

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 171292

APN: 041-011-39,-40

Proposal to modify building designs for Aptos Village (Phase 2).
Requires a Design Review approval.

Property located in the undeveloped portion of Aptos Village
(between Aptos Creek Road, Trout Gulch Road, and Soquel Drive).
(APNs 041-011-39 & -40)

OWNER: Aptos Village LLC

APPLICANT: Mary Gourlay-Swenson Builders

SUPERVISORIAL DISTRICT: 2

PLANNER: Randall Adams, (831) 454-3218

EMAIL: Randall.adams@santacruzcounty.us

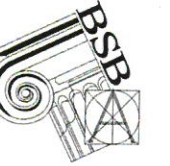
Public comments must be received by 5:00 p.m. December 22, 2017.

A decision will be made on or shortly after January 2, 2018.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

For more information, call the project planner identified above.



BARRY SWENSON BUILDER
A DIVISION OF GREEN VALLEY CORP.

777 North First Street
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San Jose, Ca 95112
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Consultant:

Revisions:

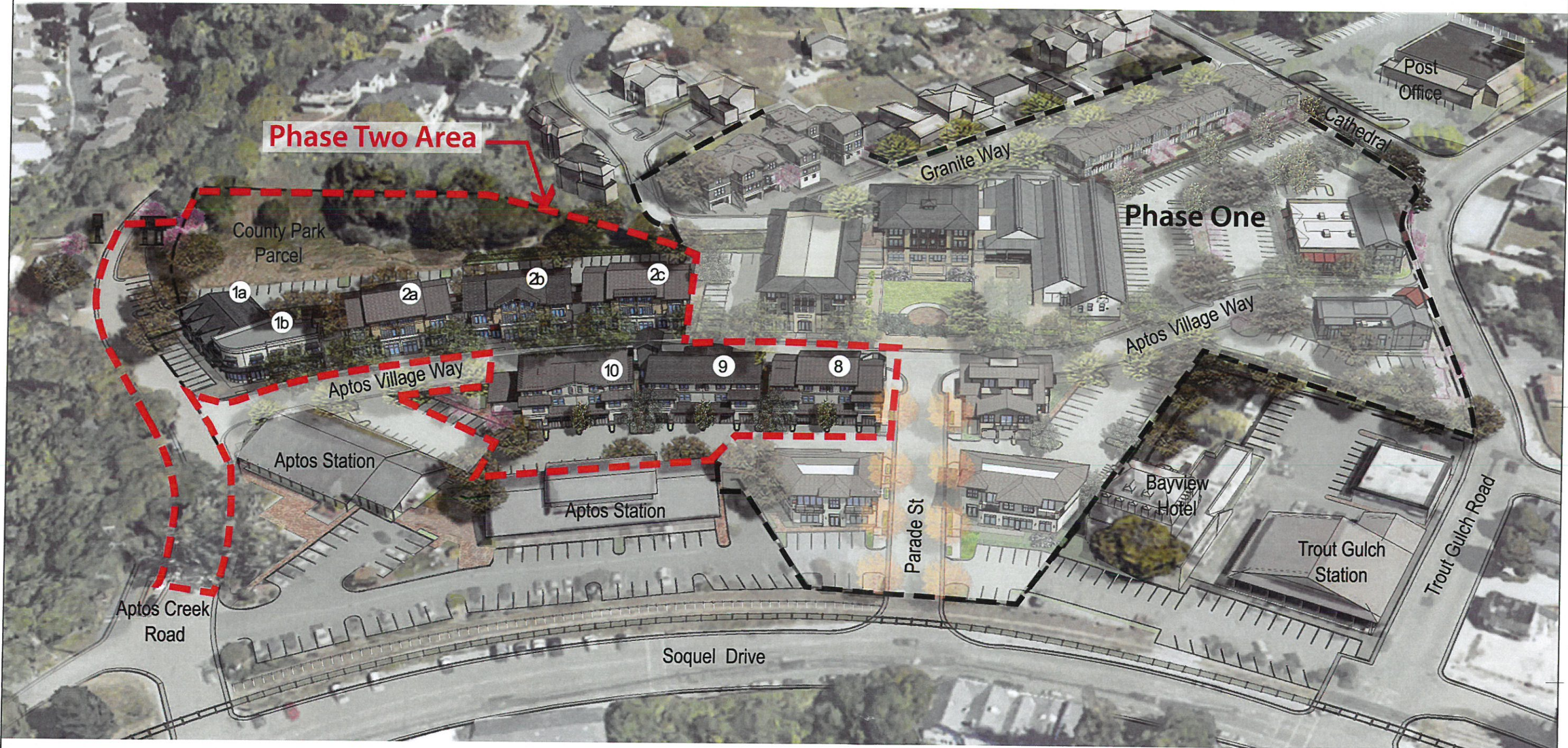
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APTOS VILLAGE
PHASE 2
APN 041-011-39 & -40
APTOS, CA
PROJECT RENDERING

JULY 14, 2017

9017-320

0.0



APTOS VILLAGE - PHASE 2

APN 041-011-39 &-40
BUILDINGS 1A-1B, 2A-2B-2C, 8-9-10
LEVEL "4" PERMIT SUBMITTAL

BSB
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Revisions:

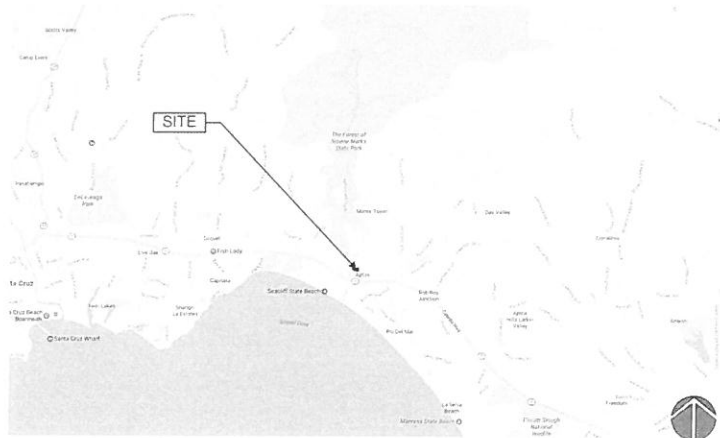
Revision Schedule	
#	Date
1	10.24.2017

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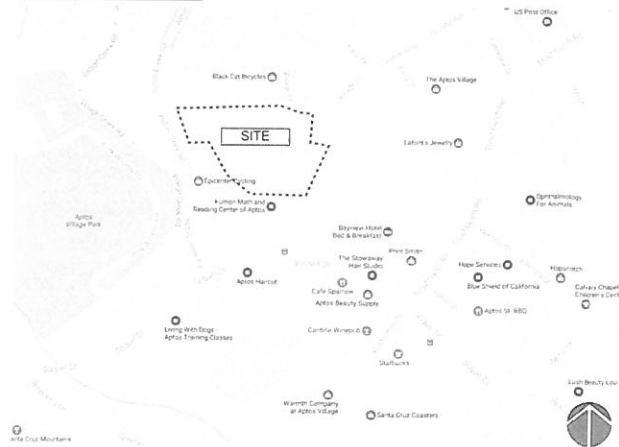
APTOS VILLAGE
PHASE 2
APN 041-011-39 &-40
APTOS, CA
TITLE SHEET / SHEET INDEX



VICINITY MAP



LOCAL MAP



SHEET INDEX

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1	Planning	10/24/2017

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APTOS VILLAGE

PHASE 2

APN 041-011-39 &-40
APTOS, CA

PROJECT DATA

Aptos Village - Data Update

	Phase 2					Phase 1							Phase 2			Phase 1				
First Floor	1a (live-work)	1b (mixed)	2a (mixed)	2b (mixed)	2c (mixed)	3 (mixed)	4 (com)	apple bar	6a (com)	6b (com)	7 (mixed)	8 (mixed)	9 (mixed)	10 (mixed)	townhom	townhom	14 (mixed)	15 (mixed)	Total	
Commercial - Gross	1,452	1,407	1,923	2,050	1,922	4,519	4,806	12,891	6,922	2,887	2,479	2,116	2,115	2,869	0	0	2,904	2,844	56,106	
Net Commercial	1,234	1,196	1,635	1,743	1,634	4,145	4,519	12,395	6,565	2,580	2,394	1,799	1,798	2,439	0	0	2,468	2,417	50,960	
Garage	1170	400	1,206	1,206	1,221	1,611	0	0	0	0	796	1,300	1,300	1,300	5,950	2,988	0	0	20,448	
Residential dwelling	0	0	363	230	346	0	0	0	0	0	99	0	0	0	0	6,420	0	0	7,458	
Residential common area	0	60	0	152	0	1,990	0	0	0	0	252	0	428	150	0	0	148	149	3,329	
Total residential	0	60	363	382	346	1,990	0	0	0	0	351	0	428	150	0	6,420	148	149	10,787	
Common Area - Shared	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Total building area = Building Covera	2,622	1,867	3,492	3,638	3,489	8,120	4,806	12,891	6,922	2,887	3,626	3,416	3,843	4,319	5,950	9,408	3,052	2,993	87,341	
Second Floor	1a	1b	2a	2b	2c	3	4	5	6a	6b	7	8	9	10	11	12	14	15	Total	
Commercial - Gross	0	0	0	0	0	0	4,724	0	0	0	24	0	0	0	0	0	1	0	4,749	
Net Commercial	0	0	0	0	0	0	4,011	0	0	0	0	0	0	0	0	0	1	0	4,012	
Residential dwelling	2,533	1,772	2,840	2,918	2,827	6,157	0	0	0	0	3,399	3,102	3,010	3,010	5,373	9,281	2,732	2,683	51,637	
Residential common area	0	149	86	146	0	1,521	0	0	0	0	36	0	1,658	0	0	0	171	180	3,947	
Total residential	2,533	1,921	2,926	3,064	2,827	7,678	0	0	0	0	3,435	3,102	4,668	3,010	5,373	9,281	2,903	2,863	53,051	
Common Area - Shared	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Total building area	2,533	1,921	2,926	3,064	2,827	7,678	4,724	0	0	0	3,459	3,102	4,668	3,010	5,373	9,281	2,904	2,863	57,800	
Third Floor	1a	1b	2a	2b	2c	3	4	5	6a	6b	7	8	9	10	11	12	14	15	Total	
Commercial - Gross	0	0	0	0	0	0	4,724	0	0	0	24	0	0	0	0	0	0	0	4,748	
Net Commercial	0	0	0	0	0	0	4,011	0	0	0	0	0	0	0	0	0	0	0	4,011	
Residential dwelling	0	0	2,228	2,227	2,228	6,157	0	0	0	0	710	1,357	2,228	1,762	5,545	0	0	0	24,442	
Residential common area	0	0	0	0	0	1,521	0	0	0	0	134	0	0	0	0	0	0	0	1,655	
Total residential	0	0	2,228	2,227	2,228	7,678	0	0	0	0	844	1,357	2,228	1,762	5,545	0	0	0	26,097	
Common Area - Shared	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Total building area	0	0	2,228	2,227	2,228	7,678	4,724	0	0	0	868	1,357	2,228	1,762	5,545	0	0	0	30,845	
Total	1a	1b	2a	2b	2c	3	4	5	6a	6b	7	8	9	10	11	12	14	15	Total	
Commercial - Gross	1,452	1,407	1,923	2,050	1,922	4,519	14,254	12,891	6,922	2,887	2,527	2,116	2,115	2,869	0	0	2,905	2,844	65,603	
Net Commercial	1,234	1,196	1,635	1,743	1,634	4,145	12,541	12,395	6,565	2,580	2,394	1,799	1,798	2,439	0	0	2,469	2,417	58,983	
Garage	1170	400	1,206	1,206	1,221	1,611	0	0	0	0	796	1,300	1,300	1,300	5,950	2,988	0	0	20,448	
Residential dwelling	2,533	1,772	5,431	5,375	5,401	12,314	0	0	0	0	4,208	4,459	5,238	4,772	10,918	15,701	2,732	2,683	83,537	
Residential common area	0	149	86	298	0	5,032	0	0	0	0	422	0	2,086	150	0	0	319	329	8,871	
Total residential	2,533	1,921	5,517	5,673	5,401	17,346	0	0	0	0	4,630	4,459	7,324	4,922	10,918	15,701	3,051	3,012	92,408	
Common Area - Shared	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Total building area	5,155	3,728	8,646	8,929	8,544	23,476	14,254	12,891	6,922	2,887	7,953	7,875	10,739	9,091	16,868	18,689	5,956	5,856	178,459	
Number of Dwelling Units	3	2	4	4	4	16	0	0	0	0	3	4	4	4	6	11	2	2	69	
Number of Bedrooms	6	2	10	10	10	16	0	0	0	0	6	7	10	8	18	33	4	4	144	

Mixed-Use Area Total Residential Square Footage (All Phases) 65,789 50%
Mixed-Use Area Total Commercial Square Footage (All Phases) 65,603 50%
Mixed Use Area Total Square Footage 131,392

Phased Parking Requirement	Phase 2					Phase 1						Phase 2			Phase 1				
	1a	1b	2a	2b	2c	3	4	5	6a	6b	7	8	9	10	11	12	14	15	
00 Restaurant						41.5					23.9		10.0						75.4
00 Office							13.4												13.4
25 Medical Office							17.8												17.8
00 Retail	4.1	4.0	5.4	5.8	5.4		15.1	41.3	21.9	8.6		6.0	2.7	8.1	0.0	0.0	8.2	8.1	144.7
2 Residential (1 Bedroom)		4				32													36.0
1.5 Residential (2 or 3 Bedroom)	7.5		10	10	10						7.5	10	10	10	15	27.5	5	5	127.5
Subtotal	11.6	8.0	15.4	15.8	15.4	73.5	46.3	41.3	21.9	8.6	31.4	16.0	22.7	18.1	15.0	27.5	13.2	13.1	414.8

Total for Phase 1 291.7
Total for Phase 2 123.1
Total All Phases 414.8

Parking Provided	Phase 1	Net Ph 2 New	Combined
Off Street	219	69	288
Garage	38	44	82
Tandem	8	12	20
On Street	78	0	78
Phase 1 Temporary Lot (located at Buildings	56	-56	0
Total	399	69	468
			53 Surplus

NOTES: Compact = 8% of Total +/-
15 Parking Spaces along Aptos Creek Road Excluded from Tabulation

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Consultant:

Revisions:

Revision Schedule		
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1	Planning	10/24/2011

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APTOS VILLAGE
PHASE 2

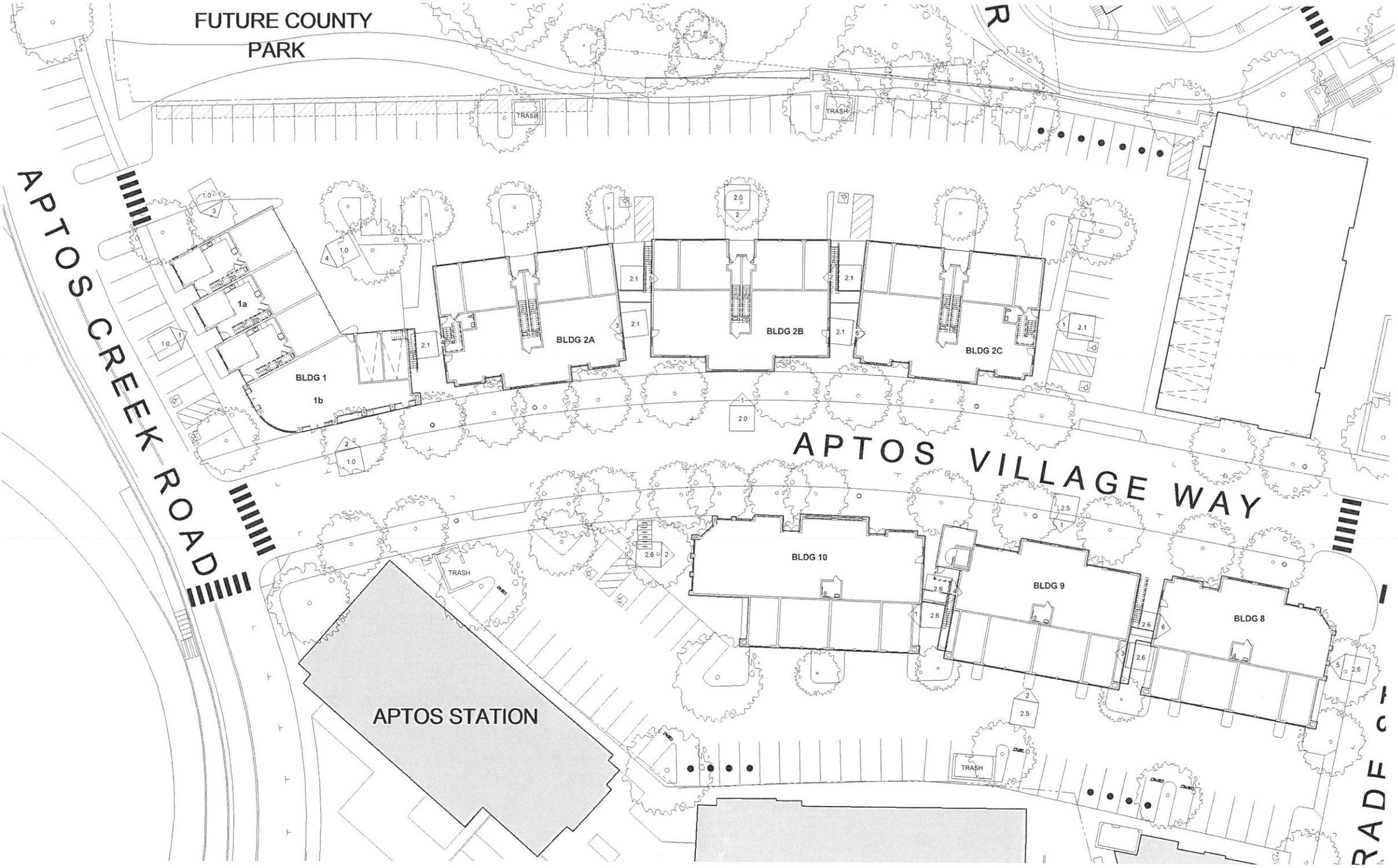
APN 041-011-39 & 40
APTOS, CA

SITE PLAN - MASTER PARKING PLAN

JULY 14, 2017

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**APTOS VILLAGE
 PHASE 2**
 APN 041-011-39 & -40
 APTOS, CA
SITE PLAN - PHASE 2 ENLARGED

① SITE PLAN - ENLARGED - PHASE 2 AREA
 3/64" = 1'-0"

DATE: JULY 14, 2017
 DRAWN BY: LD
 CHECKED BY: 9017-320



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APTOS VILLAGE
PHASE 2
APN 041-011-39 & -40
APTOS, CA
BUILDING 1 - ELEVATIONS

JULY 14, 2017

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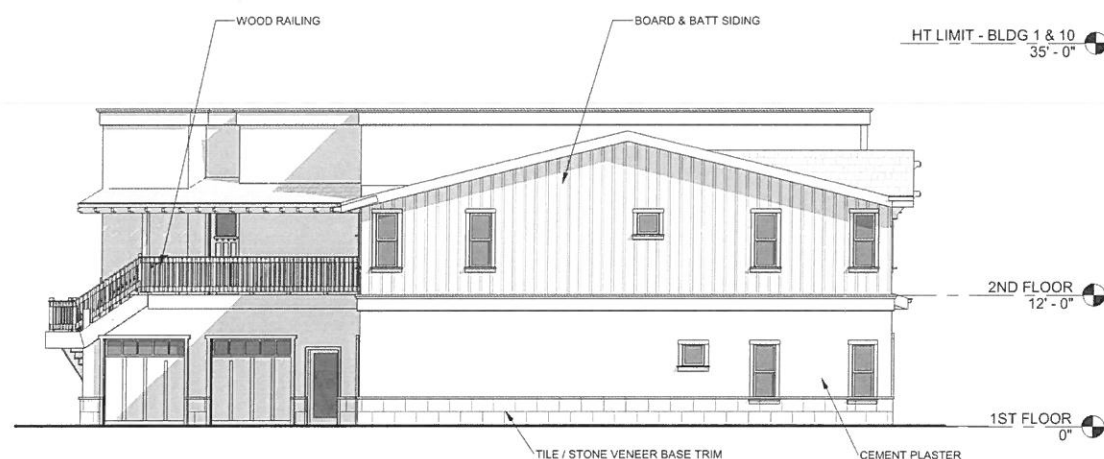
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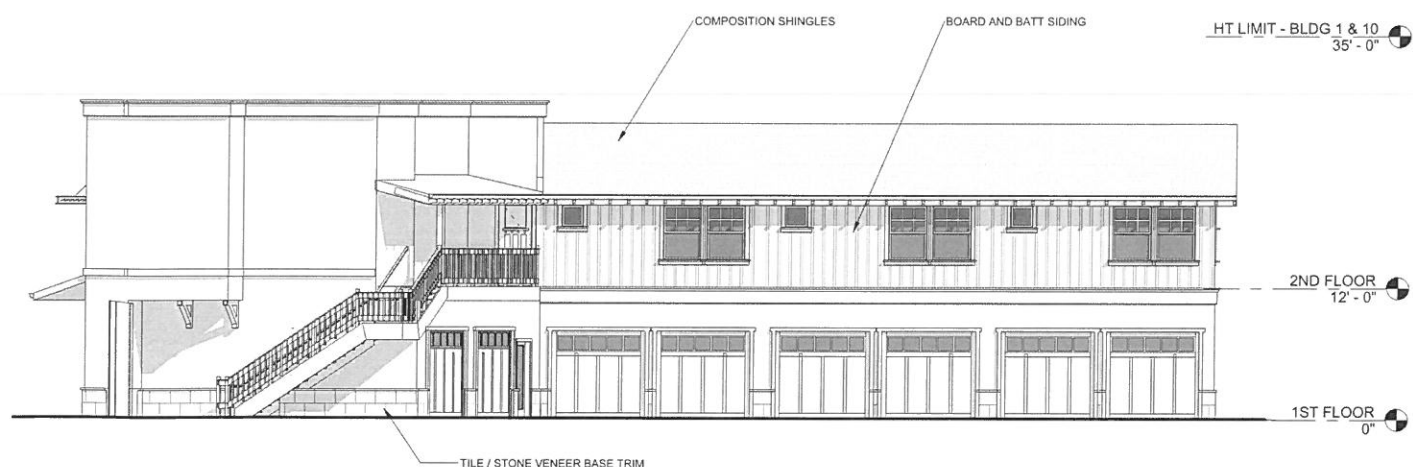
② BUILDING 1 - SOUTH ELEVATION (APTOS VILLAGE WAY VIEW)
1/8" = 1'-0"



① BUILDING 1 - WEST ELEVATION (APTOS CREEK ROAD VIEW)
1/8" = 1'-0"



③ BUILDING 1 - NORTH ELEVATION
1/8" = 1'-0"



④ BUILDING 1 - EAST ELEVATION
1/8" = 1'-0"



KEY PLAN



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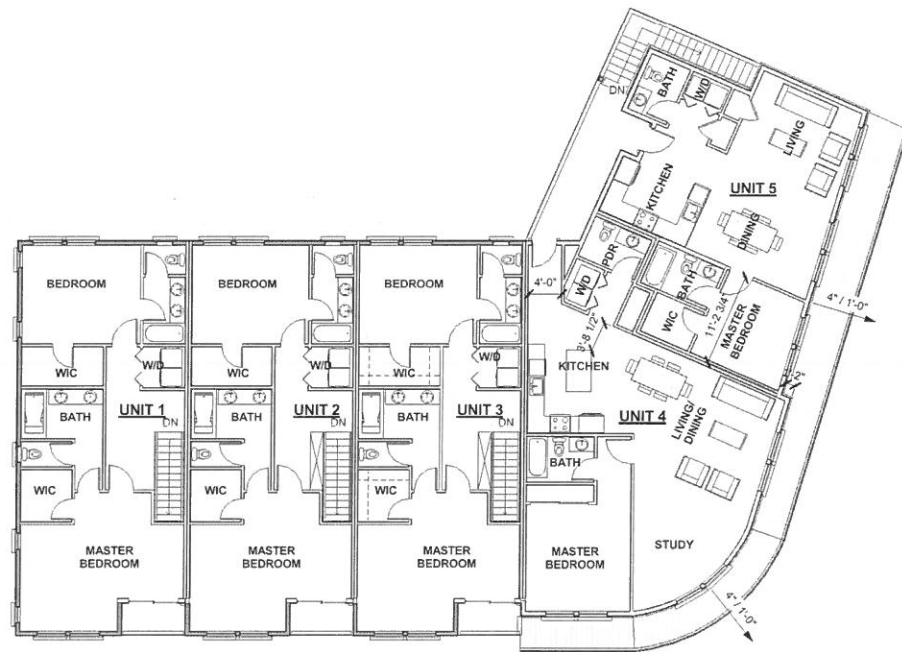
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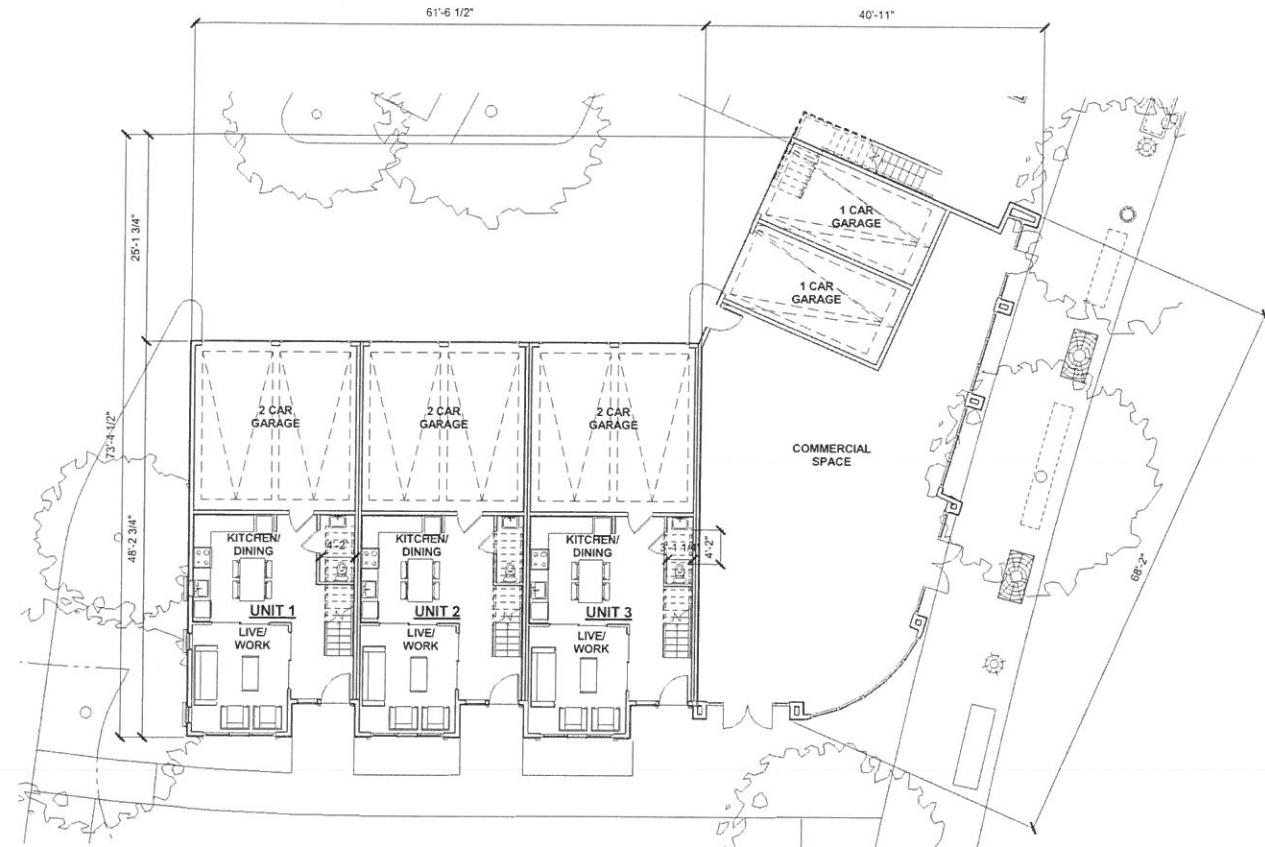
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APTOS VILLAGE
PHASE 2
APN 041-011-39 & -40
APTOS, CA
BUILDING 1 - FLOOR PLANS



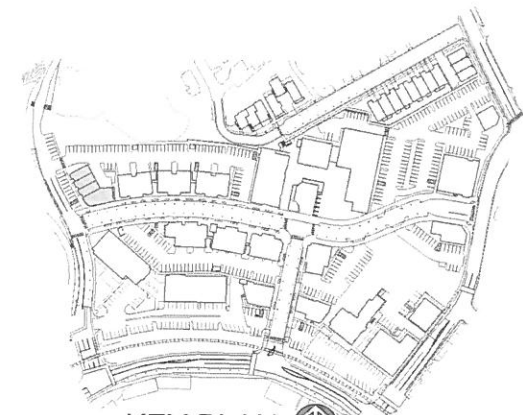
2 BUILDING 1 - 2ND FLOOR PLAN
3/32" = 1'-0"



1 BUILDING 1 - 1ST FLOOR PLAN
3/32" = 1'-0"

BUILDING 1 - AREAS (SF)			
RESIDENTIAL			
UNITS	1ST FLR	2ND FLR	2ND FLR DECK
1	0	845	29
2	0	845	29
3	0	845	29
4	0	994	0
5	0	778	0

BUILDING 1		
1ST FLOOR (S.F.)		
	FACTOR	
COMMERCIAL (GROSS)		1,407
NET COMMERCIAL	85%	1,196
GARAGES:		1,570
LIVE / WORK:	3	1,362
TOTAL BUILDING AREA		
= BUILDING COVERAGE		4,339
SECOND FLOOR		
RESIDENTIAL	3	2,535
FLAT A & B		1,772
DECK	3	87
= BUILDING COVERAGE		4,394



KEY PLAN

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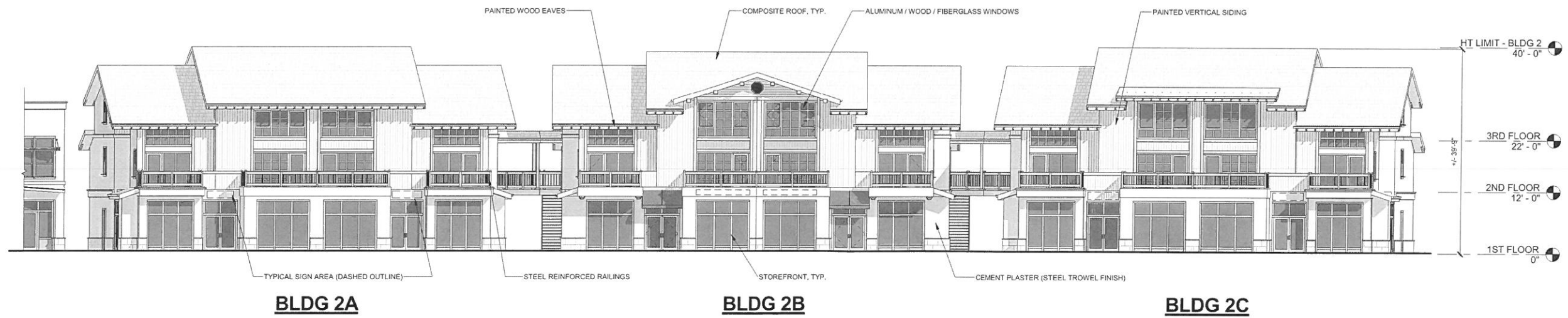
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APTOS VILLAGE
PHASE 2
APN 041-011-39 &-40
APTOS, CA
BUILDINGS 2A-B-C - ELEVATIONS



② BUILDING 2A-B-C - NORTH ELEVATION
3/32" = 1'-0"



① BUILDING 2A-B-C - SOUTH ELEVATION
3/32" = 1'-0"



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2.0



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APTOS VILLAGE
PHASE 2
APN 041-011-39 & -40
APTOS, CA
BUILDINGS 2A-B-C - ELEVATIONS

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2.1



④ BUILDING 2a - WEST ELEVATION
1/8" = 1'-0"



⑤ BUILDING 2b - WEST ELEVATION
1/8" = 1'-0"



⑥ BUILDING 2c - WEST ELEVATION
1/8" = 1'-0"

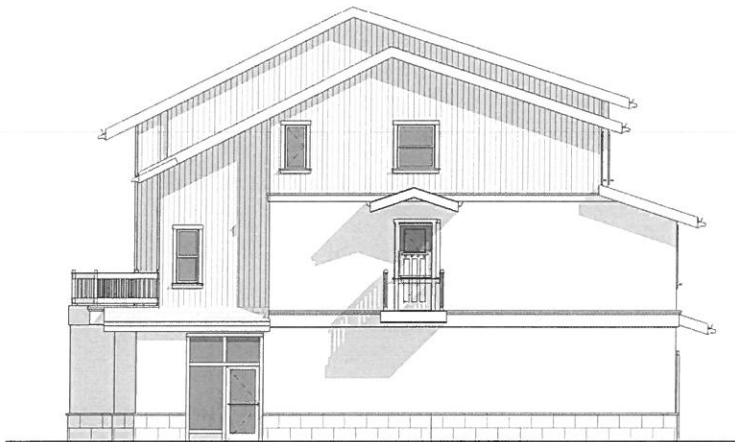
HT LIMIT - BLDG 2
40' - 0"

ROOF
32' - 0"

3RD FLOOR
22' - 0"

2ND FLOOR
12' - 0"

1ST FLOOR
0"



③ BUILDING 2a - EAST ELEVATION
1/8" = 1'-0"



② BUILDING 2b - EAST ELEVATION
1/8" = 1'-0"



① BUILDING 2c - EAST ELEVATION
1/8" = 1'-0"

HT LIMIT - BLDG 2
40' - 0"

3RD FLOOR
22' - 0"

2ND FLOOR
12' - 0"

1ST FLOOR
0"



KEY PLAN



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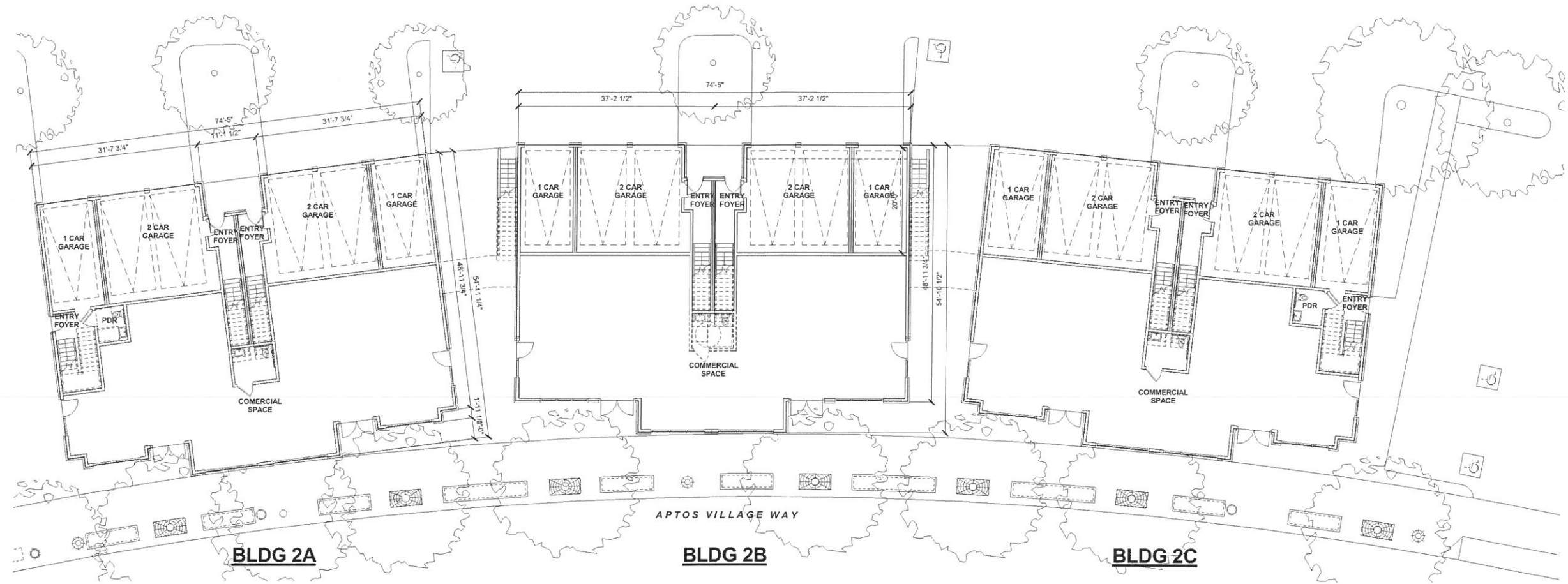
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APTOS VILLAGE
PHASE 2
APN 041-011-39 &-40
APTOS, CA
BUILDINGS 2A-B-C - 1ST FLOOR
PLAN



BLDG 2A

BLDG 2B

BLDG 2C

① BUILDING 2A-B-C - 1ST FLOOR PLAN
3/32" = 1'-0"

BUILDING 2A, B, C		
1ST FLOOR (S.F.)		
COMMERCIAL (GROSS)		5,894
NET COMMERCIAL:	85%	5,010
GARAGES:		3,618
RESIDENTIAL:		460
TOTAL BUILDING AREA		
= BUILDING COVERAGE		9,972
SECOND FLOOR		
RESIDENTIAL		8,304
DECK		774
= BUILDING COVERAGE		9,078
THIRD FLOOR		
RESIDENTIAL		6,696
= BUILDING COVERAGE		6,696

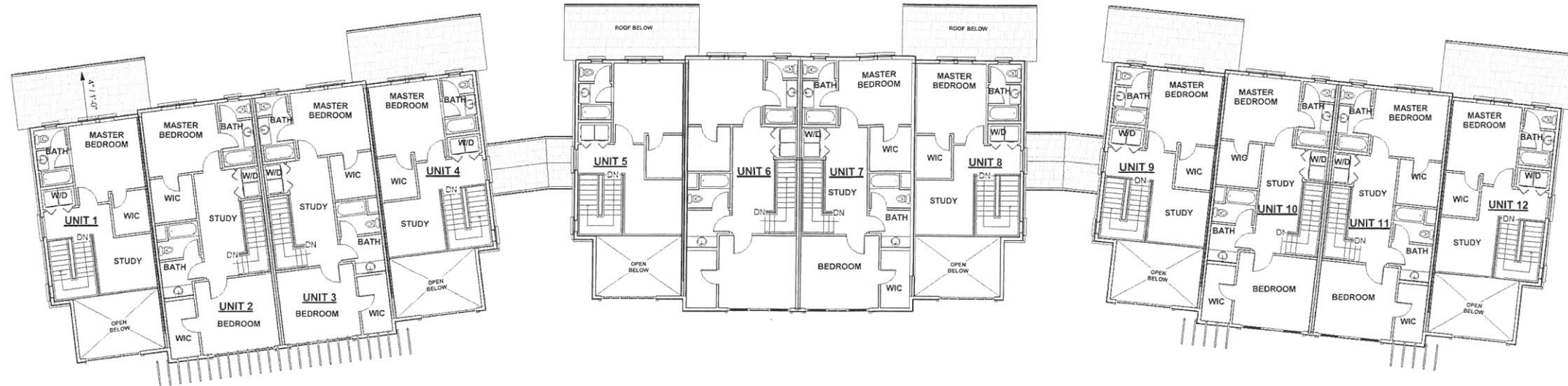


KEY PLAN

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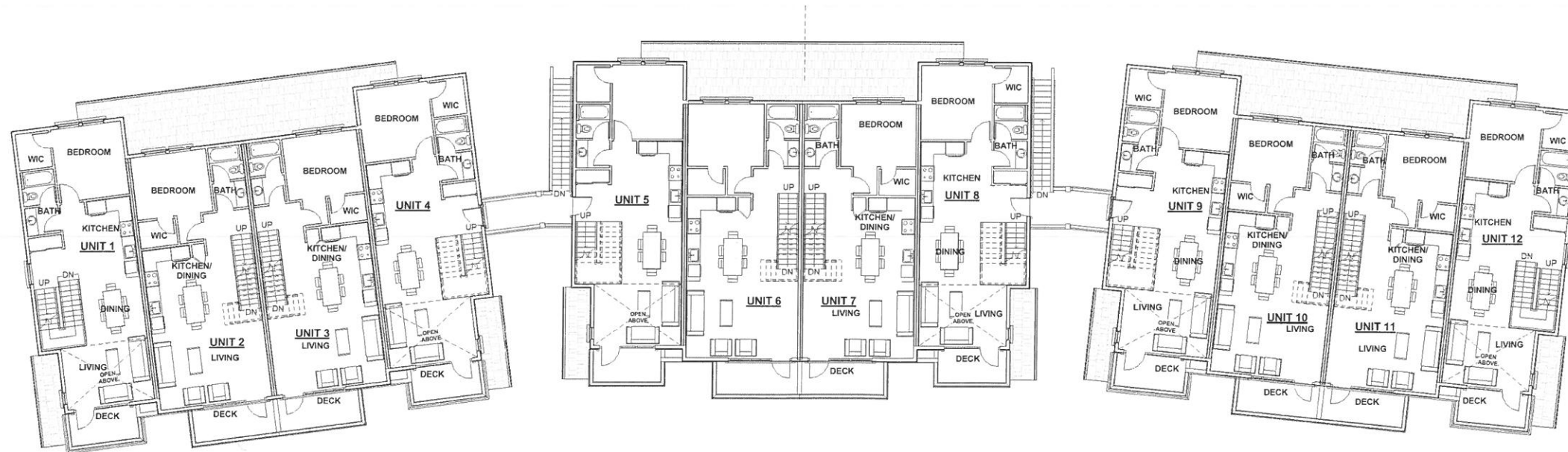


BLDG 2A

BLDG 2B

BLDG 2C

② BUILDINGS 2A-B-C - 3RD FLOOR PLAN
3/32" = 1'-0"



BLDG 2A

BLDG 2B

BLDG 2C

① BUILDINGS 2A-B-C - 2ND FLOOR PLAN
3/32" = 1'-0"

BUILDING 2A,B,C - AREAS (SF)				
RESIDENTIAL				
	UNITS	2ND FLR	2ND FLR DECK	3RD FLR
2A	1	681	59	422
	2	701	70	694
	3	701	70	694
	4	684	59	422
	5	684	59	422
2B	6	701	70	694
	7	701	70	694
	8	684	59	422
	9	681	59	422
	10	701	70	694
2C	11	701	70	694
	12	684	59	422



KEY PLAN



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BUILDINGS 2A-B-C - FLOOR PLANS

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APTOS VILLAGE
PHASE 2

APN 041-011-39 & -40
APTOS, CA

BUILDINGS 8-9-10 - ELEVATIONS

JULY 14, 2017

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9017-320

2.5



② BUILDINGS 8-9-10 - SOUTH ELEVATION
3/32" = 1'-0"



① BUILDINGS 8-9-10 - NORTH ELEVATION (STREET VIEW)
3/32" = 1'-0"



KEY PLAN



BARRY SWENSON BUILDER
A DIVISION OF GREEN VALLEY CORP.

777 North First Street
Fifth Floor
San Jose, Ca 95112
tel: (408) 287-0246
fax: (408) 998-1737

Consultant:

Revisions:

Revision Schedule		
#	Description	Date
1	Planning	10.24.2017

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APTOS VILLAGE

PHASE 2

APN 041-011-39 & -40
APTOS, CA

BUILDINGS 8-9-10 - ELEVATIONS

JULY 14, 2017

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⑥ BUILDING 8 - WEST ELEVATION
1/8" = 1'-0"

HT LIMIT - BLDG 8
38' - 0"



④ BUILDING 9 - WEST ELEVATION
1/8" = 1'-0"

HT LIMIT - BLDG 9
37' - 0"



② BUILDING 10 - WEST ELEVATION
1/8" = 1'-0"

HT LIMIT - BLDG 1 & 10
35' - 0"

3RD FLOOR
22' - 0"

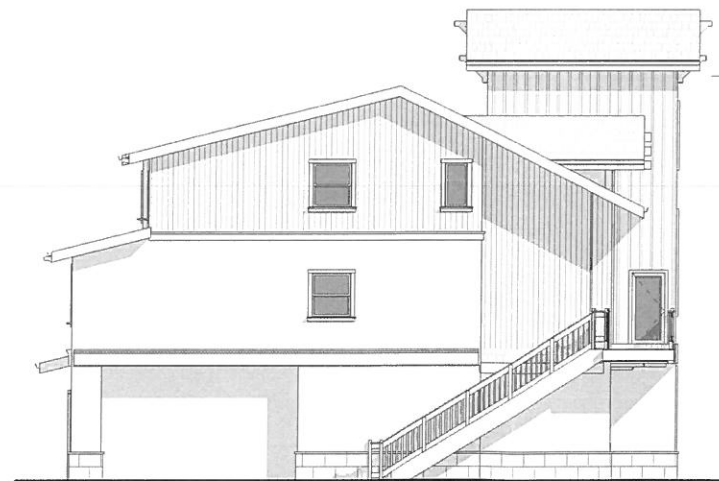
2ND FLOOR
12' - 0"

1ST FLOOR
0"



⑤ BUILDING 8 - EAST ELEVATION
1/8" = 1'-0"

HT LIMIT - BLDG 8
38' - 0"



③ BUILDING 9 - EAST ELEVATION
1/8" = 1'-0"

HT LIMIT - BLDG 9
37' - 0"



① BUILDING 10 - EAST ELEVATION
1/8" = 1'-0"

HT LIMIT - BLDG 1 & 10
35' - 0"

3RD FLOOR
22' - 0"

2ND FLOOR
12' - 0"

1ST FLOOR
0"



KEY PLAN



BARRY SWENSON BUILDER
A DIVISION OF GREEN VALLEY CORP.

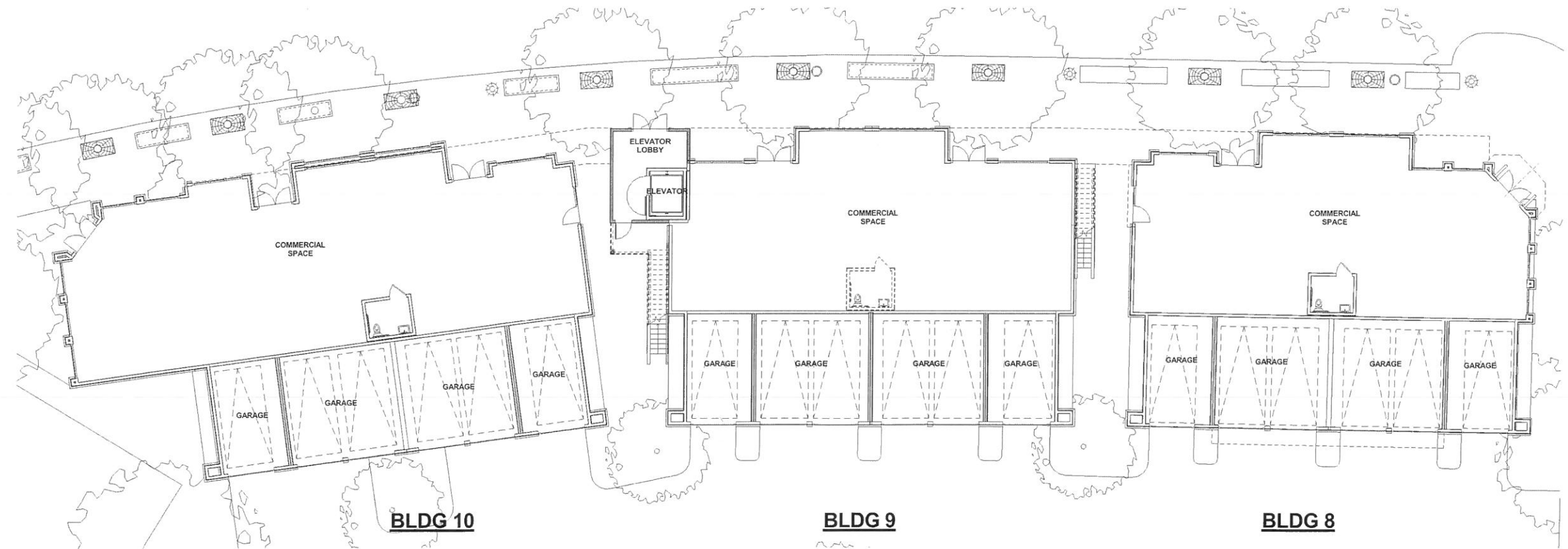
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① BUILDINGS 8-9-10 - 1ST FLOOR PLAN
3/32" = 1'-0"

BUILDING 8, 9, 10		
1ST FLOOR (S.F.)		
COMMERCIAL (GROSS)	FACTOR	7,101
NET COMMERCIAL	85%	6,036
GARAGES:		3,900
TOTAL BUILDING AREA		
= BUILDING COVERAGE		11,001
SECOND FLOOR		
RESIDENTIAL		8,377
= BUILDING COVERAGE		8,377
THIRD FLOOR		
RESIDENTIAL		5,374
= BUILDING COVERAGE		5,374



KEY PLAN

APTOS VILLAGE
PHASE 2

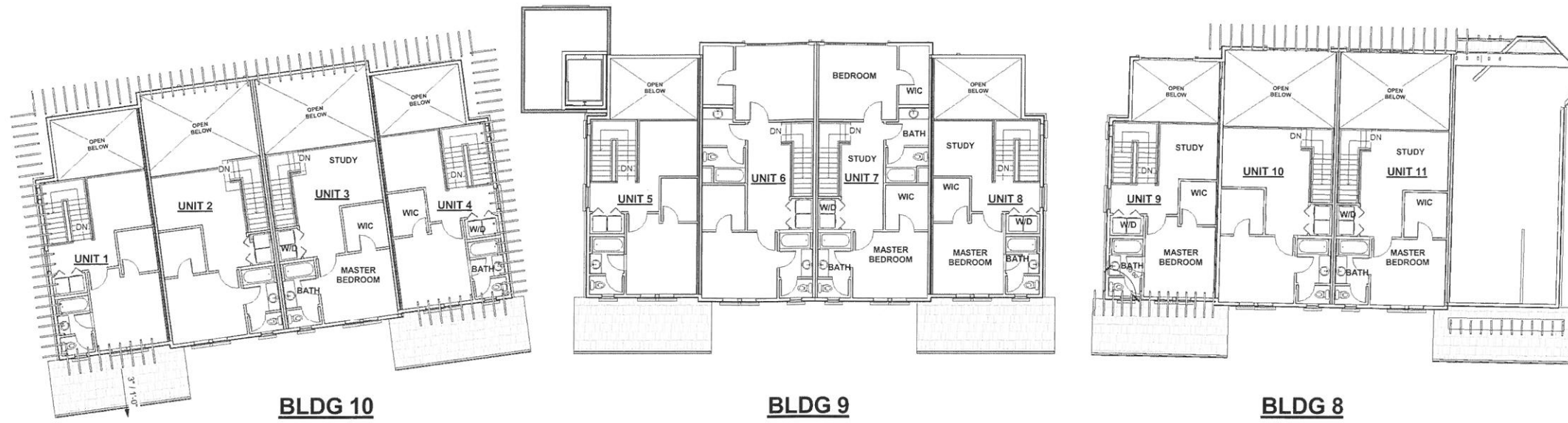
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BUILDINGS 8-9-10 - 1ST FLOOR PLAN

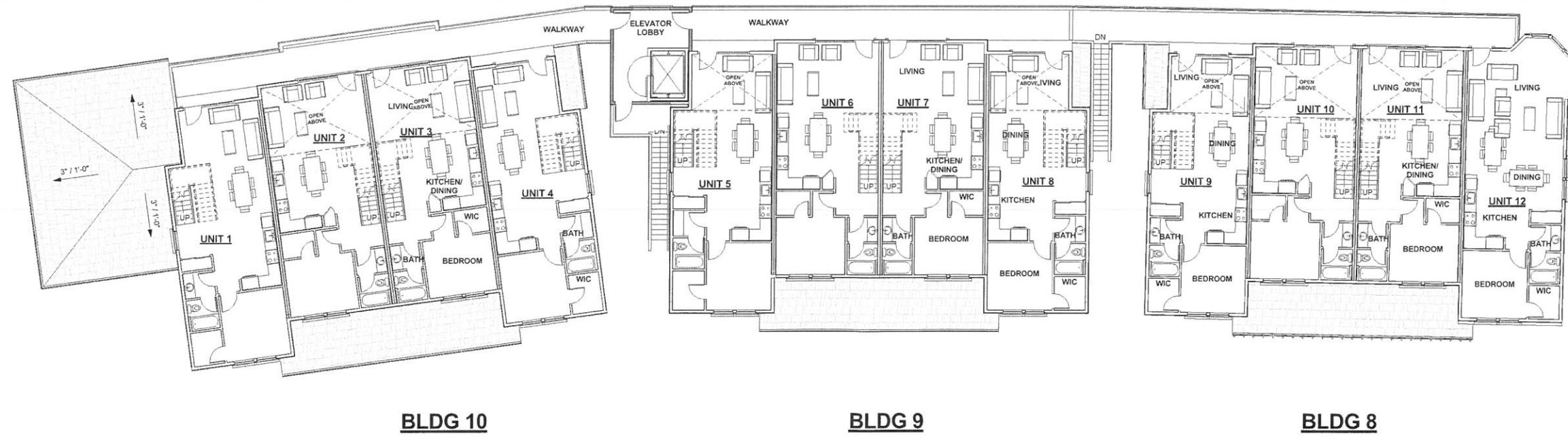
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1 BUILDINGS 8-9-10 - 3RD FLOOR PLAN
3/32" = 1'-0"



2 BUILDINGS 8-9-10 - 2ND FLOOR PLAN
3/32" = 1'-0"

BUILDING 8,9,10 - AREAS (SF)			
RESIDENTIAL			
	UNITS	2ND FLR	3RD FLR
10	1	684	422
	2	686	469
	3	686	469
	4	684	422
	5	684	422
9	6	686	694
	7	686	694
	8	684	422
	9	684	422
8	10	686	469
	11	686	469
	12	841	0



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APTOS VILLAGE
PHASE 2
APN 041-011-39 &-40
APTOS, CA
BUILDINGS 8-9-10 - FLOOR PLANS

JULY 14, 2017

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