

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 181180

APN: 063-172-07

Proposal to construct a new two-story approximately 2,662 square foot single-family home with an attached 672 square foot garage. Also proposed is the construction of a new two-story 800 square foot detached two-story Accessory Dwelling Unit. Requires a Coastal Development Permit, Biotic Report Review, Geotechnical Report Review, and Archeological Archival Review.

Project site is located on the west side of Quail Drive, approximately 1,700 feet north of the intersection with Martin Road.

OWNER: Shane Brown

APPLICANT: Daryl Woods

SUPERVISORIAL DISTRICT: 3

PLANNER: Jonathan DiSalvo (831) 454-3157

EMAIL: Jonathan.DiSalvo@santacruzcounty.us

Public comments must be received by 5:00 p.m. January 3, 2019.

A decision will be made on or shortly after January 10, 2019.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

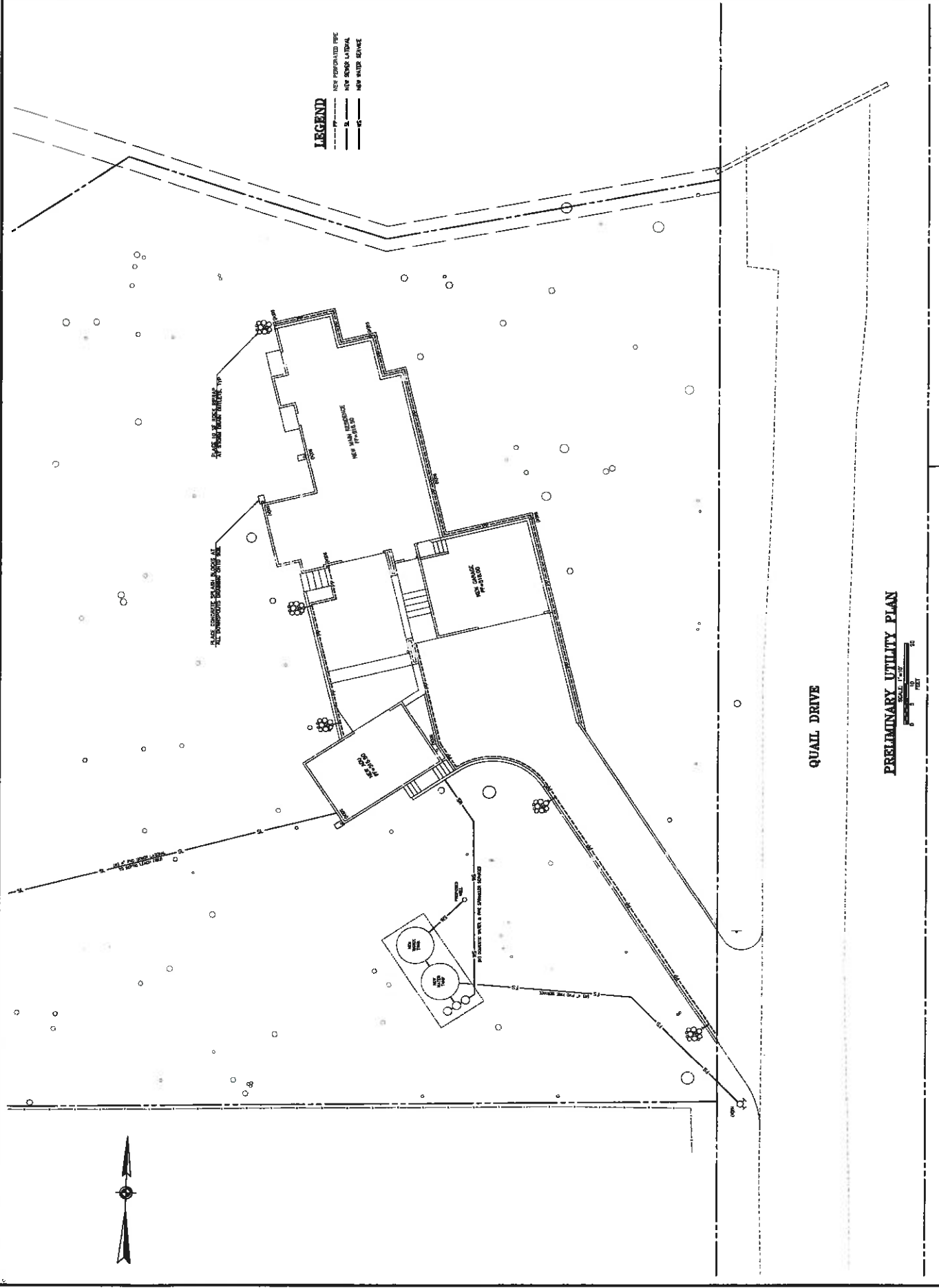
For more information, call the project planner identified above.



DATE:	AS NOTED
DRAWN BY:	JR
DATE:	JUNE 28, 2014
PROJECT:	SHANE BROWN
NO. NO.:	17075
SHEET:	

NEW RESIDENCE FOR
SHANE BROWN
QUAL DRIVE, BONNY DOON, APN 063-172-07
PRELIMINARY UTILITY PLAN

ROPER ENGINEERING
CIVIL ENGINEERING & LAND SURVEYING
84 PENNY LANE, SUITE A, WATSONVILLE, CA 95076
(831) 724-5300 jroper@roperengineering.com



QUAL DRIVE

PRELIMINARY UTILITY PLAN





ROPER ENGINEERING
CIVIL ENGINEERING & LAND SURVEYING
64 PENNY LANE, SUITE A WATSONVILLE, CA 95076
(831) 724-5300 [info@roperengineering.com]

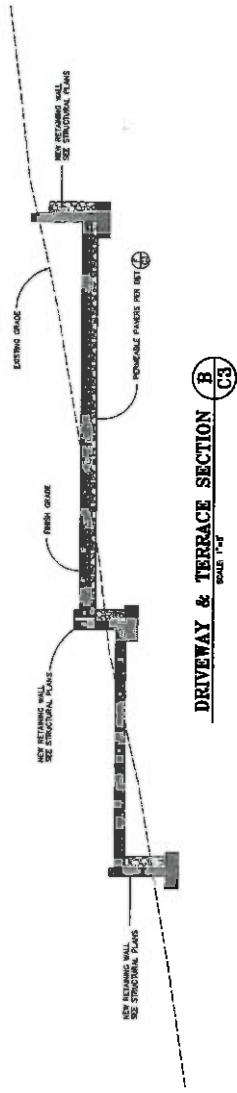


NEW RESIDENCE FOR
SHANE BROWN
DUAL DRIVE, BONNY DOON, APN 063-172-07

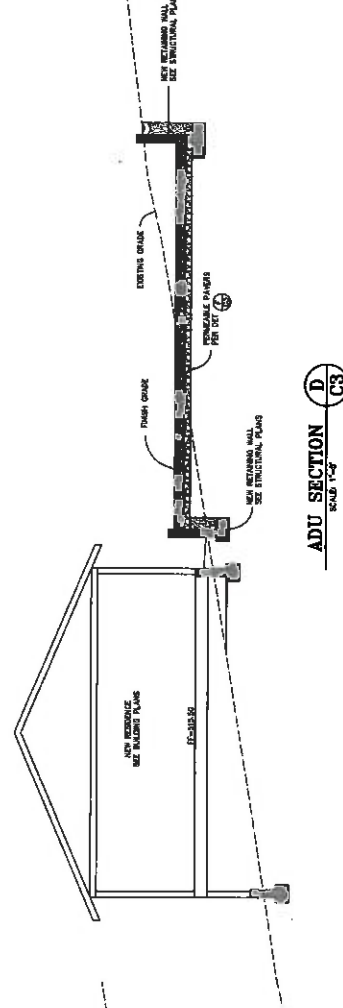
SECTIONS & DETAILS

SCALE	AS NOTED
DESIGNED BY	JB
DRAWN BY	JB
DATE	JUNE 28, 2018
REVIEWED	AUG. 1, 2018
JOB NO.	17076
SHEET	

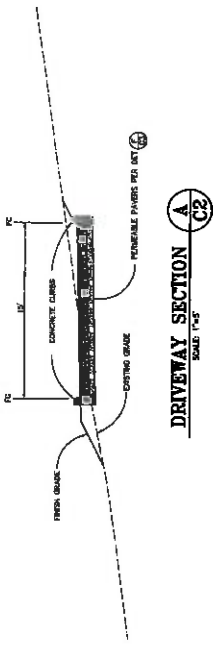
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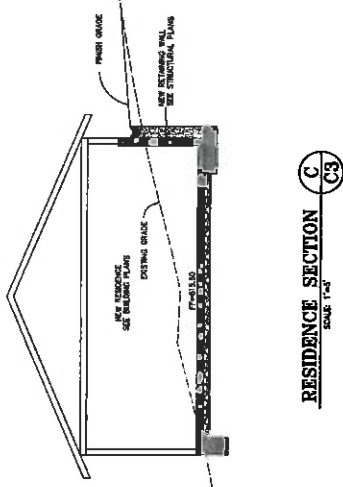
DRIVEWAY & TERRACE SECTION B
SCALE 1'-4"



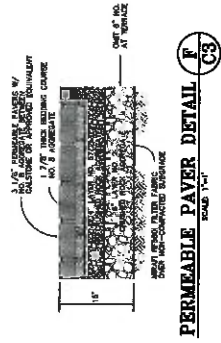
ADU SECTION D
SCALE 1'-4"



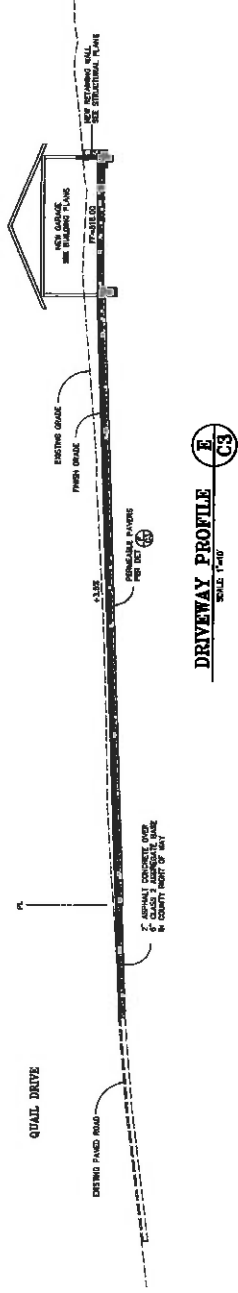
DRIVEWAY SECTION A
SCALE 1'-4"



RESIDENCE SECTION C
SCALE 1'-4"



PERMEABLE PAVEMENT DETAIL F
SCALE 1'-4"



DRIVEWAY PROFILE E
SCALE 1'-4"



REMARKS:	AS NOTED
DESIGNED BY:	JR
DRAWN BY:	JR
DATE:	JUNE 28, 2018
REVISION:	AUG. 6, 2018
JOB NO.:	17078
5827	

some show





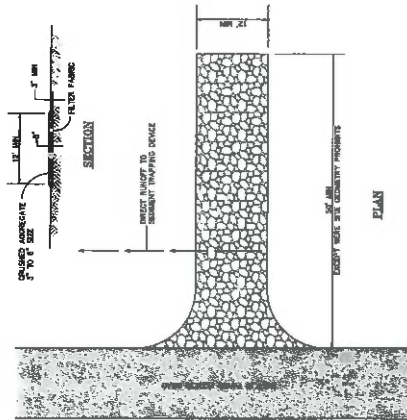
ROPER ENGINEERING
64 PEWEE LANE, SUITE A WATSONVILLE, CA 95076
(831) 724-5300 info@roperengineering.com

ROPER ENGINEERING & LAND SURVEYING

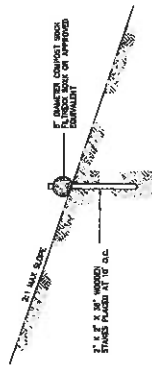


STORMWATER POLLUTION CONTROL DETAILS

SCALE:	AS NOTED
DRAWN BY:	JR
CHECKED BY:	JR
DATE:	JUNE 28, 2018
REVISION:	AUG. 9, 2018
CAD FILE:	170701
SHEET:	C5



STABILIZED CONSTRUCTION ENTRANCE B C5
SCALE: 1" = 1'-0"



COMPOST SOCK DETAIL A C5
SCALE: 1" = 1'-0"

SITE HOUSEKEEPING REQUIREMENTS

MATERIAL STORAGE AND USE REQUIREMENTS

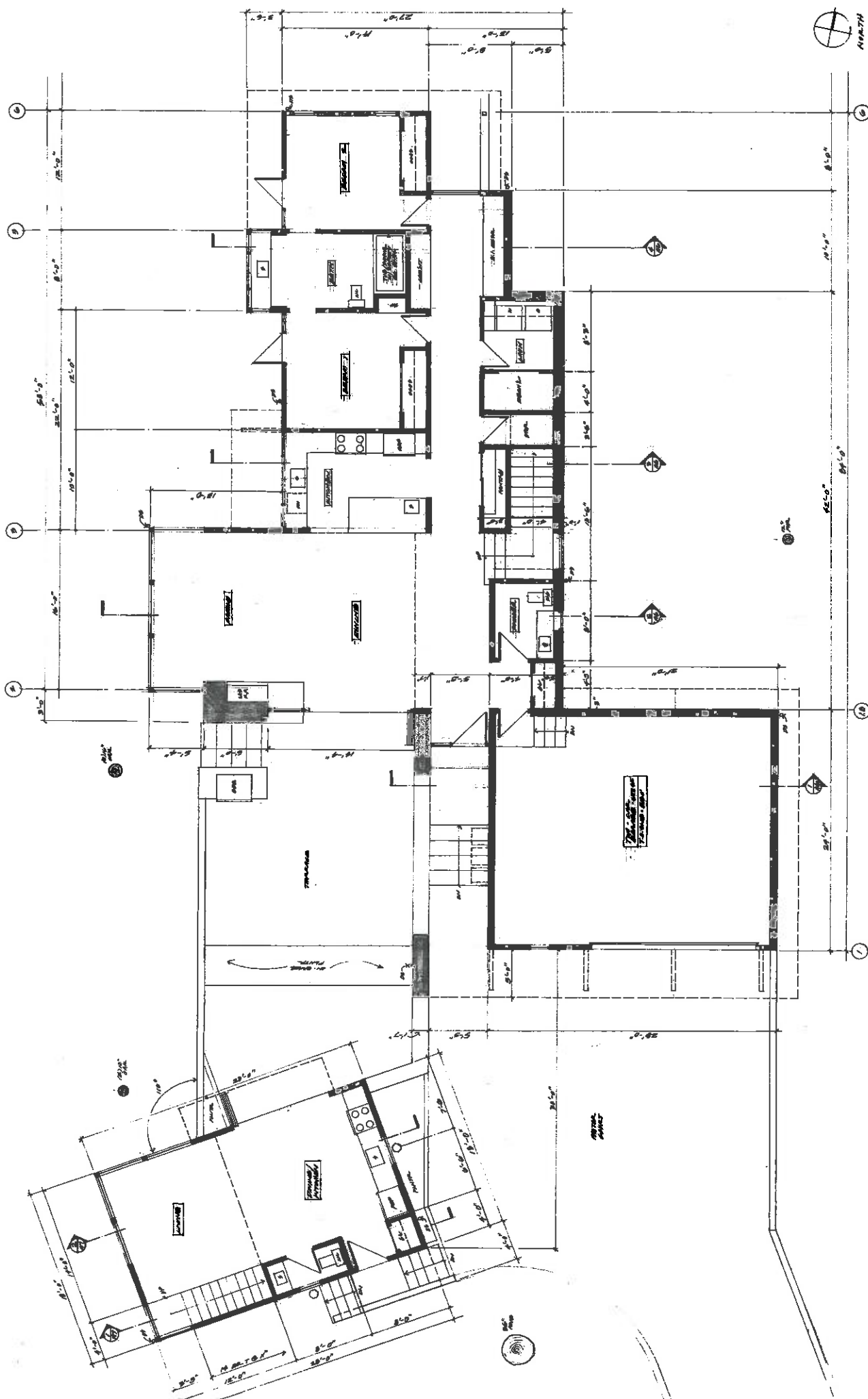
1. LOCATE MATERIALS AND SOIL STOCKPILES AWAY FROM OUTFALLS, STORM DRAIN MOUTH, AND WATER BODIES IN AUSTIN. KEEP STOCKPILES AWAY FROM STORM DRAIN MOUTH AND WATER BODIES. STOCKPILES SHALL BE COVERED WITH A TARP OR ANOTHER MEANS OF PROTECTION. STOCKPILES SHALL BE COVERED WITH A TARP OR ANOTHER MEANS OF PROTECTION. STOCKPILES SHALL BE COVERED WITH A TARP OR ANOTHER MEANS OF PROTECTION.
2. STOCK MATERIALS, INCLUDING STOCKPILES AND EXCAVATION, SHALL BE COVERED AND PROTECTED FROM WIND, RAIN, AND RAINFALL. COVER PILES OF SOIL, CONSTRUCTION MATERIALS, AND WATERS WITH PLASTIC SHEETING OR TARP.
3. COVER THE STORM DRAIN MOUTH WITH A TARP OR ANOTHER MEANS OF PROTECTION. COVER THE STORM DRAIN MOUTH WITH A TARP OR ANOTHER MEANS OF PROTECTION. COVER THE STORM DRAIN MOUTH WITH A TARP OR ANOTHER MEANS OF PROTECTION.
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EQUIPMENT AND VEHICLE MAINTENANCE AND CLEANING

1. MAINTAIN EQUIPMENT AND VEHICLES PROPERLY AND REPAIR ANY LEAKS AS SOON AS POSSIBLE. CONTAIN AND CLEAN UP OIL, FUEL, GREASE, AND OTHER LIQUIDS. CONTAIN AND CLEAN UP OIL, FUEL, GREASE, AND OTHER LIQUIDS. CONTAIN AND CLEAN UP OIL, FUEL, GREASE, AND OTHER LIQUIDS.
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EROSION CONTROL NOTES

1. PREVENT AND MINIMIZE EROSION BY MAINTAINING PROPER SLOPES AND ALL DISTURBED AREAS AS SOON AS POSSIBLE. MAINTAIN PROPER SLOPES AND ALL DISTURBED AREAS AS SOON AS POSSIBLE. MAINTAIN PROPER SLOPES AND ALL DISTURBED AREAS AS SOON AS POSSIBLE.
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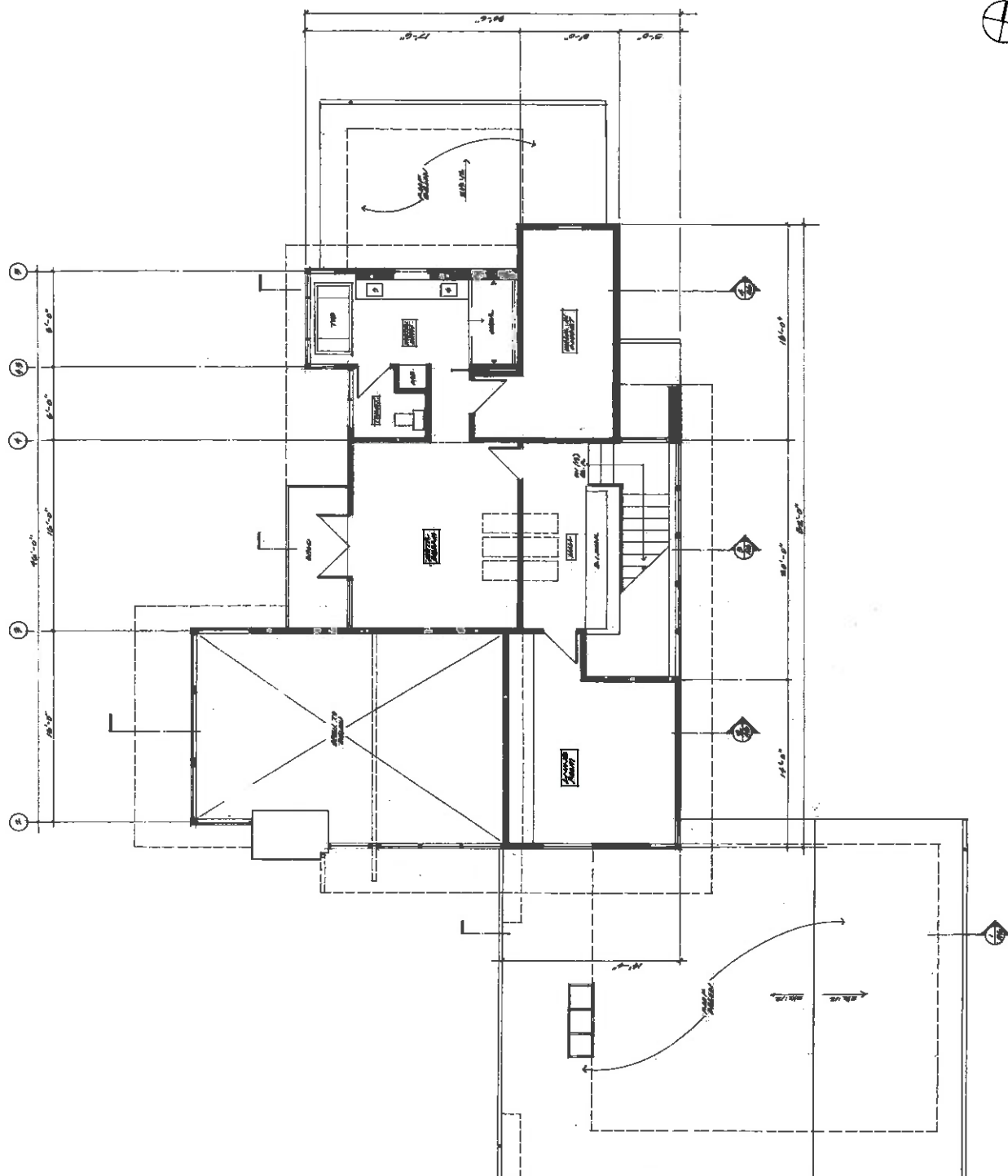


BROWN RESIDENCE **A1**
APN: 063-172-07

278 Lindsay
Lafayette Beach
California
90370
Darryl Woods, Architect
310.324.8865-4

GROUND FLOOR PLANS

1994	0475
2000	01.01.2000



SECOND FLOOR PLANS

14	10
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A2

BROWN RESIDENCE

APN: 003-172-07

278 Indiana
4000 North
California
94618
Northridge, California
91324

1994年	57446
1995年	57446
1996年	57446
1997年	57446
1998年	57446
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2099年	57446
2100年	57446



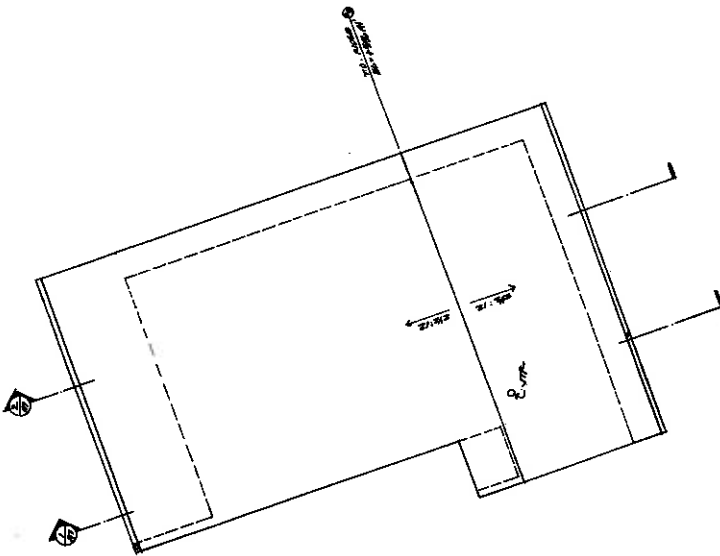
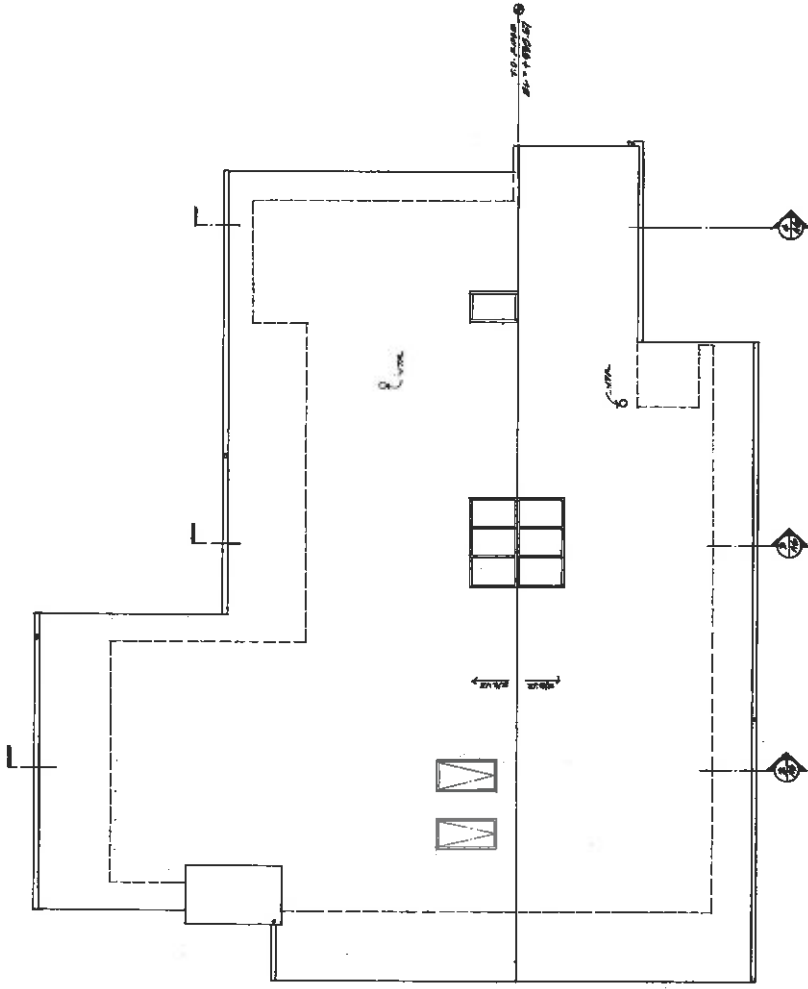
1/4" = 1'-0"

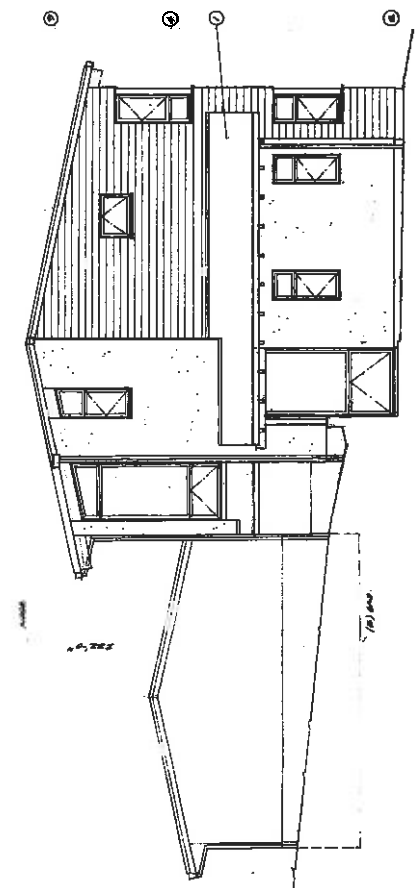
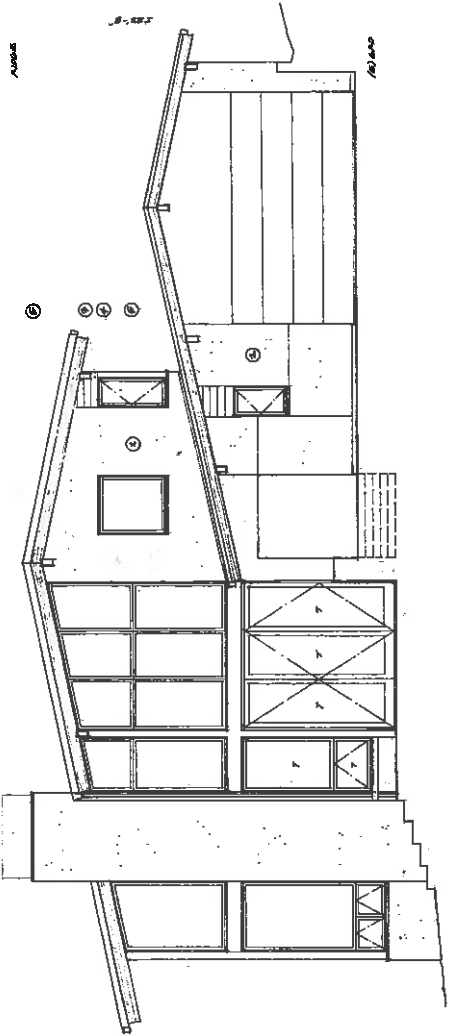
UPPER ROOF PLAN(S)

BROWN RESIDENCE A3
APN: 065-172-07

3711 Lakeway
La Mesa, CA 92041
408-541-8881

DATE	0-22-2008
PROJECT NO.	0-22-2008





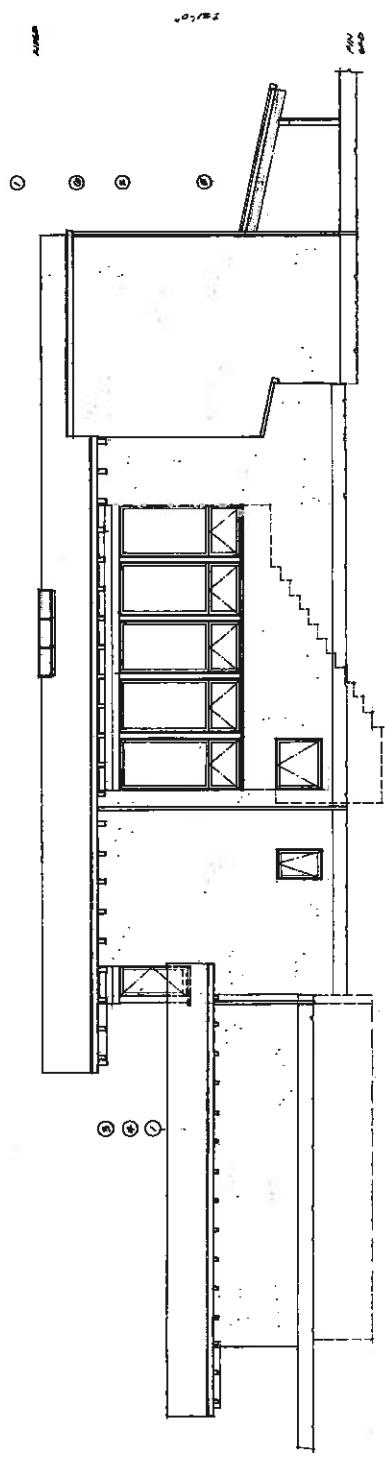
2017/10/19

2017/10/19

EXTERIOR ELEVATIONS & MAIN RESIDENCE

1/4" = 1'0"

- 1 Standing seam metal roofing over synthetic underlayment
- 2 Exterior cement plaster over masonry barrier
- 3 Horizontal cedar siding over moisture barrier - to stain
- 4 Aluminum clad wood windows
- 5 Exposed wood framing - to stain
- 6 2x4 G.I. metal gullies and downspouts



EXTERIOR ELEVATIONS & MAIN RESIDENCE

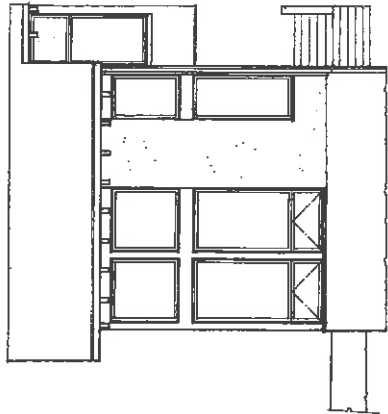
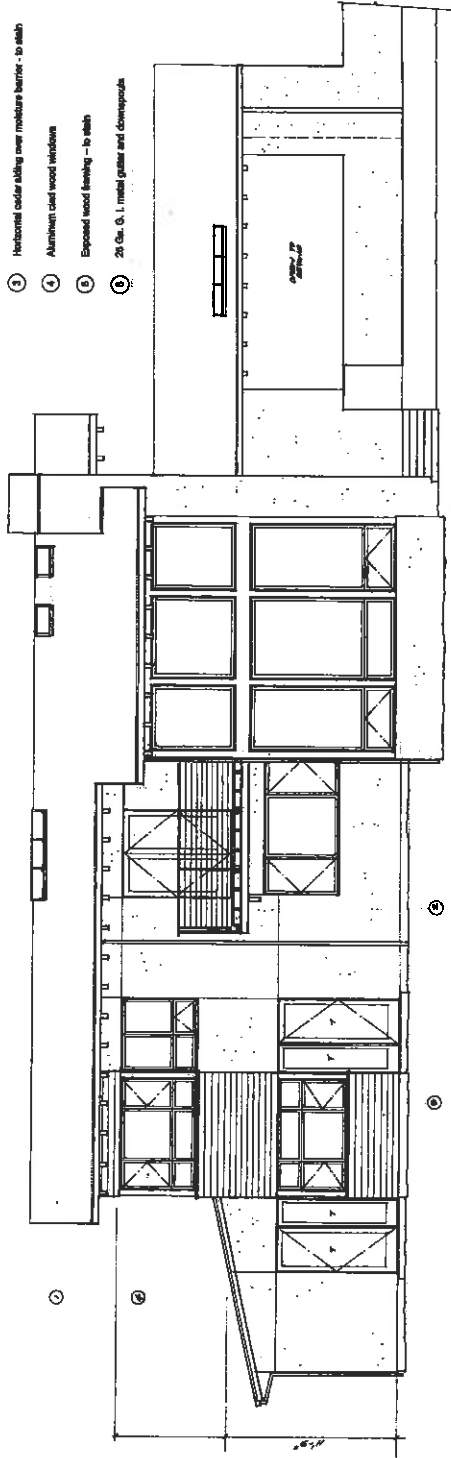
1/4" = 1'0"

1998.03	APR 75
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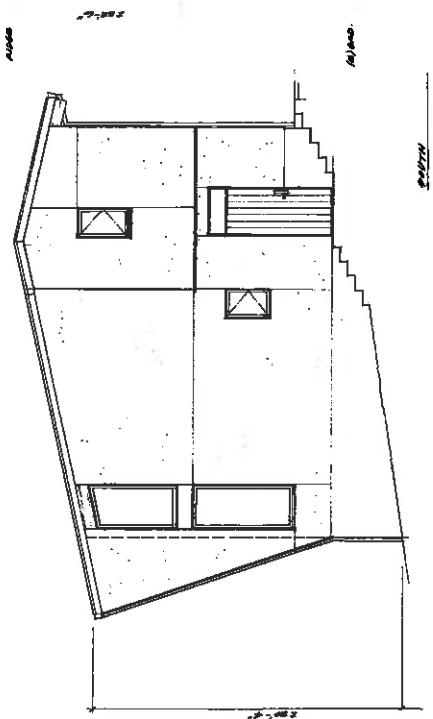
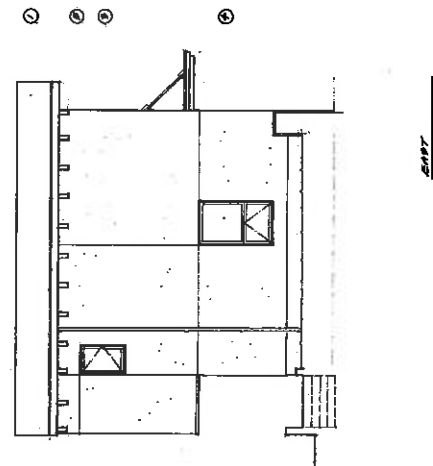
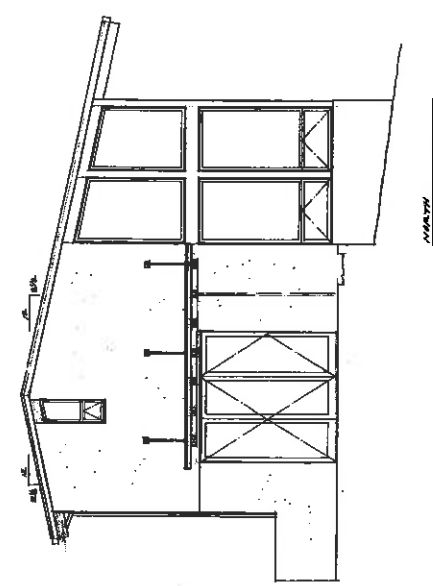
BROWN RESIDENCE A4
APN: 085-172-07

271 Lakeside
La Brea South
California
Los Angeles
900 294 2821

- ① Standing seam metal roofing over synthetic underlayment
- ② Exterior cement plaster over moisture barrier
- ③ Horizontal cedar siding over moisture barrier - to eave
- ④ Aluminum clad wood windows
- ⑤ Exposed wood framing - to eave
- ⑥ 2x6 @ 16" metal gables and downspouts



WEST ELEVATION & ADU 1/4"=1'-0" 1



WEST

WEST

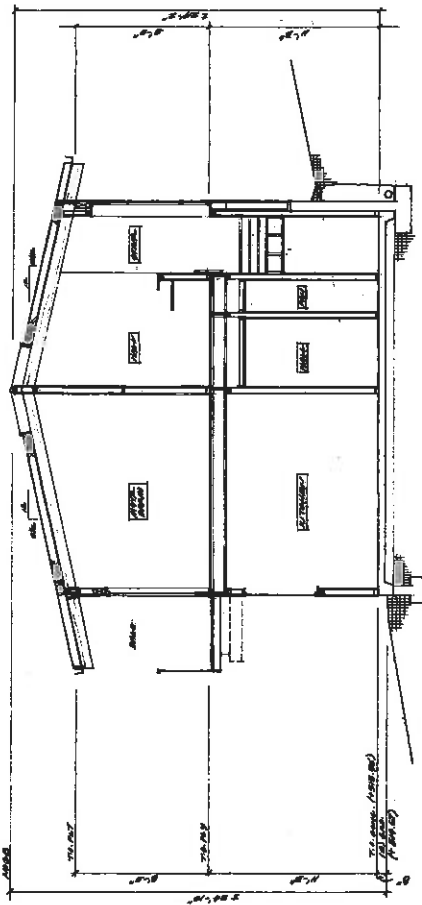
WEST

WEST ELEVATION & ADU 1/4"=1'-0" 2

BROWN RESIDENCE A5
APN: 088-172-07

2711 Lakeside
La Brea Station
City of Los Angeles
900 344-3881

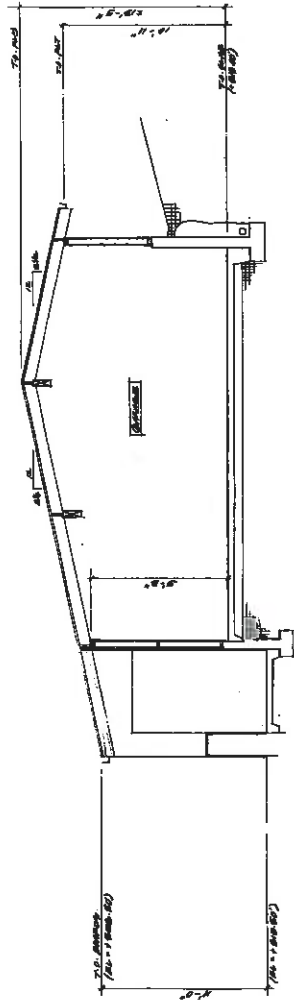
DATE	TYPE
10/10/10	PRELIMINARY
11/10/10	REVISED
12/10/10	REVISED
01/11/11	REVISED



WYSE SECTION

1/4" = 1'-0"

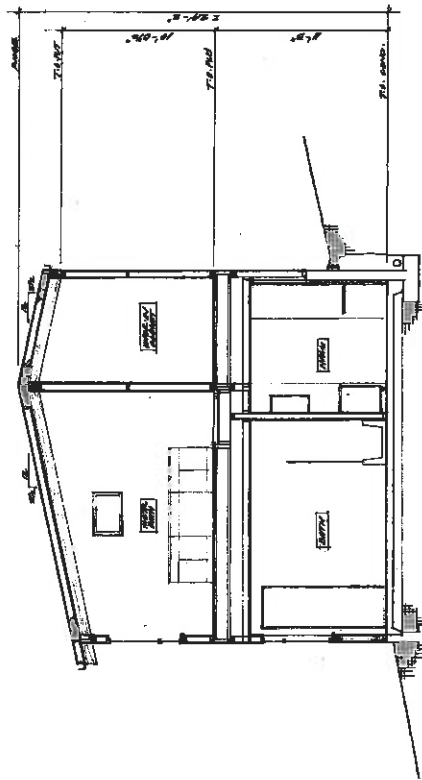
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CHAPIN SECTION

1/4" = 1'-0"

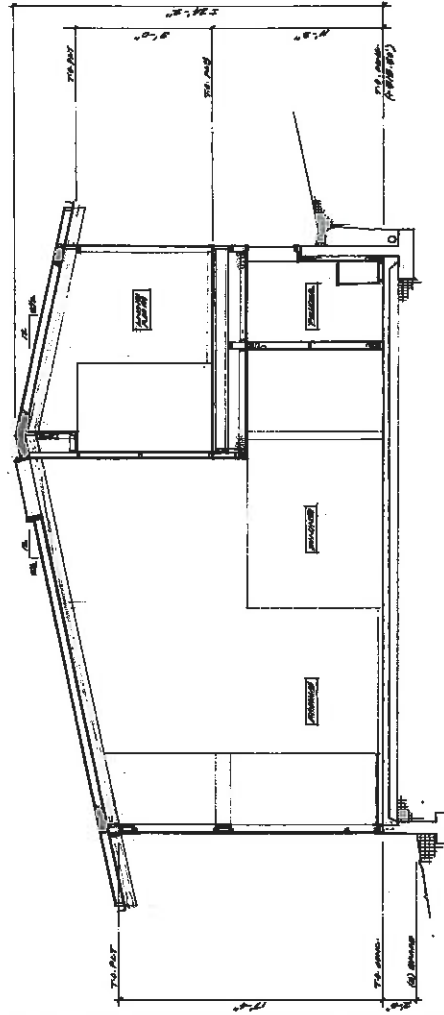
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WYSE SECTION

1/4" = 1'-0"

2



CHAPIN SECTION

1/4" = 1'-0"

2

BROWN RESIDENCE A8
APR 083-172-07

PL 1/16
LA 1/16
CA 1/16
MA 1/16
PA 1/16

