

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
701 Ocean Street, 4<sup>th</sup> Floor  
Santa Cruz, CA 95060  
(831) 454-2580

**NOTICE OF PENDING ACTION**

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

**APPLICATON NUMBER: 181023**

**APN: 038-151-12**

**Proposal to recognize construction of a pin pier wall at the top of the coastal bluff built under an Emergency Coastal Permit, on property located within the R-1-4 zone district. Requires a Coastal Development Permit.**

**Property located on the south side of Seacliff Drive at 733 Seacliff Drive.**

**OWNER: Jeanell Martin Trustee**

**APPLICANT: Grace Gurreri**

**SUPERVISORIAL DISTRICT: 2**

**PLANNER: Randall Adams, (831) 454-3218**

**EMAIL: [Randall.Adams@santacruzcounty.us](mailto:Randall.Adams@santacruzcounty.us)**

**Public comments must be received by 5:00 p.m. August 9, 2018.**

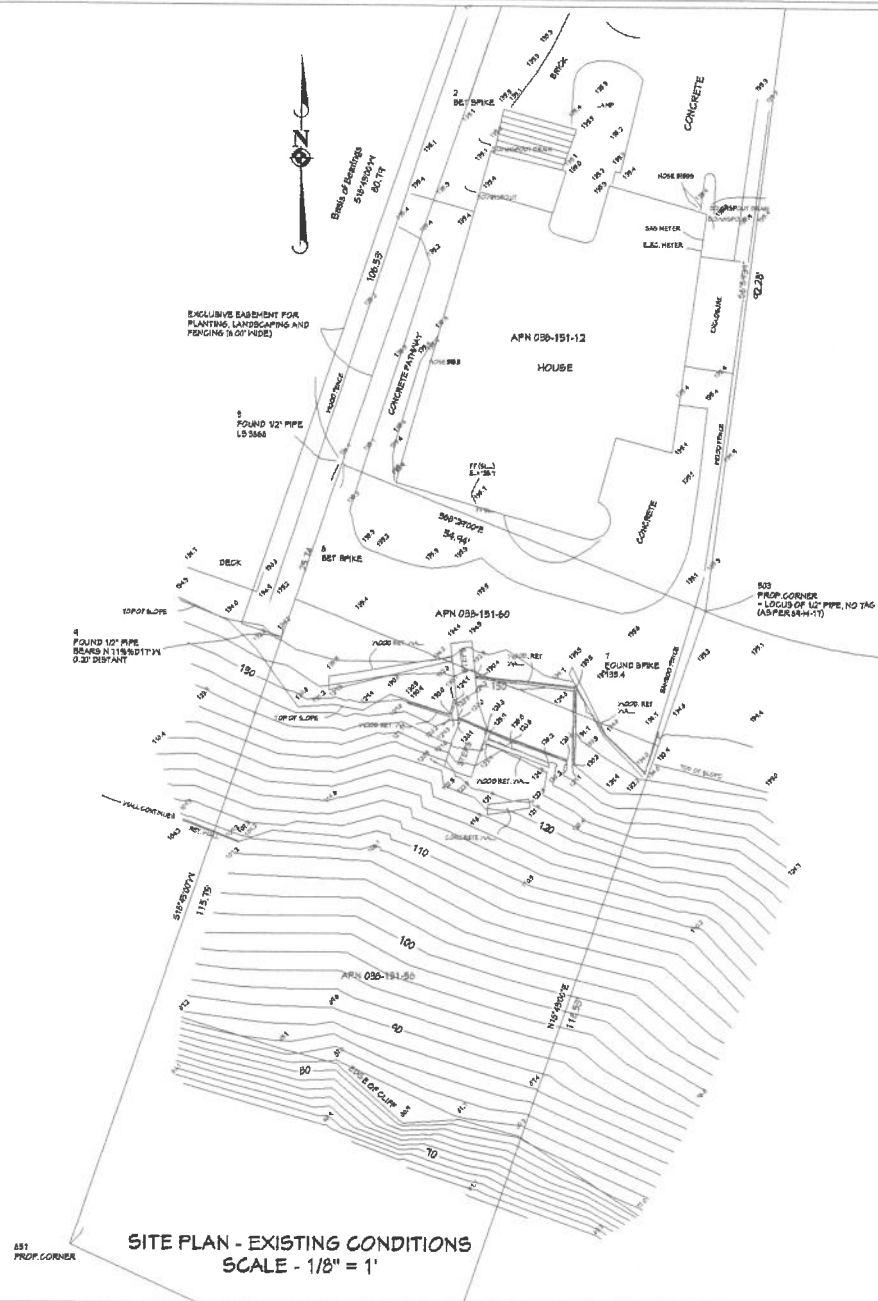
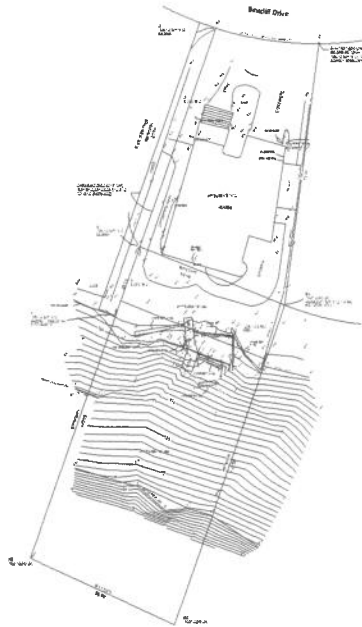
**A decision will be made on or shortly after August 10, 2018.**

**Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.**

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

**For more information, call the project planner identified above.**





A-1





**JEANELL MARTIN**

## SLOPE STABILIZATION PHASE 1



ACTUAL GRADING QUANTITY = 20 CUBIC YARDS REMOVED  
FOR PHASE 1 AND PHASE 2

x 100.00

x 100.00

x 99.96

x 100.00

~~x 100.04~~

x 100.04

BIRD OF PARADISE

TOP OF LEVEL GRADE BEAM

LESS THAN  
3:1 SLOPE

wall is level

(E) GRADES LEVEL AT  
BOTTOM OF WALL

x 99.73

TOP OF WALL  
X 99.31

x 97.50  
BOTTOM  
OF WALL

**SLOPE**  
**1.33 : 1**

TOP OF WALL.  
X 98.23

X 94.6  
BOTTOM  
OF WALL

WOOD WALL TO BE  
REMOVED

TOPS OF BOTH WALL  
ARE LEVEL

**SLOPE**  
1.47 : 3

~~94.9~~  
BOTTOM

~~94.98~~  
BOTTOM

3.98  
TTOM

93.80

12 SLOPE  
W/1' GRADE BEAM  
VISIBLE  $\times 100.16$

**SLOPE**  
1:1

OF WALL

~~FLATISH AREA  
WITHOUT SUPPORT~~

RE-SLOPE AREA

~~x 99.19~~

97.80 X 11" DROP

SMALL WOOD WALL TO BE REMOVED

## SLOPE STABILIZATION PHASE 2

NO. AMERICAN GREEN STRAW / COCONUT FIBER  
TURF REINFORCEMENT MATTING  
SECURED WITH 9" GALVANIZED STAPLES - 12" AND 18" PINS  
INSTALL TEMPORARY SPRAY IRRIGATION (SEE PAGE 1)

Soquel, CA 95073-2532  
831-476-5988 Fax: 831-476-0363  
www.primetlandscape.com  
John David  
jdavid@primetlandscape.com  
Certified by L.A. Architect Center Spec. #1523  
Member of the North American Contractor Assoc.



JEANELL MARTIN  
733 SEA CLIFF DR  
APTOS, CA 95003

DRAWN BY  
Donna Gallagher  
DATE  
MARCH 14, 2018



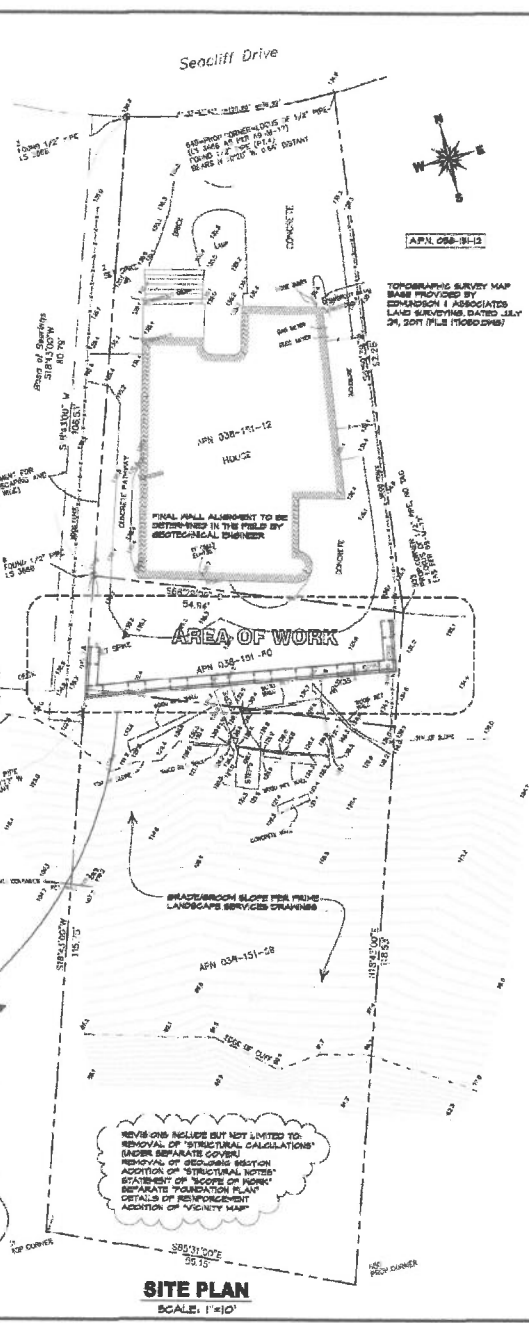
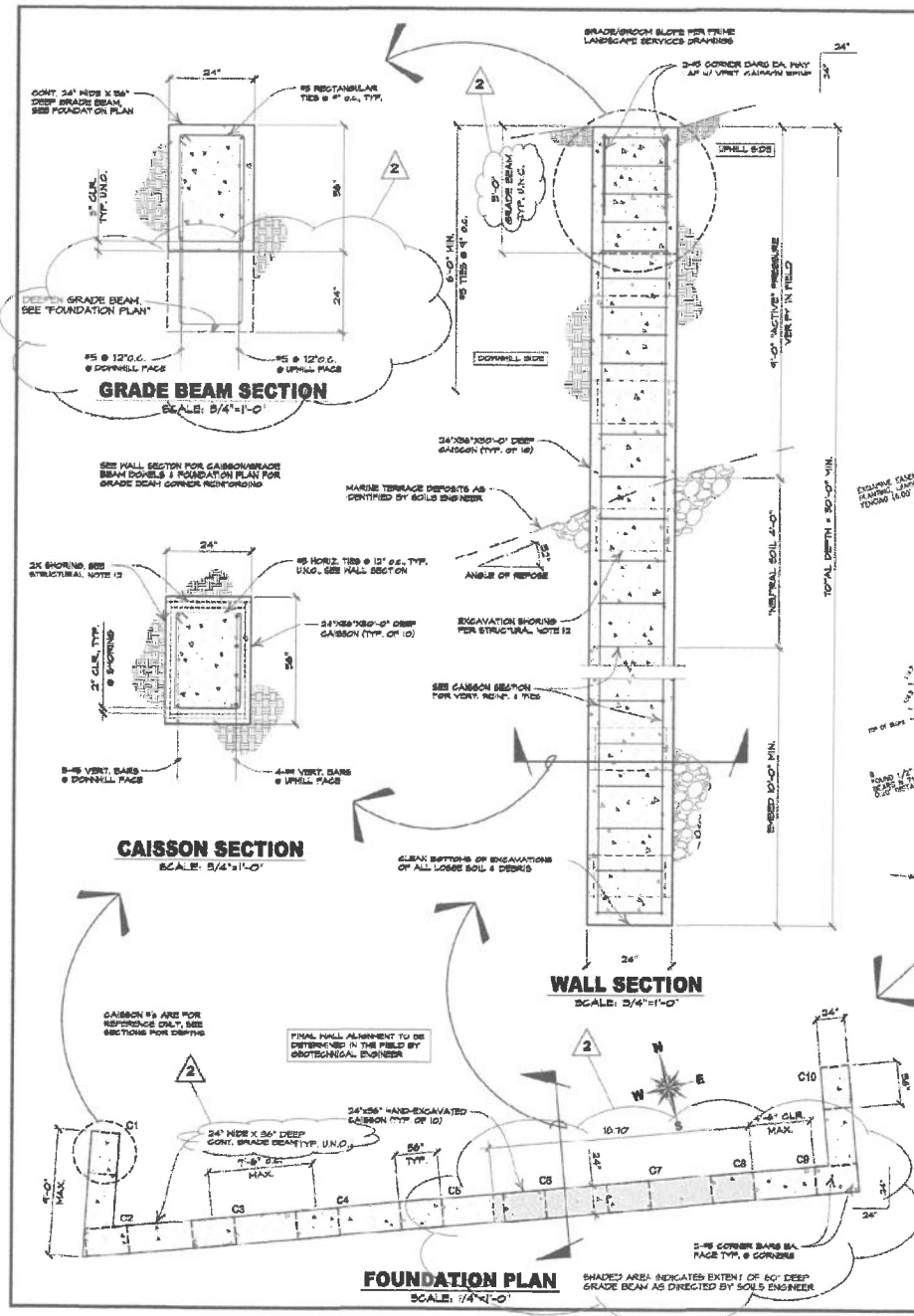
SHEET NO.  
2 of 2  
PHASE 2

**FENCE**

[illegible]

A-3



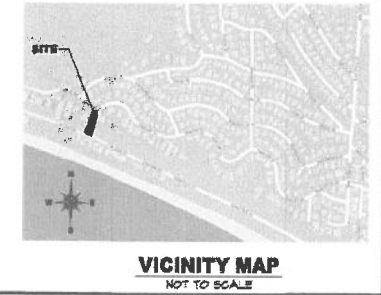


THESE STRUCTURAL DRAWINGS ARE FOR THE DESIGN AND CONSTRUCTION OF A REPAIR OF THE EXISTING CONCRETE FOUNDATION AND ADJACENT TO THE EXISTING STEEL CONCRETE BLUFF ABOVE LAS OLAS DRIVE AND ADJACENT TO THE MONTEREY BAY. THE CAISSONS WILL BE PLACED IN A LINE FORMING A SHIELD FOR THE EXISTING FOUNDATION. A CONTINUOUS GRADE BEAM ABOVE THE EXISTING BLUFF ALONG THE ENTIRE WIDTH OF THE PROPERTY AND EXISTING IN THE UPRILL DRIVE. AN ADDITIONAL BAY ALONG EACH SIDE OF IT. THE SCOPE OF WORK SHALL BE AS FURTHER DETAILED IN THE SOIL REPORTS AND RECOMMENDATIONS. THE SOIL REPORTS (REMARKS) WHICH SHALL BE INCORPORATED HEREIN BY REFERENCE. NO OTHER CONSTRUCTION IS INCLUDED IN THE SCOPE OF WORK.

### SCOPE OF WORK

1. THESE DRAWINGS AND THE ASSOCIATED STRUCTURAL CALCULATIONS ENTITLED "STRUCTURAL CALCULATIONS FOR EXISTING BLUFF REPAIR, MARTIN RESIDENCE, THE SEAL, BY DRIVE, APOTOS, CALIFORNIA HAVE BEEN PREPARED BY SCHNEIDER ENGINEERING AS A PRODUCT OF SERVICE FOR THE EXCLUSIVE USE OF SOIL STABILITY CONSULTING, INC. (CLIENT) FOR THE PROJECT DESCRIBED HEREIN. THEY MUST NOT BE USED BY OTHER PARTIES OR FOR OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF SCHNEIDER ENGINEERING AND THE CLIENT.
2. ALL MATERIAL AND HORIZONTALS SHALL CONFORM TO THE CALIFORNIA BUILDING CODE, 2018 EDITION, AND ALL ASSOCIATED DESIGN LOADS AND ASSOCIATED CRITERIA FOR BUILDINGS AND OTHER STRUCTURES AND ALL APPLICABLE LOCAL ORDINANCES, NOTES AND SPECIFICATIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE STRUCTURAL NOTES.
3. THE CONTRACTOR SHALL CHECK ALL DRAWINGS IMMEDIATELY UPON THEIR RECEIPT AND SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, STRUCTURAL CONFIGURATIONS AND SITE CONDITIONS. ANY DISCREPANCIES OR OMISSIONS SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES BETWEEN THE ACTUAL CONDITIONS AND THOSE SHOWN ON THESE DRAWINGS.
4. FOUNDATION DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOIL REPORTS PREPARED BY PACIFIC GRIFF ENGINEERING, INC. ENTITLED "SOIL REPORT, GEOTECHNICAL EVALUATION, EXISTING BLUFF REPAIR, MARTIN RESIDENCE, THE SEAL, BY DRIVE, APOTOS, CALIFORNIA, PROJECT NO. 1710-0384-1, DATED JULY 24, 2017 AND JULY 24, 2017, RESPECTIVELY.
5. THE EXISTING DIMENSIONS AND LOCATION OF EACH OF THE HAND-ONE CAISSON EXCAVATIONS SHALL BE INDIVIDUALLY FIELD VERIFIED BY THE PROJECT SOILS ENGINEER IN ACCORDANCE WITH THESE DRAWINGS AND THE SOIL REPORTS REFERENCED IN STRUCTURAL NOTE 4 (ABOVE).
6. ALL AREAS DISTURBED AS A RESULT OF CONSTRUCTION SHALL BE PROTECTED AGAINST EROSION AS APPROPRIATE BY INSTALLING SILT FENCES AND STRIP CURBS DURING CONSTRUCTION, FOLLOWED BY REPAIRS AND INSTALLATION OF EROSION CONTROL, BLANKETS, ADDITIONAL SILT FENCES AND STRIP CURBS. REPAIRS SHALL BE NECESSARY FOLLOWING THE COMPLETION OF CONSTRUCTION. ALL SUCH REPAIRS SHALL BE PERFORMED IN ACCORDANCE WITH THE DRAWINGS PREPARED FOR THE PROJECT BY PRIMA LANDSCAPE SERVICES DATED AUGUST 1, 2017 AND RE ENGINEERING, INC. OTHER PROJECT NO. 1710-0384-1, DATED AUGUST 2017 AS WELL AS WITH THE EROSION CONTROL REQUIREMENTS AND BEST MANAGEMENT PRACTICES OF THE COUNTY OF SANTA CRUZ, CALIFORNIA.
7. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL TEMPORARY SHORINGS, CONCRETE FORMS, FORM TIES AND BRACING, SKEGGELES CONSTRUCTION ROADWAYS AND RAMPS, SCAFFOLDING, BRACING AND ALL CONSTRUCTION MEANS AND METHODS, AS WELL AS FOR ALL TEMPORARY SAFETY AND ACCESS FEATURES REQUIRED TO FACILITATE CONSTRUCTION AND MAINTAIN A SAFE WORKING JOB SITE ENVIRONMENT.
8. ALL CONSTRUCTION DEBRIS AND EXCAVATION GROUPE SHALL BE REMOVED FROM THE JOB SITE AND HAULED TO AN APPROPRIATE DISPOSAL SITE. EXCAVATION GROUPE MAY BE DISPOSED ON SITE AND/OR USED AS BACKFILL, ONLY AS APPROVED BY THE SOILS ENGINEER.
9. CONCRETE SHALL BE NORMAL WEIGHT AND DEVELOP A MINIMUM 12 THOUSAND COMPRESSION STRENGTH OF 2800 PSI WITHIN 28 DAYS. CONCRETE COURSE ADJUSTMENTS SHALL HAVE A MAXIMUM DIMENSION OF 1.0" FOR CONCRETE TO BE PLACED, IN THE BRACKET, COURSE ADJUSTMENTS WITH A MAXIMUM OF 1.0" PER COURSE. YARD IS RECOMMENDED TO BE PLACED IN ACCORDANCE WITH C.S.D. CHAPTER 17 IS REQUIRED. CONCRETE SHALL BE "DOT" COLOR.
10. REINFORCING STEEL SHALL BE THERMOSET-EPoxy-RESIN-REINFORCED STEEL (THERMOSET-EPoxy-RESIN-REINFORCED STEEL) WITH A MINIMUM DIMENSION OF 1.0" FOR CONCRETE TO BE PLACED, IN THE BRACKET, COURSE ADJUSTMENTS WITH A MAXIMUM OF 1.0" PER COURSE. YARD IS RECOMMENDED TO BE PLACED IN ACCORDANCE WITH C.S.D. CHAPTER 17 IS REQUIRED. CONCRETE SHALL BE "DOT" COLOR.
11. REINFORCING STEEL SHALL BE TIED TOGETHER AND HELD AWAY FROM THE PLACEMENT OF CONCRETE DURING CONSTRUCTION. REINFORCING STEEL SHALL BE PLACED IN PLACE TO MAINTAIN A MINIMUM CLEARANCE OF 3-INCHES WHERE CONCRETE IS DEPOSITED AGAINST EARTH, 2-INCHES WHERE DEPOSITED AGAINST FORMED SURFACES.
12. CAISSON EXCAVATIONS SHALL BE INTERMITTENTLY SHORED AT NO MORE THAN 8-FOOT INTERVALS WITH PROPER CAISSONS CONSTRUCTED OF INTERLOCKING 2X12 DIMENSION DOUGLAS FIR NO. 2 OR BETTER MEMBERS AS INDICATED ON THESE DRAWINGS, OR ALTERNATE APPROVED BY SCHNEIDER ENGINEERING. GROUNDING MAY BE NECESSARY IN PLACE EXPOSED IN CONCRETE CAISSONS AND CONSIDERED AS FORMED SURFACES.

### STRUCTURAL NOTES



Client: **Soil Stability Construction, Inc.**  
3435 Sierra Road  
San Jose, California 95132  
(408) 929-7645



**SCHNEIDER ENGINEERING**  
CIVIL / STRUCTURAL ENGINEERING  
2150 TRADE CENTER BLVD, SUITE 1700  
SAN JOSE, CALIFORNIA 95131-1700  
Phone: (408) 275-8422, E-mail: schneider@schneider.net



**EMERGENCY REPAIR**  
MARTIN RESIDENCE BLUFF  
733 Seaciff Drive  
Aptos (Santa Cruz County), California

DATE: AUGUST 2017  
DRAWN: J.A.S./R.S.C.  
SHEET  
**51**  
OF (1) SHEETS

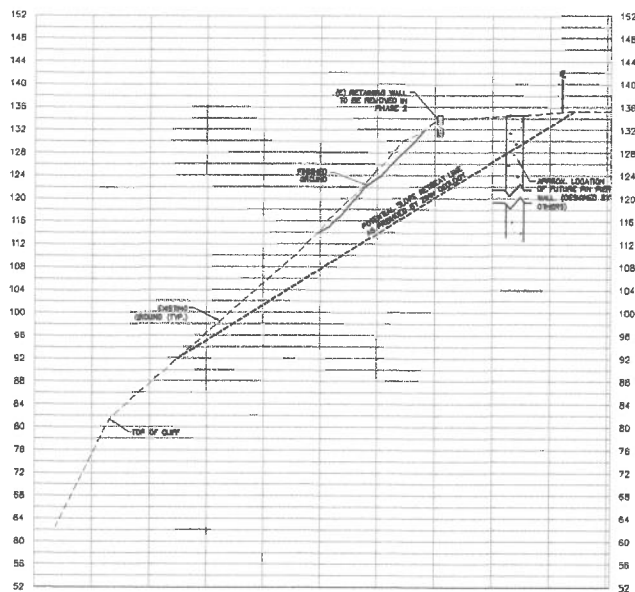




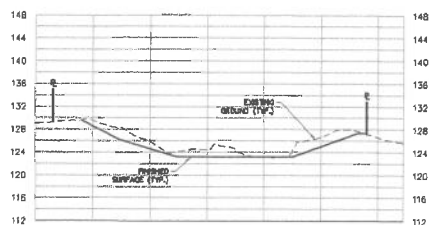




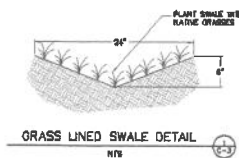




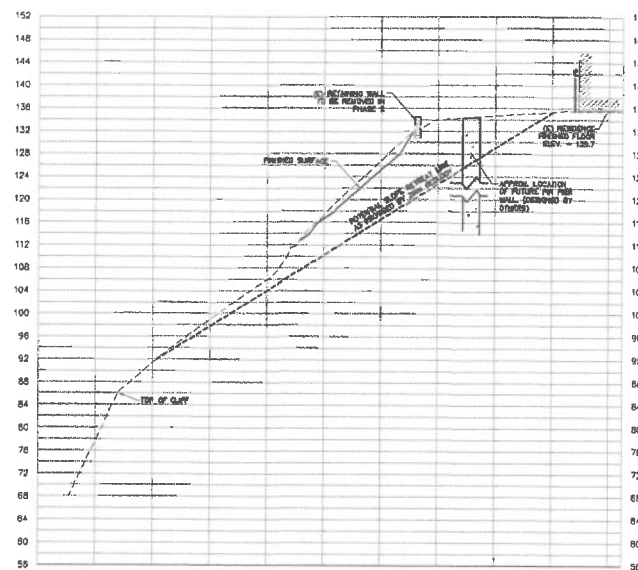
SECTION A-A  
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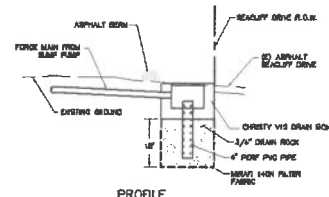
SECTION C-C  
SCALE: 1"=10' HORIZONTAL, VERTICAL



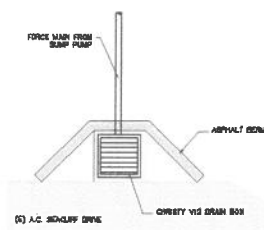
GRASS LINED SWALE DETAIL  
N1/8



SECTION B-B  
SCALE: 1"=10' HORIZONTAL, VERTICAL



PROFILE



PLAN



BUBBLER OUTLET DETAIL  
N1/8

ADD EARTH BEHIND OVER WALL. REVERSE EARTHWORK NOTES PER

GEOTECHNICAL AND GEOLOGIC COMMENTS SEPT 2017



R.I. Engineering Inc.

303 Potrero St., Suite 42-202, Santa Cruz, CA 95060

531-425-5901 www.ringhoosting.com

EMERGENCY GRADING POINT

FOR

JEANELL MARTIN

REGISTERED PROFESSIONAL ENGINEER

APRIL 1988 #008-15-1-12

project no.

17-080-2

DATE

SEPT 2017

SCALE

AS SHOWN

drawing name

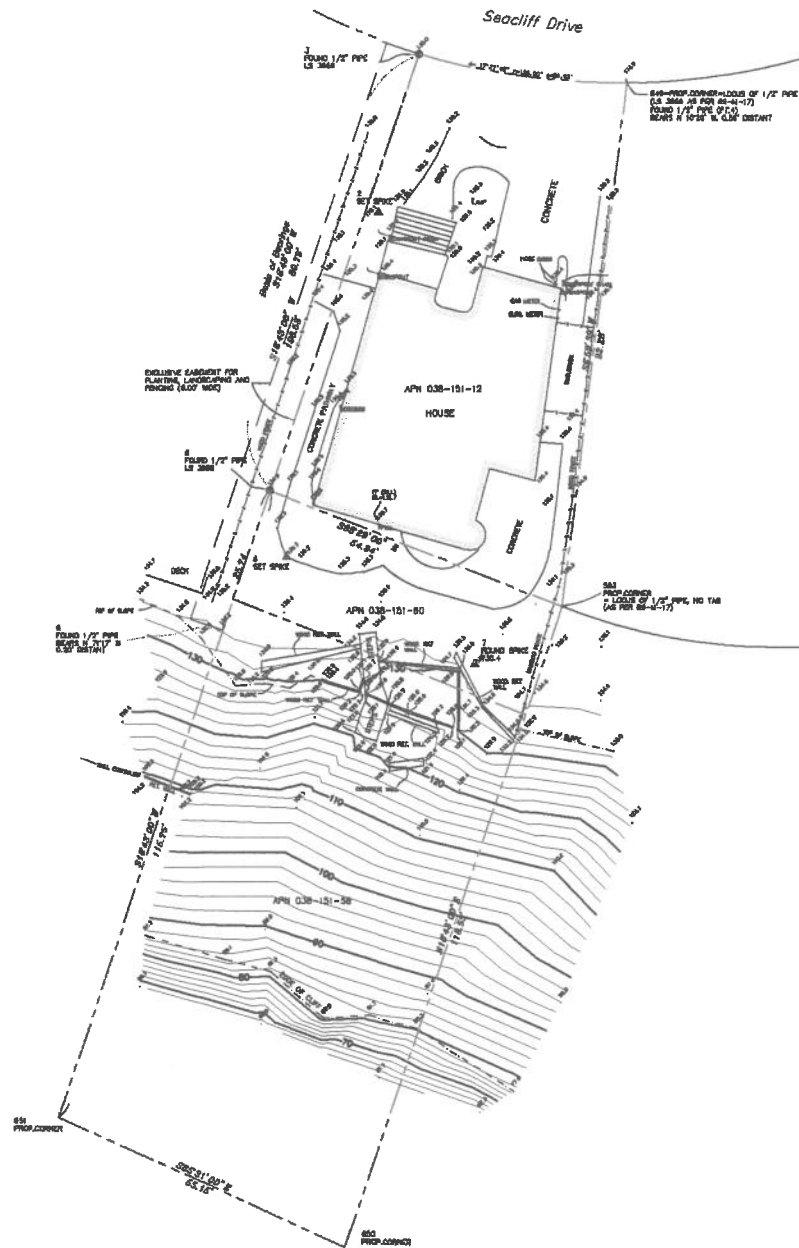
CIVIL.DWG

SECTIONS AND DETAILS

C-3



Scale 1" = 10'  
Contour Interval 2'



- LEGEND**
- Survey control point found as noted
  - Survey control point set as noted
  - Property line, line of title
  - Other property line
  - Center of right of way
  - Structure line
  - Fence
  - Tie line
  - Edge of pavement
  - Tree
  - Record data

Elevations are based on NAVD83 as established from a network RTK GPS reading. Not confirmed to a local benchmark.

NOTE: This is not a boundary survey. Property lines are shown for orientation only and are based on recorded data. They may be discovered to be different, subject to the results of a complete boundary survey.

<p><b>EINARSSON &amp; ASSOCIATES</b> LAND SURVEYING</p> <p>1512 SEABRIGHT AVENUE SANTA CRUZ, CA 95062 PHONE: (831) 425-1786 FAX: (831) 425-1780</p>	<p><b>TOPOGRAPHIC SURVEY MAP</b> OF ASSESSOR'S PARCEL NO. 038-151-12</p>		
	<p>Scale 1" = 10'</p>	<p>Santa Cruz County California</p>	<p>File 17108.DWG FB 189/38</p>
	<p>September 7, 2017</p>	<p>Prepared for <b>Jeaneil Martin</b></p>	<p>Job #17108</p>
	<p>Job #17108</p>		