

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
701 Ocean Street, 4<sup>th</sup> Floor  
Santa Cruz, CA 95060  
(831) 454-2580

**NOTICE OF PENDING ACTION**

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

**APPLICATON NUMBER: 171278**

**APN: 045-041-28**

Proposal to construct a 2,490 square foot, two-story single-family dwelling with a 198 square foot covered porch and a 960 square foot non-habitable garage and workshops at the lower floor in the R-1-9 zone district. Requires a Minor Coastal Development Permit.

Property located on the southwest side of Barrett Drive, approximately 100 feet northwest of the corner of Barrett Drive and Robak Drive in La Selva Beach .

**OWNER: Julie Rivera**

**APPLICANT: Angela Mendenhall**

**SUPERVISORIAL DISTRICT: 2**

**PLANNER: Lezanne Jeffs, (831) 454-2480**

**EMAIL: [Lezanne.Jeffs@santacruzcounty.us](mailto:Lezanne.Jeffs@santacruzcounty.us)**

**Public comments must be received by 5:00 p.m. February 23, 2018.**

**A decision will be made on or shortly after February 26, 2018.**

**Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.**

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

**For more information, call the project planner identified above.**

## GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE 2018 EDITION OF THE UNIFORM BUILDING CODE (UBC), UNIFORM MECHANICAL CODE (UMC), UNIFORM PLUMBING CODE (UPC), NATIONAL ELECTRICAL CODE (NEC), CALIFORNIA BUILDING FIRE CODES (2018) AS AMENDED BY AUTHORITY HAVING JURISDICTION, MANUFACTURERS INSTALLATION DATA AND/OR INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS (ICBO) REPORTS AND LOCAL, OFFICIALS AND UTILITY COMPANIES FOR DETAILED REQUIREMENTS.
2. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AT SITE. THE DESIGNER IS TO BE PROMPTLY NOTIFIED IN THE CASE OF A DISCREPANCY. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE.
3. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER PRIOR TO PROCEEDING WITH ANY WORK SO INVOLVED.
4. ANY DETAIL THAT APPLIES TO A PARTICULAR SITUATION SHALL APPLY TO ALL OTHER LIKE SITUATION.
5. ALL WORK SHALL BE DONE TO THE HIGHEST STANDARD IN THE INDUSTRY IN A SAFE AND CLEAN MANNER.
6. PRODUCT SUBSTITUTIONS SHALL BE ALLOWED WITH THE EXPRESSED WRITTEN CONSENT OF THE DESIGNER. CONTRACTOR SHALL ALLOW SUFFICIENT TIME FOR REVIEW FOR EACH SUBSTITUTE SUBMITTED PRIOR TO WORKING TO WORKING ON THE AFFECTED AREA. ANY ADDITIONAL COST INCURRED BY THE SUBSTITUTIONS SHALL BE PAID BY THE CONTRACTOR INCLUDING THE COST OF ANY ADDITIONAL WORK REQUIRED TO ACCOMMODATE THE SUBSTITUTION.
7. SAMPLES AND/OR CATALOG CUTS OF ALL PRODUCTS AND FINISHES WILL BE REQUIRED FOR APPROVAL PRIOR TO INSTALLATION.
8. THE GENERAL CONTRACTOR SHALL PROVIDE CLEANUP OF SITE AND BUILDING, DAILY IF NECESSARY TO MAINTAIN A NEAT AND ORDERLY JOB.
9. THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH A LIST OF FEATURES, MATERIALS, COMPONENTS AND MECHANICAL DEVICES INSTALLED IN THE BUILDING. INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY AND MAINTENANCE INFORMATION ON THOSE ITEMS REQUIRING ROUTINE SERVICE FOR EFFICIENT OPERATION.

## ABBREVIATIONS

AB	ANCHOR BOLT	(N)	NEW
AC	ARCHITECTURAL	N	NORTH
ADWS	ARCHITECTURAL DRAWINGS	NC	NOT IN CONTRACT
BLK	BLOCKING	NTS	NOT TO SCALE
BM	BENCHMARK	O	OVER
BOFF	BOTTOM	OC	ON CENTER
CAB	CABINET	OD	OUTSIDE DIAMETER
CL	CLEAR	OV	OVERHANG
CLJ	Ceiling JOIST	PL	PROPERTY LINE
COL	COLUMN	PT	PLATE
CONT	CONTINUOUS	PL	PRESSURE TREATED
CW	COLD WATER	PLYWD	PLYWOOD
DBLE	DOUBLE	PLT	PLATE HEIGHT
DF	DOUBLE FLOOR	PR	PURPOSE POLE
DA	DIAMETER	P	POWDER
DM	DIMENSION	RJ	ROOF JOIST
DN	DOWN	RR	ROUGH OPENING
DRY	DRYER	RO	ROUGH OPENING
DW	DOWNPOUT	RAD	RADIUS
DWB	DOWNBLOWER	REF	REFRIGERATOR
(E)	EXISTING	REV	REVISION
EA	EACH	RFT	RAFTER
EJ	EXPANSION JOINTS	RW	REDWOOD
EQ	EQUAL	RDW	REDWOOD
EXT	EXTERIOR	RS	REQUIRED
FAU	FORCED AIR UNIT	SH	SINGLE HUNG
FD	FLOOR DRAIN	BA	BATH
FF	FISHED FLOOR	SC	SOLID CORE
FJ	FIRE JOINT	SM	SHEET METAL
FJ	FLOOR JOIST	SHWR	SHOWER
FJC	FACE OF CONCRETE	BHTG	BATHING
FOS	FACE OF STUD	SHT	SHEET
FDN	FOUNDATION	BL	BLIND
FIN	FINISH	SF	SQUARE FEET
FLR	FLOOR	SG	SQUARE
FT	FOOT	STD	STANDARD
FTG	FOOTING	TEMP	TEMPERED
GA	GALVANIZED	TR	TRUSS
GALV	GALVANIZED	TAB	TONGUE & GROOVE
GFI	GROUND FAULT INTERRUPTER	T/C	TRIM COMPACTOR
GPR	GYPSON BOARD	TEN	TYPICAL EDGE NAILING
H	HOT WATER	TOW	TOP OF WALL
HWD	HARDWOOD	TOS	TOP OF SLAB
HWT	HOT WATER	THK	THICK
HB	HOLE BORE	UBC	UNIFORM BUILDING CODE
H-C	HOLLOW CORE	UN	UNLESS NOTED
INEL	INSULATION	V/F	VERIFY IN FIELD
INT	INTERIOR	VT	VERTICAL
JST	JOIST	W	WITH
KD	KILN DRIED	WO	WITHOUT
L	LINE	WPM	WATER PROOF MEMBRANE
LAM	LAMINATED	WS	WEATHER STRIPPING
M	MACHINE BOLT	WWM	WELDED WIRE MESH
M&M	MACHINERY	WASH	WASHER
MCH	MECHANICAL	WO	WOOD
MN	MINIMUM	WON	WINDOWN
MFR	MANUFACTURER	WT	WEIGHT
MSC	MISCELLANEOUS	W.M.	WATER METER

## FIRE DEPT. NOTES

- THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2013 EDITION) AND APTOSLA SELVA FIRE DISTRICT AMENDMENTS.
- FIRE HYDRANT SHALL BE PAINTED IN ACCORDANCE WITH THE STATE OF CALIFORNIA HEALTH AND SAFETY CODE. SEE AUTHORITY HAVING JURISDICTION.
- A MINIMUM FIRE FLOW OF 1,000 GPM IS REQUIRED FROM 1 HYDRANT LOCATED WITHIN 400 FEET.
- AVAILABLE FIRE FLOW:  
HYDRANT #50 (TYPE 4.5 x 2.5) LOCATED AT 3788 VIENNA (550) 1000 GPM.  
HYDRANT #63 (TYPE WHARF 2 1/2) LOCATED AT 184 RIVERA (50) 530 GPM.
- BUILDING NUMBERS SHALL BE PROVIDED. NUMBERS SHALL BE A MINIMUM OF 4" IN HEIGHT ON A CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET. ADDITIONAL NUMBERS SHALL BE INSTALLED ON A DIRECTIONAL SIGN AT THE PROPERTY DRIVEWAY AND STREET.
- INSTALL AN APPROVED SPARK ARRESTER ON CHIMNEY WITH 1/2" WIRE MESH.
- ROOF COVERING SHALL BE NO LESS THAN CLASS C RATED ROOF.
- A 30 FOOT CLEARANCE WILL BE MAINTAINED WITH NON-COMBUSTIBLE VEGETATION AROUND ALL STRUCTURES OR TO THE PROPERTY LINE. WHEREVER IS A SHORTER DISTANCE, SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVERS, PROVIDED THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM NATIVE GROWTH TO ANY STRUCTURE ARE EXEMPT.
- A MINIMUM OF 48 HOUR NOTICE TO THE FIRE DEPARTMENT IS REQUIRED PRIOR TO ANY INSPECTION AND/OR TEST.
- THE JOB COPIES OF THE BUILDING AND FIRE SYSTEMS PLANS AND PERMITS MUST BE ON-SITE DURING INSPECTIONS.

AS A CONDITION OF SUBMITTAL OF THESE PLANS, THE SUBMITTER, DESIGNER, AND INSTALLER CERTIFY THAT THESE PLANS AND DETAILS COMPLY WITH APPLICABLE SPECIFICATIONS, STANDARDS, CODES, AND ORDINANCES, AND FURTHER AGREE TO CORRECT ANY DEFICIENCIES NOTED BY THIS REVIEW, SUBSEQUENT REVIEW, INSPECTION OR OTHER SOURCE, AND, TO HOLD HARMLESS AND WITHOUT PREJUDICE, THE REVIEWING AGENCY.

# Mendenhall Residence

Jared & Angela Mendenhall (831) 818-4152  
129 Barrett Dr,  
La Selva Beach, CA 95076

APN 045-041-28

## PROJECT DATA

APN 045-041-28  
Zone R-1-6  
Lot Size 6,984 SF  
1st Floor (Garage & Workshops) 820 SF  
2nd Floor 1922 SF  
3rd Floor 592 SF  
Total Heated SF 1922 + 592 = 2,514 SF

Building Footprint = 2270 SF  
Lot Coverage 2270 / 6984 = 32.5%

Occupancy R3/U

Building Type V-Sprinklered  
Floor Area Calculation

1st Floor 735  
2nd Floor 2108  
3rd Floor 580  
= 3423 SF

LOT SIZE 6984 SF  
50% = 3492 (allowed)

## PROJECT DESCRIPTION

Construct a New Single Family Residence to contain 2514 SF (heated) and 820 SF of Garage/Workshop Area. (unheated). 4 Onsite parking spaces provided.



VICINITY MAP

## PROJECT TEAM

**DESIGNER**  
CHRIS L. STEVENS  
180 PINE FOREST DR  
APTOS, CA 95003  
831-662-8882

**STRUCTURAL ENGINEER**  
RON BELKNAP  
24810 ROAD 207  
COARSEGOLD, CA 93614  
(800) 844-8882

**CIVIL ENGINEER**  
BOWMAN & WILLIAMS  
1011 CEDAR ST  
SANTA CRUZ, CA 95060  
831-426-3560

**SEPTIC CONSULTANT**  
HOGAN LAND SERVICES  
802 ESTATES AVE  
APTOS, CA 95003  
831-425-0224

**GEOTECHNICAL**  
ROCK SOLID ENGINEERING  
1100 MAIN STREET SUITE A  
WATSONVILLE, CA 95076  
831-724-5888

**TITLE 24 CONSULTANT**  
TDR ENERGY  
41 D HANGER WAY  
WATSONVILLE, CA 95076  
831-728-7717

## SHEET INDEX

SHT	DESCRIPTION
1	TITLE SHEET / SITE PLAN
C1	DEMOLITION PLAN
C2	GRADING PLAN
C3	DRAINAGE PLAN
C4	SITE SECTIONS
C5	DETAILS
S-1	SEPTIC SITE PLAN
S-2	SEPTIC DESIGN DETAILS
2	GARAGE LEVEL PLAN
3	MAIN LEVEL PLAN
4	UPPER FLOOR PLAN
5	FOUNDATION PLAN
6	GARAGE & UPPER FRAMING
7	MAIN LEVEL FRAMING
8	ROOF FRAMING
9	BUILDING SECTIONS
10	BUILDING SECTIONS
S1	STRUCTURAL NOTES & DETAILS
S2	STRUCTURAL NOTES & DETAILS
11	ELEVATIONS
12	ELEVATIONS
13	CABINET DETAILS
14	GARAGE & UPPER ELECTRICAL
15	MAIN LEVEL ELECTRICAL
T24	TITLE 24 CALCS
T24	TITLE 24 CALCS
GB1	GREEN BUILDING DESIGN

Site Plan

SCALE 1" = 10'

Revisions  
12-15-17

**Mendenhall Residence**  
APN 045-041-28  
129 Barrett Dr  
Watsonville, CA 95076

APN 045-041-28

Title Sheet  
& Site Plan

2-2-17

Chris L. Stevens  
CA Lic. No. 33327  
Ph 831 662 9402  
180 Pine Forest Dr  
Aptos, CA 95003



2016.05



ELEVATION REFERENCE IS THE EASTERN EDGE OF THE GARAGE SLAB AS SHOWN, AT THE CENTER OF THE OPENING, ASSUMED AS ELEVATION = 100.0' FOR THIS MAP.

TR. 97  
29-M-25

PAUL J. QUINBY  
JANIE L. QUINBY  
2005-0019566  
A.P.N. 045-041-12

JULIE A. RIVERA  
TRUSTEE  
2008-0023120  
PARCEL ONE  
A.P.N. 045-041-29  
NO. 129 BARRETT DRIVE

SELVA HOMESITES

JULIE A. RIVERA  
TRUSTEE  
2008-0023120  
PARCEL TWO  
A.P.N. 045-041-28  
8998 S.F.

STORAGE CONTAINER

- LEGEND
- Indicates survey monument found as noted hereon.
  - Indicates survey reference point set as noted.
  - Indicates nothing found or set.
  - Indicates spot elevation of existing surface.
  - ( ) Indicates record data based on deeds or maps listed.
  - Indicates top or toe of existing ground, as noted.
  - Indicates existing wood fence.

BASIS OF BEARINGS: NORTH 1° 14' EAST  
ESTABLISHED BETWEEN MONUMENTS FOUND (1/2" IRON PIPES TAGGED "L.S. 4134") ON THE CENTERLINE OF BARRETT DRIVE AND AS S&B MONUMENTS ARE SHOWN ON THE RECORD OF SURVEY FILED IN VOLUME 89 OF MAPS AT PAGE 36 OF SANTA CRUZ COUNTY RECORDS. THE BEARING NORTH 1° 14' EAST IS FROM THE MAP FOR "LA SELVA HOMESITES TR. NO. 97" RECORDED ON MAY 13, 1949 IN VOLUME 29 OF MAPS AT PAGE 28 OF SANTA CRUZ COUNTY RECORDS, AND HAS BEEN USED TO BE CONSISTENT WITH THE DEED DESCRIPTIONS FOR THE NINE PARCELS (PLUS BARRETT DR.) THAT NOW COMPOSE THE ORIGINAL LOT 6 OF 28-M-25.



NICHOLAS ABREU  
TRUSTEE  
2011-0010886  
PARCEL ONE  
A.P.N. 045-041-24

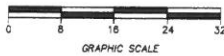
LA LOT 6

BARRETT DRIVE

89-M-36

NICHOLAS ABREU  
TRUSTEE  
2011-0010886  
PARCEL TWO  
A.P.N. 045-041-25

**SURVEYOR'S MAP**  
SHOWING BOUNDARY & TOPOGRAPHIC DATA ON  
PARCEL TWO OF THE LAND DESCRIBED IN THE DEED TO  
JULIE A. RIVERA, TRUSTEE  
BY DOCUMENT 2008-0023120 OF OFFICIAL RECORDS  
WITHIN THE SAN ANDREAS RANCHO  
SECTION 27, TOWNSHIP 11S, RANGE 1E, M.D.B.&M. PROJ.  
SANTA CRUZ COUNTY, CALIFORNIA  
SCALE: 1"=8'  
BY: MICHAEL F. BEAUTZ, C.E.  
A.P.N. 045-041-28  
SHEET 1 OF 1





# GENERAL NOTES

1. THE CONTRACTOR SHALL MAKE A DETAILED AND THOROUGH STUDY OF THESE PLANS IN THEIR ENTIRETY PRIOR TO ANY WORK ON THE PROJECT. HE IS TO VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND IS TO COORDINATE THESE DRAWINGS WITH ALL OTHER TRADE DISCIPLINES FOR THE COMPLETED WORK. HE IS ALSO TO UNDERSTAND THAT ANY FEATURE OF CONSTRUCTION NOT FULLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE AS SHOWN FOR SIMILAR CONDITIONS.
2. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCY OCCURRING ON THE DRAWINGS OR FOUND IN HIS COORDINATION WORK. NO CHANGES IN APPROVED PLANS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE PROJECT ENGINEER.
3. ANY REQUEST FOR ALTERATIONS OR SUBSTITUTIONS MUST BE PRESENTED DIRECTLY TO THE PROJECT ENGINEER, ACCOMPANIED BY A DETAILED SPECIFICATION FOR REVIEW. BEFORE ANY APPROVAL WILL BE GIVEN AND BEFORE PROCEEDING WITH THE WORK, ABSOLUTELY NO ALTERATIONS OF THESE DOCUMENTS OF ANY KIND WILL BE APPROVED ON ANY SHOP DRAWINGS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS (CALTRANS) LATEST APPLICABLE EDITION, THE LATEST EDITION OF THE CITY OF SANTA CRUZ DESIGN MANUAL, THE CALIFORNIA BUILDING CODE AND ALL OTHER FEDERAL AND STATE LAWS.
5. NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE CITY OF SANTA CRUZ, DEPARTMENT OF PUBLIC WORKS AND THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
6. ALL PERMITS, CITY, COUNTY AND STATE, SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
7. THE CONTRACTOR SHALL NOTIFY THE BUILDING DEPARTMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
8. THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER AT LEAST 4 WORKING DAYS PRIOR TO THE START OF GRADING CONSTRUCTION.
9. ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE.
10. THE BUILDING OFFICIAL OR HIS AUTHORIZED REPRESENTATIVE SHALL HAVE THE AUTHORITY TO STOP WORK IF THE WORK IS BEING DONE IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS.
11. ALL CONSTRUCTION STAKING SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A LAND SURVEYOR OR CIVIL ENGINEER QUALIFIED TO PRACTICE CONSTRUCTION SURVEYING IN THE STATE OF CALIFORNIA.
12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION, AND TO NOTIFY THE ENGINEER IN THE EVENT OF A CONFLICT.
13. THE CONTRACTOR SHALL SECURE ALL REQUIRED CONSTRUCTION PERMITS FROM THE BUILDING DEPARTMENT PRIOR TO START OF WORK.
14. THE CONTRACTOR SHALL NOTIFY THE BUILDING INSPECTOR FOR APPROVAL PRIOR TO POURING ANY CONCRETE.
15. THE CONTRACTOR SHALL DETERMINE THE REQUIRED INSPECTIONS AND THEIR TIMING.
16. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL REQUIRED INSPECTIONS.

## EARTHWORK AND GRADING NOTES

1. WORK SHALL CONSIST OF ALL CLEARING, GRUBBING, STRIPPING, PREPARATION OF LAND TO BE FILLED, EXCAVATION, SPREADING, CONSTRUCTION AND COMPLETION OF FILL AND ALL SUBSISTANT WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE GRADING, GRADES, AND SLOPES AS SHOWN ON THE APPROVED PLANS.
2. ALL GRADING SHALL CONFORM TO SECTION 19 OF THE CALTRANS STANDARD SPECIFICATIONS, LATEST APPLICABLE EDITION, AND THE GEOTECHNICAL INVESTIGATION, PROPOSED SINGLE FAMILY RESIDENCE, BARRETT DRIVE, LA SELVA BEACH, CALIFORNIA, PROJECT NO. 18024, DATED AUGUST 31, 2016, PREPARED BY ROCK ISLAND ENGINEERING, INC. 110 MARK STREET, SUITE A, WATSONVILLE, CA 95076, PHONE (831) 724-5868.
3. THE CONTRACTOR SHALL NOTIFY THE PROJECT GEOTECHNICAL ENGINEER AT LEAST 4 WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY GRADING OPERATIONS.
4. ALL EXISTING TRASH, DEBRIS, ROOTS, TREE REMAINS AND OTHER RUBBISH SHALL BE REMOVED FROM THE SITE SO AS TO LEAVE THE AREAS THAT HAVE BEEN DISTURBED WITH A NEAT AND FINISHED APPEARANCE FREE FROM UNDESIRABLE DEBRIS. NO BURNING SHALL BE PERMITTED.
5. AFTER THE EARTHWORK OPERATIONS HAVE BEEN COMPLETED AND THE GEOTECHNICAL ENGINEER HAS FINISHED HIS OBSERVATIONS OF THE WORK, NO FURTHER EARTHWORK OPERATIONS SHALL BE PERFORMED EXCEPT WITH THE APPROVAL OF AND UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEER.

## ESTIMATED EARTHWORK VOLUMES RESULTING FROM SITE GRADING

	OUT (CY)	FILL (CY)	NET (CY)
SITE	118	20	98 OUT

EARTHWORK VOLUMES SHOWN ARE FOR PERMITTING PURPOSES.

EARTHWORK VOLUMES SHOWN ON THESE PLANS ARE TAKEN AS THE DIFFERENCE BETWEEN EXISTING GRADES AS SHOWN ON THE TOPOGRAPHIC SURVEY AND THE FINISH GRADES SHOWN HEREON, AND DO NOT INCLUDE FOUNDATION SPILLS, EXCAVATION, BENEATH PROPOSED STRUCTURE OR REMOVAL OF EXISTING SITE PAVEMENT.

ACTUAL EARTHWORK VOLUMES MAY VARY. CONTRACTOR SHALL VERIFY THE EARTHWORK VOLUMES TO HIS SATISFACTION PRIOR TO CONSTRUCTION.

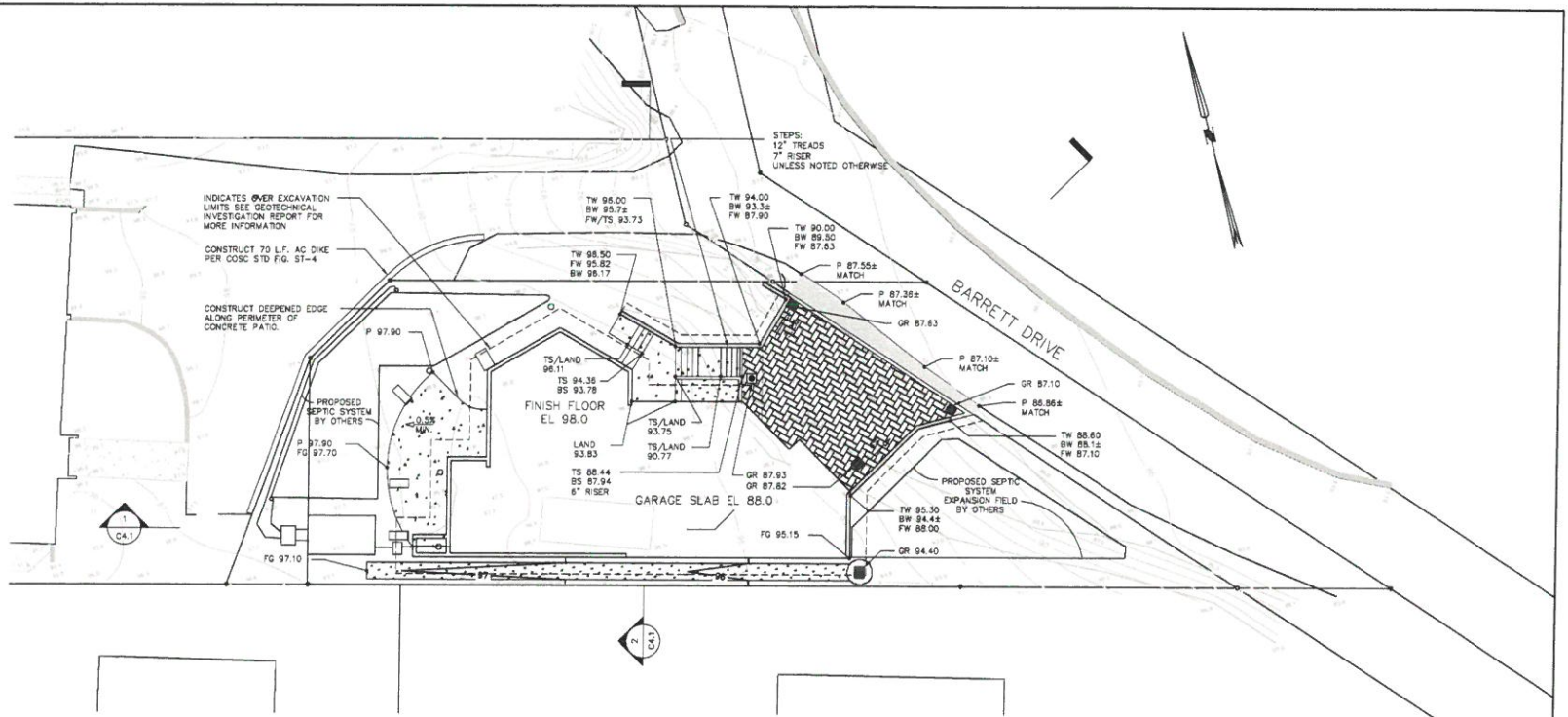
ALL EXCESS EXCAVATION (OUT) SHALL BE DIRT-HAULED FROM SITE AND DISPOSED AT AN APPROPRIATE LEGAL DISPOSAL SITE.

## DISCLAIMER

THE DATA SET FORTH ON THIS SHEET IS THE PROPERTY OF BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS. IT IS AN INSTRUMENT OF SERVICE AND MAY NOT BE REPRODUCED, ALTERED, OR USED WITHOUT THE CONSENT OF THE ENGINEER. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE ENGINEER. UNAUTHORIZED USE IS PROHIBITED.

## UNDERGROUND UTILITIES

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO STARTING ANY WORK. CALL UNDERGROUND SERVICE ALERT (USA) NORTH (811) AT 1-800-227-2600 AT LEAST 48 HOURS IN ADVANCE OF EXCAVATION TO MARK THE LOCATION OF UTILITIES ON THE SITE. VERIFY DEPTH BY APPROVED "POTHOLE" METHODS PRIOR TO EXCAVATION.



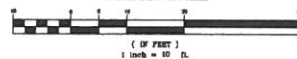
## LEGEND

- ASPHALT CONCRETE PAVEMENT PER DETAIL 7/05.1
- PERFORATED PAVEMENT PER DETAIL 1/05.1
- IMPERVIOUS FLATSLATE PER DETAIL 6/05.1
- VEGETATED LINED SHALE PER DETAIL 3/05.1
- PERFORATED SURFACE
- FLUSH CURB
- WALLS
- INDICATES SLOPE DIRECTION

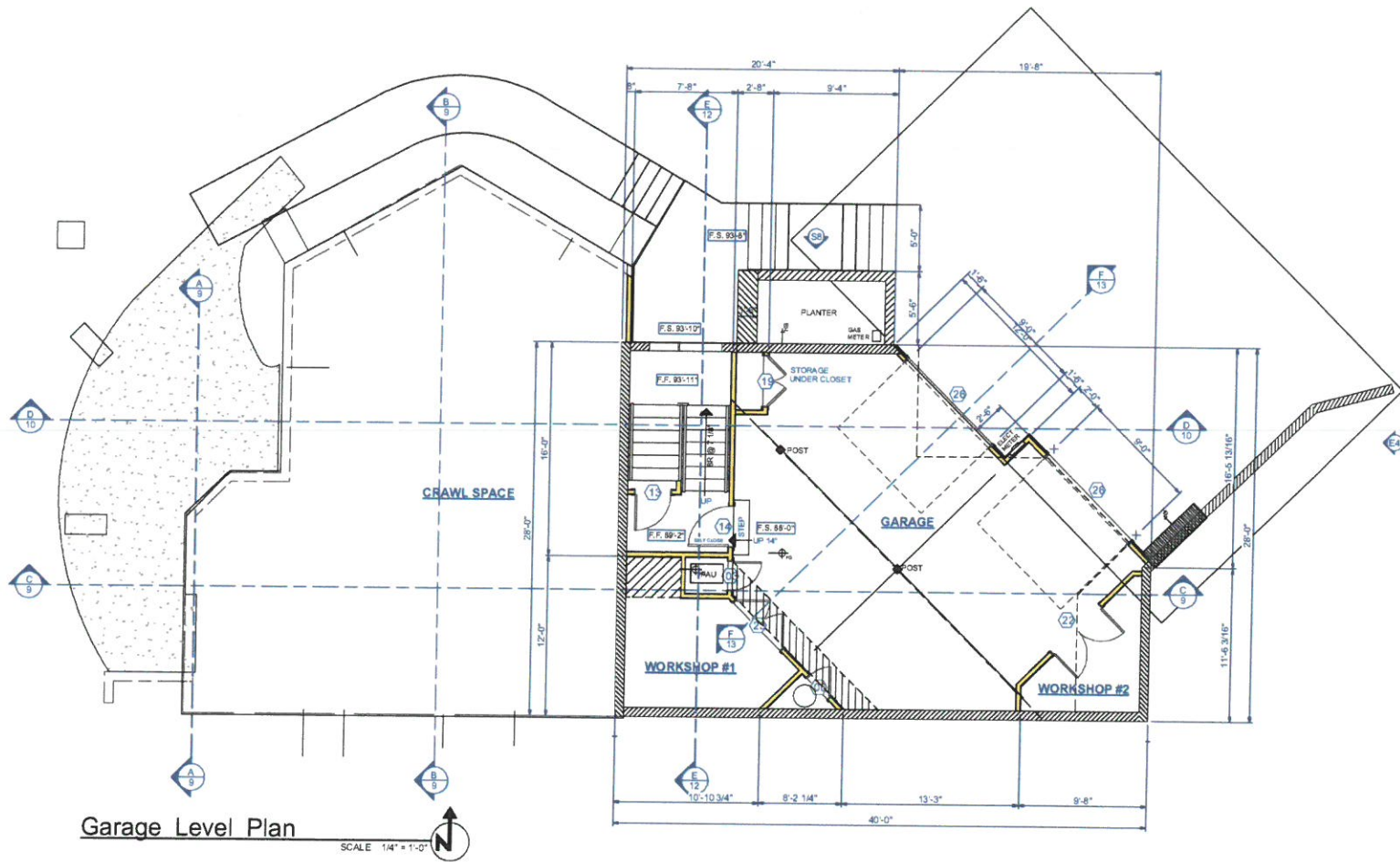
## ABBREVIATIONS

- |          |                    |        |                             |     |                 |
|----------|--------------------|--------|-----------------------------|-----|-----------------|
| AC       | ASPHALT CONCRETE   | HP     | HIGH POINT                  | STA | STATION         |
| AP       | ANGLE POINT        | INV    | INVERT                      | TC  | TOP OF CURB     |
| BC       | BACK CURVE         | JT     | JUNCTION                    | TS  | TOP OF TRAVEL   |
| BW       | BACK OF WALL       | LF     | LINEAR FEET                 | TP  | TOP OF PAVEMENT |
| BS       | BOTTOM OF STEP     | LY     | LEFT                        | TS  | TOP OF STAIR    |
| CB       | CATCH BASIN        | MAX    | MAXIMUM                     | TW  | TOP OF WALL     |
| CL       | CENTERLINE         | MIN    | MINIMUM                     | TYP | TYPICAL         |
| C.O.S.C. | CITY OF SANTA CRUZ | (P)    | PROPOSED                    |     |                 |
| CL       | CENTERLINE         | F.U.E. | PUBLIC UTILITY EASEMENT     |     |                 |
| CS       | CORNER             | P      | PAVEMENT                    |     |                 |
| CS       | CORNER             | R      | RADIUS                      |     |                 |
| EL       | ELEVATION          | RM     | RM ELEVATION                |     |                 |
| EX       | EXISTING           | RT     | RIGHT                       |     |                 |
| FD       | FIRE DEPARTMENT    | S      | SLOPE                       |     |                 |
| FG       | FINISHED GRADE     | SCD    | SANTA CRUZ WATER DEPARTMENT |     |                 |
| FL       | FLOWLINE           | SD     | STORM DRAIN                 |     |                 |
| FT       | FEET               | SSCO   | STORM DRAIN CLEANOUT        |     |                 |
| FW       | FACE OF WALL       | SSCO   | SANITARY SEWER CLEANOUT     |     |                 |
| GR       | GRADE              |        |                             |     |                 |

## GRAPHIC SCALE



APN 045-041-29			
REVISIONS			
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS 1011 CEDAR STREET SANTA CRUZ, CA 95060 (831) 426-0860			
GRADING PLAN		JULIE RIVERA 128 BARRETT DRIVE STATE # APRIL, CALIFORNIA	
SCALE 1" = 10'	DRAWN CMM	JOB NO. 28840	SHEET
DATE SEPTEMBER 18, 2017	CHECKED JRM	INDEX SAN ADREAS	C2.1
DESIGN CMM	DWG NAME C 2HT	FILE NO. 28840	OF 5



Revisions
12-15-17

Project Title  
**Mendenhall Residence**  
 Address  
 129 Barrett Dr  
 Watsonville, CA 95076

Arch. **CLB**

Sheet Title  
**Garage Level Plan**

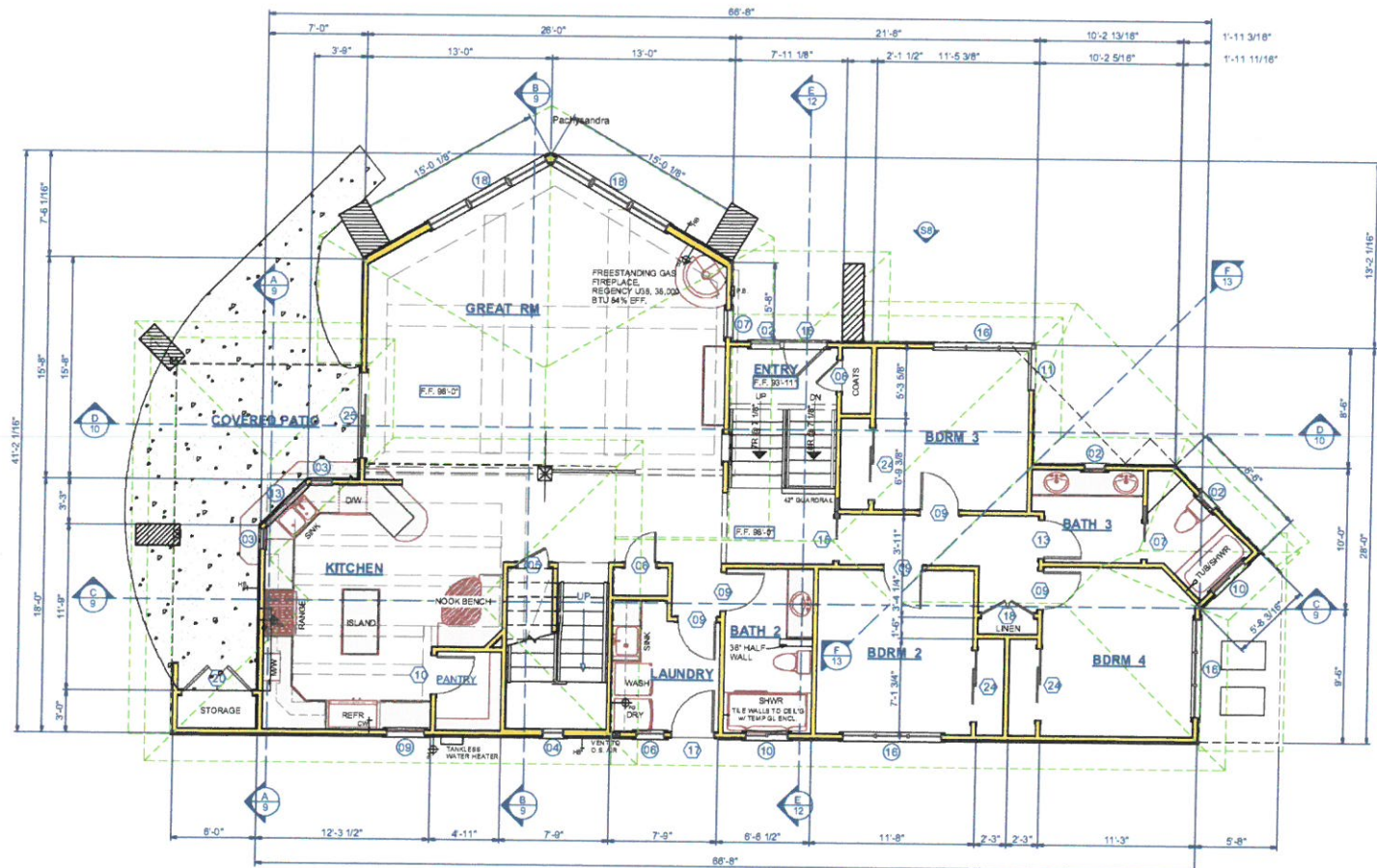
Date **2-2-17**

Drawn By  
**Chris L Stevens**  
 CA Lic. No. 533737  
 800 Hwy 101, Suite 100  
 Watsonville, CA 95076  
 PH (831) 662-9662  
**DESIGNER - BUILDER**

Date **2016.05**

Sheet  
**2**





Main Level Plan

LIVING AREA  
1922 SQ. FT.

SCALE 1/4" = 1'-0"

Revisions	
12-15-17	

Project Title  
**Mendenhall Residence**  
Address  
129 Barrett Dr  
Watsonville, CA 95076

Arch.  
C.L.B.

Sheet Title  
**Main Level Plan**

Date  
2-2-17

Prepared By  
**Chris L Stevens**  
CA Lic. No. 33337  
9600 Arroyo Dr  
San Jose, CA 95131  
DESIGNER - BUILDER

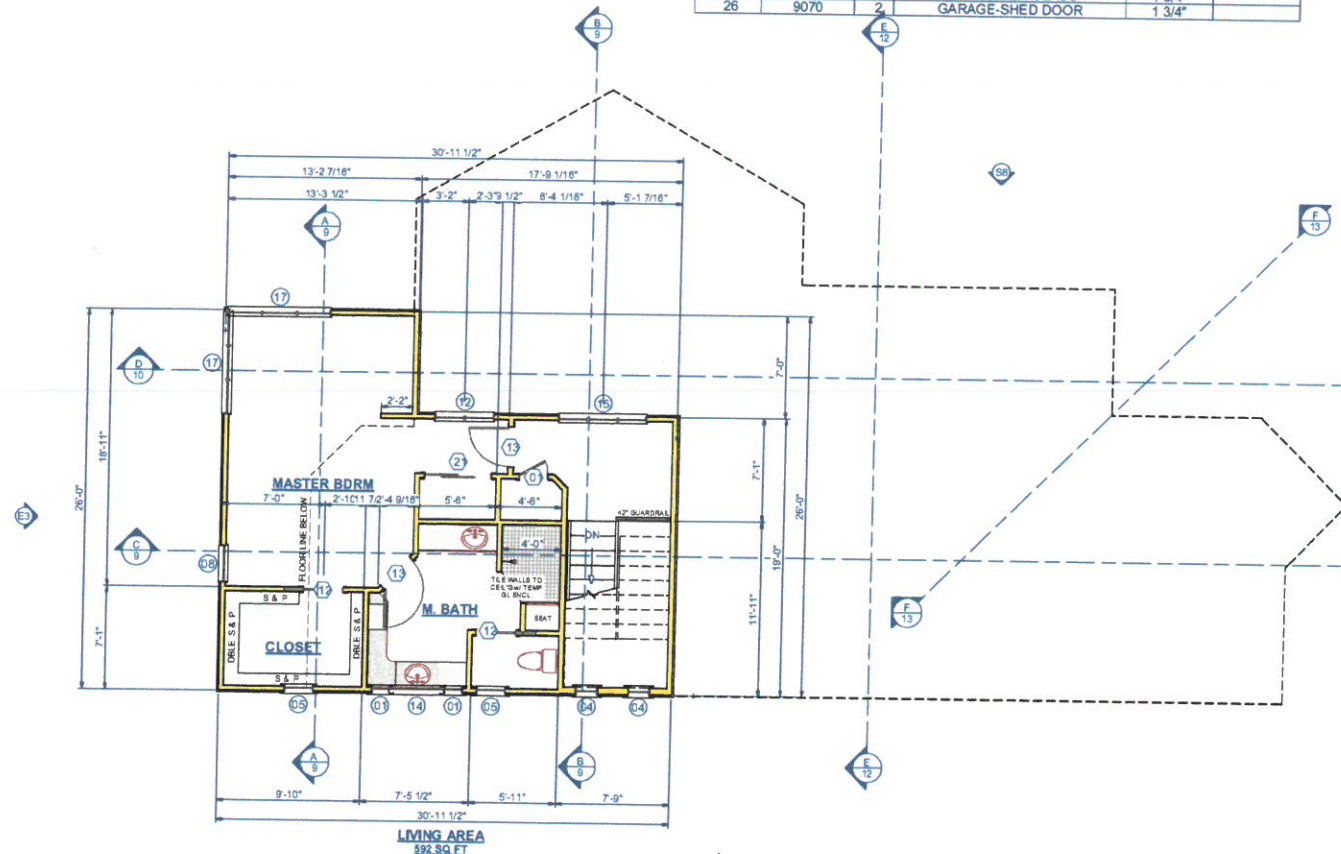


Date  
2016.05



WINDOW SCHEDULE							
SYM	SIZE	TYPE	DIMENSIONS	AMT	MFGR	EGRESS	COMMENTS
01	1336SC	SNGL CASEMENT-HR	15"X42"SC	2			
02	1630FX	FIXED GLASS	18"X36"FX	2			
03	1636SC	SNGL CASEMENT-HR	18"X42"SC	2			
04	1650FX	FIXED GLASS	18"X60"FX	3			
05	2030DH	DOUBLE HUNG	24"X36"DH	2			
06	2030SH	SINGLE HUNG	24"X36"SH	1			
07	2040FX	FIXED GLASS	24"X48"FX	1			
08	2640DH	DOUBLE HUNG	30"X48"DH	1			
09	2830DH	DOUBLE HUNG	32"X36"DH	1			
10	3016LS	LEFT SLIDING	36"X18"LS	2			
11	3040FX	FIXED GLASS	36"X48"FX	1			
12	4020DC	DBL CASEMENT-L/L/R/RH	48"X24"DC	1			
13	4036DC	DBL CASEMENT-L/L/R/RH	48"X42"DC	1			
14	6316FX	FIXED GLASS	75"X18"FX	1			
15	6020TC	TRIPLE CASEMNT-L/L/R/RH	72"X24"TC	1			
16	7040TC	DBL VENT	84"X48"TC	3			
17	7040TC	TRIPLE CASEMNT-L/L/R/RH	84"X48"TC	2			
18	9480		112"X96"	2			

DOOR SCHEDULE				
NUMBER	SIZE	QTY	DESCRIPTION	THICKNESS COMMENTS
01	11168 L IN	1	HINGED DOOR P04	1 3/8"
02	2068 R EX	1	EXT. HINGED-GLASS	1 3/4"
03	2168 L IN	1	HINGED DOOR P04	1 3/8"
05	2268 L IN	1	HINGED DOOR P04	1 3/8"
06	2268 R IN	3	HINGED DOOR P04	1 3/8"
07	2668 R	1	POCKET DOOR P04	1 3/8"
09	2868 L IN	5	HINGED DOOR P04	1 3/8"
10	2868 L IN	1	HINGED GLASS	1 3/8"
12	2868 R	2	POCKET DOOR P04	1 3/8"
13	2868 R IN	4	HINGED DOOR P04	1 3/8"
14	3068 L EX	1	EXT. HINGED DOOR P04	1 3/4"
15	3068 L	1	POCKET DOOR P04	1 3/8"
16	3068 L EX	1	EXT. HINGED GLASS	1 3/4"
17	3068 R EX	1	EXT. HINGED GLASS	1 3/4"
18	3868 L/R IN	1	DOUBLE HINGED DOOR P04	1 3/8"
19	39310 L/R IN	1	DOUBLE HINGED SLAB	1 3/8"
20	41168 L/R EX	1	EXT. DOUBLE HINGED LOUVERED	1 3/4"
21	4668 R IN	1	SLIDER DOOR P04	1 3/8"
22	5068 L/R IN	1	DOUBLE HINGED DOOR P04	1 3/4"
23	5068 L/R IN	1	DOUBLE HINGED DOOR P04	1 3/8"
24	5068 R IN	3	SLIDER DOOR P04	1 3/8"
25	6080 R EX	1	EXT. SLIDER GLASS	1 3/4"
26	9070	2	GARAGE SHED DOOR	1 3/4"



Upper Level Plan

SCALE 1/4" = 1'-0"

Revisions
12-15-17

Project Title  
**Mendenhall Residence**  
 120 Barrett Dr  
 Watsonville, CA 95076  
 ATN: 06-041-28

Arch: CLS

Upper Level Plan  
 & Schedules

Sheet Title

Date: 2-2-17

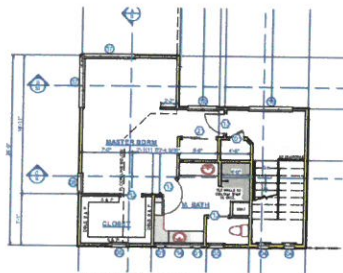
Plans Prepared By  
**Chris L Stevens**  
 CA Lic No: 53373  
 180 New Center Dr  
 Milpitas, CA 95035  
 Ph: (415) 662-9662



Year: 2016.05

Sheet  
**4**





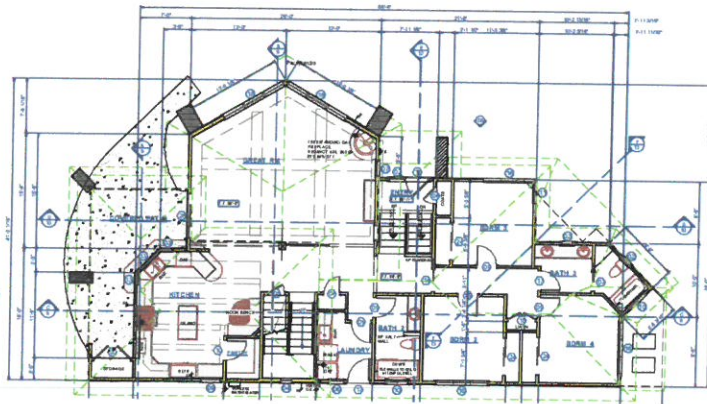
3rd Floor

580 SF

## Floor Area Calculation

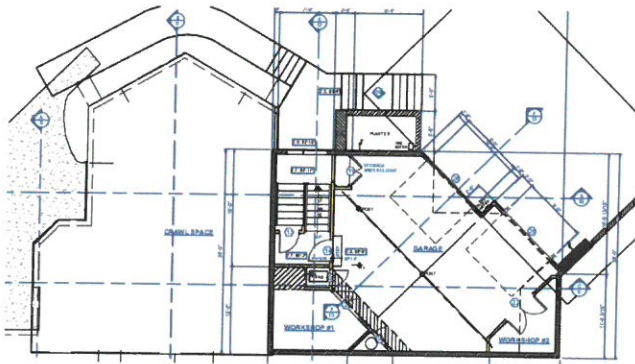
$$\begin{array}{r} 580 \\ +2108 \\ + 735 \\ \hline = 3423 \text{ SF} \end{array}$$

LOT SIZE 6984 SF  
50% = 3492 (allowed)



2nd Floor

$$\begin{array}{r} 1910 \text{ SF} \\ 198 \text{ SF (covered porch)} \\ \hline 2108 \text{ SF} \end{array}$$



1st Floor

$$\begin{array}{r} 960 \text{ SF} \\ -225 \text{ SF (garage credit)} \\ \hline 735 \text{ SF} \end{array}$$

Revisions
12-15-17

Project Title  
**Mendenhall Residence**  
Address  
129 Burnett Dr  
Watsonville, CA 95076  
APN 950-041-28

Appr. C.B.

Floor Area Calcs

Sheet Title

Date: 2-2-17

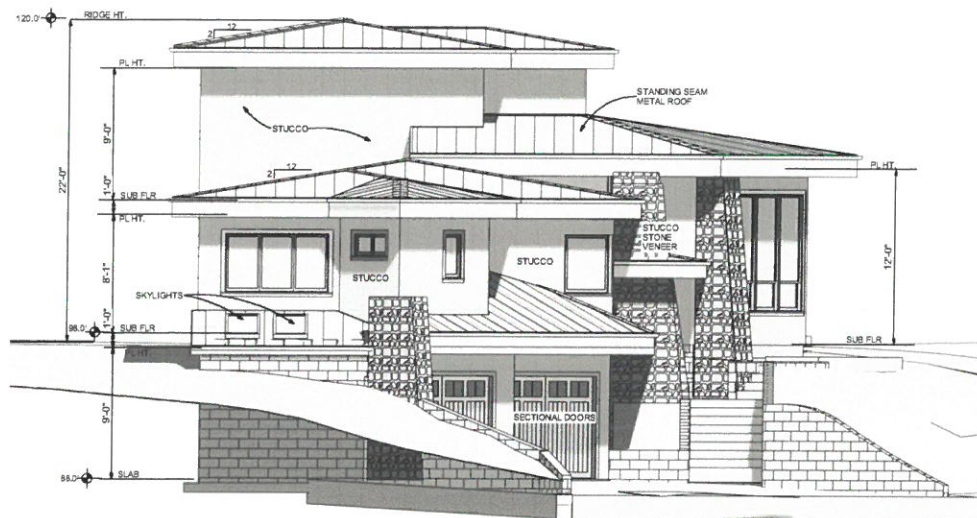
Plans Prepared By  
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180 First Street  
Aptos, CA 95020



2016.05

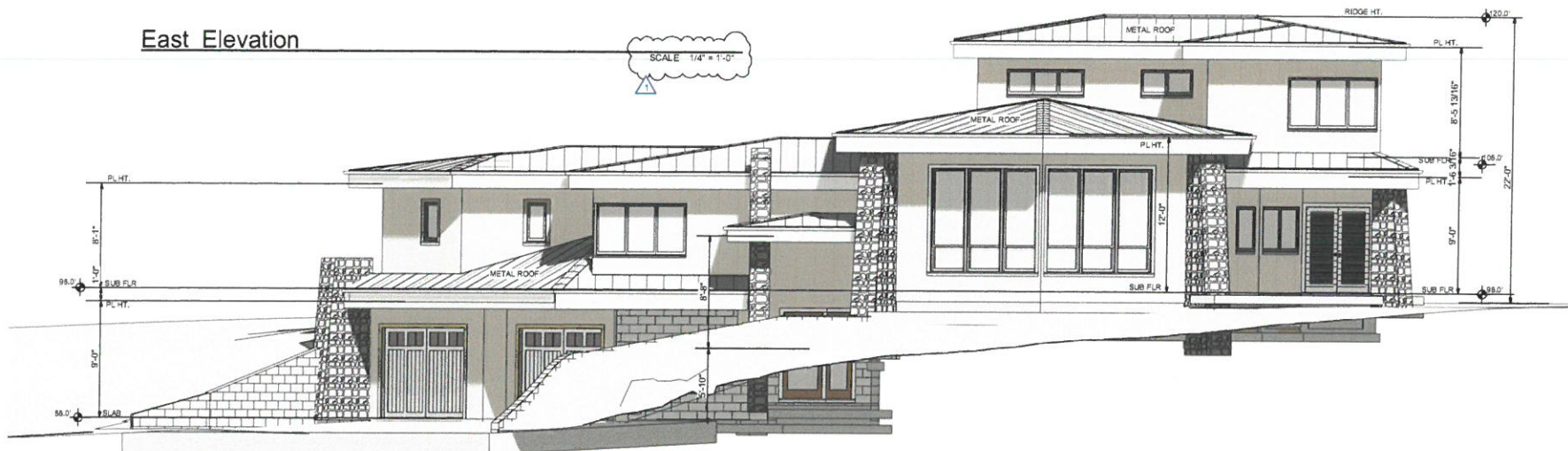
4A





East Elevation

SCALE 1/4" = 1'-0"



North Elevation

SCALE 1/4" = 1'-0"

Revisions
12-15-17

Project Title  
**Mendenhall Residence**  
Address  
129 Barrett Dr  
Watsonville, CA 95070

Arch  
CLS

Elevations

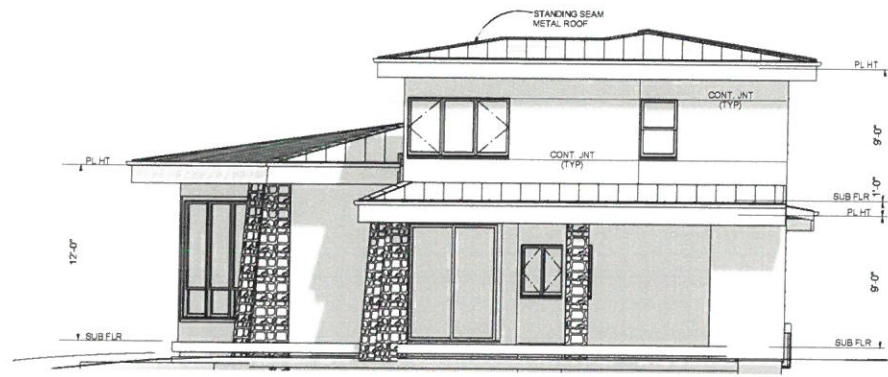
Sheet Title  
2-2-17

Drawn By  
**Chris L Stevens**  
CA Lic. No. 53377  
190 Pine Forest Dr  
Watsonville, CA 95070



Date  
2016.05

Sheet  
**11**



West Elevation

SCALE 1/4" = 1'-0"



South Elevation

SCALE 1/4" = 1'-0"

Revisions
12-15-17

Project Title  
**Mendenhall Residence**  
Address  
120 Barrett Dr  
Wataville, CA 95076  
ATN: 06-041-28

Sheet Title  
**C-3**

Elevations

Sheet Title

Date 2-2-17

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Job No. 2016.05

Sheet  
**12**