

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 181001

APN: 028-293-13

Proposal to reduce the 10-foot side yard setback to 8.5 feet to allow construction of a bedroom nook. Requires a Minor Exception.

Property located on the east side of Calla St. (2811 Calla) at the intersection with Palisades Ave.

OWNER: Robert Laubach

APPLICANT: Frauke Zajac

SUPERVISORIAL DISTRICT: 1

PLANNER: Elizabeth Hayward, (831) 454-3529

EMAIL: Elizabeth.Hayward@santacruzcounty.us

Public comments must be received by 5:00 p.m. March 28, 2018.

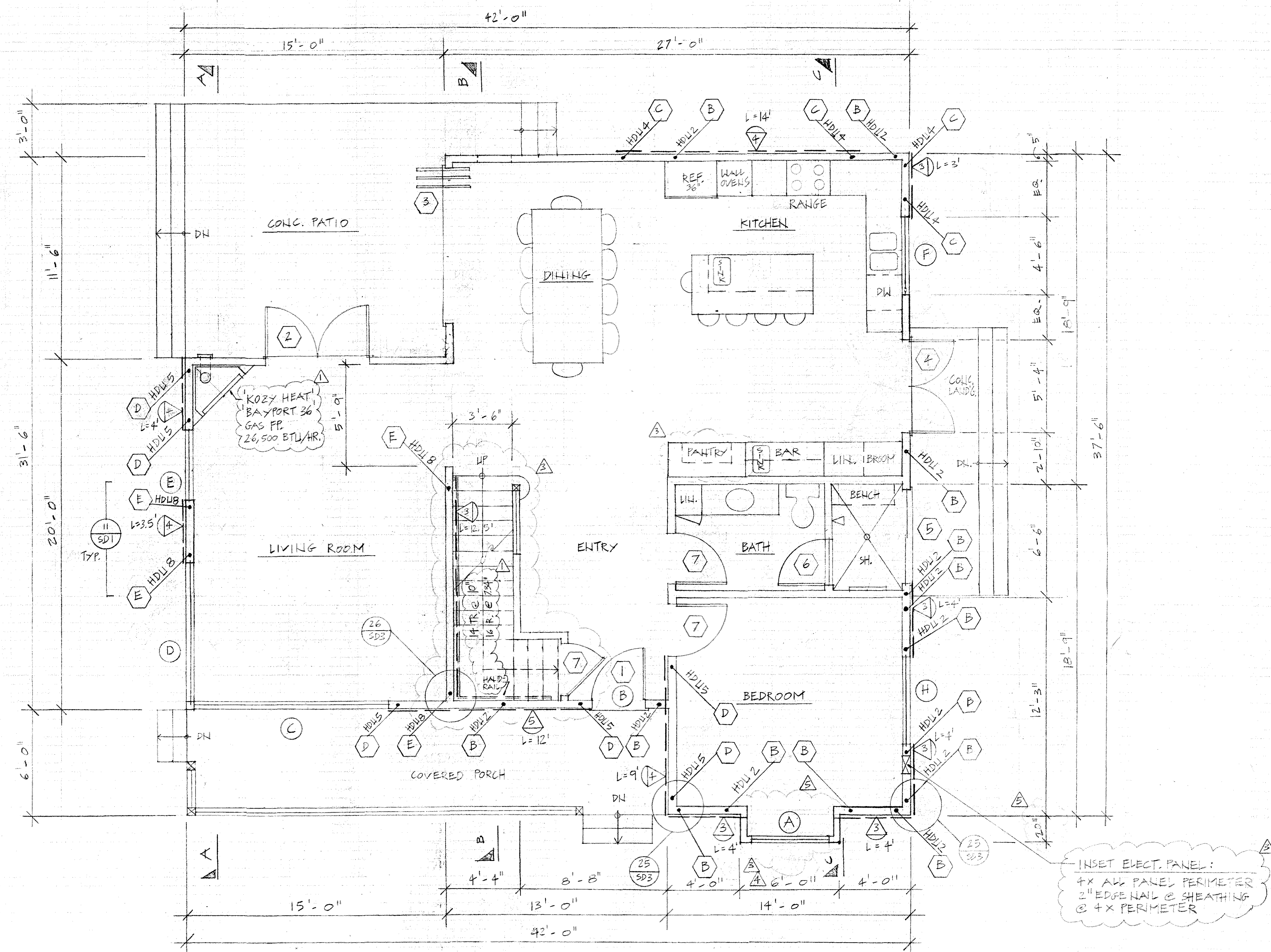
A decision will be made on or shortly after March 29, 2018.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-3227.

For more information, call the project planner identified above.

DOOR SCHEDULE		
	SIZE	NOTES
		OTHER TO SELECT
1	3/8 x 6/8	ENTRY DOOR, FULL WEATHERSTRIP, PARTIAL GLASS TEMP.
2	5/4 x 7/8	FRENCH DOOR, FULL WEATHERSTRIP, TEMP. GLASS DOOR
3	9/8 x 7/8	EXT. TEMP. GL. CANTINA DOOR, FULL WEATHERSTRIP
4	5/4 x 7/11	FRENCH DR., OUTSWING, FULL WEATHERSTRIP, TEMP. GL. DOOR
5	5/4 x 7/11	EXT. SLDG. GLASS DOOR, FULL WEATHERSTRIP, TEMP. GL.
6	3/8 x 9/8	SHOWER DOOR, TEMP. GLASS
7	3/8 x 6/8	INTERIOR DOOR
8	6/8 x 9/8	SLIDING CLOSET DOOR.
9	3/8 x 9/8	INT. POCKET DR.
10	6/8 x 6/11	EXTERIOR FRENCH DR., OLT. SWING, TEMP. GLASS
11	3/8 x VARIES	EXTERIOR DOOR, FULL WEATHERSTRIP
12	5/8 x 9/8	SLIDING CLOSET DR.
13	5/4 x 6/11	EXTERIOR FRENCH DR., FULL WEATHERSTRIP, TEMP. GL.
14	3/8 x 6/8	INTERIOR DOOR
15	4/8 x 6/8	INTERIOR 'BARN STYLE' SLIDING DR.
16	3/8 x 5/4	INTERIOR DOOR
17	6/8 x 6/11	EXTERIOR SLIDING DR., FULL WEATHERSTRIP, TEMP. GL.



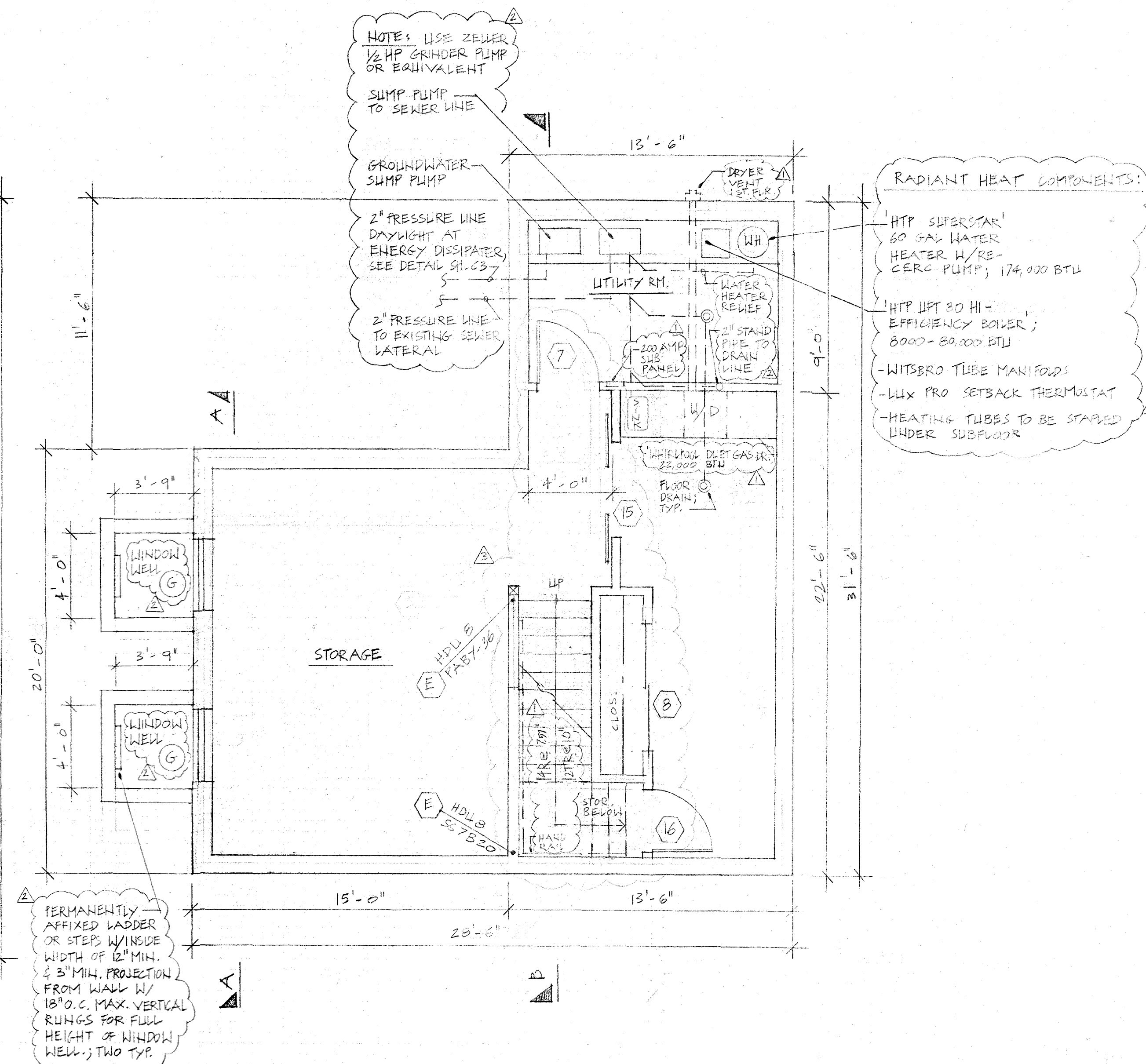
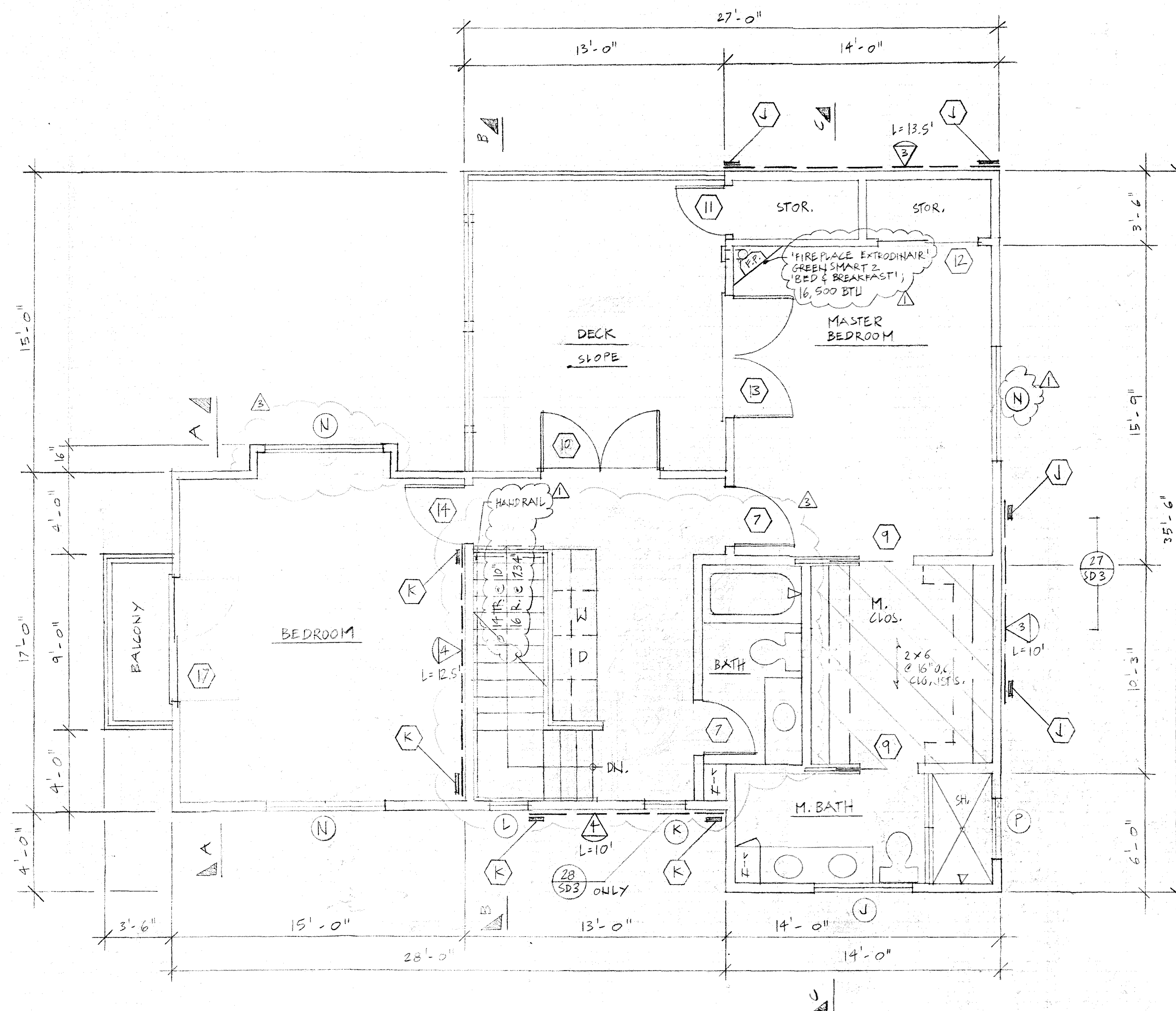
FIRST FLOOR PLAN

FRANK ZAJAC
BUILDING DESIGNER
1251 PINE FLAT RD.
531 - 426 4441

A.P.L.: 028-293-12

NEW RESIDENCE FOR
KERRY AND BOB LALBACH
2801 CALA ST. COUNTY OF S.C.

5	12-23-17
4	12-12-17
3	11-8-17
2	9-28-16
1	6-21-16
	11-24-15

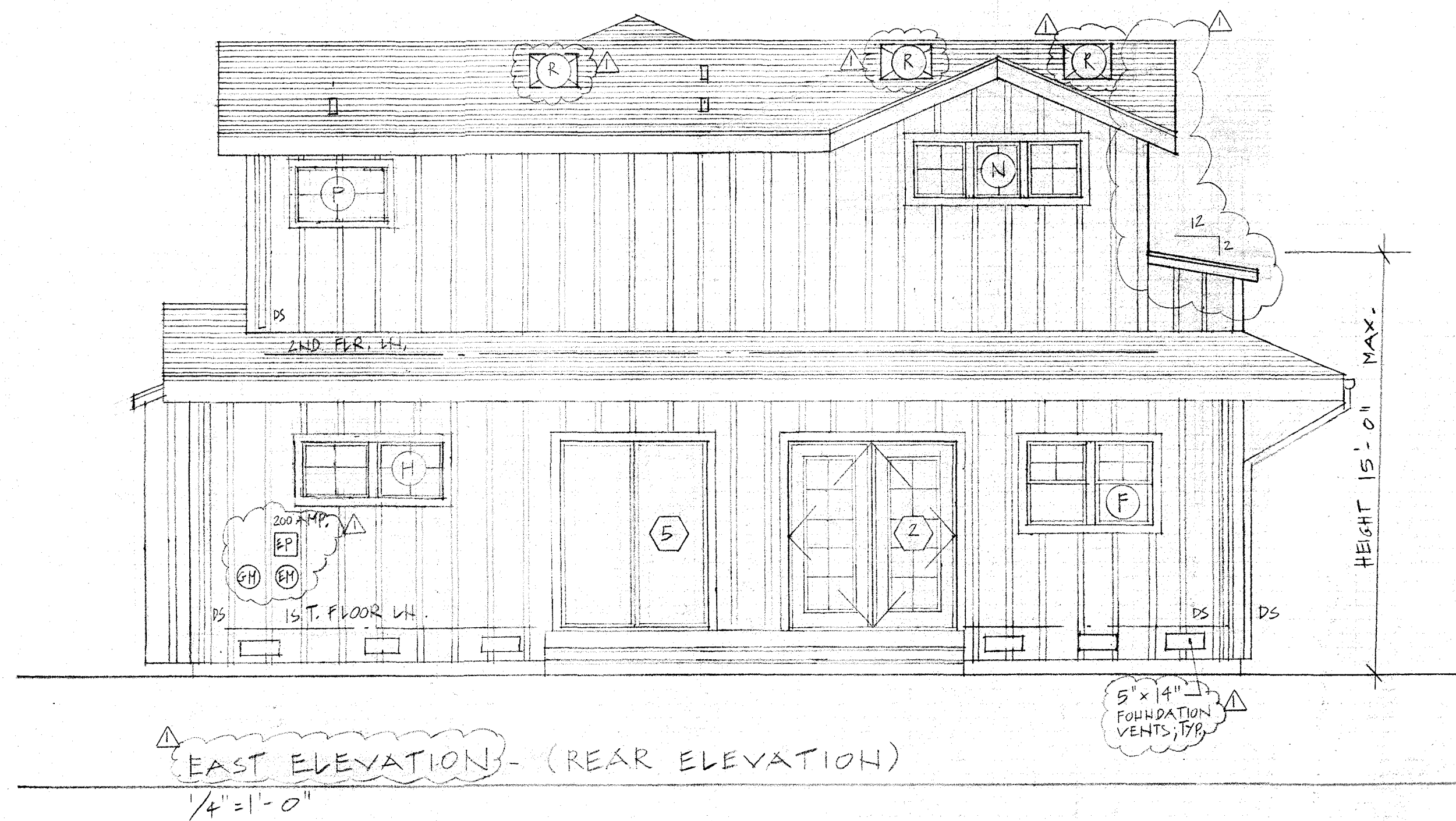


FRANK 2AJAC
BUILDING DESIGNER
1261 PINE FLAT RD.
931-425 4041

A.D.N. : 078-293-13

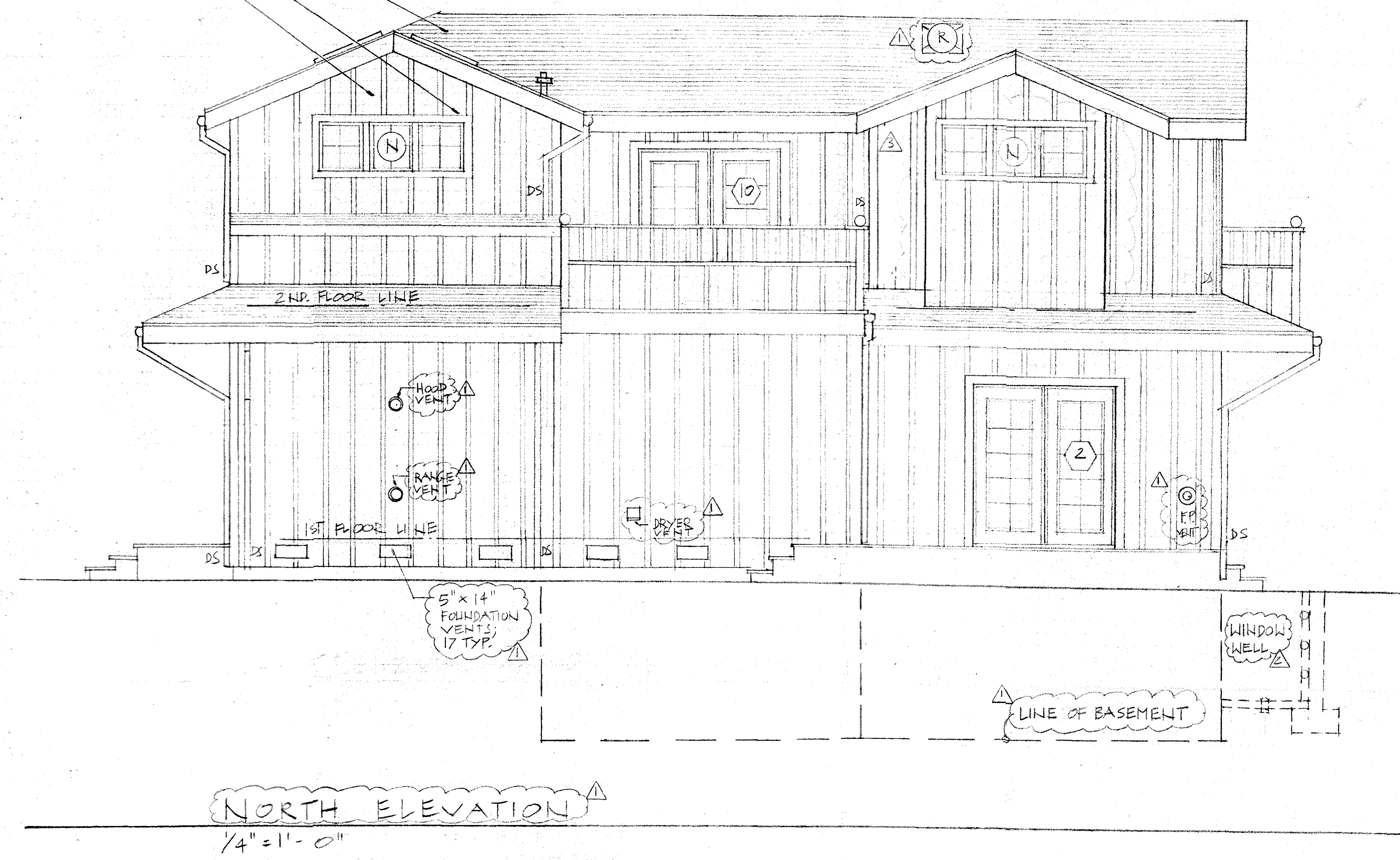
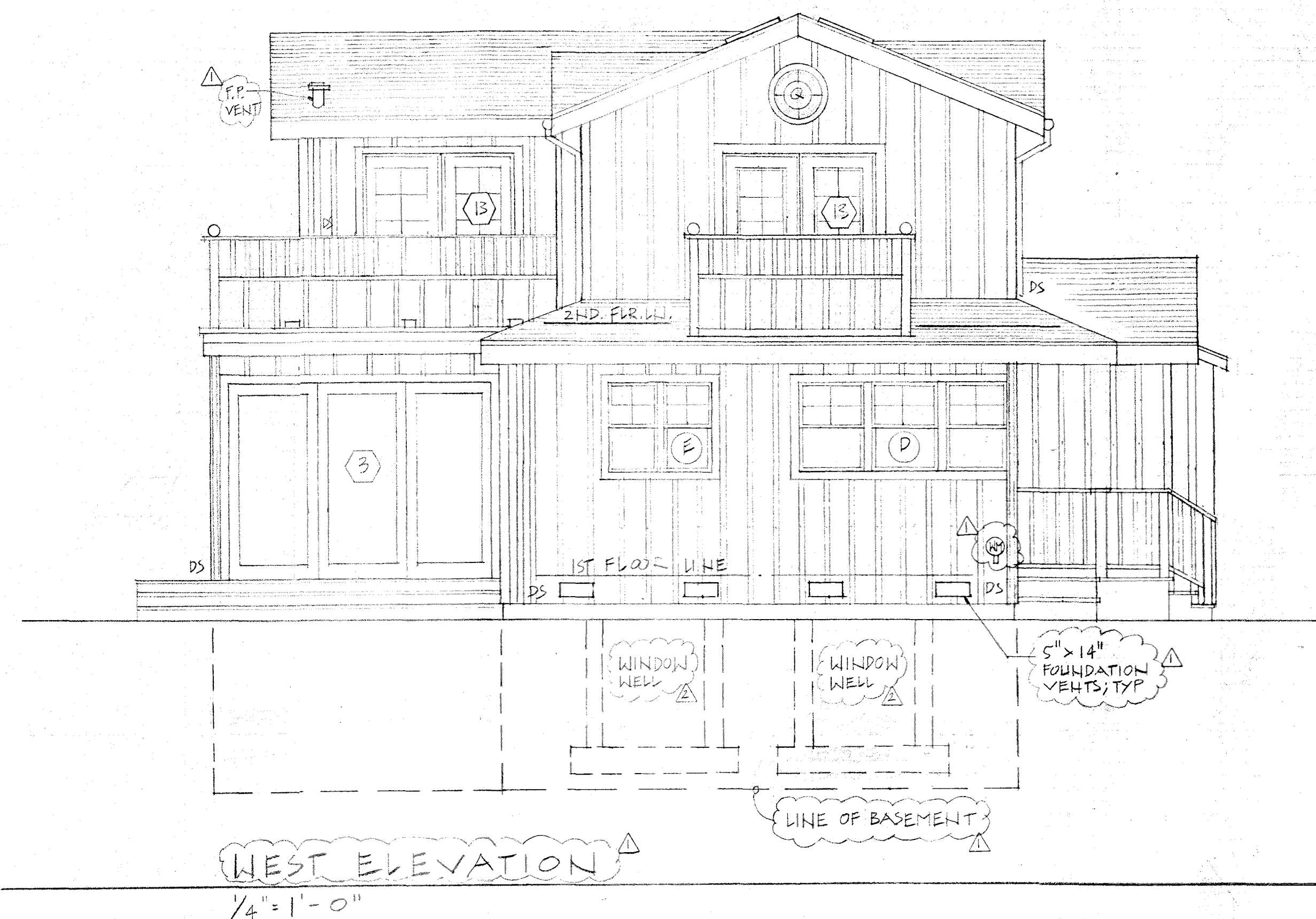
NEW RESIDENCE FOR
KERRY AND BOB LALIBACH
1911 CALLE ST. COUNTY OF CO

3	11 - 2 - 17
2	9 - 23 - 16
1	6 - 21 - 16
	11 - 24 - 15



EXTERIOR MATERIALS

COMP. SHINGLE ROOFING CLASS "B" MIN.
VINYL WINDOWS W/ WOOD TRIM
BOARD AND BATT STYLE
'HARDI PLANK' SIDING



NOTE: ADDRESS NUMBERS TO BE LOCATED AND MAINTAINED TO THE LEFT SIDE OF THE MAIN ENTRANCE DOOR. ADDRESS NUMBERS TO BE MIN. OF FOUR INCHES IN HEIGHT AND OF A COLOR CONTRASTING TO THEIR BACKGROUND.

FRANKIE ZAJAC
BUILDING DESIGNER
1241 PINE FLAT RD
SANTA CLARA, CA 95050
415-494-4141

APRIL 03-2013-13

NEW RESIDENCE FOR
KERRY AND BOB LAIBACH
2811 CALA ST., COUNTY OF S.C.

- 12-23-17
- 12-12-17
- 11-5-17
- 9-28-16
- 6-21-16
- 11-24-15