

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 181148

APN: 043-131-12

Proposal to remodel the interior; replace exterior windows, doors, roofing, decks, stairs, exterior siding; and construct an elevator addition of 30 square feet on an existing single-family dwelling located in the R-1-6 zone district. Requires an amendment to Coastal Development and Variance Permit 96-0338 and Coastal Development Permit 131295.

Property located on east side of Bay View Drive (666 Bayview Drive).

OWNER: Xchange Solutions

APPLICANT: Michael Helm

SUPERVISORIAL DISTRICT: 2

PLANNER: Annette Olson, (831) 454-3134

EMAIL: Annette.Olson@santacruzcounty.us

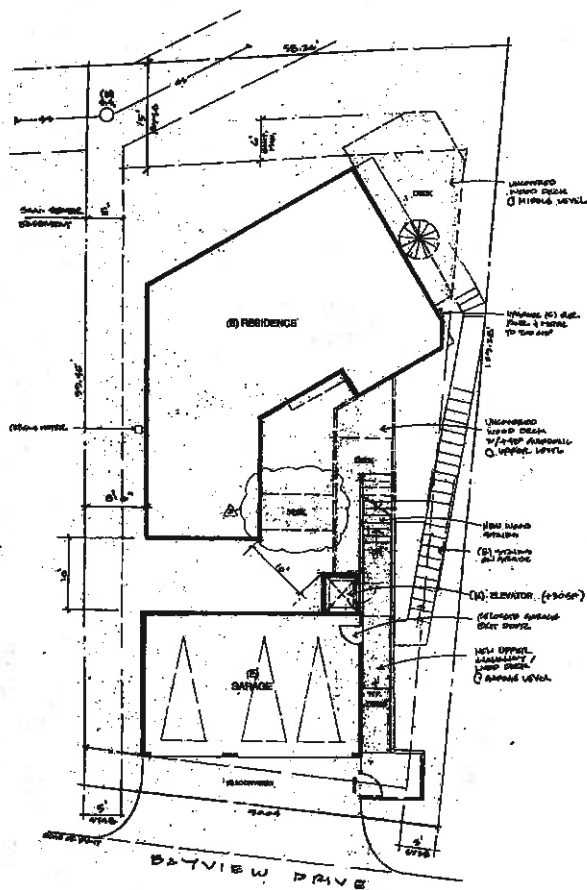
Public comments must be received by 5:00 p.m. October 2, 2018.

A decision will be made on or shortly after October 9, 2018.

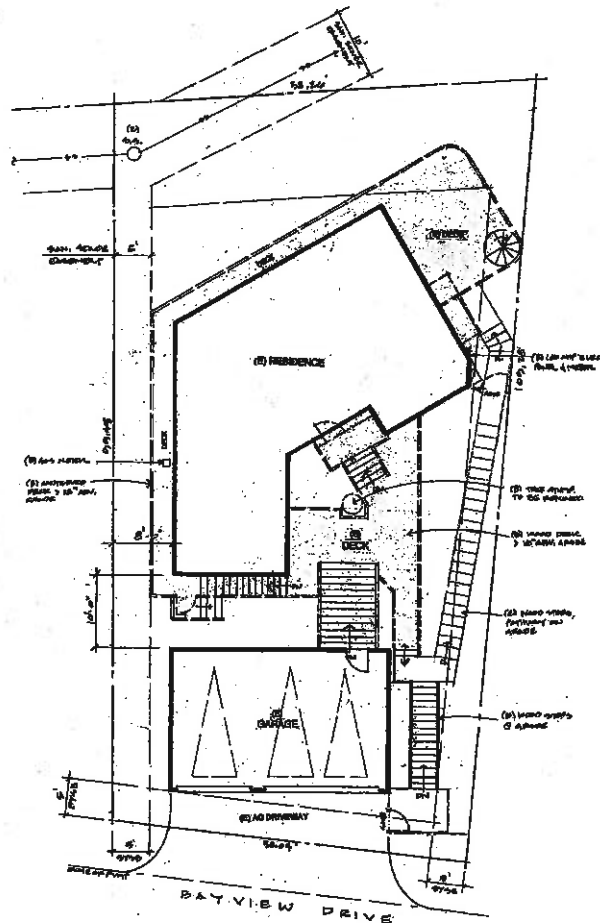
Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

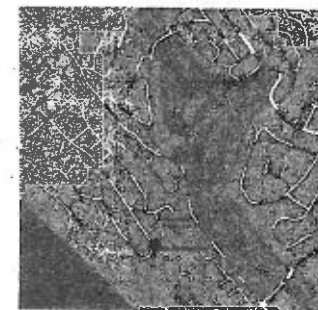
For more information, call the project planner identified above.



PROPOSED - SITE PLAN
SCALE: 1/8" = 1'-0"



EXISTING - SITE PLAN
SCALE: 1/8" = 1'-0"



VICINITY MAP

PROJECT DATA

APN 043-131-12
ADDRESS 688 Bayview Drive, Aptos, CA
ZONING T-1-0
OCCUPANCY S-B
CONV. TYPE N-2 (U)
FIRE RATING Non-Self-Insured
PARCEL SIZE 6,572 SF (0.15 acres)
OWNER Wilson & Mary Breeding
7057 Marina Cove Drive
Seaside, CA 92081
910-888-0735

BUILDING AREA

EXISTING	PROPOSED
Upper Level	816
Lower Level	1211
Total	2027 SF (0.46 acres)
Garage	820
Storage	30
Total	850 SF (0.02 acres)
Deck	1200 SF (0.27 acres)
Upper Level Deck	0
Lower Level Deck	1200 SF (0.27 acres)
Total	1200 SF (0.27 acres)

LOT COVERAGES (MAX)

EXISTING	PROPOSED
Garage	820
Residence	1211
Deck	1200
Total	3231 SF (0.74 acres)
Garage	820
Residence	1211
Deck	1200
Total	3231 SF (0.74 acres)

PERMITS

EXISTING	PROPOSED
Garage	820
Residence	1211
Deck	1200
Total	3231 SF (0.74 acres)

No drawing is required for this project. Areas designated during construction shall be required to be consistent with active vegetation species and patterns.

PROJECT DESCRIPTION

The project consists of remodeling, alterations and addition to an existing 3-story 2,773 SF a building with a single level residence with a detached 800 SF 2-car garage, predominantly of wood frame construction.

The remodel consists of the replacement existing kitchen, dining, living, deck, stairs, exterior siding, lighting, electrical and plumbing. It includes a (1,200 SF) upper floor addition of existing 1-story volume (4-10' h) located to (2) a (77) PMA collection (no change to building footprint or envelope).

The remodeling includes reconfiguring the kitchen, bathroom, bedrooms and reconfiguring the laundry room on the middle level.

The new addition consists of a 2-story addition (1,200 SF) to the existing detached garage. Negative amendments to the existing CDP 95-0504.

Street Sweeping and Vegetation SW-7



Item	Quantity	Unit	Notes
1. Street Sweeping	100	Linear Feet	See Notes
2. Vegetation Removal	50	Sq. Yards	See Notes
3. Street Sweeping	100	Linear Feet	See Notes
4. Vegetation Removal	50	Sq. Yards	See Notes
5. Street Sweeping	100	Linear Feet	See Notes
6. Vegetation Removal	50	Sq. Yards	See Notes

Description and Purpose: This section describes the work to be performed for street sweeping and vegetation removal. The work is to be completed in accordance with the specifications and standards of the City of San Diego.

Materials and Methods: The work is to be completed using the methods and materials specified in the specifications and standards of the City of San Diego.

Location: The work is to be completed at the location specified in the specifications and standards of the City of San Diego.

Notes: The work is to be completed in accordance with the specifications and standards of the City of San Diego.

Stockpile Management SW-8



Item	Quantity	Unit	Notes
1. Stockpile Management	100	Linear Feet	See Notes
2. Stockpile Management	100	Linear Feet	See Notes
3. Stockpile Management	100	Linear Feet	See Notes
4. Stockpile Management	100	Linear Feet	See Notes
5. Stockpile Management	100	Linear Feet	See Notes
6. Stockpile Management	100	Linear Feet	See Notes

Description and Purpose: This section describes the work to be performed for stockpile management. The work is to be completed in accordance with the specifications and standards of the City of San Diego.

Materials and Methods: The work is to be completed using the methods and materials specified in the specifications and standards of the City of San Diego.

Location: The work is to be completed at the location specified in the specifications and standards of the City of San Diego.

Notes: The work is to be completed in accordance with the specifications and standards of the City of San Diego.

Concrete Waste Management SW-9



Item	Quantity	Unit	Notes
1. Concrete Waste Management	100	Linear Feet	See Notes
2. Concrete Waste Management	100	Linear Feet	See Notes
3. Concrete Waste Management	100	Linear Feet	See Notes
4. Concrete Waste Management	100	Linear Feet	See Notes
5. Concrete Waste Management	100	Linear Feet	See Notes
6. Concrete Waste Management	100	Linear Feet	See Notes

Description and Purpose: This section describes the work to be performed for concrete waste management. The work is to be completed in accordance with the specifications and standards of the City of San Diego.

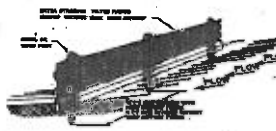
Materials and Methods: The work is to be completed using the methods and materials specified in the specifications and standards of the City of San Diego.

Location: The work is to be completed at the location specified in the specifications and standards of the City of San Diego.

Notes: The work is to be completed in accordance with the specifications and standards of the City of San Diego.

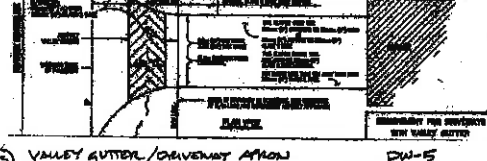
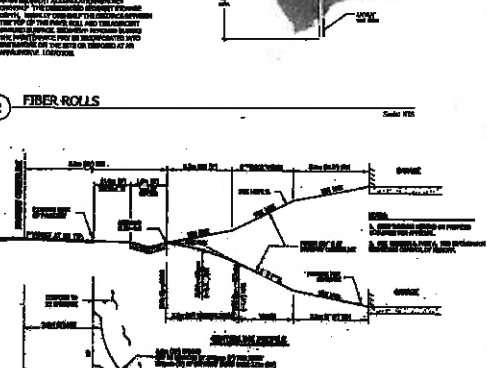
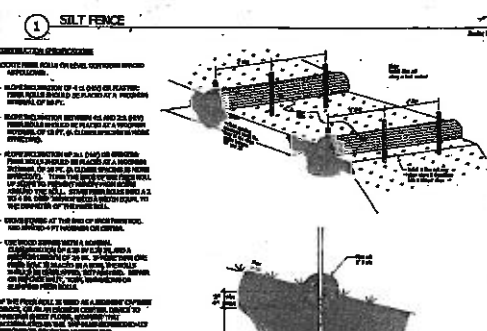
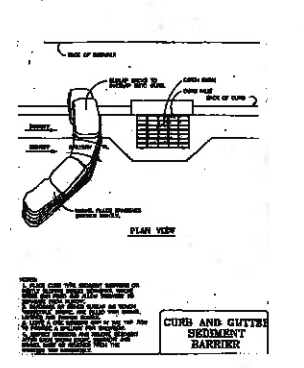
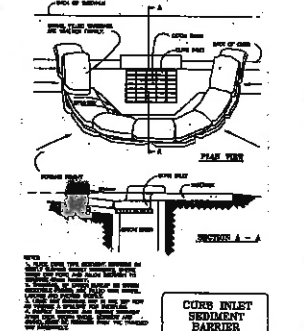
EROSION CONTROL NOTES

1. Erosion control measures shall be installed in accordance with the specifications and standards of the City of San Diego.
2. Erosion control measures shall be installed in accordance with the specifications and standards of the City of San Diego.
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5. Erosion control measures shall be installed in accordance with the specifications and standards of the City of San Diego.
6. Erosion control measures shall be installed in accordance with the specifications and standards of the City of San Diego.



STRAP/LESLIE SEED MIX FOR EROSION CONTROL

Item	Quantity	Unit	Notes
1. Strap/Leslie Seed Mix	100	Linear Feet	See Notes
2. Strap/Leslie Seed Mix	100	Linear Feet	See Notes
3. Strap/Leslie Seed Mix	100	Linear Feet	See Notes
4. Strap/Leslie Seed Mix	100	Linear Feet	See Notes
5. Strap/Leslie Seed Mix	100	Linear Feet	See Notes
6. Strap/Leslie Seed Mix	100	Linear Feet	See Notes



STORMWATER MANAGEMENT & EROSION CONTROL PLAN

STORMWATER MANAGEMENT & EROSION CONTROL PLAN

This plan describes the stormwater management and erosion control measures to be installed at the project location. The measures are to be completed in accordance with the specifications and standards of the City of San Diego.



VICINITY MAP

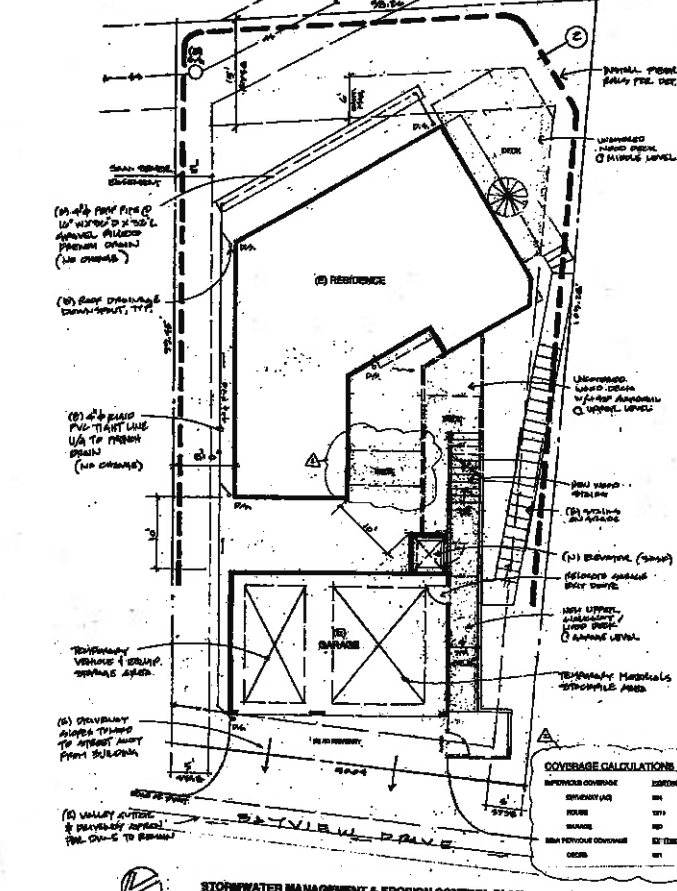
Map showing the project location relative to the surrounding area.

PROJECT DATA

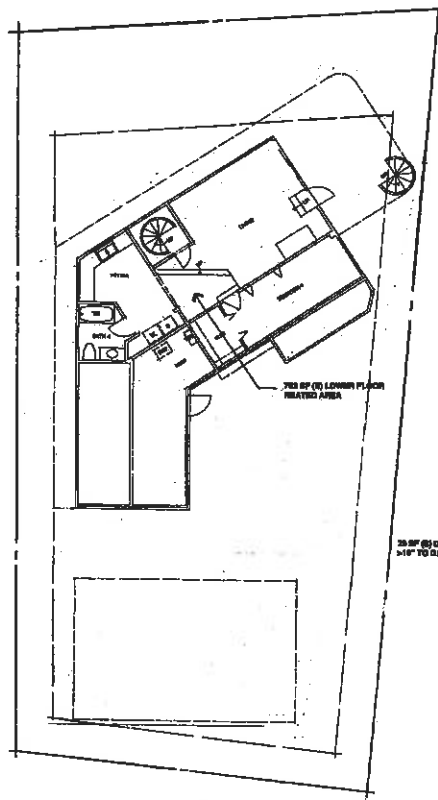
Item	Value
1. Project Name	See Notes
2. Project Location	See Notes
3. Project Date	See Notes
4. Project Engineer	See Notes
5. Project Owner	See Notes

STORMWATER MANAGEMENT & MAINTENANCE AGREEMENT NOTE

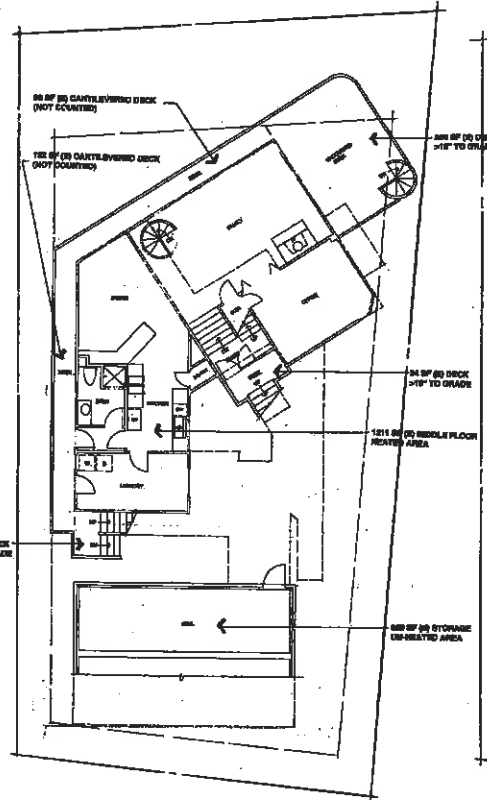
The owner of the property is responsible for the maintenance and repair of the stormwater management and erosion control measures installed at the project location. The measures are to be maintained in accordance with the specifications and standards of the City of San Diego.



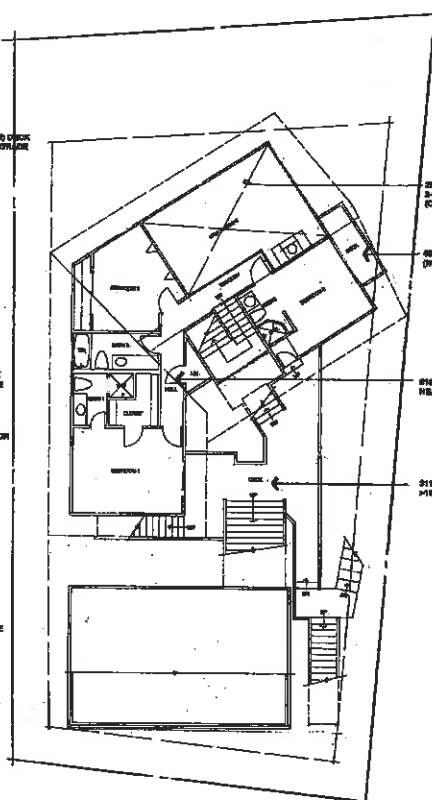
Item	Value
1. Stormwater Management	See Notes
2. Erosion Control	See Notes
3. Stormwater Management	See Notes
4. Erosion Control	See Notes
5. Stormwater Management	See Notes
6. Erosion Control	See Notes



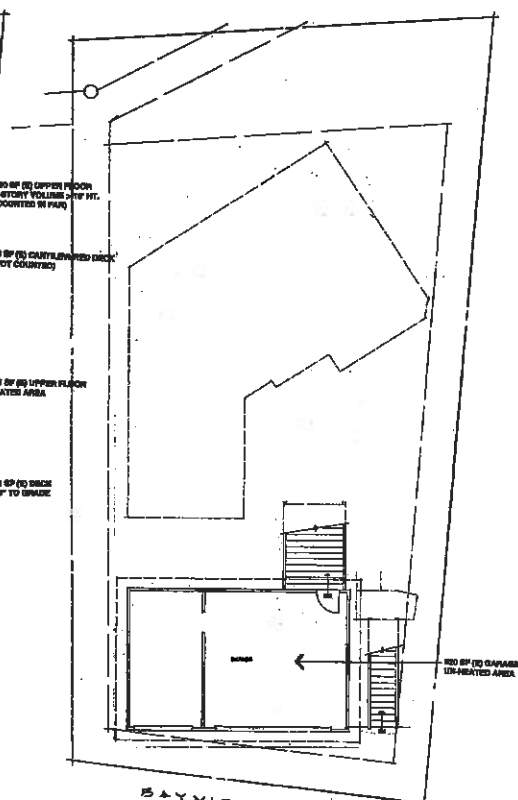
EXISTING - LOWER FLOOR PLAN
SCALE: 1/8" = 1'-0"



EXISTING - MIDDLE FLOOR PLAN
SCALE: 1/8" = 1'-0"

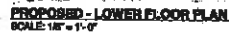


EXISTING - UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"

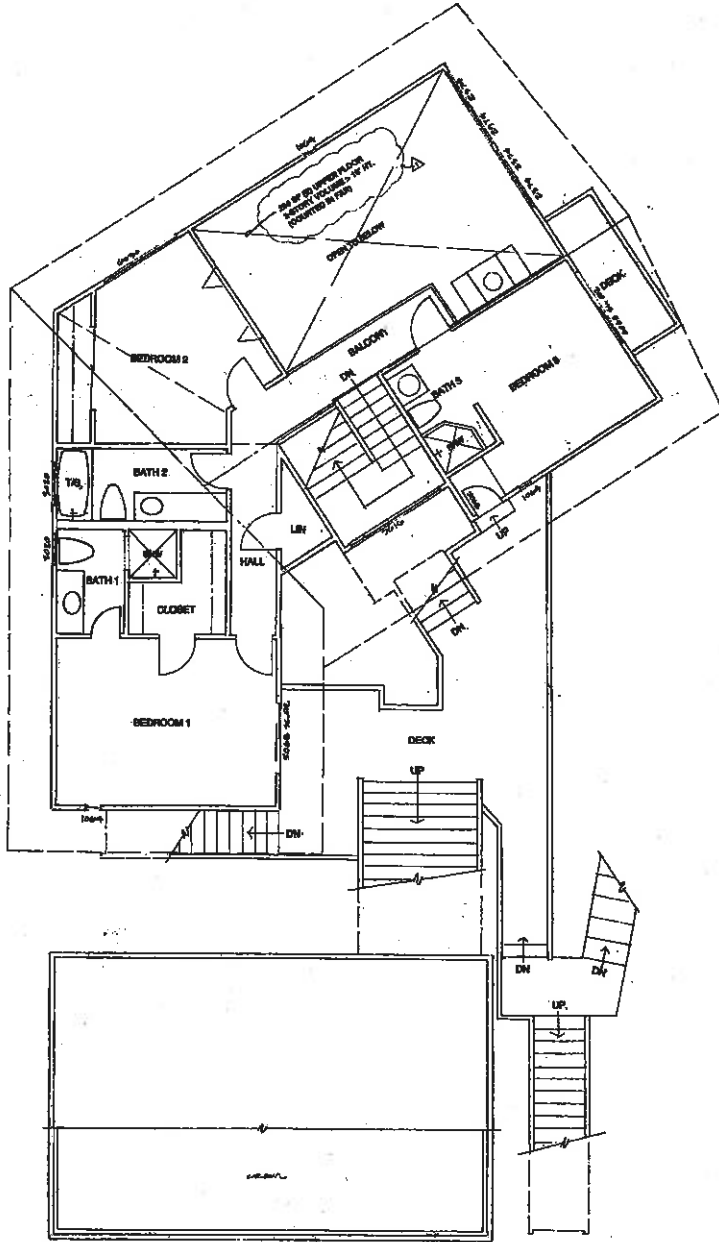


EXISTING - GARAGE LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

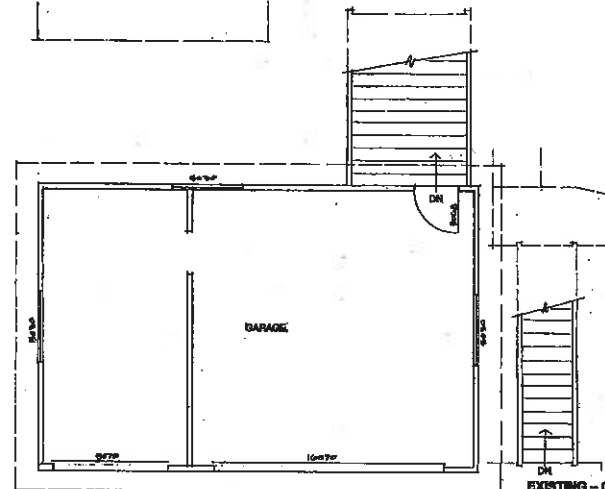
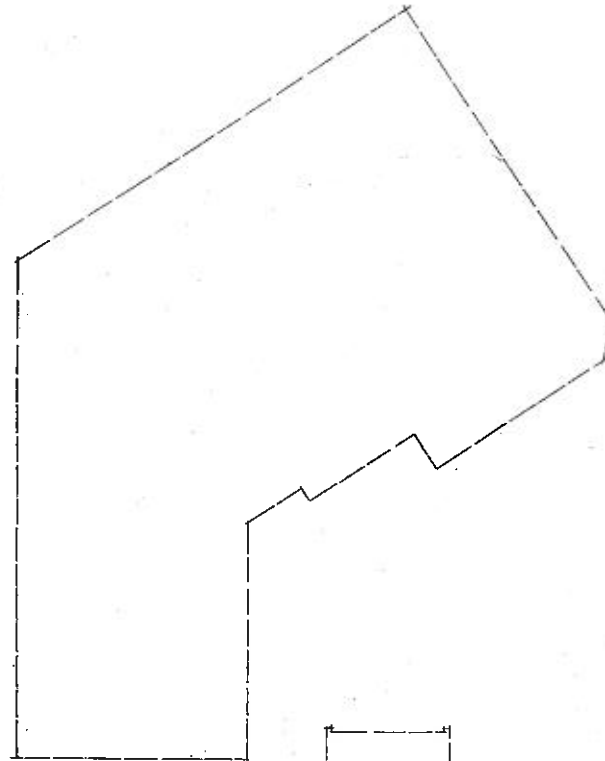
BUILDING AREA			
RESIDENCE - HEATED AREA		EXISTING	PROPOSED
Upper Level	818	1103	(+285 SF)
Middle Level	1211	No Change	
Lower Level	782	No Change	
Total	2811 SF	2811 SF	(+285 SF)
GARAGE - UNHEATED AREA		EXISTING	PROPOSED
Garage	680	No Change	
Storage	680	No Change	
Shed	0	1870 SF	(+1870 SF)
Total	1360 SF	1360 SF	(+1870 SF)
DECK > 18" TO GRADE		EXISTING	PROPOSED
Change Level Deck	0	120	(+120 SF)
Upper Level Deck	311	218	(-93 SF)
Middle Level Deck	230	230	(+0 SF)
Lower Level Deck	0	0	(+0 SF)
Total	541 SF	541 SF	(+227 SF)
LOT COVERAGE AREA MAX		EXISTING	PROPOSED
Garage	680	680	(+0 SF) (Max)
Residence	1211	No Change	
Deck	230	230	(+0 SF)
Total	2121 SF (44.1%)	2121 SF	(+227 SF) (44.1%)
FAR (OVERALL)		EXISTING	PROPOSED
Change (285 SF) (13%)	285	No Change	
Deck	0	0	(+0 SF) (0%)
Storage	680	680	(+0 SF) (0%)
Total	965 SF (20.2%)	965 SF	(+227 SF) (20.2%)



BULLHORN AREA			
WORKSHEET - HEATER AREA	EXISTING	PROPOSED	
Upper Level	811	1106 (+295 SF)	
Middle Level	179	No Change	
Lower Level	798	No Change	
Total	2788 SF	9079 SF (+6291 SF)	
GARAGE - UNHEATED AREA			
WORKSHEET	EXISTING	PROPOSED	
Garage	880	No Change	
Storage	880	No Change	
Driveway	0	20 (+20 SF)	
Total	1760 SF	1870 SF (+110 SF)	
DECKING - 1 IN. DECK			
WORKSHEET	EXISTING	PROPOSED	
Upper Level Deck	135	250 (+115 SF)	
Upper Level Deck	511	235 (+24 SF)	
Middle Level Deck	0	285 (+285 SF)	
Lower Level Deck	0	0	
Total	646 SF	600 SF (-46 SF)	
LEFT COVERABLE (NO. MAN)			
WORKSHEET	EXISTING	PROPOSED	
Garage	880	0 (-880 SF) New	
Driveway	0	0	
Deck	0	0	
Total	880 SF (44.1%)	0 SF (0.0%)	
FAR (NO. MAN)			
WORKSHEET	EXISTING	PROPOSED	
Garage (+20 SF) New	0	20 (+20 SF) New	
Driveway	0	20 (+20 SF) New	
Deck	0	0	
Total	0 SF (0.0%)	40 SF (0.2%)	

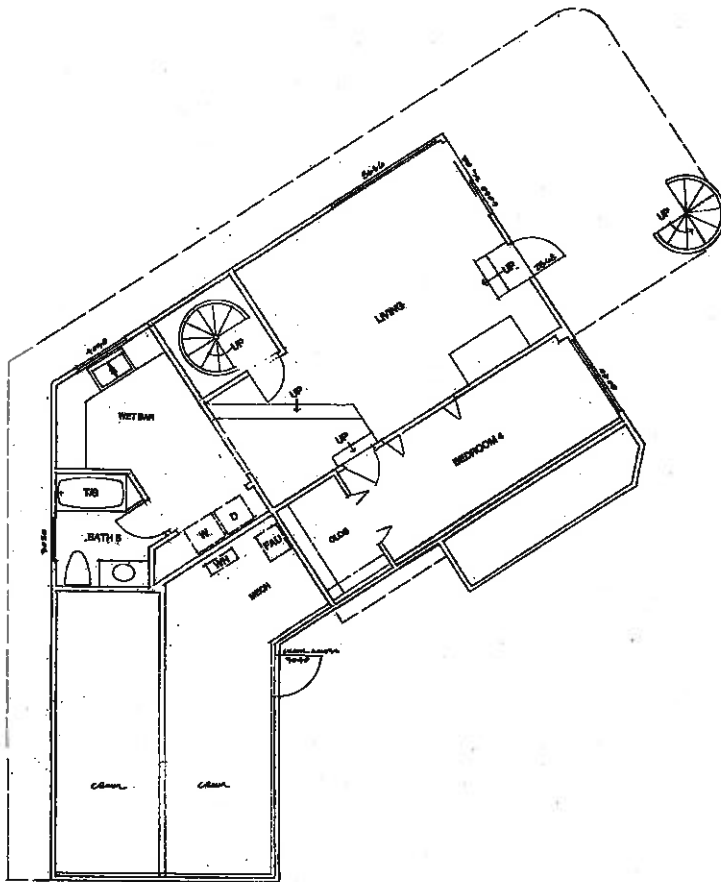


EXISTING - UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

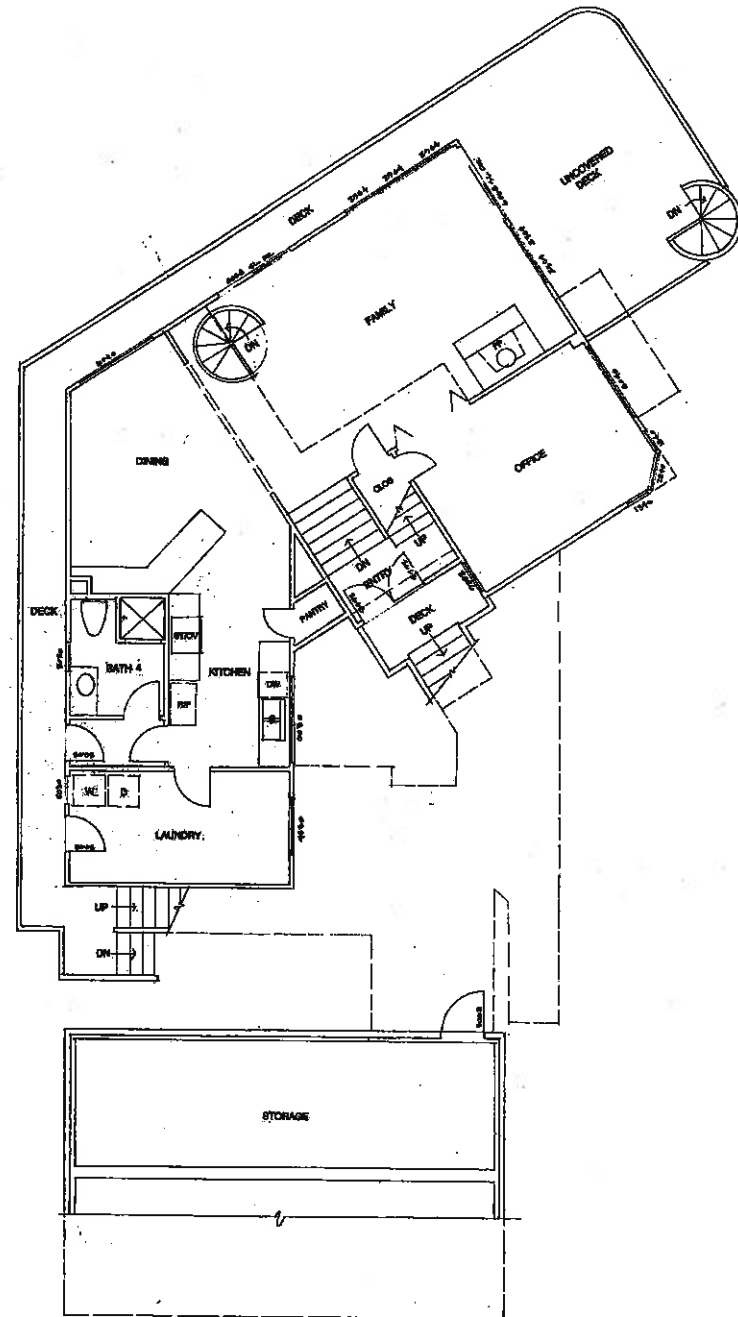


EXISTING - GARAGE LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

7-04-18	1/4"	1'-0"
Michael Helm, AIA Architect & Associates 200 Bennett Avenue, #110 Santa Cruz, California 95062 (831) 456-5966		
PROPOSED ALTERATION / REMODEL PLANS FOR: BREEDING RESIDENCE 688 BAYVIEW DRIVE - APN 043-131-12 APTOS, CALIFORNIA		
10-11-18 1/4" = 1'-0" 1507	3	



EXISTING - LOWER FLOOR PLAN
SCALE 1/4" = 1'-0"



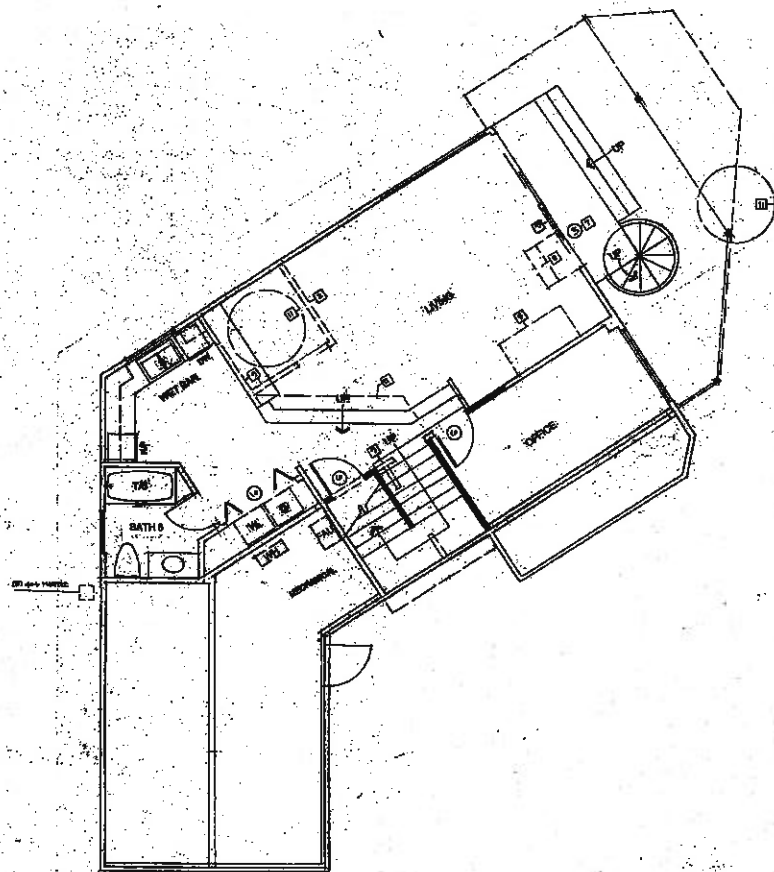
EXISTING - MIDDLE FLOOR PLAN
SCALE 1/4" = 1'-0"

Michael Helm, AIA Architect & Associates
200 Serrano Avenue, #110 Santa Clara, California 95050 (408) 454-3366

PROPOSED ALTERATION / REMODEL PLANS FOR:
BREEDING RESIDENCE
888 BAYVIEW DRIVE - A/PN 043-131-12
A/PN 043-131-12

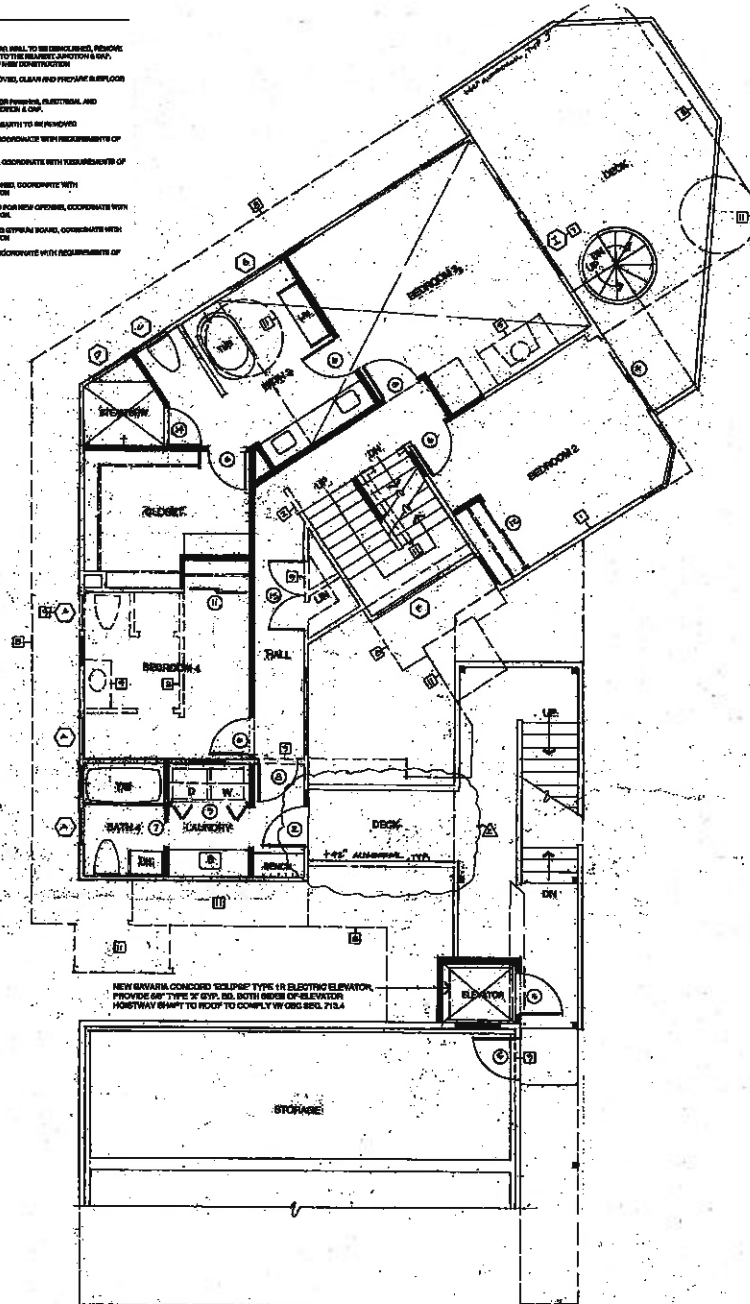
Shaded - Areas to be Altered
Unshaded - Areas to be Preserved

5-31118
1/4" = 1'-0"
1/4" = 1'-0"
1807



PROPOSED - LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"

- DEMOLITION NOTES**
1. REMOVE WALL TO REPAIR, TYPE 1.
 2. REMOVE NON-BEARING AND WEARING WALL TO BE DEMOLISHED, REMOVE ALL ELECTRIC AND PLUMBING BACK TO THE NEAREST JUNCTION BOX, COORDINATE WITH REQUIREMENTS OF NEW CONSTRUCTION.
 3. EXISTING FLOOR FINISHES TO BE REMOVED, CLEAN AND PREPARE SUBFLOOR FOR NEW FLOOR.
 4. REMOVE EXISTING CASSETTE, HYDRANT PUMPING, ELECTRICAL AND PLUMBING BACK TO THE NEAREST JUNCTION BOX.
 5. EXISTING FIREPLACE, BLUE AND TILE HEARTH TO BE REMOVED.
 6. EXISTING ROOFING TO BE REMOVED, RECONSTRUCT WITH REQUIREMENTS OF NEW CONSTRUCTION.
 7. REMOVE EXISTING WINDOW ON ROOF, COORDINATE WITH REQUIREMENTS OF NEW CONSTRUCTION.
 8. EXISTING WOOD DECK TO BE DEMOLISHED, COORDINATE WITH REQUIREMENTS OF NEW CONSTRUCTION.
 9. REMOVE EXISTING WALL AS REQUIRED FOR NEW OPENING, COORDINATE WITH REQUIREMENTS OF NEW CONSTRUCTION.
 10. DISMANTLE EXISTING WALL AND CEILING STRIP DOWN BOARD, COORDINATE WITH REQUIREMENTS OF NEW CONSTRUCTION.
 11. EXISTING STAIR TO BE DEMOLISHED, COORDINATE WITH REQUIREMENTS OF NEW CONSTRUCTION.



PROPOSED - MIDDLE FLOOR PLAN
SCALE: 1/4" = 1'-0"

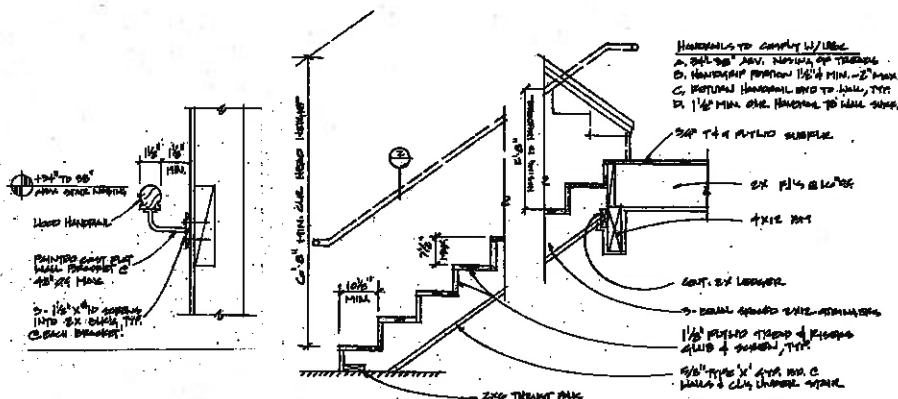
DATE	2012-06-15	1/4"
BY	Michael Haim, AIA Architect & Associates	
PROJECT	PROPOSED ALTERATION/REMODEL PLANS FOR BREEDING RESIDENCE	
LOCATION	688 BAYVIEW DRIVE - APTN 043-151-12	
CITY	APTOS, CALIFORNIA	
OWNER	Michael Haim, AIA Architect & Associates	
DATE	06-15-12	
SCALE	1/4" = 1'-0"	
15-07		

[illegible]

HERS registered firms are required by installing mechanical contractor for the central furnace. Installing contractor to register project with HERS provider and submit to jurisdiction before beginning work; HERS duct testing is required and must pass with ducts having less than 95% leakage.

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL, WITH A NOTATION INDICATING THAT DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE ARCHITECT OR ENGINEER OF RECORD. DEFERRED SUBMITTAL DOCUMENTS MUST HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. THE FOLLOWING ITEMS WILL BE SUBMITTED SEPARATELY FOR THIS PROJECT:

1. PROVIDE DESIGN AND DOCUMENTATION FOR A COMPLETE HEATING SYSTEMS PLAN AND SPECIFICATIONS TO INCLUDE APPLIANCE MODELS, OPERATIONS, BTU RATING, CUFF LENGTH, MATERIALS AND FITTER, ETC. HEATING EQUIPMENT AND ACCESSORIES MUST BE DESIGNED, ENGINEERED AND HAVE THE EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
- A) THE HEAT LOSS AND HEAT GAIN IS DETERMINED ACCORDING TO AMERICAN & CANADIAN ASHRAE, ASHRAE HANDBOOKS OR OTHER RELEVANT DESIGN SOFTWARE OR METHODS.
 - B) CUFF SYSTEMS ARE SIZED ACCORDING TO AMERICAN & CANADIAN ASHRAE HANDBOOKS OR OTHER RELEVANT DESIGN SOFTWARE OR METHODS.
 - C) SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO AMERICAN & CANADIAN ASHRAE HANDBOOKS OR OTHER RELEVANT DESIGN SOFTWARE OR METHODS.



② INTERIOR HANDRAIL
LTS

① WOOD STAIR DETAIL

[illegible]

TOILET	1.58 GPM
LAVATORY FAUCETS	1.2 GPM @ 60 PSI
TUB / SHOWER VALVES	2.0 GPM @ 60 PSI
KITCHEN FAUCETS	1.5 GPM @ 60 PSI

ROOM	TYPE	WALKIN	WASH	WOT	COLD
LV	LAVATORY	1'-0"	5'-2"	18"	18"
WC	TOILET	5'	5'	18"	18"
TSH	TUB / SHOWER	5'	1'-0"	18"	18"
BB	KITCHEN BSK	5'	1'-0"	18"	18"
WB	WALKIN	1'-0"	1'-0"	18"	18"
DB	DOOR CASE				18"

- 1 All electrical work to comply with the latest adopted edition of the California Electrical Code.
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- 6 Do not install electrical power longer than 90 square inches to reduce the waste.
- 7 Materials a clearance of 60" at front of the panel.
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6	Control breathing equipment shall be supplied by an individual branch circuit. Verify structural soundness of all associated equipment.
7	All AC motor, pump, lifts and hoist motors shall be on GFCI circuits. Check for GFCI receptacles on all branch circuits.
8	All testing with 75.5 kV step down transformer shall be done using Class II Isolation, Insulation, Insulation, Grounding, Grounding and Grounding shall have NFPA protection. (NFPA 704.11.1)
9	One GFCI circuit shall be provided to supply the above NFPA protection. (NFPA 704.11.1)
10	Provide two supply upflow branch circuits for kitchen refrigerator and counter outlet only, not to be used for anything other than kitchen refrigerator and counter outlet only.
11	Provide a dedicated 20 amp circuit to supply the dedicated bathroom outlets. This circuit cannot serve any other receptacles, lights, fans, etc. Receptacles that are built into a single receptacle for the other side of the receptacle shall be provided.
12	Provide a dedicated 20 amp circuit to supply laundry receptacle outlets. Recept and cooking loads shall have a 75% ampacity with low conductor size with an insulated neutral.
Notes:	
1	Weld electrodes to be 40° E electrodes above floor level. All electrodes to be 1/8" or smaller above floor level. (NFPA 704.11.1)
2	Electrical equipment shall be installed in accordance with the following:
3	Electrical equipment shall be installed in accordance with the following:
4	Electrical equipment shall be installed in accordance with the following:
5	Electrical equipment shall be installed in accordance with the following:

[illegible]

- 1. At least one luminaire in each room, garage, hallway room or utility room must be controlled by a time switch or a Day Energy Sensor (DES) or a Light Sensor (LS). These shall be at least one high efficiency fixture in the hallways and the public areas in the hallways must be low efficiency lighting as defined by AIAA energy sensor.
- 2. Lighting shall be of lower transfer rooms like living, dining, bedrooms, etc. (except situations of less than 70 sq. ft.) shall be high efficiency low pressure sodium compact fluorescents or compact fluorescents.
- 3. All installed lighting shall be high efficiency as demonstrated with Table 100.0.0.4 of the Ontario Building Code. Dimmer lighting shall be high efficiency or controlled by a photoelectric sensor per CBC 100.0.0.4.6.
- 4. ALLIED lighting shall be Certified Energy Conversion certified to qualify as high efficiency.
- 5. All recessed light fixtures shall be IC rated per CBC 100.0.0.4.6
- 6. Fixtures installed in wet or damp locations shall be installed under wetproof and/or waterproofing in wetting compartments, lamp holders, or other electrical parts. Fixtures in wet or damp locations will be marked for such use. Lighting fixtures located within 6 feet horizontally and 6 feet vertically of the bathtub or shower shall be marked for such use for a damp location, or marked for wet locations where exposed to shower spray per CBC 100.0.1.

[illegible][illegible]

TEN	Description:
(71)	Surface mounted 1' x 6' hoop around bar (20" - 48") 19 Barrels with aluminum base.
	Main materials: Luminum, Luminum 10640
	Lump & Mfg: Steel Steelwork
(72)	Hoop mounted under cabinet back LED light .
	Main materials: WAC Lighting, Line, 8000K
	Lump & Mfg: SP7 LUM-LED-8000-A SP7 LUM-LED-8000-A L25P LUM-LED-8000-A
(73)	Recessed adjustable recessable LED downlight.
	Main materials: WAC Lighting, Recessible Downlight, 2700K
	Lump & Mfg: Housing, MT-421110M-42-SX Trim, MT-421110E-WT
(74)	4' recessed downer light for LED- hoop with drop ceil fan.
	Main materials: John, To be determined
	Lump & Mfg: Steel Order with its trussing
(75)	Wall mounted exterior light fixture.
	Main materials: To be determined
	Lump & Mfg: Fabrication Provide fabrication contract to exterior client, Verify location of sensor prior to installation. Owner approved required prior to casting.
(76)	Ceiling mounted decorative light fixture.
	Main materials: To be determined
	Lump & Mfg:
(77)	Wall mounted LED decorative built into light.
	Main materials: WAC Lighting, track, MB-7701B-A.L
	Lump & Mfg: Mount vertically
(78)	Decorative mounted ceiling fan or light fixture.
	Main materials: To be determined
	Lump & Mfg: