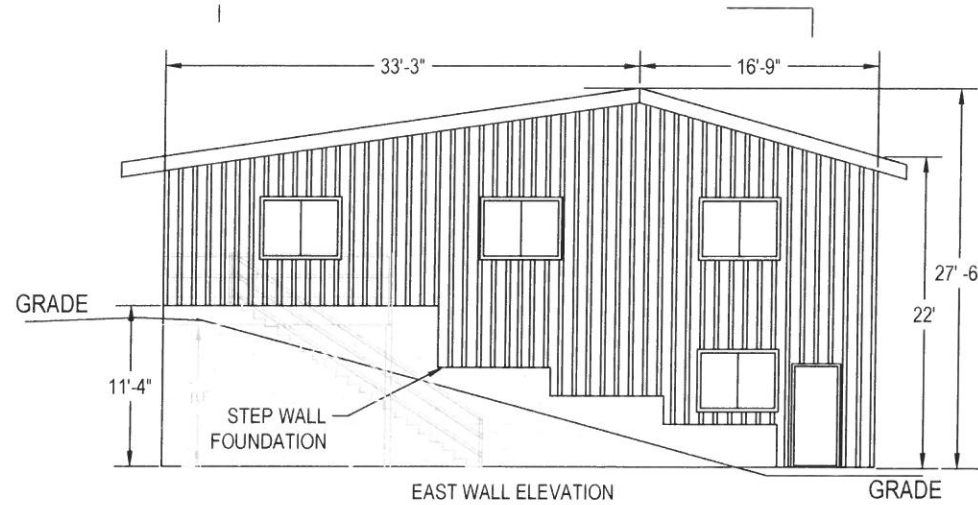
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NORTH ELEVATION

Detail Scale 1/4" = 1'-0"

1

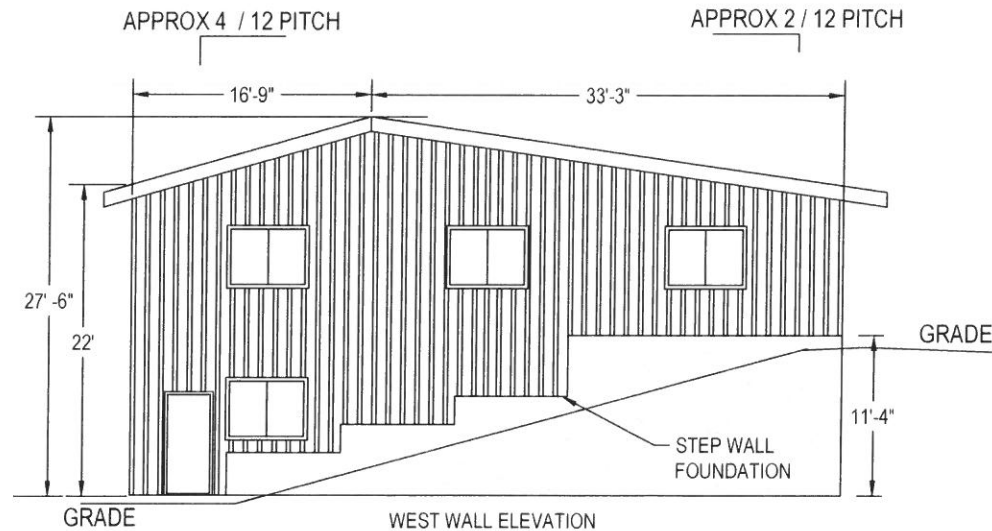


Building Colors:
Siding: Burnished Slate
Roof: Burnished Slate

EAST ELEVATION

Scale 1/4" = 1'-0"

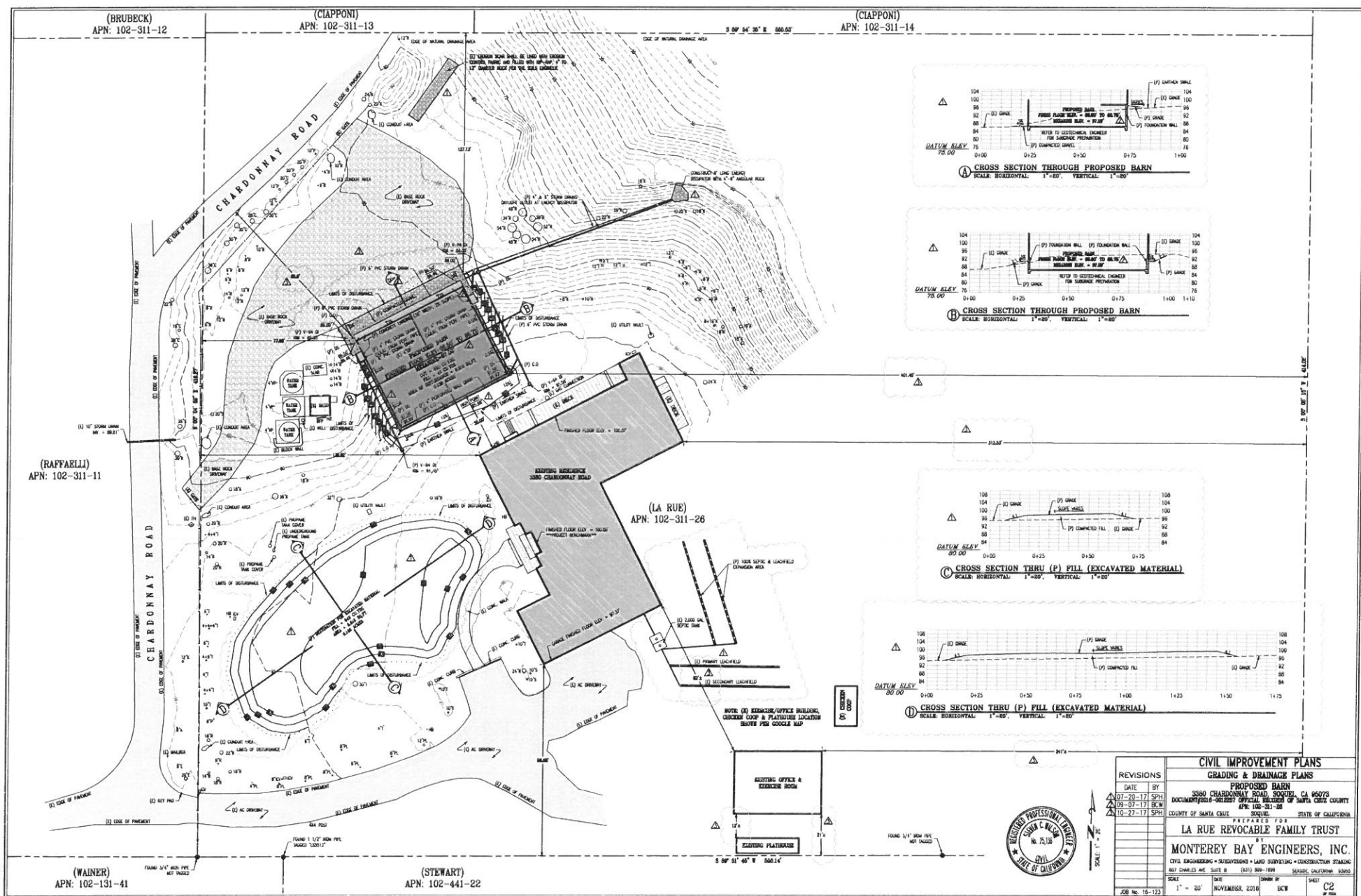
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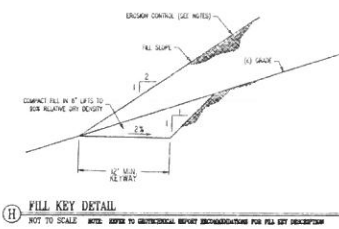
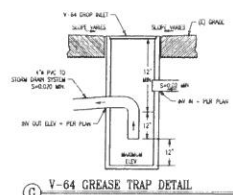
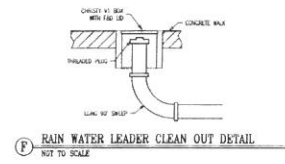
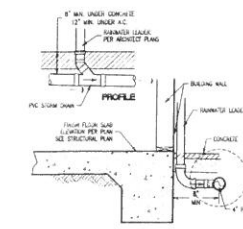
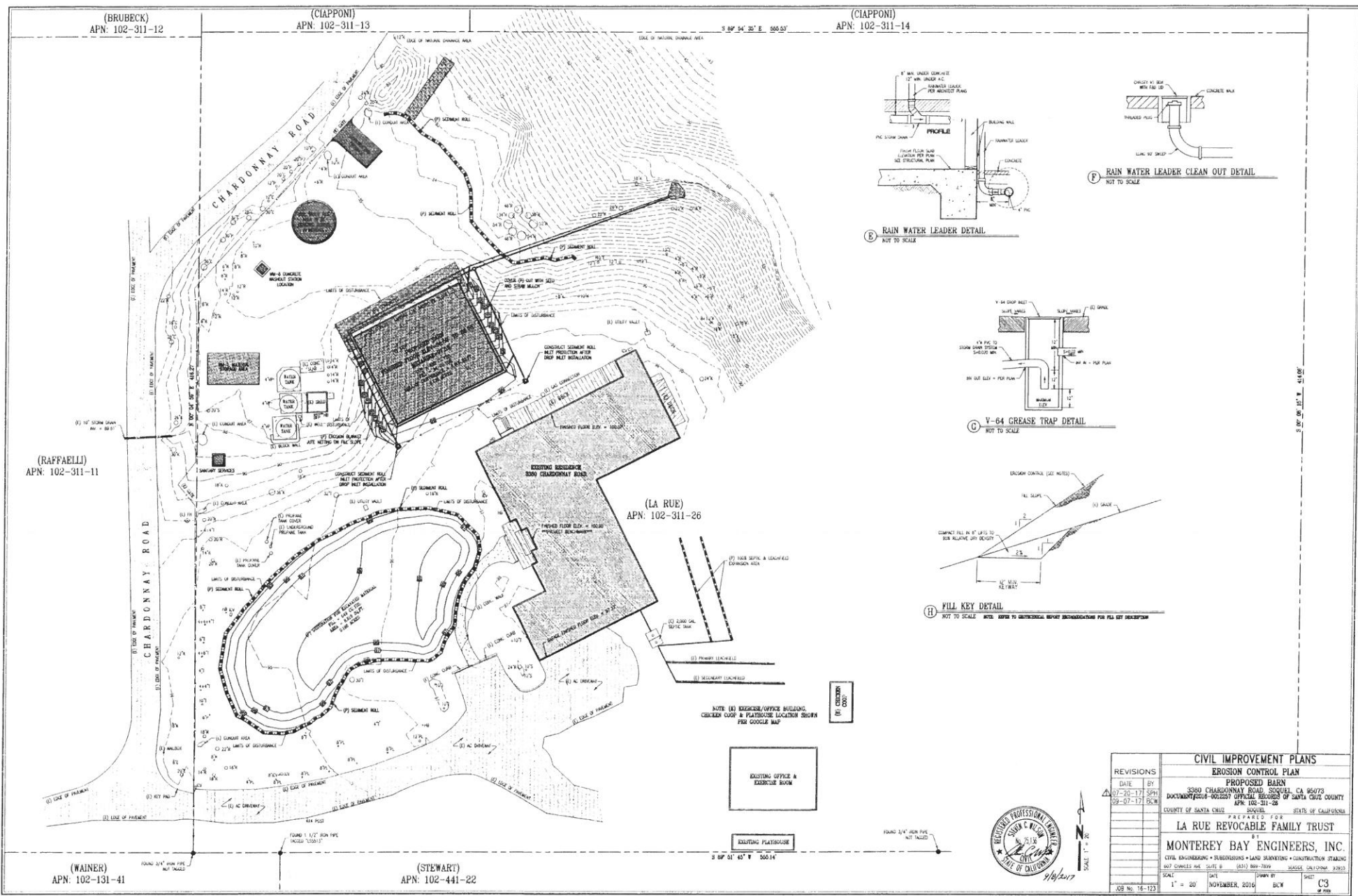


WEST ELEVATION

Detail Scale 1/4" = 1'-0"

3



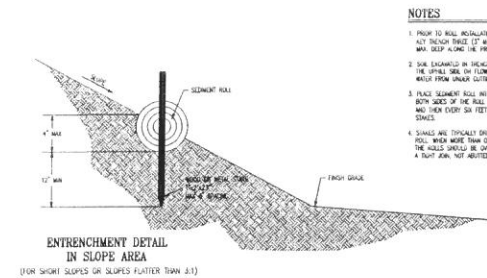
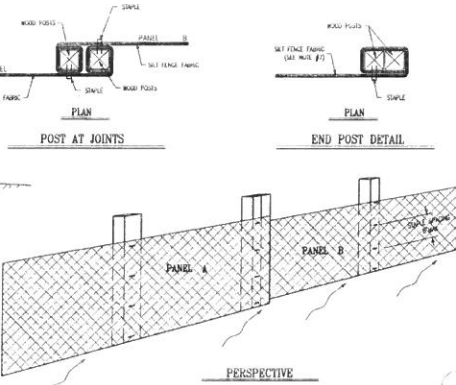


REVISIONS				CIVIL IMPROVEMENT PLANS			
DATE	BY	DATE	BY	EROSION CONTROL PLAN			
07-25-17	SPB	07-25-17	SPB	PROPOSED BARN			
09-27-17	SPB	09-27-17	SPB	3330 CHARDONNAY ROAD, SLOAN, CA 95073			
				DOCUMENT# 0012257 OFFICIAL RECORD OF SANTA CRUZ COUNTY			
				APN: 102-311-26			
				COUNTY OF SANTA CRUZ			
				CITY OF SLOAN			
				STATE OF CALIFORNIA			
				LA RUE REVOCABLE FAMILY TRUST			
				PREPARED FOR			
				MONTEREY BAY ENGINEERS, INC.			
				CIVIL ENGINEERING • SURVEYING • LAND MARKING • CONSTRUCTION STAKING			
				607 CHANLEY AVE. SUITE B (408) 889-7899 SAN JOSE, CALIFORNIA 95128			
SCALE	DATE	DRAWN BY	SHEET				
1" = 50'	NOVEMBER, 2016	BCW	C3				
JOB NO. 16-123							

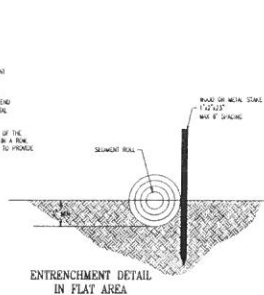
NOTES:

1. INSTALL TEMPORARY SILT FENCE BY FIRST LOCATING TYPICAL SPACING POSTS, PLACING AND SECURING FABRIC THEN BACKFILL WITH SOIL.
2. MINIMUM LENGTH NOT TO EXCEED 40 FEET.
3. THE DOWN STREAM END OF THE TEMPORARY SILT FENCE SHALL HAVE THE LAST 8 FEET UNROLLED UP SOILS.
4. SLOPE UNROLLING MAY VARY TO 10 FEET UNROLLING.
5. POSTS TO UNROLL AND FABRIC TO FILL UNROLLING EACH POST ON FALL DOWN SLOPE FABRIC WITH A STAPLE FOR EACH POST.
6. POSTS SHALL BE SPACED SUFFICIENTLY TO PREVENT POTENTIAL FLOW THROUGH OF FABRIC AT THE JOINTS. THE TOPS OF THE POSTS SHALL BE SECURED TO EACH OTHER WITH WIRE.
7. FOR EACH POST (SILT FENCE SHALL BE PLACED AROUND TWO POSTS ONE FALL DOWN AND SECURED WITH A STAPLE).
8. MAINTENANCE OF SLOPES SHALL BE MAINTAINED PER POST.
9. MAINTENANCE OF SLOPES SHALL BE MAINTAINED PER POST.
10. JOINT SECTIONS SHALL NOT BE PLACED AT JUMP LOCATIONS.

SECTION A-A
TEMPORARY SILT FENCE



ENTRENCHMENT DETAIL
IN SLOPE AREA
(ON SHOT SLOPES OR SLOPES FLATTER THAN 3:1)



ENTRENCHMENT DETAIL
IN FLAT AREA

NOTES:

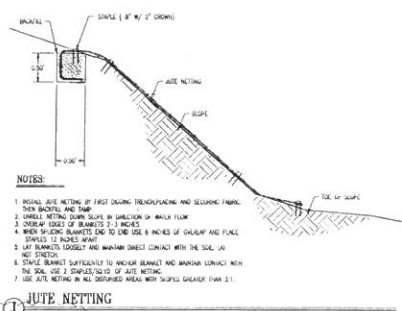
1. PRIOR TO ROLL INSTALLATION, CONSIDER A LONGER KEY TRENCH (MIN. 10' TO 15' INCHES) WITH SLOPE ALONG THE PROPOSED INSTALLATION ROUTE.
2. SLOPE EXHIBITED IN THIS DRAWING SHOULD BE PLACED ON THE UPSTREAM SIDE OF THE ROLL TO PREVENT FLOW FROM UNDER THE ROLL.
3. PLACE SEDIMENT ROLL INTO KEY TRENCH AND STAKE ON BOTH SIDES OF THE ROLL TO WITHIN 10 FEET OF EACH END AND THEN EVERY SIX FEET WITH 1/4" X 1/2" WOOD OR METAL STAPLES.
4. STAPLES ARE TYPICALLY SPACED IN AN ALTERNATING SLOPE OF THE ROLL WHEN MORE THAN ONE SEDIMENT ROLL IS PLACED IN A ROW. THE ROLL SHOULD BE OBSERVED FROM ABOVE MIN. 10' TO PROVIDE A TIGHT JUNT, NOT ADJUTED TO ONE ANOTHER.

SEDIMENT ROLL DETAILS
NOT TO SCALE

NOTES:

1. SEDIMENT ROLL INLET PROTECTION SHALL BE USED ON ALL DRAINAGE PILES ON SITE TOP SPACES AND SIDE SPACES.
2. SEDIMENT ROLL INLET PROTECTION SHALL BE USED ON ALL DRAINAGE PILES IN THE LOT OF DRAINAGE RIGHT OF WAY BARRIERS IN THE PROJECT DOWN STREAM PILES AND FIRST INLET OF STREAM.
3. PLACE TYPE 1 SUBGRADE OVER DRAINAGE PILE WITH FILLER FABRIC AND GRAVEL STAKES ARE UTILIZED.
4. INSPECT (AND DOCUMENT EACH INSPECTION) ALL INLET PROTECTION COVERED BEFORE AND AFTER RAINFALL EVENTS AND REPAIR THROUGHOUT THE FIRST RAINFALL DURING DRAINAGE PERIOD. INSPECT INLET PROTECTION DEVICES AT LEAST ONCE EVERY 24 HOURS.
5. PLACE ALL INLET PROTECTION DEVICES WITHIN 30 DAYS AFTER THE DATE OF SUBMITTAL, ON WHICH INLET PROTECTION IS NO LONGER REQUIRED.

SEDIMENT ROLL INLET PROTECTION TO BE INSTALLED PRE-PAVING
NOT TO SCALE



NOTES:

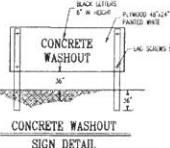
1. INSTALL JUTE NETTING BY FIRST DRAINING, TRAPPING AND SECURING FABRIC.
2. JUTE NETTING SHALL BE PLACED IN DIRECTION OF FLOW.
3. DRAINAGE SHALL BE MAINTAINED TO 12 INCHES.
4. WHEN SPACING BARRIERS END TO END USE 6 INCHES OF GRASS AND FILLER STAPLES TO HOLD FABRIC.
5. LAY BARRIERS TOGETHER AND MAINTAIN DIRECT CONTACT WITH THE SOIL. USE STAPLES TO SECURE FABRIC TO THE SOIL.
6. STAPLE BARRIERS SUFFICIENTLY TO MAINTAIN BARRIERS AND MAINTAIN CONTACT WITH THE SOIL. USE 2 STAPLES TO EACH END OF JUTE NETTING.
7. USE JUTE NETTING IN ALL DESIRED AREAS WITH SLOPES FLATTER THAN 3:1.

JUTE NETTING
NOT TO SCALE

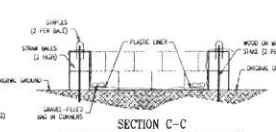
NOTES:

1. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
2. PLASTIC LINER ANCHORED WITH GRAVEL-FILLED BAGS IS OPTIONAL FOR BELOW GRADE CONCRETE WASHOUT INSTALLATION.
3. STAKE AND NET WASHOUT UNDER STAKE. ANY FLOW DRAINAGE SHALL BE MAINTAINED. GRAVEL-FILLED BAGS SHALL BE MAINTAINED TO 12 INCHES.
4. CONCRETE WASHOUT SHALL BE MAINTAINED TO 12 INCHES.
5. LAYOUT WASHOUT AREA AS LEAST 10 FEET FROM STORM DRAINAGE OPEN DRAINAGE. ON WATER BARRIERS DO NOT ALLOW RUNOFF FROM THIS AREA TO CONTINUE TO STORM DRAINAGE OR TO OTHER AREAS UNDER STAKE FOR CONCRETE WASHOUT.
6. WHEN CUT WASHOUT INTO THE TEMPORARY PIT WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN COUPLED OF PROPERLY.
7. WHEN WASHOUT COMPLETED, REMOVE THE FABRIC AND EXPOSE THE AGGREGATE. AGGREGATE SHOULD BE DRAINAGE THE WATER TO A DRAINAGE OR LEAK AREA. DO NOT WASH DRAINAGE FROM EXPOSED AGGREGATE CONCRETE INTO THE STREET OR STORM DRAINAGE AND REMOVE DRAINAGE TO AGGREGATE BASE. STAKE FILL OR DRAINAGE IN TRASH.

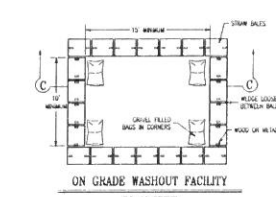
TYPICAL EARTHEN BERM



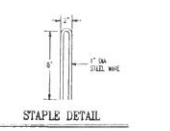
CONCRETE WASHOUT
SIGN DETAIL



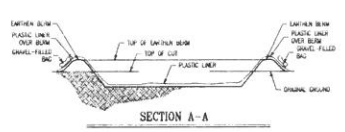
SECTION C-C



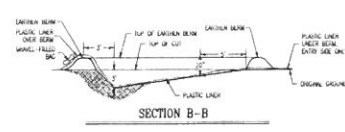
ON GRADE WASHOUT FACILITY
PLAN VIEW



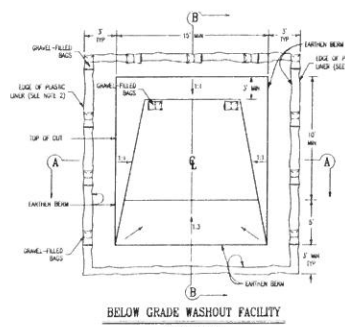
STAPLE DETAIL



SECTION A-A

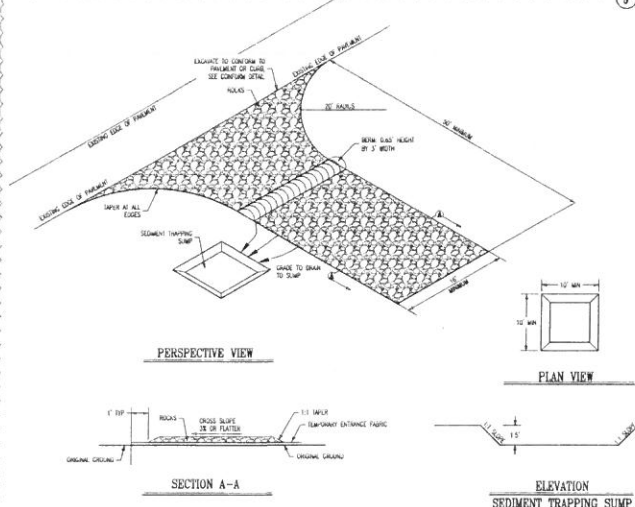


SECTION B-B



BELOW GRADE WASHOUT FACILITY
PLAN VIEW

TEMPORARY CONCRETE WASHOUT FACILITY
NOT TO SCALE



PERSPECTIVE VIEW

PLAN VIEW

SECTION A-A

ELEVATION

TEMPORARY CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



REVISIONS		CIVIL IMPROVEMENT PLANS BEST MANAGEMENT PRACTICE DETAILS			
DATE	BY	PROPOSED BARN 3380 CHARDONNAY ROAD, SUITE 100, CA 95070 DOCUMENT#2018-001227 OFFICIAL REGISTER OF SANTA CRUZ COUNTY COUNTY OF SANTA CRUZ			
07-20-17	SPH	APR 10-2017			
02-07-17	BCN	APR 10-2017			
		COUNTY OF SANTA CRUZ			
		LA RUE REVOCABLE FAMILY TRUST			
		BY MONTEREY BAY ENGINEERS, INC.			
		CIVIL ENGINEERING • SURVEYING • LAND SURVEYING • CONSTRUCTION STAKING 607 CHARLES AVE. SUITE B (831) 899-7899 SCARLE, CALIFORNIA 95060			
SCALE	DATE	DRAWN BY	SHEET		
AS SHOWN	NOVEMBER, 2016	BCN	C4		
JOB No. 16-123					