

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 181077

APN: 052-081-37

Proposal to demolish four existing single-family dwellings and eight non-habitable accessory structures. Requires a Coastal Development Permit and a determination that the project is exempt from the California Environmental Quality Act.

The property is located on the west side of Lee Road, at the intersection of Lee Road and Harkins Slough Road, approximately $\frac{3}{4}$ of a mile south from Main Street, Watsonville.

OWNER: Land Trust of Santa Cruz County

APPLICANT: Barry Baker

SUPERVISORIAL DISTRICT: 2

PLANNER: Sheila McDaniel, (831) 454-2255

EMAIL: Sheila.McDaniel@santacruzcounty.us

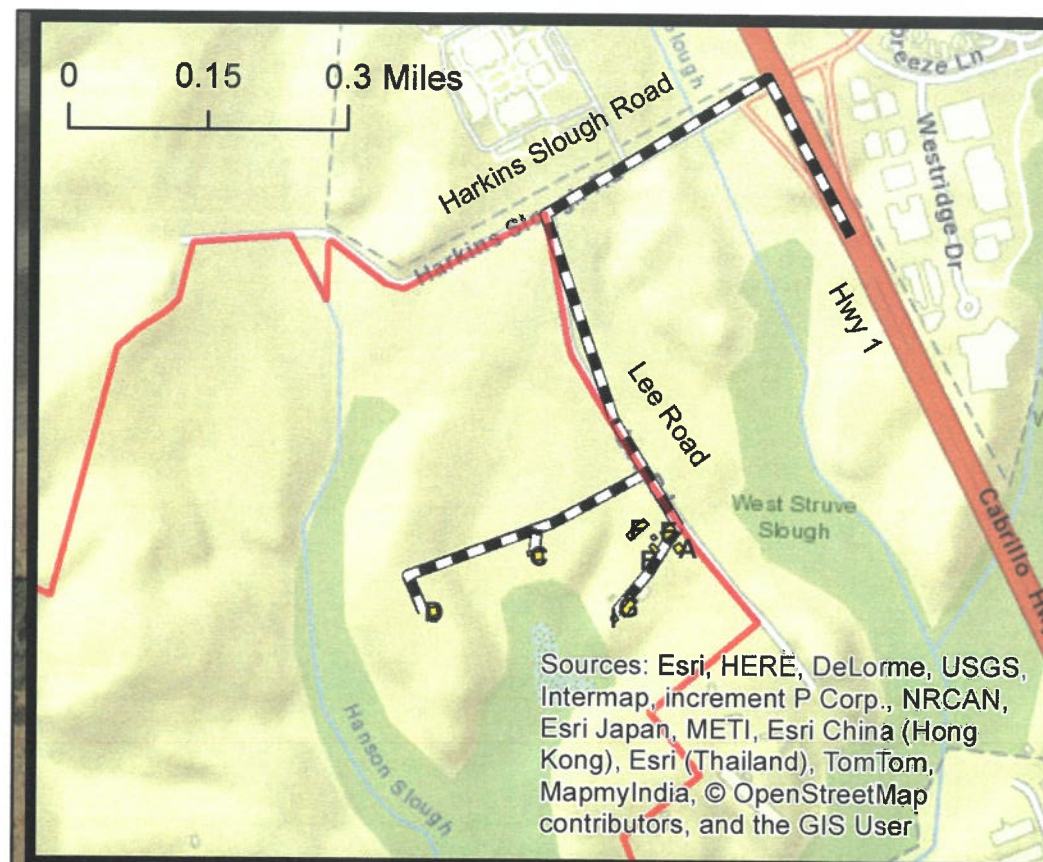
Public comments must be received by 5:00 p.m. September 20, 2018.

A decision will be made on or shortly after September 27, 2018.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.




For more information, call the project planner identified above.



- A. Single Family Dwelling (1,332 sq ft)**
- B. Single Family Dwelling (885 sq ft)**
- C. Single Family Dwelling (1,370 sq ft)**
- D. Single Family Dwelling (1,672 sq ft)**
- E. Barn (4,300 sq ft)**
- F. Machinery Shed/Chicken Coop (5,000 sq ft)**
- G. Animal Slaughter House/"Dairy Barn" (6,000 sq ft)**
- H. Milk Room (650 sq ft)**
- I. Overhang (800 sq ft)**
- J. Overhang (550 sq ft)**
- K. Detached Shed (450 sq ft)**
- L. Detach Shed (450 sq ft)**

Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

Watsonville Slough Farm APN 052-081-37

-  Watsonville Slough Farm Boundary
-  Structures to be Demolished
-  Demolition Debris removal Route

0 200 400 Feet

