

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 181012

APN: 042-223-16

Proposal to construct a residential addition at an existing two story single family residence. Requires a Coastal Development Permit.

Property located at the south side of Lake Court (212 Lake Court), approximately 200 feet west from Venetian Road.

OWNER: Gary Gold

APPLICANT: Terry Martin

SUPERVISORIAL DISTRICT: 2

PLANNER: Randall Adams (831) 454-3218

EMAIL: Randall.Adams@santacruzcounty.us

Public comments must be received by 5:00 p.m. August 14, 2019.

A decision will be made on or shortly after August 15, 2019.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.

If you would like to request a public hearing be held for this item, please contact the project planner listed on this notice.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

For more information, contact the project planner identified above.

[illegible]

**212 Lake Court
Aptos, CA 95003**



AREA CALCULATIONS

AREA CALCULATIONS (BY ROOMS/FLOOR)						
FLOOR/LEVEL	NET CALC	TOTAL (A)	WALLS (B)	FLOOR C	CEILING (D)	TOTAL (A)
Main Level	-	-	-	-	-	-
Ground Floor/First	-	138	-	-	567	705
+ Area Within 2' of Wall	-	-	-	-	0	0
(F)	-	138	-	-	567	705
+ Ground Floor/First Ceil. (Up to 3.0 ft)	-	-	-	-	51	51
(F)	-	-	-	-	51	51
+ Ground Floor/First Ceil. (Up to 3.0 ft)	-	-	-	-	51	51
(F)	-	-	-	-	51	51
Area Under Building Projection	-	364	225	-225	83	427
+ Area Within 2' of Wall	-	-148	-	-	487	339
(F)	-	216	-	-	340	556
Roofs	-	-	-	-	364	364
+ Roofs/Inclined Ceil. Credit (Up to 25 ft)	-	-	-	-	560	560
(F)	-	-	-	-	51	51
TOTAL AREA (FLOOR)	-	-	-	-	-	817
Upper Level	-	-	456	-	-	456
(F)	-	-	456	-	-	456
TOTAL AREA (FLOOR)	-	-	456	-	-	456

Page 3/28

GENERAL CONTRACTOR IS REQUIRED TO SCHEDULE & COORDINATE THE FOLLOWING MANDATORY CONSTRUCTION OBSERVATION SITE VISITS WITH ARCHITECT PRESENT. PROVIDE NOTICE TO ARCHITECT AT LEAST 48 HOURS PRIOR TO SUCH VISITS.

BEFORE TO BEGINNING WORK, ARCHITECT & OWNER WITH A CRITICAL PATH SCHEDULE SHOWING THE FOLLOWING CONSTRUCTION MILESTONES:

INITIALS	REQD	SITE VISIT MILESTONE
_____	<input checked="" type="checkbox"/>	PRE CONSTRUCTION SITE MEETING
_____	<input checked="" type="checkbox"/>	AFTER FRUSH REMOVAL, PRIOR TO STRUCTURAL DEMOLITION
_____	<input checked="" type="checkbox"/>	ROUGH SELECTION
_____	<input checked="" type="checkbox"/>	WINDOW SCHEDULING PRIOR TO ORDERING WINDOWS
_____	<input checked="" type="checkbox"/>	ROUGH ELECTRICAL, MOUNTED BOXES PRIOR TO PULLING WIRE
_____	<input checked="" type="checkbox"/>	FRAMING & INSULATION, PRIOR TO COVERING FRAMING W/ FINISHES

ADDITIONALLY, CONTRACTOR SHALL SCHEDULE A MANDATORY WALKTHRU WITH ARCHITECT & OWNER PRESENT AT SUBSTANTIAL COMPLETION.

☒ SUBSTANTIAL COMPLETION PRIOR TO GRANTING OCCUPANCY

ARCHITECT'S INITIALS ARE REQUIRED TO THE LEFT OF EACH SITE VISIT LISTED PRIOR TO PROCEEDING WITH SUBSEQUENT WORK & INDICATE ONLY THAT ARCHITECT WAS PRESENT & PROVIDED WITH THE OPPORTUNITY TO OBSERVE CONSTRUCTION AT THAT PHASE.

PROJECT ADDRESS: 212 Laker Court Aptos CA 95003

OWNER: GARY GOLD

APR: 042-223-16

ZONING: R-1-4

LDT AREA: 3,270 Sq Ft (0.075 Acres ±)

BUILDING AREA: See Area Calculations on this sheet

STORIES: (E) 2 Story Residence w/ (N) Attached Covered Carport

CONSTRUCTION TYPE: Type VB

FIRE SPRINKLERS: None

OCCUPANCY: Group R-3 Single Family Residence

APPLICABLE CODES: Santa Cruz County Municipal Code
2016 CA RESIDENTIAL BUILDING CODE
2016 CA Basic Code, 2016 CA Res Basic Code, 2016 CA Elec Code
2016 CA Health Code, 2016 CA Plumb Code, 2016 CA Energy Code
2016 CA Fire Code, 2016 CA California Only, 2016 CA Ref. State Code
All as amended by The State Of California and Local Jurisdiction(s).

- A-1 COVER SHEET & PROJECT INFO
- △ C-1 TOPOGRAPHIC SURVEY (For Reference Only)
- A-2 SCHEMATIC SITE PLAN & SUN STUDIES
- △ A-3.1 EXISTING & DEMOLITION FLOOR PLANS
- A-3.2 PROPOSED FLOOR PLANS
- A-4 ROOF PLAN
- △ A-5.1 EXISTING & DEMOLITION EXTERIOR ELEVATIONS
- A-5.2 PROPOSED EXTERIOR ELEVATIONS
- A-6 CROSS SECTIONS A-A, B-B

OWNER
SARY GOLD
105 OLD ADOBE RD
LOS GATOS CA 95032
(408) 378-7867

ARCHITECT
TERRY J. MARTIN ASSOCIATES, A.I.A.
TERRY J. MARTIN, AIA
67 E MAIN STREET, SUITE D
LOS GATOS, CA 95030
(408) 895-8016

[illegible]

GEOTECHNICAL INVESTIGATION / SOIL REPORT

NO SOILS REPORT HAS BEEN PREPARED FOR THIS PROPERTY. NOTIFY THE ARCHITECT OF RECORD IF ANY OTHER SUBSTANDARD CONDITIONS ARE ENCOUNTERED.

TITLE 24 CALIFORNIA ENERGY CODE COMPLIANCE

"GOLD BEACH HOUSE ENERGY CALCULATIONS", DATED 11/20, PREPARED BY RUI ENERGY CONSULTANTS, LLC, PROJECT TITLE: "24 ENERGY CONSULTANT", IS PART OF THE "CALIFORNIA ENERGY CODE COMPLIANCE" WORKSHEET COMPLY WITH ENERGY REPORT REQUIREMENTS & RECOMMENDATIONS, CALIFORNIA ENERGY CODE, & ALL OTHER APPLICABLE CODES & ORDINANCES AS ADOPTED, AMENDED, & ENFORCED BY LOCAL JURISDICTION.

ABSORPT

DUE TO THE SCOPE OF WORK FOR THIS PROJECT, NO ABSORPT REPORT HAS BEEN PREPARED. IN THE EVENT THAT PROJECT SCOPE CHANGES, CONTACT ARCHITECT & ARCHITECT HAVING JURISDICTION. NO WORK SHALL COMPLY WITH ENERGY REPORT IS REQUIRED. NO WORK SHALL BE COMMENCED WITHIN THE DEDLINE OF ANY TEST PROTECTED BY ANY APU PRIOR TO RETAINING A LICENSED ABSORPT.

COORDINATION REQUIREMENTS

COORDINATE WITH ARCHITECT

SEE CONSTRUCTION OBSERVATION NOTE ON THIS SHEET. PROVIDE ARCHITECT WITH MINIMUM 48 HOUR NOTICE OF MILESTONE REQUIRED FOR CONSTRUCTION OBSERVATION. COPY ARCHITECT ON ALL CORRESPONDENCE WITH ALL PROJECT CONSULTANTS.

COORDINATE WITH ARCHITECT & INSTALLER

TITLE 24 ENERGY CODE INSTALLATION REQUIREMENTS

ARCHITECT, GENERAL CONTRACTOR, & INSTALLERS MUST BE PRESENT FOR SITE MEETING PRIOR TO COMPLETION & SIGNING OF ENERGY CODE COMPLIANCE FORMS & INSTALLATION CERTIFICATES BY THE INSTALLERS. PROVIDE ARCHITECT WITH MINIMUM 48 HOUR PRIOR NOTICE. REQUIRED FORMS ARE LISTED IN THE TITLE 24 ENERGY REPORT.

COORDINATE WITH STRUCTURAL ENGINEER

Existing Two-Story Residence to Remain, Demolish (E) Detached Shed.
Remodel (E) Living Rm, Kitchen, Master Bedroom, & Bedroom #3.
Add (N) Deminutishe Closet, Unconditioned Storage Room, & Enclosed Carport.
Extend (E) Upper Lvl Balcony (Cantilevered @ Rear, See Plans).
Reroof w/ Flat Roofs.

GOLD BEACH HOUSE	
Custom Home Addition & Remodel 212 Lake Court Aptos, CA 95003 (APN 042-223-16)	
Permit Date:	4/18/19
Project:	#15055
Scale:	N/A
Drawing by:	TJ, RYP
Sheet Title:	
COVER SHEET & PROJECT INFO	
A-1	

Note

Zone AD: 100 year base flood elevation determined at elevation 17 feet (NAVD 88).

Zone X: 500 year base flood elevation

As shown on that certain FEMA "Flood Insurance Rate Map" Santa Cruz County, California:
Panel 357 of 470,
Community: Santa Cruz County
Number: 060353
Panel: 0357
Surfline P
Version number: 2.3.2.0
Map number: 060670357F
Map revised September 29th, 2017

Block 47
23 - M - 15

LAKE COURT
R.O. WIDE RIGHT OF WAY

Block M
24 - M - 24

Basis of Bearings

The basis of bearing for this map is between found monuments per Volume 624 of Maps, Page 24, Santa Cruz County Records.

Basis of Elevation

County Benchmark No. 35, Elevation = 13.24 feet, NAVD 88

Found elevated "square" in curb over a D.I. on the northwesterly side of intersection of Wilfield way and Treasure Island Ave.

The contour interval is 1 foot.



REVISION
APPROVED
Paul Mangano LS 797

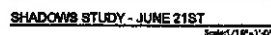
HANABAN LAND SURVEYING, INC.
10000 BOBUEL AVE., SANTA CRUZ, CA
95060
PHONE 831-488-8888



Boundary and Topographic Map, The Lands Of
Gary Gold
212 Lake Court, Aptos, CA 95003

Santa Cruz County
A.P.N. 043-223-16
DATE 8-23-2018
SCALE 1" = 8' FT
DRAWN P. Hanagan

SHEET
C-1
10095
KES MLS



OFF-STREET PARKING SPACES: 3 (8'-6" x 18' Min)

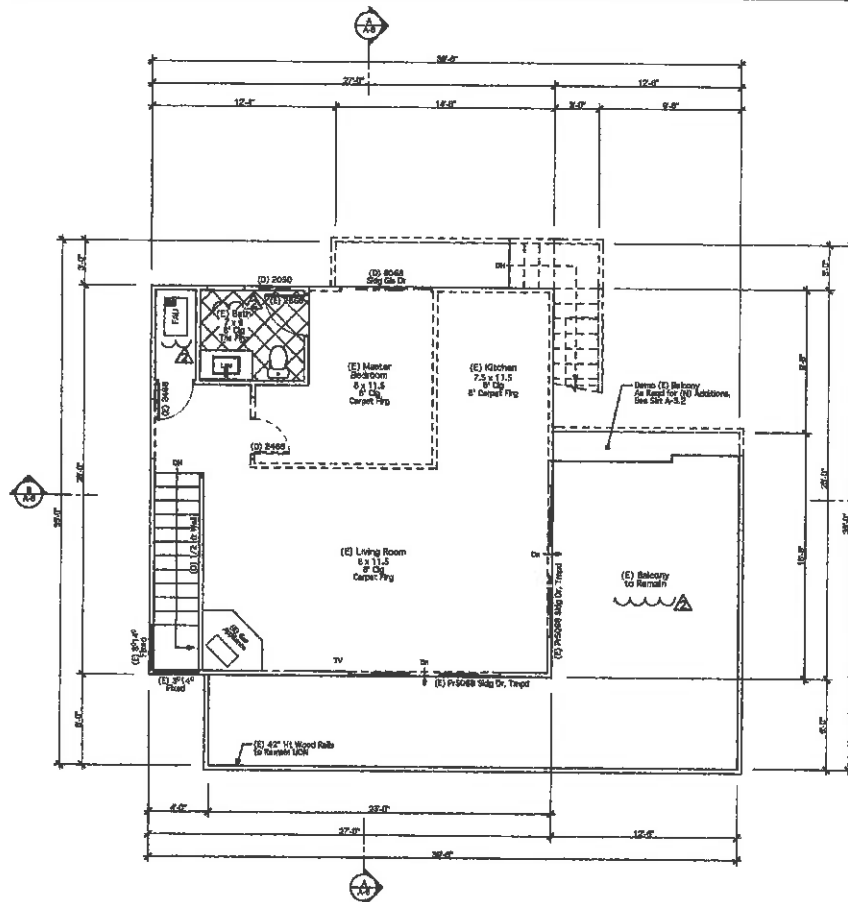
WATER DISTRICT: SOQUEL CREEK WATER DISTRICT
SEWER DISTRICT: SANTA CRUZ COUNTY SANITATION DISTRICT (SCCSD)



PREP SITE FOR NEW CONSTRUCTION. VERIFY ALL DIMENSIONS & SITE CONDITIONS IN FIELD. NOTIFY ARCHITECT OF DISCREPANCIES IMMEDIATELY IN WRITING.

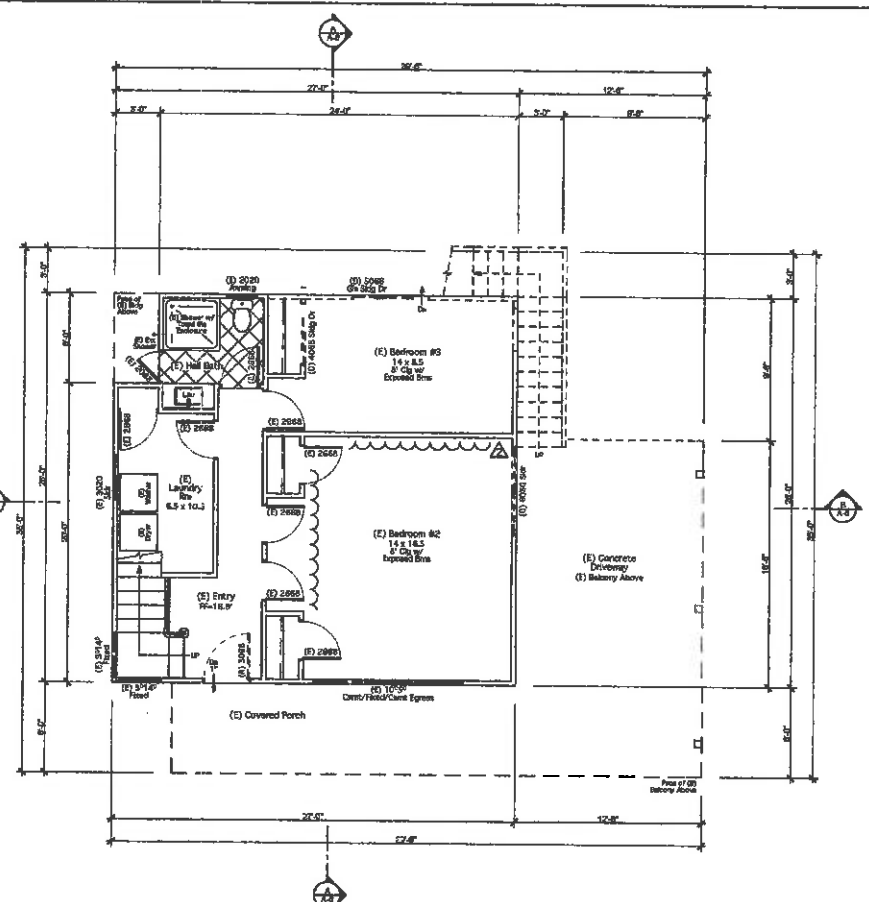


A-2



EXISTING & DEMOLITION UPPER LEVEL FLOOR PLAN

Scale: 1/4" = 1'-0"



EXISTING & DEMOLITION MAIN LEVEL FLOOR PLAN

NOTE: 100 Year Flood Plain Elevation = 17', See Sheet C1

Scale: 1/4" = 1'-0"

AREA CALCULATIONS (IN SQUARE FEET)

CATEGORY	(E) CALC	TOTAL (E)
Main Level		634
Covered Porch/Patio	338	
- Area Within 2' of Wall	-69	
	69	
	23	
Covered Porch/Patio Credit (Up to 140 sf)	-23	
	0	
Area Under Building / Impervious	381	238
- Area Within 2' of Wall	-158	
	223	
Garage		
- Garage/Driveway Credit (Up to 225 sf)		
TOTAL MAIN LEVEL		872
Upper Level		650
TOTAL		1522



WALL LEGEND	
(E) Wall to be Removed	
Existing Wall to Remain	

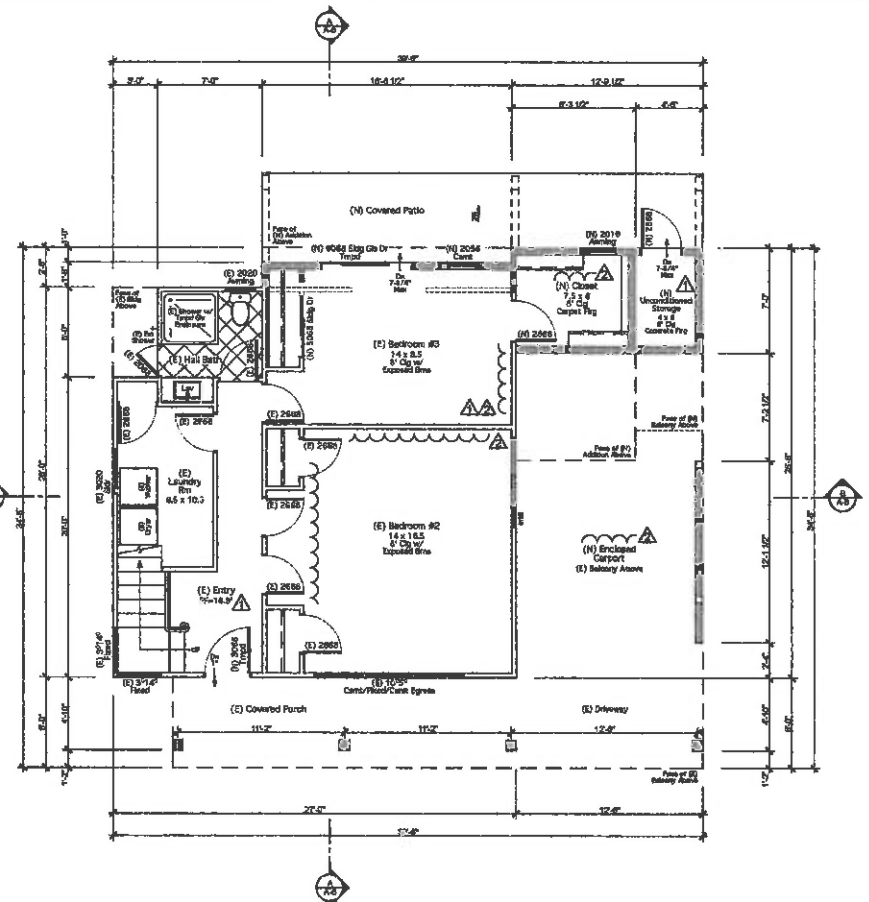
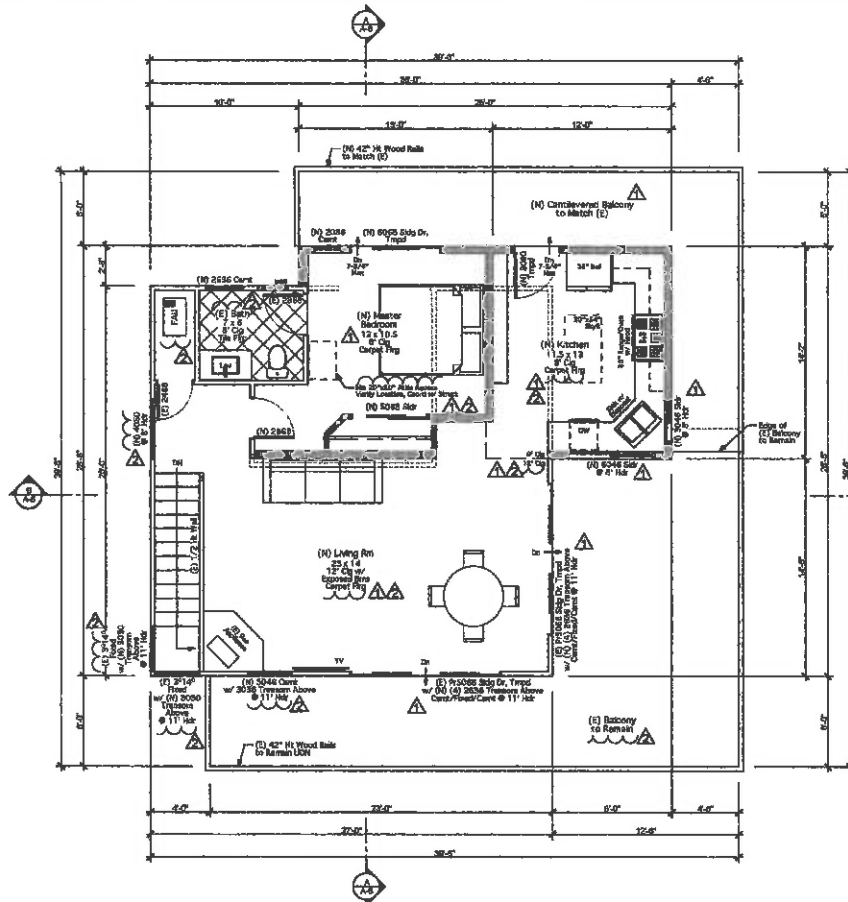
61 Main Street, Suite D
 San Jose, CA 95128
 Phone: (408) 381-8818
 Fax: (408) 381-8819
 www.tjmartin.com
TERRY J. MARTIN ASSOCIATES, A.I.A.
 ARCHITECTS

Dates & Revisions	
Revision	Date
Development Permit Application #2	04/18/2018
Development Permit Application #1	04/22/2018
Development Permit Application	01/11/2018
Rev	Description

GOLD BEACH HOUSE
 Custom Home Addition & Remodel
 212 Lake Court
 Aptos, CA 95003
 (APN 042-223-16)

Print Date: 4/18/18
 Project: #15055
 Scale: 1/4" = 1'
 Drawn by: T.J.M.

Sheet Title:
EXISTING & DEMOLITION FLOOR PLANS



PROPOSED MAIN LEVEL FLOOR PLAN
NOTE: 100 Year Flood Plain Elevation = 17'. See Sheet C1

AREA CALCULATIONS (IN SQUARE FEET)

CATEGORY	(E) CALC	TOTAL (E)	MINUS	(N) CALC	PLUS (N)	TOTAL (N)
Admin Level	-	580	-	-	116	696
Covered Porch/Patio	138	0	-	302	0	0
Area Within 8' of Wall	-60	-	-	-161	-	-
/2	33	-	-	71	-	-
Covered Porch/Patio Credit (Up to 140 sf)	-33	-	-	-71	-	-
Area Under Building Projection	391	22	-22	69	0	0
Area Within 8' of Wall	-158	-	-	-63	-	-
/2	223	-	-	0	-	-
Garage	-	-	-	242	17	17
Garage/Enclosed Carport Credit (Up to 125 sf)	-	-	-	-235	-	-
/2	-	-	-	17	-	-
TOTAL MAIN LEVEL	-	800	-	-	817	817
Upper Level	-	800	-	-	138	938
TOTAL	-	1600	-	-	955	1505

WALL LEGEND

(N) Wood Stud Wall
(E) Wall to be Removed
Existing Wall to Remain

TERRY J. MARTIN ASSOCIATES, A.I.A.
 ARCHITECTURAL & COMMERCIAL ARCHITECTURE
 51 Franklin Avenue, Suite 100
 Los Angeles, CA 90010
 Phone: 310-385-0016
 terry@tjmartin.com
 terrytjmartin.com

GOLD BEACH HOUSE
 Custom Home Addition & Remodel
 212 Lake Court
 Aptos, CA 95003
 (APN 042-223-16)

Project: 04/19/2019
 Development Permit: 05/28/2018
 Development Permit: 01/18/2018
 Development Permit: Application
 Rev: Description
 Date:

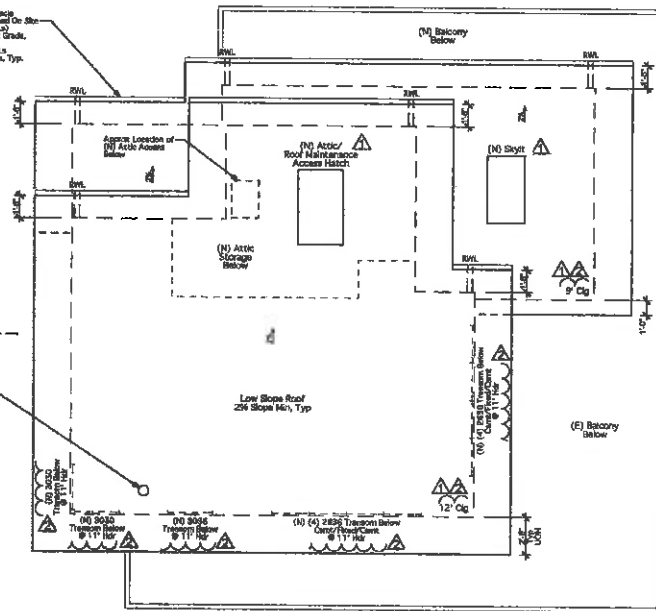
Print Date: 4/15/19
 Project: 015005
 Scale: 1/4" = 1'-0"
 Drawn by: T.J. MTP

PROPOSED FLOOR PLANS

A-32

5" Flexible Gutter C/ 2x14 Fridge
 All Storm Water to be Rejected On Site
 Via San Water Line (Wells)
 1/2 Concrete Island (Wells) at Grade,
 Storm Water from Building
 1/2 Verify Location of Wells
 w/ Owner prior to installation, Typ.

Vent for (2) Gas Appliances



ROOF PLAN

Scale: 1/4" = 1'-0"

61 East Main Street, Suite 200
 San Marcos, CA 92069
 Phone: 760-338-5418
 terry@tjma.com

TERRY J. MARTIN ASSOCIATES, A.I.A.
 RESIDENTIAL COMMERCIAL ARCHITECTURE

Other Revisions		
Revision	Date	Description
1	04/16/2018	Development Permit Resubmission #2
2	02/22/2018	Development Permit Resubmission #1
3	07/11/2018	Development Permit Application

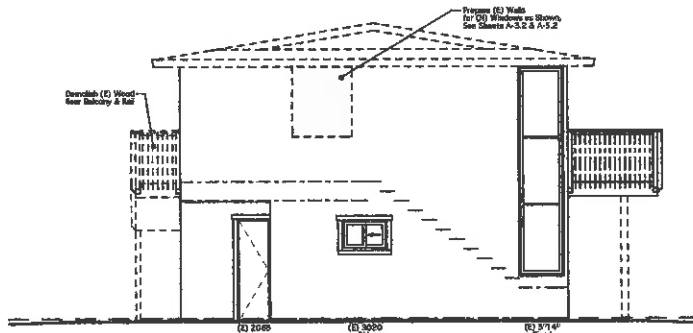
GOLD BEACH HOUSE
 Custom Home Addition & Remodel
 212 Lake Court
 Aptos, CA 95003
 (APN 042-223-16)

Print Date: 4/19/19
 Project: #15065
 Scale: 1/4" = 1'
 Drawn by: T.J. RTP

Sheet Title:

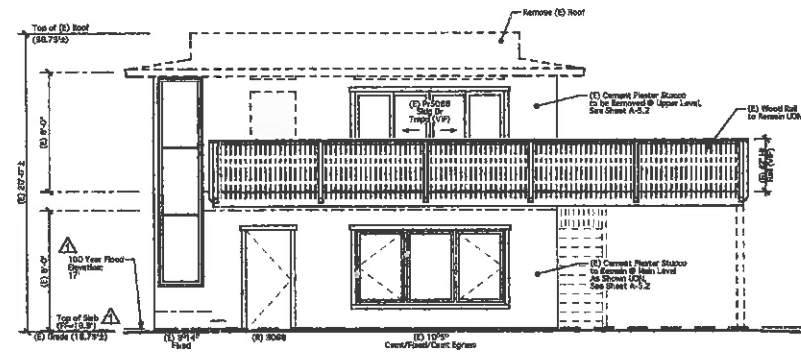
ROOF PLAN

A-4



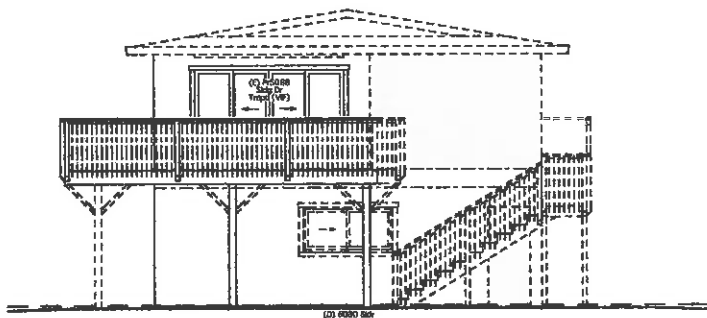
EXISTING LEFT SIDE (EAST) ELEVATION

Scale: 1/4" = 1'-0"



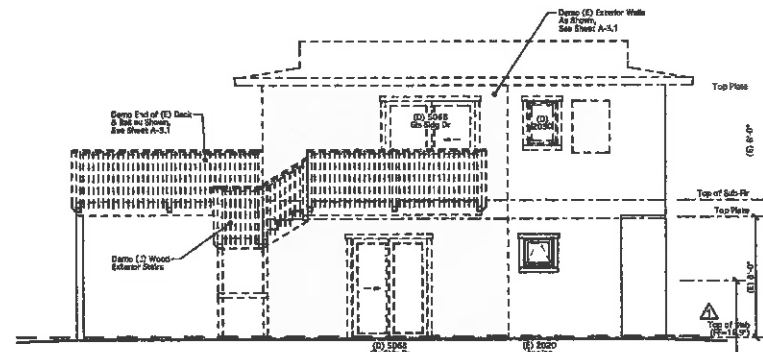
EXISTING FRONT (NORTH) ELEVATION

Scale: 1/4" = 1'-0"



EXISTING RIGHT SIDE (WEST) ELEVATION

Scale: 1/4" = 1'-0"



EXISTING REAR (SOUTH) ELEVATION

Scale: 1/4" = 1'-0"

61 East Main Street, Suite 200
Los Angeles, CA 90012
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tjmartin@tjmartin.com
www.tjmartin.com

TERRY J. MARTIN ASSOCIATES, A.I.A.
Architectural & Mechanical Architecture
Interior Design

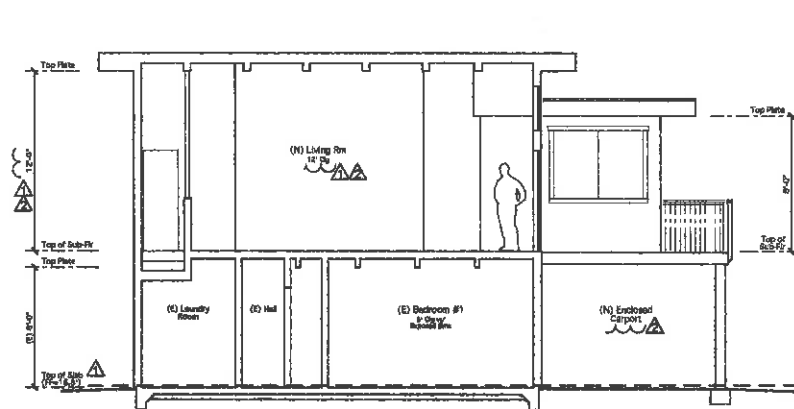
Dates & Revisions		
Rev.	Description	Date
04/17/2018	Development Permit Resubmission #2	
08/22/2018	Development Permit Resubmission #1	
01/16/2019	Development Permit Application	

GOLD BEACH HOUSE
Custom Home Addition & Remodel
212 Lake Court
Aptos, CA 95003
(APN 042-223-16)

Print Date: 4/18/18
Project: #13029
Scale: 1/4" = 1'-0"
Drawn by: T.J. RYP

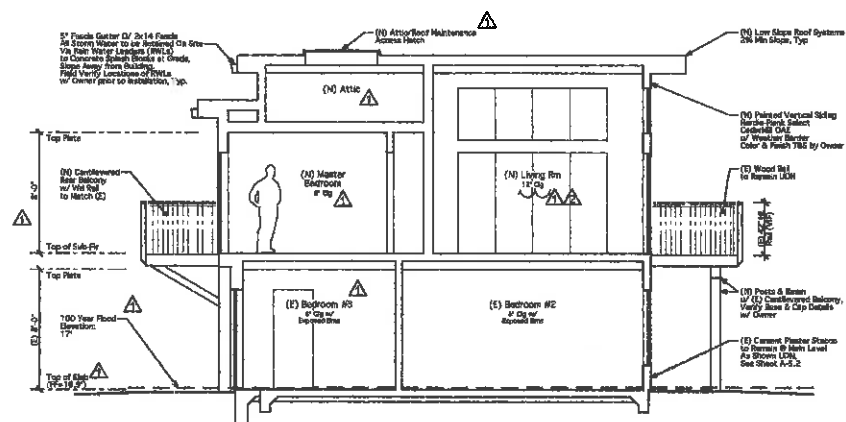
Sheet Title:
EXISTING & DEMOLITION EXTERIOR ELEVATIONS

A-5.1



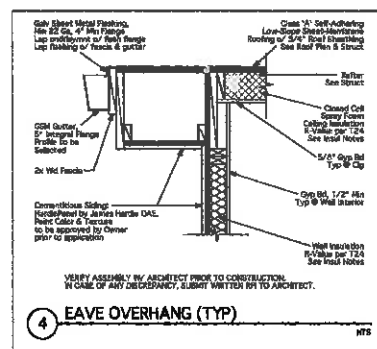
CROSS SECTION B-B

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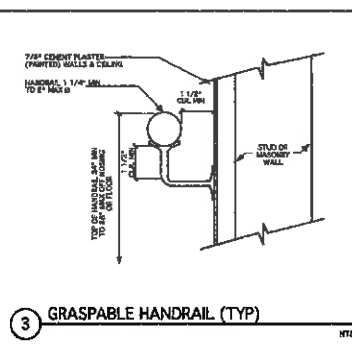


CROSS SECTION A-A

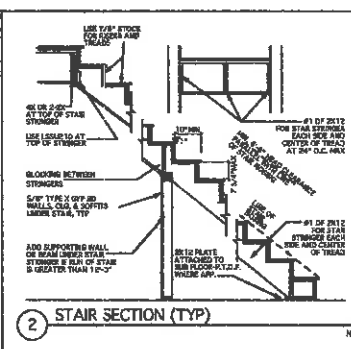
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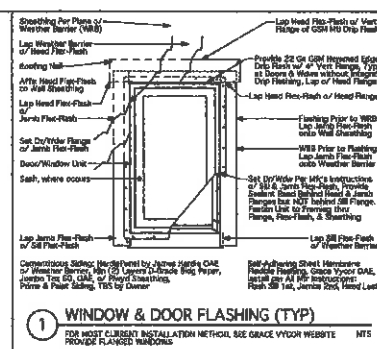
4 EAVE OVERHANG (TYP)



3 GRASPABLE HANDRAIL (TYP)



2 STAIR SECTION (TYP)



1 WINDOW & DOOR FLASHING (TYP)

GOLD BEACH HOUSE
Custom Home Addition & Remodel
212 Lake Court
Aptos, CA 95003
(APN 042-223-16)

Print Date: 4/18/19
Project: #15055
Scale: 1/4" = 1'-0"
Drawn by: T.J. RTP

Sheet Title:
CROSS SECTIONS A-A, B-B

A-6

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www.tjmartin.com

TERRY J. MARTIN ASSOCIATES, A.I.A.
RESIDENTIAL COMMERCIAL ARCHITECTURE
tjmartin@aia.com

Date	Revision
04/18/2018	Development Permit Resubmit #2
06/28/2018	Development Permit Resubmit #1
01/18/2018	Development Permit Application