

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 181089

APN: 096-021-18

Proposal to construct a 490 square foot addition above a new 430 square foot storage room and an attached 480 square foot garage to an existing 945 square foot single-family dwelling with a reduced side-yard setback of 7'-6", located in the RA zone district. Requires a Minor Exception to allow the side yard setback reduction from 15 feet to 7 feet, 6 inches and a Residential Development Permit for a retaining wall up to 8 feet in height (and any necessary guardrails above) within the front yard setback from an unnamed right of way (for a fire turnaround). Property located off a private right of way on the southwest side of Summit Road approximately 1 mile northwest of Highway 17. (21672 Summit Road)

OWNER: Alan and Andrea Hills

APPLICANT: Alan and Andrea Hills

SUPERVISORIAL DISTRICT: 5

PLANNER: Randall Adams, (831) 454-3218

EMAIL: Randall.Adams@santacruzcounty.us

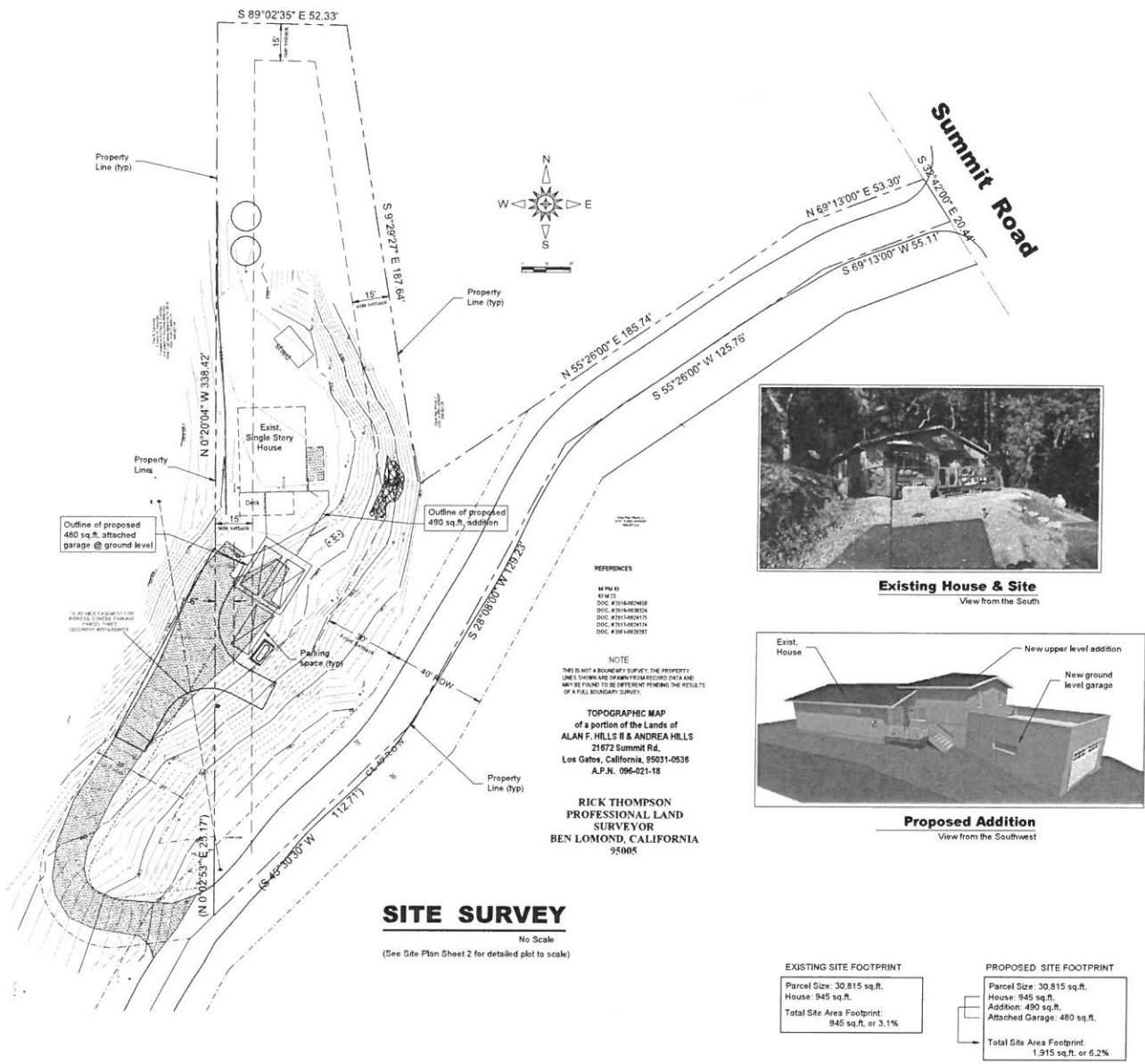
Public comments must be received by 5:00 p.m. August 16, 2018.

A decision will be made on or shortly after August 17, 2018.

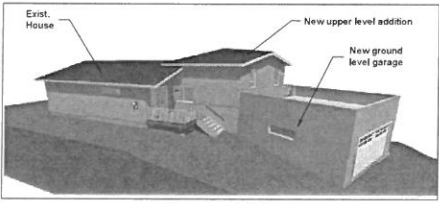
Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

For more information, call the project planner identified above.



Existing House & Site
View from the South



Proposed Addition
View from the Southwest

MINOR EXCEPTION For Detached Garage **Hills Residence 21672 Summit Rd Los Gatos, CA.** **APN: 096-021-18**

SITE NOTES

1. Parcel Owner/Address:
Alan & Andrea Hills
21672 Summit Road
Los Gatos, CA, 95033
408 596 0316
2. Project Contractor:
Hills Construction, Inc.
P.O. Box 0536
Los Gatos, CA, 95031
408 371 1399
3. Site APN: 096-021-18
4. Site Area: 30,815 sq. ft. (0.70 acres)
5. Easement Areas: 40' right-of-way
along east property line.
6. Occupancy Type: R-3
Construction Type: Type V
7. Zoning: RA
8. Setbacks:
Front - 40' or (30')
Rear - 20' or (15')
Sides - 20' or (15')
(per County Code Section
13.10.323D(2)(a))
9. Proposed Bldg Coverage:
1,915 sq. ft. or 6.2% total.
10. Building Height: approx. 22'-3" from
lowest finish grade.
11. Property lines derived from Partial
Topographic Survey by Rick
Thompson Land Surveying, dated
October 2017.
12. All other information shown based
upon field measurements and
inspection dated 8-26-17.

SCOPE OF WORK

Proposed construction will generally consist of the following:
- New 490 sq. ft. upper level addition over new storage area below.
- New 431 sq. ft. storage area (non-habitable accessory structure)
below upper level addition.
- New 480 sq. ft. attached garage at ground level at front of house.
- The proposed garage requires a minor exception to encroach
within the side yard setback.

CODE COMPLIANCE

All work and materials shall be performed and installed with the
current editions of the following codes as adopted by the County of
Santa Cruz:

1. 2016 California Building Code, based on 2015 IBC
2. 2016 California Residential Code, based on 2015 IRC
3. 2016 California Plumbing Code, based on 2015 UPC
4. 2016 California Electric Code, based on 2015 NEC
5. 2016 California Mechanical Code, based on 2015 UMC
6. 2016 California Green Buildings Standards Code
7. 2016 California Energy Code
8. City of Santa Cruz Municipal Code, Title 13, Bldgs. & Const.

SHEET INDEX

No.	Revision/Issue	Date
A-1	Site Plan, General Notes	
A-1.1	Fire Department Requirement Plan	
A-2	Enlarged Site Plan	
A-2.1	Proposed Floor Plan/Elevations	
C-1	Grading & Drainage Plan	
C-2.1	Erosion Control Plan	

LOCATION MAP



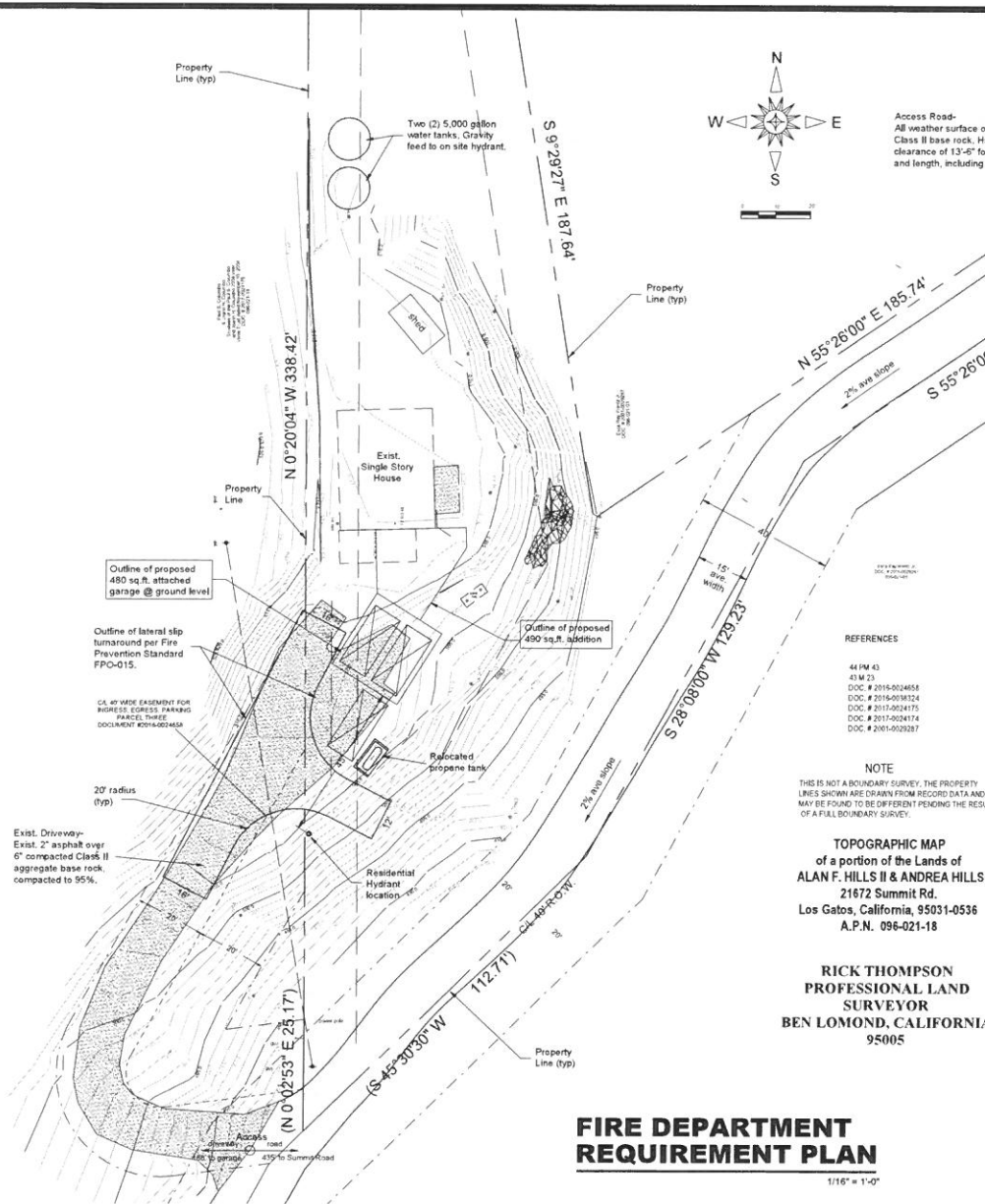
Minor Exception for Detached Garage Plans

**21672 Summit Road
Los Gatos, CA.
APN 096-021-18**

ON THE LANDS OF:

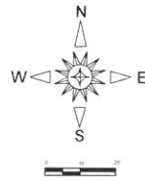
**Alan & Andrea Hills
21672 Summit Road
Los Gatos, CA, 95033**

Project:	Hills-01	Sheet:	A
Date:	7-10-18		
Draw:	None		1 of 3



FIRE DEPARTMENT REQUIREMENT PLAN

1/16" = 1'-0"



Access Road:
All weather surface of compacted Class II base rock. Has vertical clearance of 13'-6" for entire width and length, including turnouts.

REFERENCES

44 (M 43)
43 (M 21)
DOC # 2016-0024658
DOC # 2016-0019124
DOC # 2017-0024175
DOC # 2017-0024174
DOC # 2016-0020287

NOTE

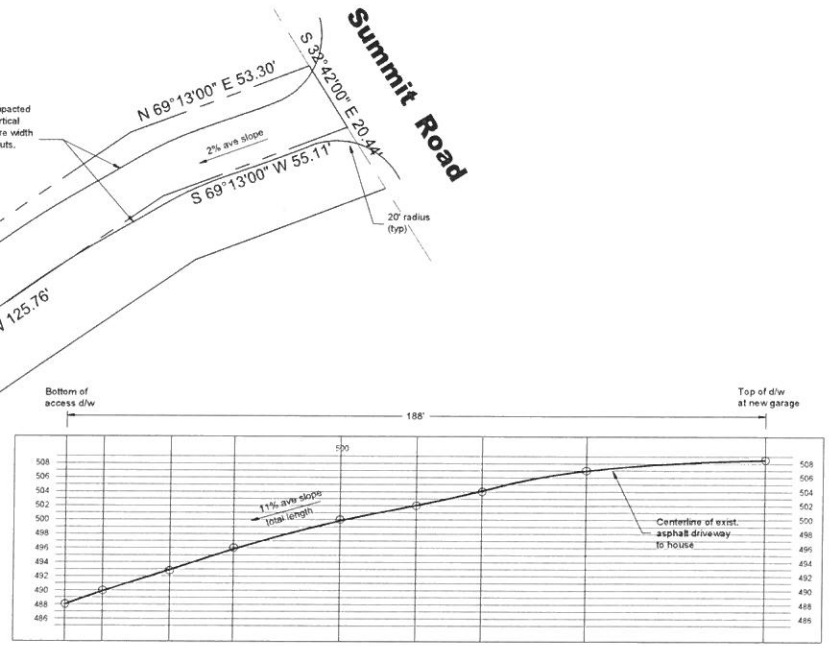
THIS IS NOT A BOUNDARY SURVEY. THE PROPERTY LINES SHOWN ARE DRAINED FROM RECORD DATA AND MAY BE FOUND TO BE DIFFERENT PENDING THE RESULTS OF A FULL BOUNDARY SURVEY.

TOPOGRAPHIC MAP
of a portion of the Lands of
ALAN F. HILLS II & ANDREA HILLS
21672 Summit Rd.
Los Gatos, California, 95031-0536
A.P.N. 096-021-18

RICK THOMPSON
PROFESSIONAL LAND
SURVEYOR
BEN LOMOND, CALIFORNIA
95005

Fire Department Notes

- > These plans are in compliance with California Building and Fire Codes (2016 Edition) and Santa Cruz County Amendments.
- > All underground piping systems shall comply with the County standard FPO-006 and shall require plan submittal and permit approval prior to installation. The standard is available at the Santa Cruz County Fire Marshalls Office upon request.
- > All buildings shall be protected by an approved automatic fire sprinkler system complying with the currently adopted edition of NFPA 13.
- > Building numbers shall be provided. Numbers shall be a minimum of four (4) inches in height on a contrasting background and visible from the street. Where numbers are not visible from the street, additional numbers shall be installed on a directional sign at the property driveway and the street.
- > The installation of an approved spark arrestor on top of the chimney, wire mesh not to exceed 1/8 inch.
- > The roof covering shall be no less than Class "B" rated roof.
- > A driveway/access road shall be in place prior to any framing construction or construction will be stopped.
- > A 100 foot clearance shall be maintained around and adjacent to the building or structure to provide additional fire protection or fire break by removing all brush, flammable vegetation, or combustible growth. EXCEPTION: Single specimens of trees, ornamental shrubbery or similar plants used as ground covers, provided they do not form a means of rapidly transmitting fire from native growth to any structure.
- > Job copies of the building and fire systems plans and permits must be on site during inspections. As a condition of these plans, the submitter, designer, and installer certify that these plans and details comply with applicable Specifications, Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by this review, subsequent review, inspection, or other source, and, to hold harmless and without prejudice, the reviewer and reviewing agency.



Access Driveway Profile

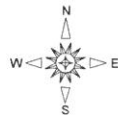
1/16" = 1'-0"

Art Najera		
Land Use Planning & Development Residential Design & Drafting Survey Services		
(831) 438-0386		
Cell: 950-343-4441 Fax: 950-128-6808 Email: anajera@artnajera.com PO Box 8777, Santa Cruz, CA 95062		
No.	Revision/Issue	Date

Minor Exception for Detached Garage Plans	
21672 Summit Road Los Gatos, CA. APN 096-021-18	

ON THE LANDS OF:	
Alan & Andrea Hills 21672 Summit Road Los Gatos, CA. 95033	

Project	Sheet
HHS-01	A
Date	7-10-18
Scale	None
1.1 of 3	



Paul
&
Troness of
and
View from the
DOC 1

N 0°20'04" W 338.42'

Property
Line (typ)

Exist. single story
house to remain

Exist. deck
to remain

Remove portion
of exist. deck

Proposed addition
over storage area
(non-habitable
accessory
structure)

Proposed new car
garage at ground level

Exist. asphalt
driveway

Parking space
(typ)

Property
Line (typ)

East Bay Waters Jr.
DOC # 2001-002337
095-021-03

Side Setback

Front Setback

Property
Line (typ)

S 28°08'00" W 129.23'

40' WIDE EASEMENT FOR
PRESS, EGRESS, PARKING
PARCEL THREE
DOCUMENT #2016-0024658

LEGEND

E = Electric Meter & Panel
W = Water Meter
JP = Joint Utility Pole

PARTIAL SITE PLAN

Note:

1/8" = 1'-0"

> All exterior dimensions from outside finished edge of wall.

DEVELOPMENT REGULATIONS

* Setbacks -

Subject property is zoned RA which requires a front setback of 40' and side and rear yard setbacks of 20' and a minimum parcel size of 1 acre (43,560 sq.ft.).
Per County code 13.10.323E(6)(ii), the subject property at 30,815 sq.ft. is less than 80% of the minimum required site area of 1 acre. The property is then subject to the next appropriate zone district of R-1-16 to R-1, which requires a front yard setback of 30' and side and rear yard setbacks of 15' as shown.

** Minor Exception -

Per County code 13.10.323D(2)(a), the subject property is greater than 10,000 sq.ft. in size, so a detached garage may be located within a side yard setback with up to a 50% reduction of the required setback distance. The subject property is required to have a 15' side yard setback. The detached garage is proposed to encroach 7'-1/2' into this setback as shown. This is the only reason for the minor exception.

Art Najera		
No.	Revision/Issue	Date

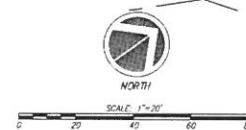
**Minor Exception for
Detached Garage Plans**
21672 Summit Road
Los Gatos, CA.
APN 095-021-18

ON THE LANDS OF:
Alan & Andrea Hills
21672 Summit Road
Los Gatos, CA. 95033

Project	H18-01	Sheet	A
Date	7-10-18		2 of 3
Scale	1/8" = 1'-0"		



- [illegible]



THIS PROJECT CREATES OR REPLACES 1,345 SF OF IMPERVIOUS AREA, AND IS A MEDIUM PROJECT PER SANTA CRUZ COUNTY DESIGN CRITERIA. RUNOFF MITIGATION IS ACCOMPLISHED THROUGH THE USE OF A TEE SPREADER SIZED AS PER SWM-18 AND DISPERSION OF RUNOFF ACROSS VEGETATED AREAS.

(N) IMPERVIOUS AREAS		
DESCRIPTION	AREA(SF)	AREA (AC)
ADDITION	490	0.01
GARAGE	480	0.01
AC	384	0.01
TOTAL	1,354	0.03

EARTHWORK QUANTITIES

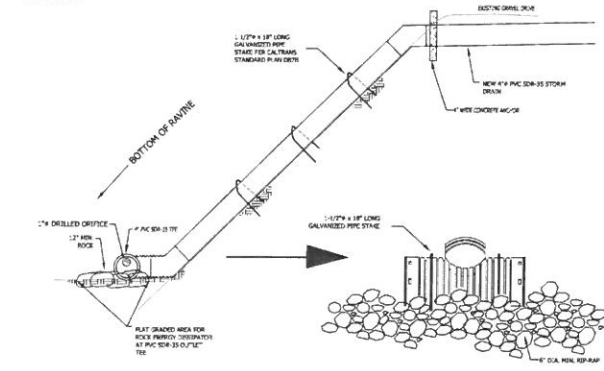
NOTE: THE EARTHWORK QUANTITIES SHOWN HEREON ARE EXCLUSIVE OF WALL FOOTINGS, EXISTING PAVEMENT REMOVAL, AND OTHER EXCAVATION AND RECONFIGURING UTILITIES TRENCH SPILLS & SOIL EXPANSION AND CONTRACTION FACTORS.

1	FG VS. FG	10	60
2	OVEREX & RECONPACT	155	155

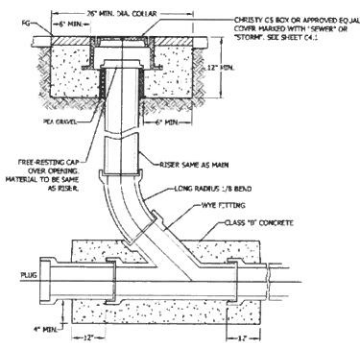
**NET VOLUME =
50 CU. YDS. OF FILL**

**NET VOLUME =
50 CU. YDS. OF FILL**

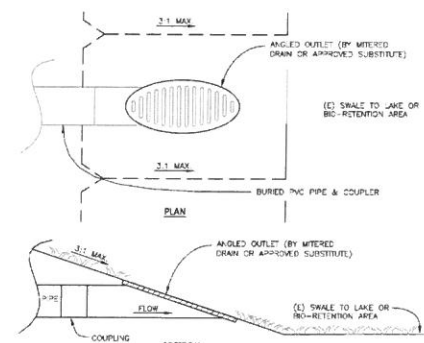
THE ABOVE QUANTITIES ARE FOR INFORMATION PURPOSES ONLY.
THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE NECESSARY
AND "L.S." TO ACCOMPLISH THE FINISH GRADE SHOWN ON THESE PLANS.



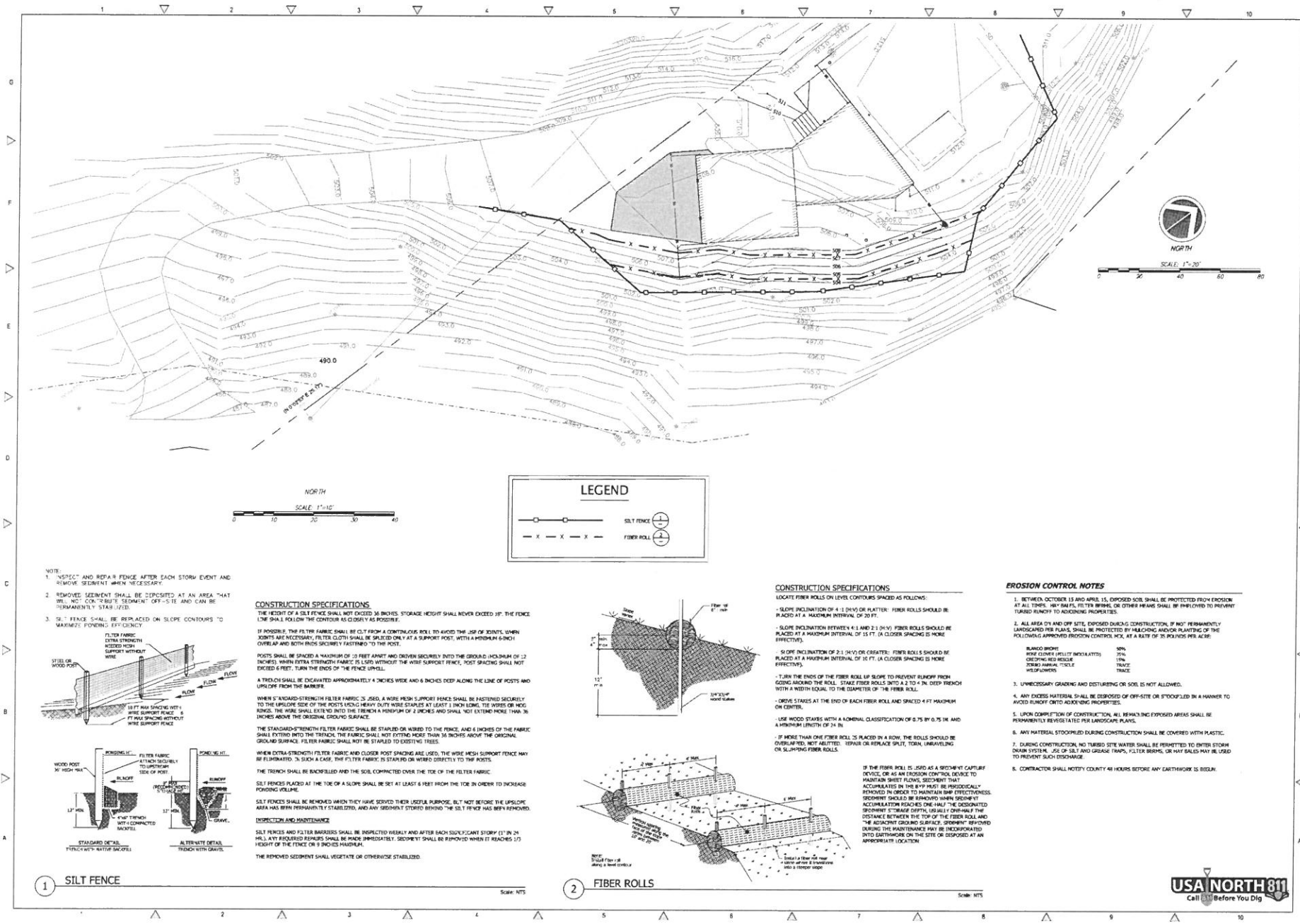
1 TEE ENERGY DISSIPATOR



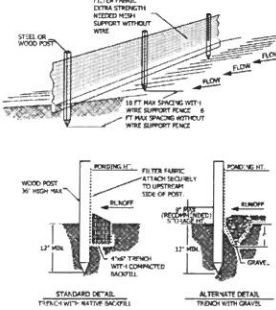
STORM CLEAN OUT DETAIL



② ANGLED STORM DRAIN OUTLET



- NOTE:
1. "INSPECT" AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED AT AN AREA THAT WILL NOT CONTAMINATE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE REPLACED ON SLOPE CONTOURS TO MAXIMIZE FENCING EFFICIENCY.



CONSTRUCTION SPECIFICATIONS

THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES. STORAGE HEIGHT SHALL NEVER EXCEED 10" OF THE FENCE. THE FENCE SHALL FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE.

IF POSSIBLE, THE FILTER FABRIC SHALL BE CUT FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SEWED OR FUSED TOGETHER WITH A MINIMUM 6 INCH OVERLAP AND BOTH ENDS SECURELY FASTENED TO THE POST.

POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AND DRIVEN SECURELY INTO THE GROUND (A MINIMUM OF 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED, A WIDE MESH SUPPORT FENCE SHALL BE FASTENED TO THE UPOUSIDE OF THE FENCE USING HEAVY DUTY ROPE CHAINS AT LEAST 1 INCH LONG. THE WIRE OR ROPE CHAINS SHALL BE EXTENDED INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 6 INCHES DEEP ALONG THE LINE OF POSTS AND UPOUSIDE FROM THE BARBER.

WHEN EXTRA STRENGTH FABRIC IS USED, A WIDE MESH SUPPORT FENCE SHALL BE FASTENED TO THE UPOUSIDE OF THE FENCE USING HEAVY DUTY ROPE CHAINS AT LEAST 1 INCH LONG. THE WIRE OR ROPE CHAINS SHALL BE EXTENDED INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.

THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRDED TO THE FENCE, AND 6 INCHES OF THE FABRIC SHALL EXTEND INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.

WHEN EXTRA STRENGTH FABRIC AND CLOSER POST SPACING ARE USED, THE WIDE MESH SUPPORT FENCE MAY BE SUBSTITUTED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRDED DIRECTLY TO THE POSTS.

THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE TOP OF THE FILTER FABRIC.

SILT FENCES PLACED AT THE TOE OF A SLOPE SHALL BE SET AT LEAST 4 FEET FROM THE TOE IN ORDER TO INCREASE FENCING VOLUME.

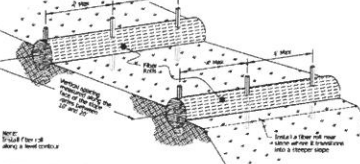
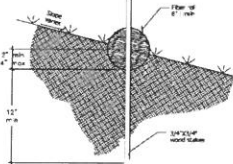
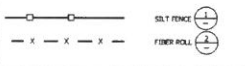
SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPOUSIDE AREA HAS BEEN PERMANENTLY STABILIZED, AND ANY SEDIMENT STORED BEHIND THE SILT FENCE HAS BEEN REMOVED.

REMOVAL AND MAINTENANCE

SILT FENCES AND FILTER BARBERS SHALL BE INSPECTED REGULARLY AND AFTER EACH SIGNIFICANT STORM (1" IN 24 HRS). ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 HEIGHT OF THE FENCE OR 6 INCHES MAXIMUM.

THE REMOVED SEDIMENT SHALL VEGETATE OR OTHERWISE STABILIZED.

LEGEND



CONSTRUCTION SPECIFICATIONS

LOCATE FIBER ROLLS ON LEVEL CONTOURS SPACED AS FOLLOWS:

- SLOPE INCLINATION OF 4:1 (H:V) OR FLATTER: FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 20 FT.
- SLOPE INCLINATION BETWEEN 4:1 AND 2:1 (H:V): FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 15 FT. (A CLOSER SPACING IS MORE EFFECTIVE).
- SLOPE INCLINATION OF 2:1 (H:V) OR GREATER: FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 10 FT. (A CLOSER SPACING IS MORE EFFECTIVE).
- TURN THE ENDS OF THE FIBER ROLL UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND THE ROLL. STAKE FIBER ROLLS INTO A 2 TO 4 IN. DEEP TRENCH WITH A WIDTH EQUAL TO THE DIAMETER OF THE FIBER ROLL.
- DRIVE STAKES AT THE END OF EACH FIBER ROLL AND SPACE 4 FT. MAXIMUM ON CENTER.
- USE WOOD STAKES WITH A MINIMUM CLASSIFICATION OF 0.75 BY 0.75 IN. AND A MINIMUM LENGTH OF 24 IN.
- IF MORE THAN ONE FIBER ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE OVERLAPPED, NOT ADJUTED. REPAIR OR REPLACE SPLIT, TORN, UNRAVELING OR SLIPPING FIBER ROLLS.

IF THE FIBER ROLL IS USED AS A SEDIMENT CAPTURE DEVICE, OR AS AN EROSION CONTROL DEVICE TO MAINTAIN SHEET FLOWS, SEDIMENT THAT ACCUMULATES IN THE RIPP MUST BE PERIODICALLY REMOVED IN ORDER TO MAINTAIN BMP EFFECTIVENESS. SEDIMENT SHOULD BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES ONE-HALF THE DESIGNATED SEDIMENT STORAGE DEPTH, USUALLY ONE-HALF THE DISTANCE BETWEEN THE TOP OF THE FIBER ROLL AND THE ADJACENT GROUND SURFACE. SEDIMENT REMOVED DURING THE MAINTENANCE MAY BE INCORPORATED INTO EARTHWORK ON THE SITE OR DEPOSITED AT AN APPROPRIATE LOCATION.

EROSION CONTROL NOTES

1. BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOILS SHALL BE PROTECTED FROM EROSION AT ALL TIMES. ANY BARE FILLS, TRENCHES, OR OTHER AREAS SHALL BE EMPLOYED TO PREVENT TURNED RUNOFF TO ADJACENT PROPERTIES.
2. ALL AREA ON AND OFF SITE, EXPOSED DURING CONSTRUCTION, IF NOT PERMANENTLY LANDSCAPED PER PLANS, SHALL BE PROTECTED BY MULCHING AND/OR PLANTING OF THE FOLLOWING APPROVED EROSION CONTROL MIX AT A RATE OF 25 POUNDS PER ACRE:
3. UNNECESSARY GRADING AND DISTURBING OF SOIL IS NOT ALLOWED.
4. ANY EXCESS MATERIAL SHALL BE DEPOSITED OFF-SITE OR STOCKPILED IN A MANNER TO AVOID RUNOFF ONTO ADJACENT PROPERTIES.
5. UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED AREAS SHALL BE PERMANENTLY REVEGETATED PER LANDSCAPE PLANS.
6. ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
7. DURING CONSTRUCTION, NO TURBED SITE WATER SHALL BE PERMITTED TO ENTER STORM DRAIN SYSTEM. USE OF SILT AND GRADE TRAPS, FILTER BORDS, OR HAY BALS MAY BE USED TO PREVENT SUCH DISCHARGE.
8. CONTRACTOR SHALL NOTIFY COUNTY 48 HOURS BEFORE ANY EARTHWORK IS BEGUN.



EROSION CONTROL PLAN

HILLS RESIDENCE
21672 SUMMIT RD LOS GATOS, CA
APN: 096-021-18

REVISIONS

NO.	DATE	BY
1	06/11/18	JM

Date: 06/11/18
Scale: 1"=10'
Drawn: JM
Job: 445-91
Sheet: C2.1
of 2 Sheets

C2G CIVIL CONSULTANTS GROUP, INC.
10000 N. 10TH AVE., SUITE 100
DENVER, CO 80231
TEL: (303) 440-4400
WWW.C2G-CIVIL.COM

REGISTERED PROFESSIONAL ENGINEER
No. C 54561
Exp. 6/30/19
CIVIL
STATE OF CALIFORNIA