

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
701 Ocean Street, 4<sup>th</sup> Floor  
Santa Cruz, CA 95060  
(831) 454-2580

**NOTICE OF PENDING ACTION**

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

**APPLICATON NUMBER: 181291**

**APN: 049-081-12**

Proposal to change the use of an existing commercial building from a feed store to a winery with on-site wine tasting and limited special events in the C4 zone district. Requires an Amendment to Commercial Development Permits 05-0308 and 111039 and a determination that the project is exempt from review under CEQA.

Property located on the southwest side of Freedom Boulevard (2901 Freedom Boulevard) opposite the intersection with Corralitos Road.

**OWNER: Robert Prikazsky**

**APPLICANT: Ken Hart**

**SUPERVISORIAL DISTRICT: 2**

**PLANNER: Lezanne Jeffs, (831) 454-2480**

**EMAIL: Lezanne.Jeffs@santacruzcounty.us**

**Public comments must be received by 5:00 p.m. December 19, 2018. A decision will be made on or shortly after December 20, 2018.**

**Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.**

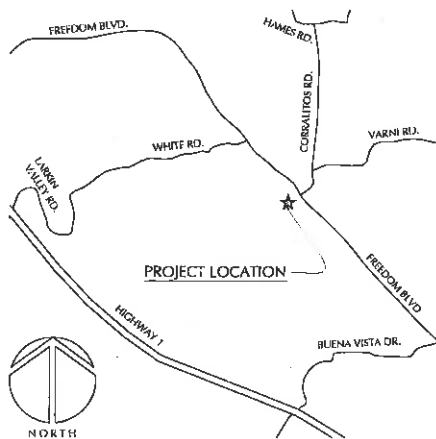
Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

**For more information, call the project planner identified above.**

# TENANT IMPROVEMENT FOR EL VAQUERO WINERY 2901 FREEDOM BOULEVARD, WATSONVILLE, CALIFORNIA



## VICINITY MAP



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## PROJECT TEAM

- ARCHITECT:**
- WILLIAM C. KEMP, ARCHITECT  
911 CENTER STREET, SUITE F  
SANTA CRUZ, CA 95060  
BILL KEMP: 831 439-0951
- CIVIL ENGINEER & SURVEYOR:**
- BOWMAN & WILLIAMS  
3949 RESEARCH PARK COURT, SUITE 100  
SIOQUEL, CA 95073  
CHRIS MASON: 831 426-3550
- LANDSCAPE ARCHITECT:**
- WBLA LANDSCAPE ARCHITECTURE  
P.O. BOX 328  
APTOS, CA 95001  
MEGAN BISHOP: 831 918-9227
- LAND USE CONSULTANT:**
- SWIFT CONSULTING SERVICES, INC.  
500 CHESTNUT STREET, SUITE 100  
SANTA CRUZ, CA 95060  
KEN HART: 831 459-0992

## PROJECT DATA

- OWNERS:**
- EL VAQUERO WINERY  
136 S. FRANCIS COURT  
CAPITOLA, CALIFORNIA 95010  
BOB PRUKAZSKY: 408 981-8976
- PROJECT SITE:**
- 049-081-12  
2901 FREEDOM BOULEVARD  
WATSONVILLE, CALIFORNIA 95076
- ZONING:**
- C-4 (COMMERCIAL SERVICES)
- LOT AREA:**
- 21,664 S.F. (0.497 ACRES)
- BUILDING AREA:**
- 3,168 S.F.
- CONSTRUCTION TYPE:**
- TYPE V-B (SPRINKLERED)
- PROJECT DESCRIPTION:**
- TENANT IMPROVEMENT FOR A NEW WINERY IN AN EXISTING STEEL BUILDING THAT WAS FORMERLY A FEED STORE



WILLIAM C. KEMP  
ARCHITECT  
911 CENTER STREET, SUITE F  
SANTA CRUZ, CA 95060  
831 439-0951  
bill@wckemp.com

TENANT IMPROVEMENT FOR  
EL VAQUERO WINERY  
2901 FREEDOM BOULEVARD, WATSONVILLE, CALIFORNIA  
COVER SHEET AND PROJECT DATA

CREATING DATE:  
AUGUST 30, 2008

APP. NO.: 00408-1-02

CLIENT NAME:  
EL VAQUERO WINERY

PROJECT NAME:  
EL VAQUERO WINERY

NO.	DESCRIPTION	DATE
1	PLANNING	08/30/08

NO.	DESCRIPTION	DATE
1	PLANNING	08/30/08

NO.	DESCRIPTION	DATE
1	PLANNING	08/30/08

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1	PLANNING	08/30/08

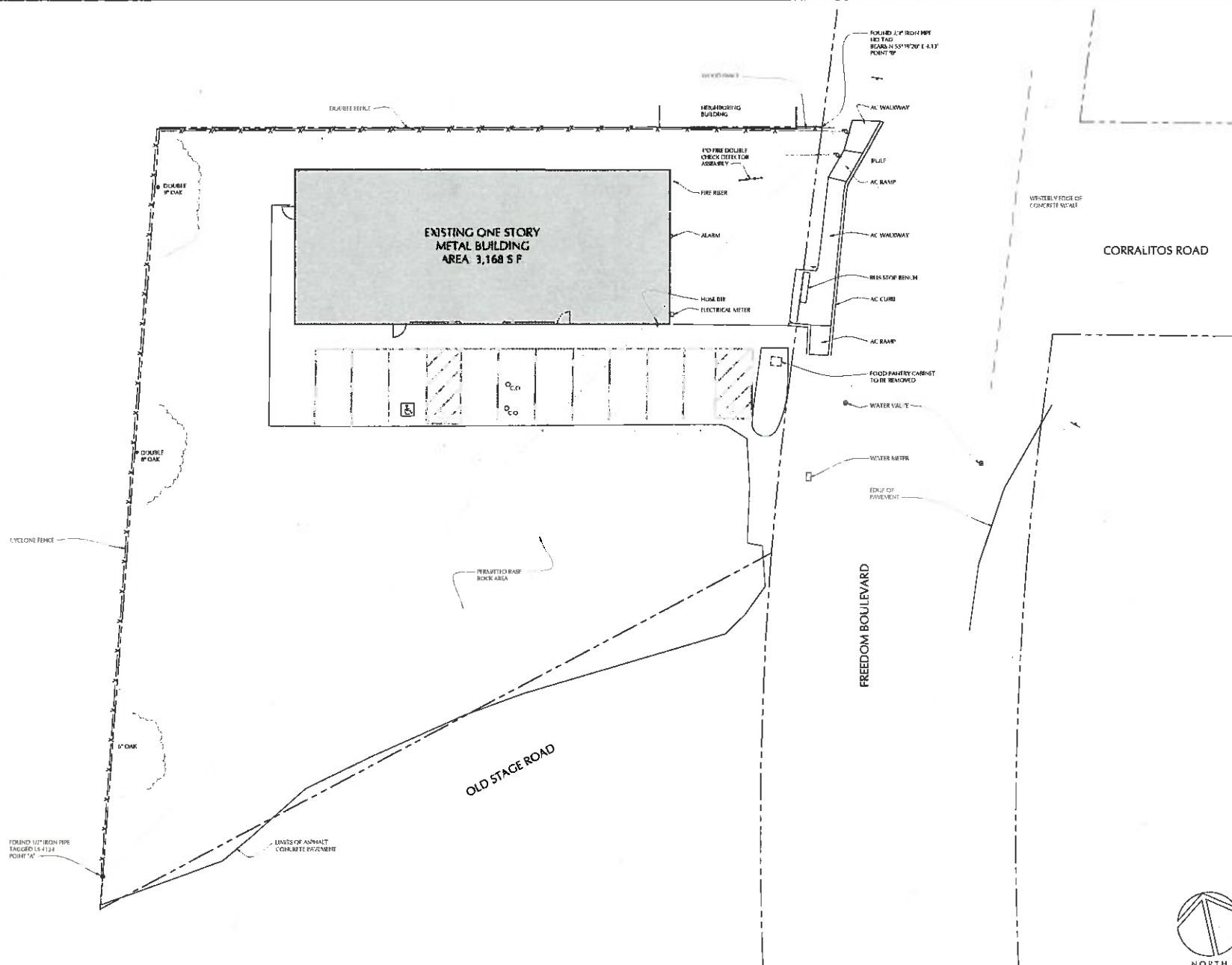
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NO.	DESCRIPTION	DATE
1	PLANNING	08/30/08

NO.	DESCRIPTION	DATE
1	PLANNING	08/30/08



**WILLIAM C. KEMP  
ARCHITECT**  
1114 Cedar Street, Suite 1  
San Francisco, CA 94109  
415-494-0961  
info@wckemp.com

TENANT IMPROVEMENT FOR  
**EL VAQUERO WINERY**  
 2401 FREEDOM BOULEVARD, WATSONVILLE, CALIFORNIA  
 EXISTING SITE PLAN

DRAWING DATE:	AUGUST 14, 2018
A.P.N.:	044-086-17
CLIENT NAME:	EL VAQUERO WINERY
PROJECT NAME:	EL VAQUERO WINERY

REV	DESCRIPTION	DATE
1	PLANTING	8/14/18

**DRIVER/OWNER**

I hereby certify that the information provided in this plan is true and correct to the best of my knowledge and belief, and that I am a duly licensed and qualified professional engineer or architect.

**A2.1**



TENANT IMPROVEMENT FOR  
**EL VAQUERO WINERY**  
 2401 FREEDOM BOULEVARD, WATSONVILLE, CALIFORNIA  
 PROPOSED SITE PLAN

DATE OF ISSUE:	2020-11-19
TYPE:	REGULAR
CURRENT DATE:	20-11-2020
ISSUE CATEGORY:	IT Application category

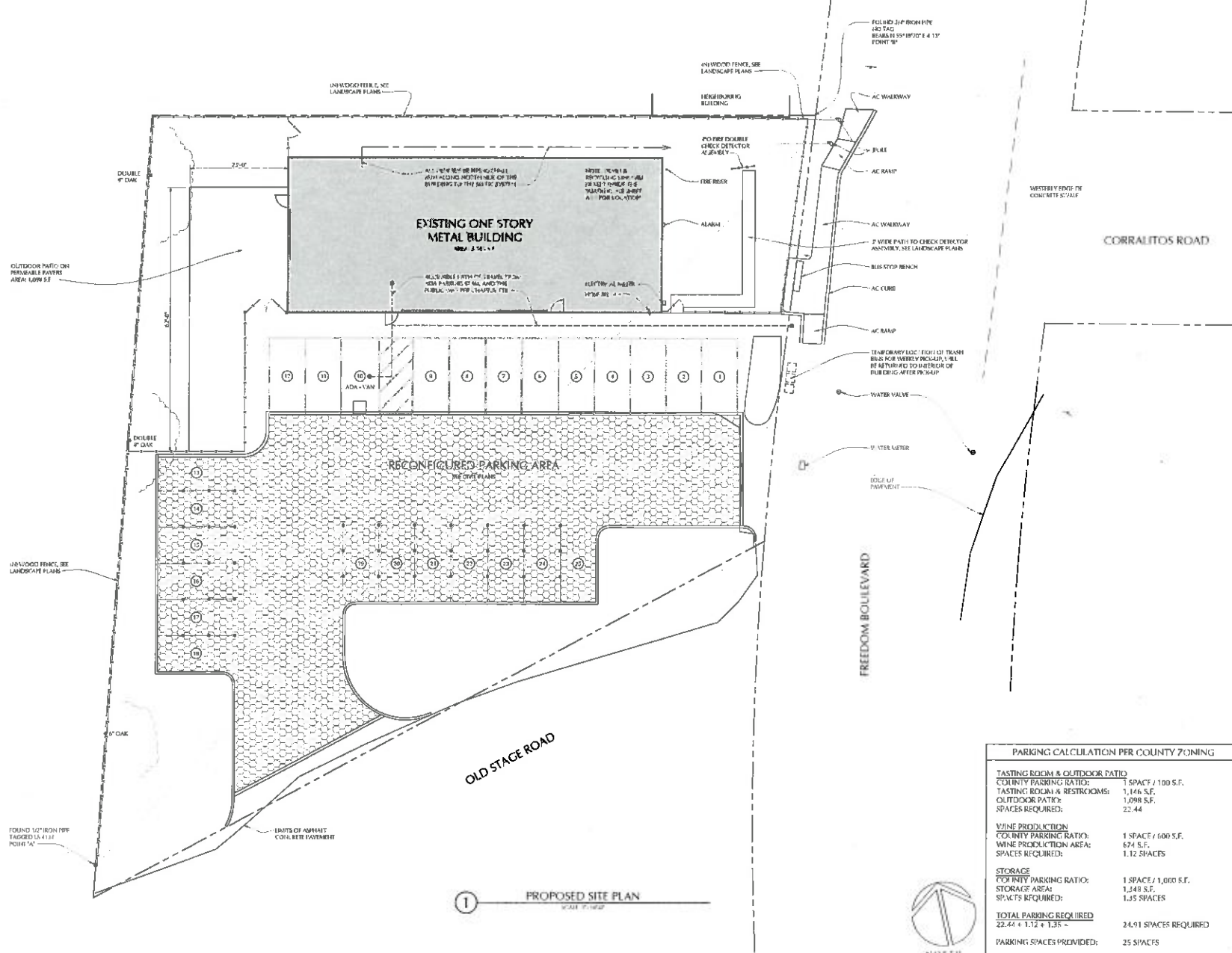
附件 1		
序号	项目名称	备注
1	项目一：项目一	项目一
2	项目二：项目二	项目二




<p>TEST 104-000</p> <p>Test 104-000 is a multiple-choice test consisting of 100 questions. The test is designed to assess the knowledge and skills of individuals in the field of [illegible]. The test is divided into two sections: a multiple-choice section and a short-answer section. The multiple-choice section consists of 80 questions, and the short-answer section consists of 20 questions. The test is timed, and the total time allowed for completion is 120 minutes. The test is administered by [illegible] and is available in both English and Spanish.</p>
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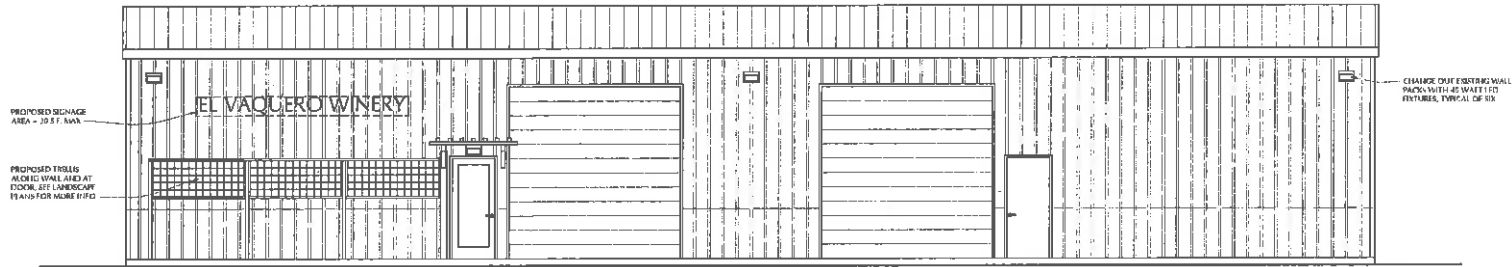
**Abstract**

A2.2

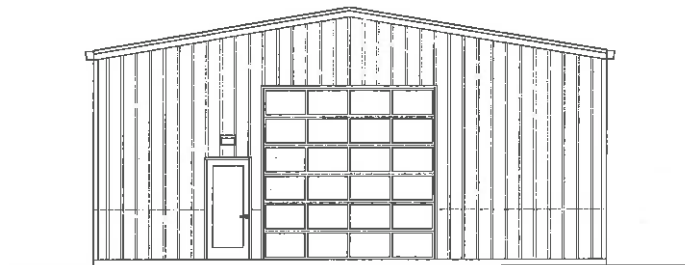


### PROPOSED SITE PLAN

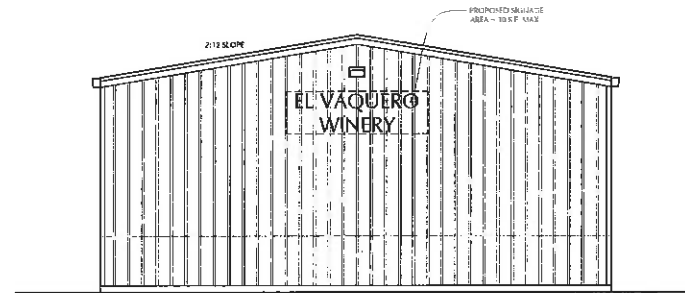




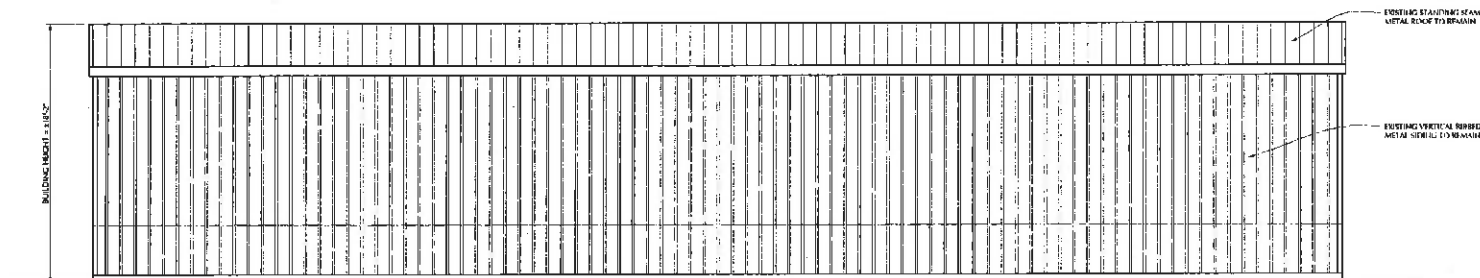
1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION



2 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

SIGNAGE AREA CALCULATED  
FOR THE ENTIRE ALTERNATIVE - 100 SF SQUARE  
FROM THE EAST AND WEST OF THE BUILDING  
THE TWO PROPOSED SIGNS  
10' x 20' = 200 SF - 10' x 10' = 100 SF MAX



WILLIAM C. KEMPf  
ARCHITECT  
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Palo Alto, CA 94301  
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TECHNICAL PREPARED FOR  
EL VAQUERO WINERY  
2801 FREEDOM BOULEVARD, WATSONVILLE, CALIFORNIA  
PROPOSED EXTERIOR ELEVATIONS

DRAWING DATE:  
AUGUST 14, 2018  
A.P. 11  
OWNER: 1-12  
CLIENT: EL VAQUERO WINERY  
PROJECT NAME:  
EL VAQUERO WINERY

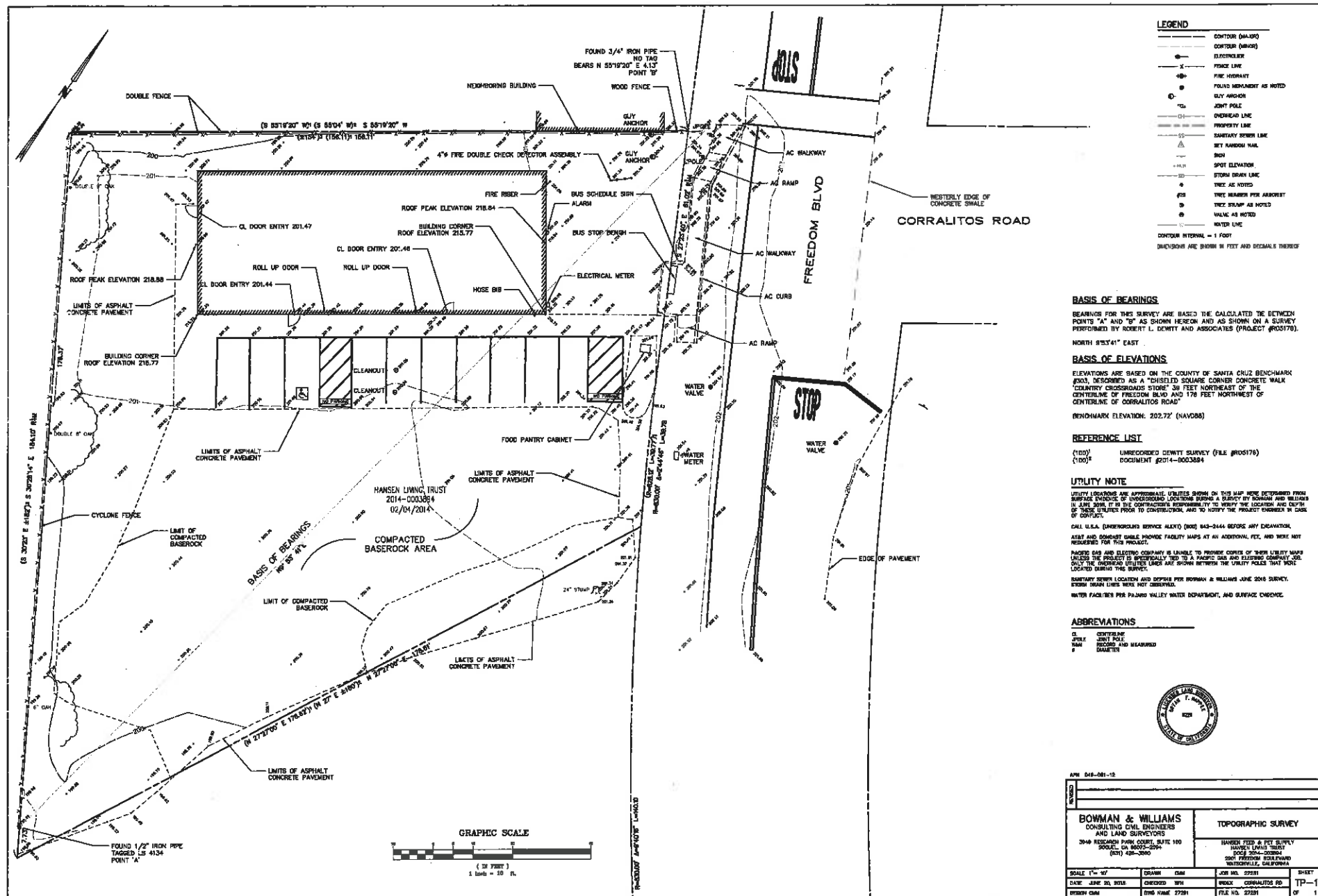
REV	DESCRIPTION	DATE
1	PRELIMINARY	10/25/18
2		
3		
4		
5		
6		
7		
8		
9		
10		








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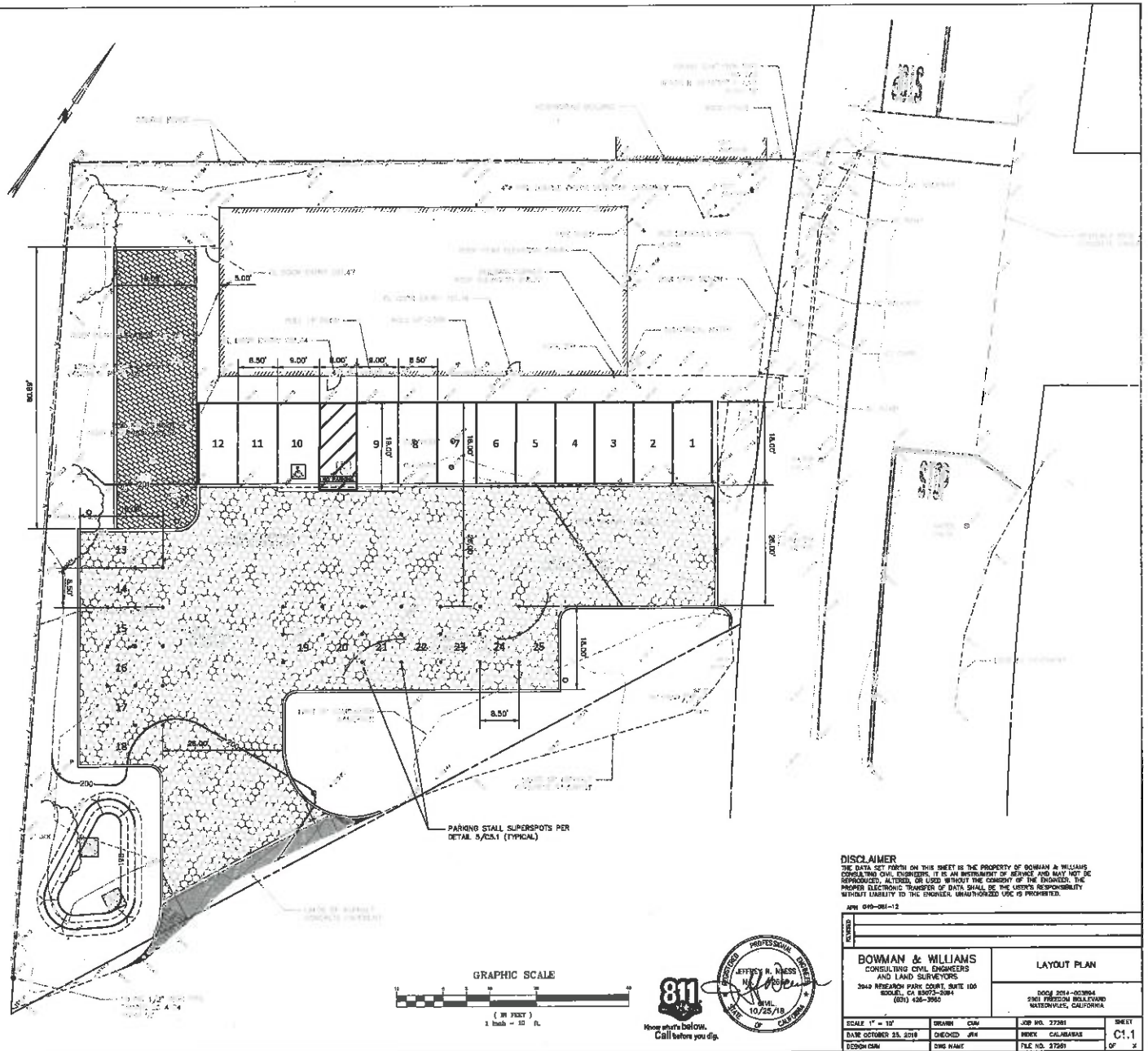
A4.1



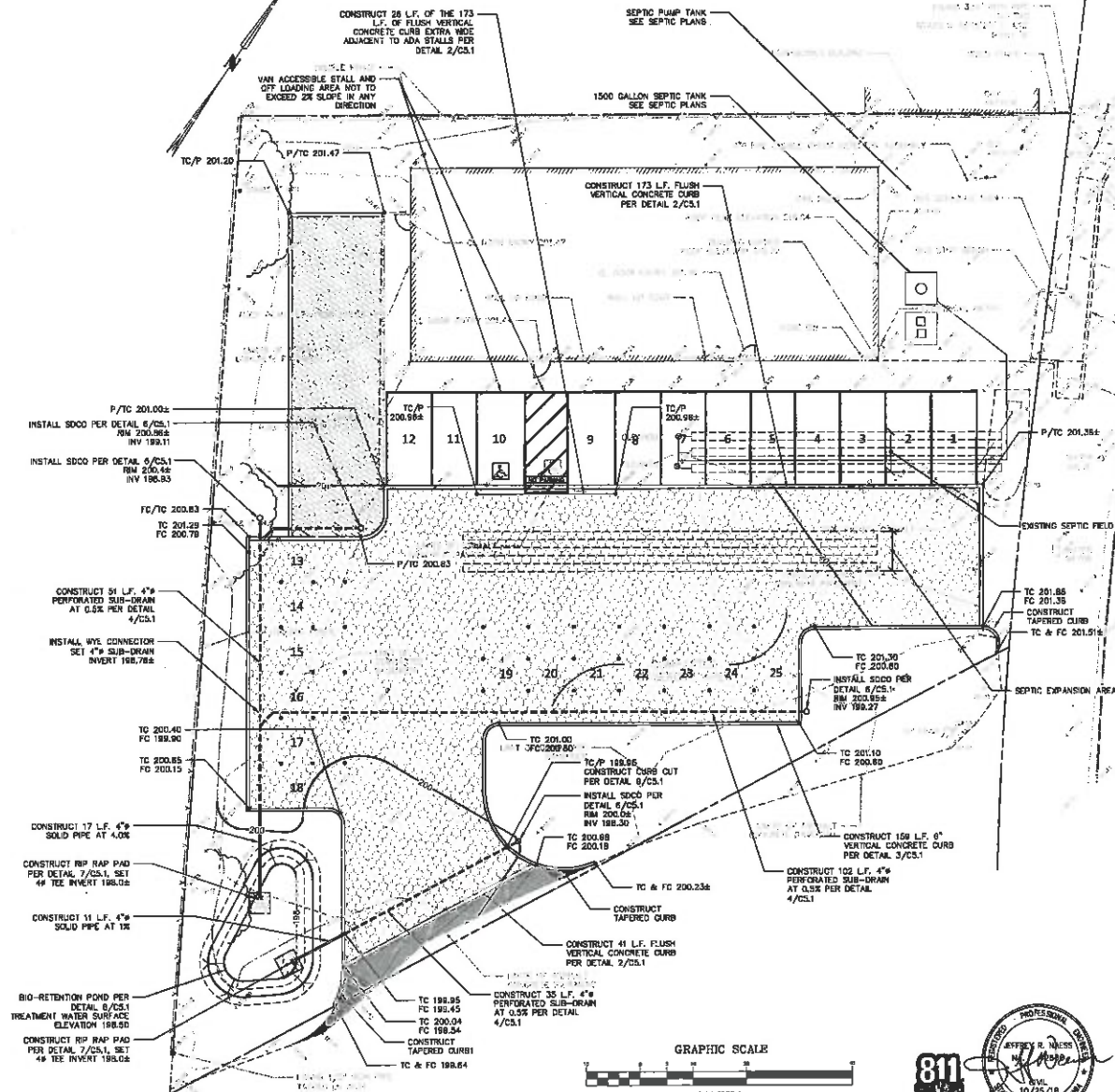


# LEGEND

-  INDICATES 3" ASPHALT PAVEMENT OVER EXISTING RECOMPACTED BASECOURSE
-  INDICATES TRUCORR PRO PLUS PAVERS HEAVY LOAD FILL INSTALLATION
-  INDICATES PERMEABLE PAVEMENT AREA
-  INDICATES PERFORATED SUB DRAIN
-  INDICATES BIO PLANTER - TOP OF MEDIA SURFACE AREA 203 SF BIO PLANTER MEDIA MIX THICKNESS 30" OVER 12" DRAIN ROCK

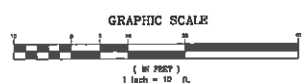






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BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3848 REDWOOD PARK DRIVE, SUITE 100 BOULDER, CO 80503-3544 (303) 440-3540		<b>GRADING AND DRAINAGE PLAN</b> 0000 2014-00384 2801 FREEDOM BOULEVARD WATSONVILLE, CALIFORNIA	
SCALE: 1" = 10' DATE: OCTOBER 26, 2018 DESIGN: CHP	DRAWN: TDM CHECKED: JMN DWS NAME	JOB NO: 27261 INDEX: CALABASAS FILE NO: 27261	SHEET <b>C2.1</b> OF 2





## TEMPORARY EROSION CONTROL MEASURES

1. THE DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION CONTROL AT ALL TIMES.
2. EROSION IS TO BE CONTROLLED AT ALL TIMES. SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BETWEEN OCTOBER 15TH AND JUNE 15TH. BETWEEN OCTOBER 15TH AND APRIL 15TH, FILL BARRIERS, FILTER BARRIERS, SALT FENCE OR OTHER MEANS SHALL BE EMPLOYED TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING ANY WATERCOURSE.
3. RUNOFF FROM THE CONSTRUCTION SITE MUST NOT BE ALLOWED TO FLOW OVER ANY FILL SLOPES.
4. RUNOFF SHALL BE DIRECTED TOWARDS THE NEAREST CATCH BASIN WITH TEMPORARY EARTHEN BARRIERS.
5. SALT BARRIERS SHALL BE CONSTRUCTED ALONG THE BOTTOM OF ALL GRADED SLOPES.
6. CATCH BASINS SHALL BE PROTECTED BY A SALT BARRIER ON ALL FOUR SIDES. USE GRAVEL, FILLED SANDBAGS OR STRAW BALE PALET BARRIERS.
7. ON ALL EXPOSED GRADED SLOPES, ON- AND OFF-SITE, EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED FOR PLANT, SHALL BE PROTECTED BY MULCHING AND/OR PLANTING OF ANNUAL WINTER HARVEY MIX AT A RATE OF 35 LBS PER ACRE.
8. ONCE SLOPES ARE SEDED AND BAKED, COVER THEM WITH TWO INCHES (2") OF STRAW PUNCHED INTO THE GROUND BY SHEEP ROLLER. IF AVAILABLE, USE NATIVE BROWN GRASS STRAW PREFERABLY. PROCEED WITH MULCHING, IF NOT AVAILABLE, USE COMMERCIALLY AVAILABLE TYPES (E.G. WHEAT, RYE, BARLEY, ETC.). EXPOSED SOIL ON SLOPES GREATER THAN 2% SHALL BE SEDED, COVERED WITH 2 INCHES OF STRAW AND A NOTIONALLY GREEN NETS EROSION CONTROL BLANKET, OR APPROVED EQUIVALENT. THE EROSION CONTROL BLANKET SHALL BE STAKED IN PLACE.
9. FERTILIZER REQUIRED FOR THIS SEED MIX IS AMMONIUM PHOSPHATE AT AN APPLICATION RATE OF 550 LB PER ACRE.
10. SEDIMENT MAY BE OBTAINED FOR AREAS THAT ARE TO RECEIVE PERMANENT LANDSCAPING PROVIDED SAID LANDSCAPING IS IN PLACE PRIOR TO OCTOBER 15TH.
11. UNNECESSARY GRADING AND DISTURBANCE OF SOIL SHALL BE AVOIDED.
12. DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO ENTER THE CHANNEL OR STORM DRAIN SYSTEM. USE OF SILT AND CREASE TRAP, FILTER BARRIERS, MAY BALS OF SALT FENCE SHALL BE USED TO PREVENT SUCH DISCHARGE.
13. ALL EXCAVATED MATERIAL, NOT SUITABLE FOR FILL OR REUSE SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DEPOSED OF ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.
14. ANY MATERIAL STOCKPILED ON-SITE SHALL BE COVERED WITH PLASTIC, ESPECIALLY DURING THE WINTER MONTHS OR DURING PERIODS OF RAIN.
15. IT IS THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES, NECESSARY TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE, ARE IMPLEMENTED.
16. 48 HOUR NOTICE SHALL BE GIVEN TO ENVIRONMENTAL PLANNERS AT 484-3388 PRIOR TO COMMENCING WORK, AND UPON COMPLETION OF GRADING AND EROSION CONTROL. FAILURE TO COMPLY WILL RESULT IN REVOCATION OF A STOP WORK ORDER.

## GENERAL OPERATION NOTES

1. PERMETER SITE FENCING SHALL BE INSTALLED SO AS NOT TO OBSTRUCT DRAINAGE/RUNOFF PATH OF TRAVEL.
2. STOCKPILE MANAGEMENT SHALL BE IMPLEMENTED YEAR ROUND.
3. PROVIDE SEDIMENT BARRIERS, SEDIMENT STOCKPILES FOR REGULAR USE DURING THE DRY SEASON. IMPLEMENT WIND EROSION PRACTICES SUCH AS MULCHING AS NECESSARY TO KEEP DUST LEVELS DOWN.
4. STOCKPILES NOT TO BE USED WITHIN 14 DAYS SHALL BE PROTECTED AND COVERED IMMEDIATELY WITH 10 MIL PVC PLASTIC SHEETING.
5. ALL ACTIVE STOCKPILES SHALL BE COVERED WITH 10 MIL PVC PLASTIC SHEETING PRIOR TO THE ONSET OF PRECIPITATION.
6. DURING WINTER SEASON, PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING SEDIMENT BARRIERS AND PLASTIC SHEETING.
7. IMMEDIATELY INVESTIGATE OR COVER DISTURBED AREAS. APPLY NEED-FREE MULCH OR REVEGETATE ALL SOIL EXPOSED BEFORE OCTOBER 15TH OF EACH YEAR.
8. DISCONTINUE THE APPLICATION OF ANY EROSION CONTROL MATERIAL WITHIN 3 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
9. GRAVEL, SAND & CONCRETE ROLL PRODUCTS MAY BE SUBSTITUTED WITH OTHER APPROVED SEDIMENT CONTROL/MANUFACTURED DEVICES.
10. DO NOT WASH DOWN PAVEMENT OR SURFACES. IF IT HAS BEEN OBSERVED ON MATERIALS HAVE SPILLED. USE DRY CLEAN METHODS.
11. AVOID CONTAMINATING CLEAN RUN-OFF FROM AREAS ADJACENT TO YOUR SITE BY USING BARRIERS AND/OR TEMPORARY OR PERMANENT DRAINAGE DITCHES TO DIVERT WATER FLOW AROUND SITE.
12. PLACE WASH CALE AROUND THE SITE TO REDUCE POTENTIAL LITTER. DISPOSE OF NON-HAZARDOUS CONSTRUCTION WASTE IN COVERED DUMPSTERS OR RECYCLING RECEPTACLES. RECYCLE LEFTOVER MATERIALS WHENEVER POSSIBLE.
13. DISPOSE OF ALL WASTE PROPERLY. MATERIALS THAT CAN NOT BE REUSED OR RECYCLED MUST BE TAKEN TO AN APPROPRIATE LANDFILL OR DEPOSED OF AS HAZARDOUS WASTE, AS APPROPRIATE.
14. TRAIN YOUR EMPLOYEES AND INFORM CONTRACTORS AND SUBCONTRACTORS ABOUT STORM WATER MANAGEMENT REQUIREMENTS AND THEIR RESPONSIBILITIES FOR COMPLIANCE.

## INSPECTION & MAINTENANCE NOTES

1. THE CONTRACTOR SHALL PERFORM AND MAKE WRITTEN RECORD OF ALL SITE INSPECTIONS TO ENSURE ADEQUATE DEPLOYMENT OF BMP'S.
2. DURING INSPECTIONS, IDENTIFY AND RECORD BMP'S THAT NEED MAINTENANCE TO OPERATE EFFECTIVELY, THAT HAVE FAILED, OR THAT COULD FAIL TO OPERATE AS INTENDED.
3. REPORT TO BOWMAN SHALL BE WITHIN 24 HOURS OF IDENTIFICATION AND THE CHANGES COMPLETED AS SOON AS POSSIBLE.
4. CONTACT INSPECTIONS DURING BUSINESS HOURS ONLY.
5. AT MINIMUM, INSPECTIONS WILL BE CONSIDERED AS FOLLOWS:
  - WEEKLY
  - PRE STORM EVENT
  - DURING STORM EVENT
  - POST STORM EVENT
6. USUALLY INSPECT FOR ANY SPILLS, LEAKS, STORMWATER RUN-OFF, EROSION, GREEN ON THE SURFACE, TURBIDITY, ODORS, AND SOURCE OF ANY OBSERVED POLLUTANTS.
7. AT THE END OF EACH WORK DAY, A VISUAL INSPECTION SHALL BE CONDUCTED:
  - A. COVER ALL TRASH AND TRASH CONTAINERS.
  - B. COVER CONCRETE WASHOUT FACILITY.
  - C. COVER ALL OTHER CHEMICAL/WASTE CONTAINERS.
  - D. LOCK ACCESS GATE TO PREVENT UNAUTHORIZED ACCESS.

## RAIN EVENT MEASURES

1. 48 HOURS PRIOR TO A PREDICTED RAIN EVENT, IN ADDITION TO THE INSTALLED BMP'S, THE CONTRACTOR SHALL COVER ANY DISTURBED BARE SOILS WITH MULCH OR EROSION CONTROL BLANKETS.
2. A PREDICTED RAIN EVENT IS A FORECAST TO HAVE A 50% OR GREATER PROBABILITY OF PRODUCING PRECIPITATION IN THE PROJECT AREA FOR THE NATIONAL WEATHER SERVICE SIGNAL AT HANFORD/ARROYO.
3. COVER ALL TRASH CONTAINERS, CONCRETE WASHOUT FACILITY, AND OTHER CHEMICAL/WASTE CONTAINERS FROM PRECIPITATION.

## DISCLAIMER

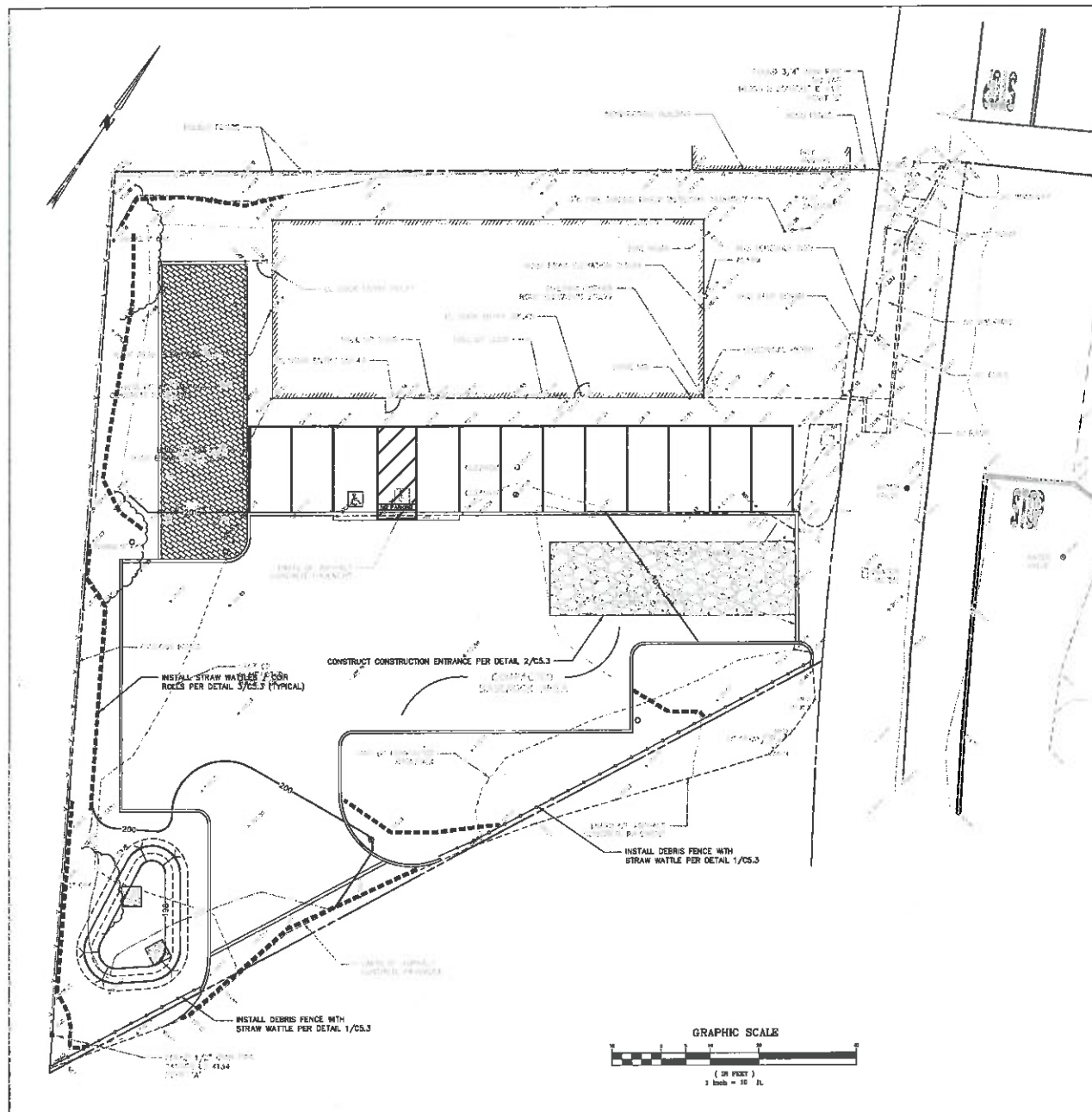
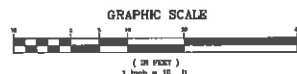
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APR 2016-2017-12

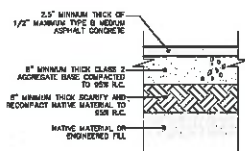
<b>BOWMAN &amp; WILLIAMS</b> CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3540 RESEARCH PARK COURT, SUITE 100 STOCKTON, CA 95210-2044 (209) 426-3560		<b>EROSION CONTROL PLAN</b> DRAWING NO. 27591 DATE: OCTOBER 24, 2016 DESIGNED BY: CHW/2016 CHECKED BY: CHW/2016 DATE: OCTOBER 24, 2016 DESIGNED BY: CHW/2016	
SCALE: 1" = 10' DATE: OCTOBER 24, 2016 DESIGNED BY: CHW/2016		DRAWN: CHW CHECKED: CHW DATE: OCTOBER 24, 2016 DESIGNED BY: CHW/2016	
SHEET <b>C-4.1</b>		OF <b>1</b>	

811

Know what's below.  
Call before you dig.

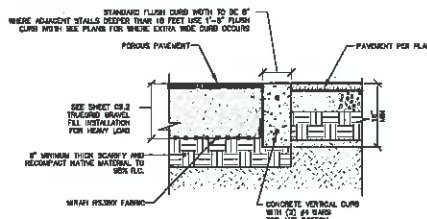






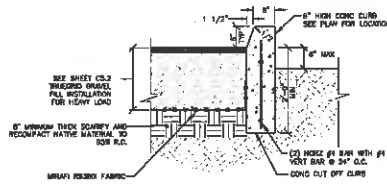
**1 ASPHALT PAVEMENT SECTION**

SCALE: NTS



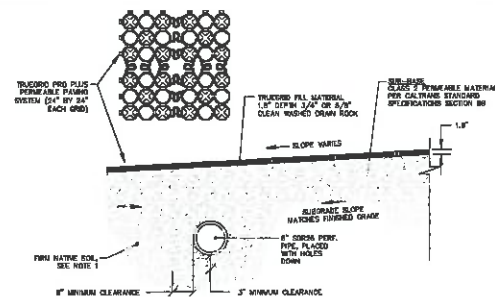
**2 FLUSH VERTICAL CONCRETE CURB**

SCALE: -



**3 PERMEABLE PAVEMENT RAISED CURB**

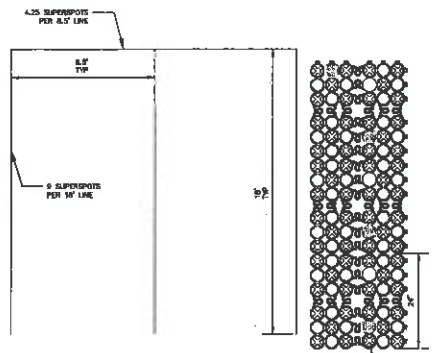
SCALE: 3/4\"/>



**4 TRUE GRID PRO PLUS GRAVEL PAVERS**

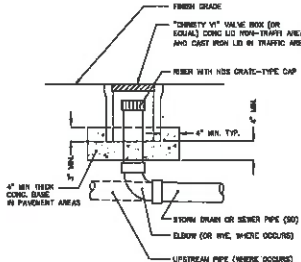
SCALE: NTS

- NOTES:**
1. THE CONTRACTOR SHALL PROOF SOIL SUBGRADE SURFACE TO CHECK FOR UNSTABLE AREAS AND NOTIFY THE PROJECT ENGINEER FOR ANY UNSATISFACTORY CONDITIONS.
  2. SUB-BASE CAN BE SPREAD AND COMPACTED IN 4\"/>



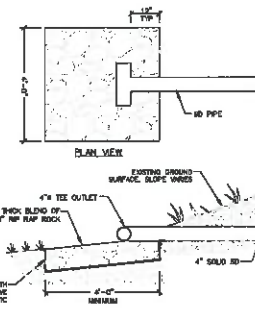
**5 TRUE GRID PRO PLUS PAVERS SUPER SPOTS**

SCALE: NTS



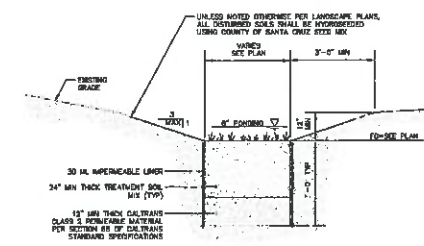
**6 STORM DRAIN CLEANOUT DETAIL**

SCALE: NTS



**7 4X4 ENERGY DISSIPATOR**

SCALE: NTS



**8 LARGE BIORETENTION SECTION IN OPEN SPACE**

SCALE: 1/2\"/>

- NOTES:**
1. BIORETENTION SOIL MIX SHALL BE A WELL-BLENDED Mixture OF MATERIAL, AGGREGATE AND COMPOST MEASURED ON A VOLUME BASIS, A Mixture OF SAND (90%-100%) MEETING THE SPECIFICATIONS OF ASTM C-33 AND COMPOST (10%-10%).
  2. BIORETENTION SOIL SHALL HAVE A MINIMUM INFILTRATION RATE OF 5 IN/HOUR.
  3. PLANTING FOR BIORETENTION SHALL BE PER CALIF. STD. DWS. NO. LB-0044 & LB-0045.

- NOTES:**
1. LINE UP TAB AND SLOT, PUSH IN TO LOCK IN SUPERSPOT.
  2. SUPERSPOTS CAN BE USED IN PAIR TO FEMALE CONNECTION POINT CIRCLE IF YOU SLIGHTLY SHORTEN THE SUPERSPOTS.
  3. INSTALL SUPERSPOTS BEFORE FINAL TRUEGRID PAVEMENT.
  4. CHAIR TO SPECIFY COLOR SUPERSPOTS TO DELINEATE PARKING.

**DISCLAIMER**

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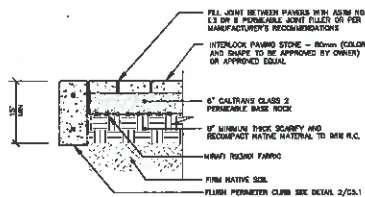
APR 048-282-12		DETAILS	
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3848 REDWOOD PARK DRIVE, SUITE 100 ROSELAND, CA 94068-2004 (925) 428-2666		DOCS 2014-003884 2011 FREEDOM ROAD PAVED NATIONALVILLE, CALIFORNIA	
SCALE: AS SHOWN	DRAWN: CHN	JOB NO. 27281	SHEET
DATE: OCTOBER 24, 2014	CHECKED: JHN	NOTES: CALIFORNIA	C5.1
DESIGN: CHN	DATE: NAME	FILE NO. 27281	OF 1



811  
Please verify below.  
Call before you dig.

**9 CURB CUT DETAIL**

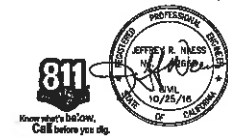
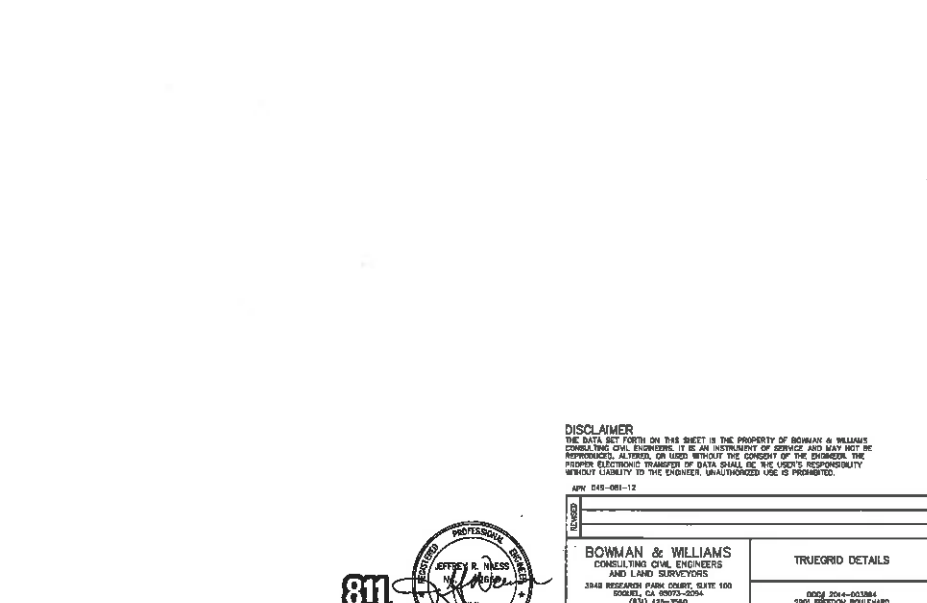
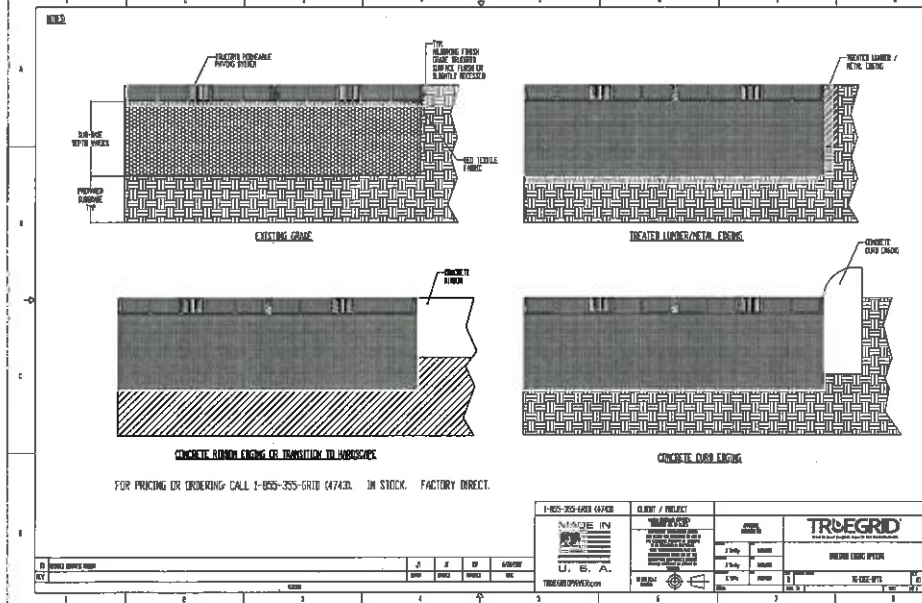
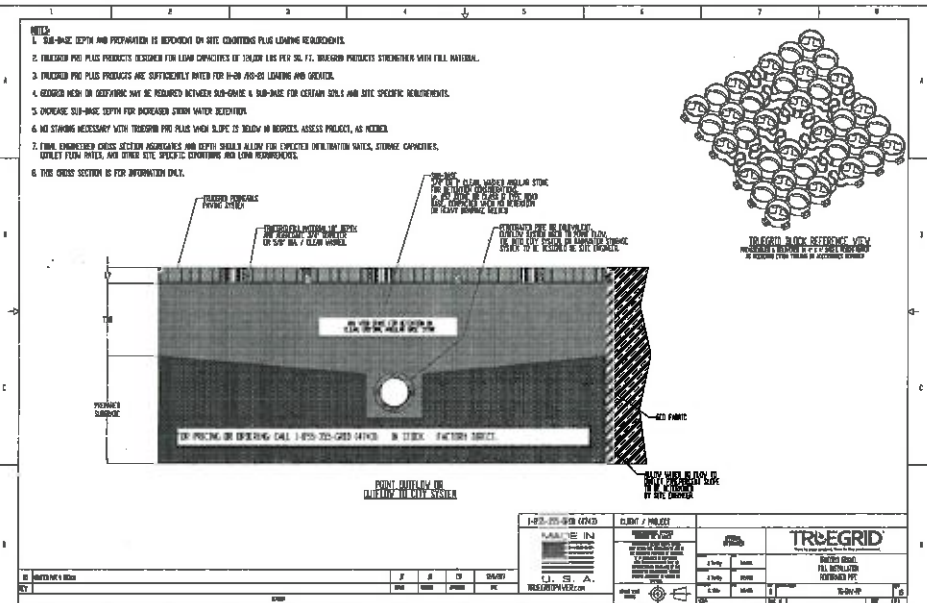
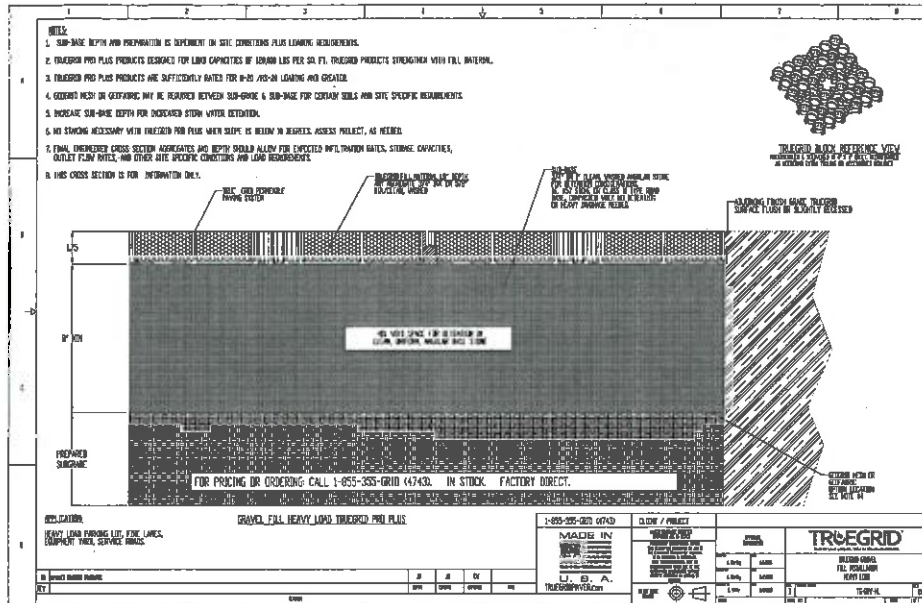
SCALE: 3/4\"/>



**10 PATIO PERMEABLE PAVER SECTION**

SCALE: 3/4\"/>

- NOTES:**
1. THE CONTRACTOR SHALL PROOF SOIL SUBGRADE SURFACE TO CHECK FOR UNSTABLE AREAS AND NOTIFY THE PROJECT ENGINEER FOR ANY UNSATISFACTORY CONDITIONS.
  2. PAVEMENT SHALL BE INTERLOCKING PERMEABLE PAVEMENT TYPE OR APPROVED EQUAL.
  3. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS FOR PAVEMENT INSTALLATION.



811  
Know what's below,  
Call before you dig.

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APP: 045-001-12

**BOWMAN & WILLIAMS**  
CONSULTING CIVIL ENGINEERS  
AND LAND SURVEYORS  
2848 HERRING PARKWAY, SUITE 100  
DUBLIN, CA 94568-2504  
(925) 425-2560

**TRUEGRID DETAILS**  
0001 204-001864  
2800 FREEDOM BOWLING  
WILSONVILLE, CALIFORNIA

SCALE: AS SHOWN  
DATE: OCTOBER 25, 2018  
DRAWN: JMW  
CHECKED: JMW  
DWG NAME:

JOB NO. 17981  
PROJECT: CALABRAS  
FILE NO. 37981

SHEET  
C5.2  
OF 2

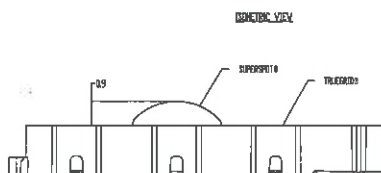
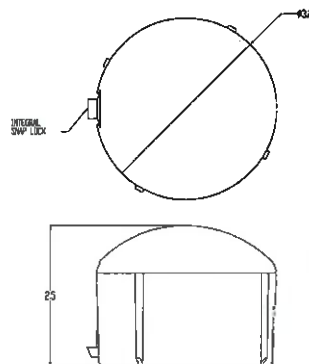


### PROPRIETARY FEATURES:

1. COMPRESSION STRENGTH 6000 PSI
2. HIGH VISIBILITY DOME PROFILE STANDS 0.9m ABOVE GRID SURFACE
3. INTEGRAL SNAP-LOCK DESIGN FOR INSTALLATION WITH GRID
4. WORKS WITH TRUGRID PRO PLUS PERMEABLE PAVES









### GENERAL NOTES

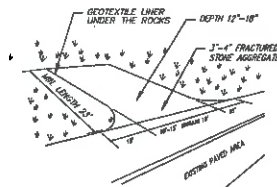
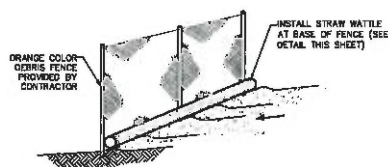
1. LONG TERM UV STABILIZED
2. BELINEATE PARKING FOR MAX EFFICIENCY
3. MAINTENANCE FREE PARKING STRIPES
4. ADJUSTS AND TRAFFIC FLOW HANDERS



FOR PRICING OR ORDERING: CALL 1-855-355-GRID (4743), IN STOCK, FACTORY DIRECT.

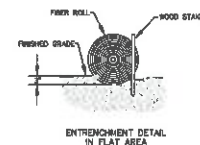
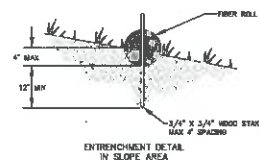
A	Company Name	AB	J	C
XY		SP	CH	PP

1-800-355-6883 (x149)	CLUSE / PROJECT		
 <p>MADE IN USA</p> <p>U. S. A.</p>	 <p>TrueGrid®</p> <p>TrueGrid® is a registered trademark of TrueGrid, Inc. All other trademarks are the property of their respective owners.</p> <p>TrueGrid® is a registered trademark of TrueGrid, Inc. All other trademarks are the property of their respective owners.</p>		
			
TrueGrid® is a registered trademark of TrueGrid, Inc. All other trademarks are the property of their respective owners.			



NO RES

1. Proper grade entrances to prevent runoff from construction site. Entrance elevation should be lower than street.
2. Inspect routinely for damage and repair as needed.
3. Require that all employees, subcontractors and suppliers utilize the established construction entrances.
4. Service sediment trapping devices regularly.



1 DEBRIS FENCE W/ STRAW WATTLE  
CS.3 SCALE: NTS

2  
CS.3

CONSTRUCTION ENTRANCE

SCALE: N.T.S.

3 STRAW WATTLE  
CS.3 SCALE: -

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ADK E-19-001-12

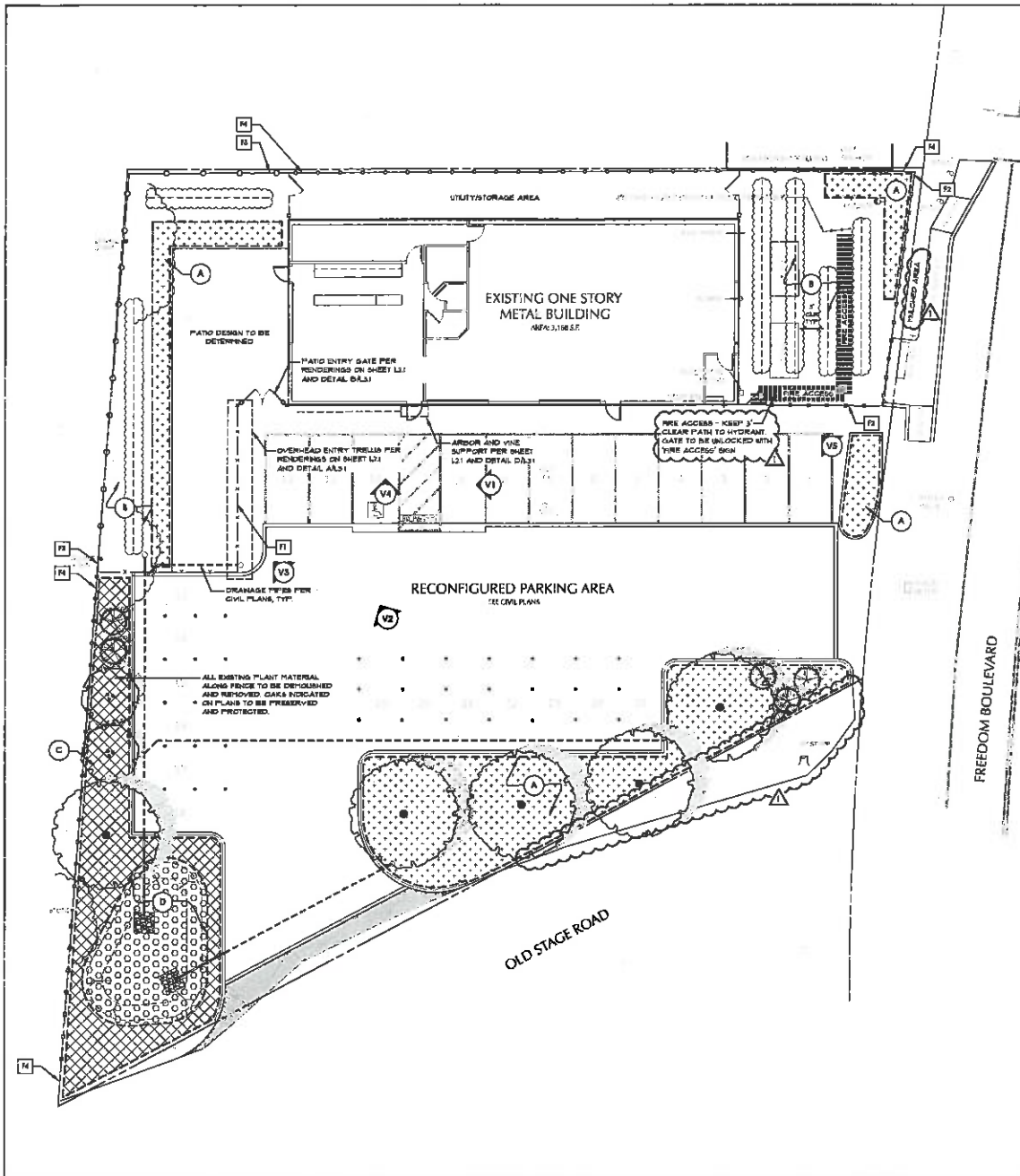
**BOWMAN & WILLIAMS**  
CONSULTING CIVIL ENGINEERS  
AND LAND SURVEYORS  
3848 RESEARCH PARK COURT, SUITE 100  
SCOTSDALE, AZ 85067-2284  
(602) 426-7800

TRUEGRID AND EROSION CONTROL  
DETAILS

DOC# 2014-003604  
2001 FREEDOM BOULEVARD  
WATSONVILLE, CALIFORNIA

SCALE AS SHOWN	DRAWN CMB	JOB NO. 27201	SHEET
DATE OCTOBER 25, 2012	CHECKED JFM	INDEX CALABASAS	C5.
DESIGNED CMB	FIELD NAME	FILE NO. 27201	OF





# PLANTING LEGEND

## PLANTING PALETTE

PLANTING NAME / COMMON NAME	SIZE	QTY	MAINTENANCE	SPACING	WUCOLS
CUPRESSUS SEMPERVIRENS 'GLAUCA' / BLUE ITALIAN CYPRESS	16 GAL S	15' X 15'	PER PLAN L		
LAGERSTROEMIA INDICA X RAUBER NATCHEZ / WHITE CRABE HYDRANGEA - MULTI-TRUNKED	16 GAL S	10' X 10'	PER PLAN H		
OLEA EUROPAEA 'NORWICH' / MAJESTIC BEAUTY OLIVE (MULTI-TRUNKED)	34" BOV B	15' X 15'	PER PLAN L		

## PLANTING PALETTE

PLANTING NAME / COMMON NAME	SIZE	QTY	MAINTENANCE	SPACING	WUCOLS
KESTUGA CALIFORNICA / CALIFORNIA RESQUE	1 GAL TSD	36" X 36" 36" OC	L		
LANTANA BELLOSIANA 'MONTA' / WHITE LIGHTNING TRAILING LANTANA	1 GAL TSD	1' X 4'	4' OC	L	
LAVANDULA ANGSTROFIA 'NICKOTTE BLUE' / FLAVOBER	1 GAL TSD	3' X 3'	3' OC	L	
MULLENBERGIA ROSSII / DEERGRASS	1 GAL TSD	4' X 4'	4' OC	L	
PEROVSKIA ATROPURPUREA / RUSSIAN SAGE	1 GAL TSD	3' X 4'	3' OC	L	
ROSA 'HOLMES' / WHITE CAJUPUT ROSE	1 GAL TSD	7' X 5'	7' OC	H	
SALVIA DORICHAUS 'PURPURESCENS' / PURPLE JADE	1 GAL TSD	12' X 12'	12' OC	L	
STACHYS BYZANTINA / LAMB'S EARS	1 GAL TSD	18" X 18"	7' OC	L	
SEPTENTRIONA 'SEPT VANDUATE' / SEPTENTRIONA COAST VIBURNUM	1 GAL TSD	3' X 3'	3' OC	L	

## PLANTING PALETTE

PRINCE OF WALES PALM VINEYARD PER OWNER					
KESTUGA CALIFORNICA / CALIFORNIA RESQUE	1 GAL TSD	36" X 36" 36" OC	L		
LANTANA X 'BUNBURST' / BUNBURST SPREADING LANTANA	1 GAL TSD	7' X 7'	5' OC	L	
MULLENBERGIA ROSSII / DEERGRASS	1 GAL TSD	4' X 4'	4' OC	L	
OLEA EUROPAEA 'NORWICH' / MAJESTIC OLIVE	3 GAL TSD	5' X 5'	5' OC	L	

## PLANTING PALETTE

AGAVE MILLEROLU 'MOONMINE' / PERN LEAF TARRAGO	1 GAL TSD	4' X 3'	3' OC	L	
CAREX DRYAS / DRINKLEY SEDGE	1 GAL TSD	18" X 8"	18" OC	H	
MULLENBERGIA ROSSII / DEERGRASS	1 GAL TSD	4' X 4'	4' OC	L	

## PLANTING PALETTE

ALL PLANT MATERIAL IN BOWDEN/STATION AREA PER GENERAL CALIFORNIA GROWING TECHNIQUE ASSISTANCE VIDEO (PLANTED PLANTS OUTSIDE FOR BOWDEN/STATION AREA PER CIVIL PLANS) BOWDEN/STATION AREA FILL BE IRRIGATED WITH OVERHEAD ROTARY SPRAY AS DRIP SYSTEMS CAN BE USED OR DAMAGED WITH PROPOSED STANDING WATER.					
--	--	--	--	--	--

## PLANTING PALETTE

WUCOLS WATER USE CLASSIFICATION					
M - HIGH WATER USE					
H - MODERATE WATER USE					
L - LOW WATER USE					
VL - VERY LOW WATER USE					

## PLANTING PALETTE

PLANTING NOTES					
1. TOTAL LANDSCAPED AREA = 4,445 SF					
2. ALL PLANTING ON SITE TO RECEIVE A 3" THICK LAYER OF BARK MULCH EQUAL TO REDWOOD, FIR, CEDAR, OR A COMBINATION OF THESE. THE COMPOSITION OF THE MULCH SHALL BE A MIX OF SHREDDED BARK, GOOD AND SAUNDERS, 6"-8". NO GORILLA HAIR SHALL BE USED. NO MULCH SHALL BE USED IN BOWDEN/STATION AREA.					
3. EXISTING SOIL TO BE TESTED BY AN ACCREDITED SOIL TESTING LABORATORY. CONTRACTOR SHALL THOROUGHLY INCORPORATE SOIL ADDITIVES AND FERTILIZERS IN ALL PLANTING AREAS AT RATES AND DEPTHS RECOMMENDED BY SOIL LAB. ALL SOIL SHALL BE CLEAR OF DEBRIS AND CONTAMINATION UNLESS A FORTING SOIL SHALL BE BROUGHT TO A MIN OF 5% ORGANIC MATTER BY DRY WEIGHT ORGANIC COMPOST AT A RATE OF 4 MNI 4 CYL (900 LB) SHALL BE INCORPORATED TO A DEPTH OF 6" INTO THE SOIL IN ALL PLANTING AREAS. SOILS WITH GREATER THAN 5% ORGANIC MATTER IN THE TOP 6" OF SOIL ARE EXEMPT FROM ADDING COMPOST AND FILLING. ORGANIC MATTER MUST BE CONFIRMED BY AN ACCREDITED SOIL TESTING LABORATORY.					
4. PER COUNTY OF SANTA CRUZ, THE INSTALLED LANDSCAPE SHALL BE MAINTAINED FREE OF INVASIVE PLANTS.					

## PLANTING PALETTE

NEW FENCE TYPES					
PER REVISIONS ON SHEET L1.2					
1. PATIO FENCE ENCLOSURE					
6" TALL WITH 4" X 6" HORIZONTAL REDWOOD SLATS					
PER DETAIL AA.3.1					
2. FRONT YARD VINEYARD FENCE					
6" TALL WITH 4" X 6" HORIZONTAL REDWOOD SLATS					
PER DETAIL AA.3.1					
3. PATIO PERIMETER FENCE					
6" TALL WITH 4" TALL HORIZONTAL REDWOOD SLATS AND 2" TALL 3" X 5" SHEDDING PANELS					
PER DETAIL AA.3.1					
4. PERIMETER FENCE					
6" TALL HORIZONTAL REDWOOD SLATS					
PER DETAIL AA.3.1					

## PLANTING PALETTE

RECOMMENDED PERSPECTIVE VIEW					
PER SHEETS L1.1-1.3					

## PLANTING PALETTE

WATER EFFICIENT LANDSCAPE ORDINANCE COMPLIANCE					
UPON BUILDING DEPARTMENT SUBMITTAL, THE PLANTING AND IRRIGATION PLANS SHALL COMPLY WITH THE COUNTY OF SANTA CRUZ WATER EFFICIENT LANDSCAPE ORDINANCE, CHAPTER 11.13					

## PLANTING PALETTE

DISCLAIMER					
EL VAQUERO WINERY					
2101 FREEDOM BOULEVARD, WATSONVILLE, CALIFORNIA					
PROPOSED LANDSCAPE PLAN					

## PLANTING PALETTE

REVISIONS					
NO.	DESCRIPTION	DATE			
1	REVISION	10/17/18			

## PLANTING PALETTE

DISCLAIMER					
EL VAQUERO WINERY					
2101 FREEDOM BOULEVARD, WATSONVILLE, CALIFORNIA					
PROPOSED LANDSCAPE PLAN					

## PLANTING PALETTE

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2101 FREEDOM BOULEVARD, WATSONVILLE, CALIFORNIA					
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NO.	DESCRIPTION	DATE			
1	REVISION	10/17/18			

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2101 FREEDOM BOULEVARD, WATSONVILLE, CALIFORNIA					
PROPOSED LANDSCAPE PLAN					

## PLANTING PALETTE

REVISIONS					
NO.	DESCRIPTION	DATE			
1	REVISION	10/17/18			

## PLANTING PALETTE

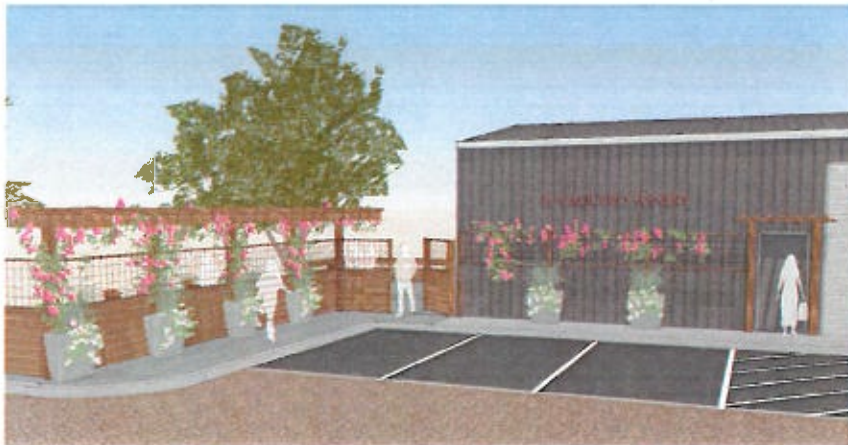
DISCLAIMER					
EL VAQUERO WINERY					
2101 FREEDOM BOULEVARD, WATSONVILLE, CALIFORNIA					
PROPOSED LANDSCAPE PLAN					



(V1) VIEW LOOKING WEST TOWARDS BACK PATIO AND EXTERIOR TASTING ROOM FROM PARKING LOT



(V3) VIEW LOOKING WEST TOWARDS BACK PATIO FROM PARKING LOT  
HORIZONTAL AND HORIZONTAL SLAT TENDING WITH OVERHEAD TRELLIS AT PATIO  
ENTRANCE DOUBLE SLIDING GATE WITH 18" SIDE OPENING



(V2) VIEW LOOKING NORTHWEST TO TASTING ROOM PATIO AND EXTERIOR ENTRANCE FROM PARKING LOT



(V4) VIEW OF PATIO ENTRY AND EXTERIOR TASTING ROOM DOOR  
HORIZONTAL PANELS OFFSET FROM BUILDING TO SUPPORT VINEY AND REDWOOD  
ARCHES OVER DOOR TO ANNOUNCE TASTING ROOM ENTRANCE PLANTING  
SHOWN IN RENDERINGS FOR SUGGESTION ONLY

NO.	DESCRIPTION	DATE
1	LANDSCAPE RENDERING	10/15/17
2		
3		
4		
5		
6		
7		
8		
9		
10		





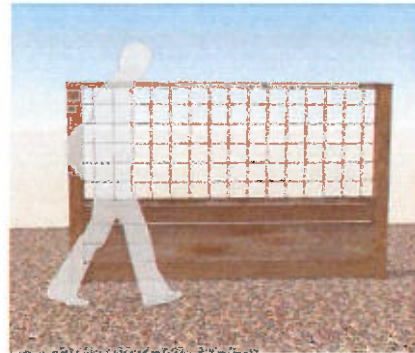


(V5) VIEW OF FENCE SURROUNDING FRONT YARD VINEYARD

#### FENCING TYPES



(F1) FENCE 1 - PATIO FENCE ENCLOSURE  
6' TALL WITH 6' x 6' HOGWIRE PANELS AND  
HORIZONTAL REDWOOD SLATS



(F2) FENCE 2 - FRONT YARD VINEYARD FENCE  
6' TALL WITH 6' x 6' HOGWIRE PANELS AND  
HORIZONTAL REDWOOD SLATS



(F3) FENCE 3 - PATIO PERIMETER FENCE  
6' TALL 16' TALL HORIZONTAL REDWOOD SLATS  
AND 2' TALL 9' x 3' HOGWIRE PANELS



(F4) FENCE 4 - PERIMETER FENCE  
6' TALL HORIZONTAL REDWOOD SLATS

REVISIONS	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

NO.	DESCRIPTION	DATE
1	10/1/2018	
2		
3		
4		
5		
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8		
9		
10		



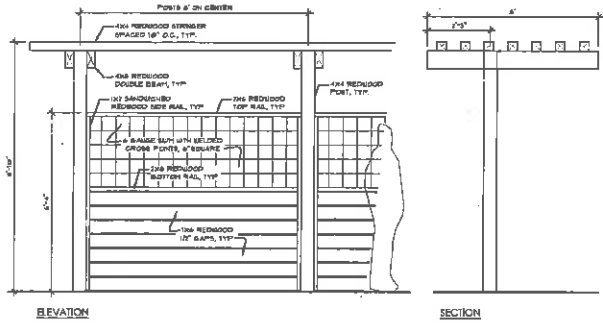
DATE: 10/1/2018  
PROJECT: EL VAQUERO WINERY  
DRAWN BY: WCKEMP  
CHECKED BY: WCKEMP  
APPROVED BY: WCKEMP

BY	DATE
1. PREPARED	10/1/18
2. CHECKED	
3. DESIGNED	
4. DRAWN	
5. IN CHARGE	
6. REVIEWED	
7. APPROVED	
8. REVISIONS	
9. COMMENTS	
10. NOTES	

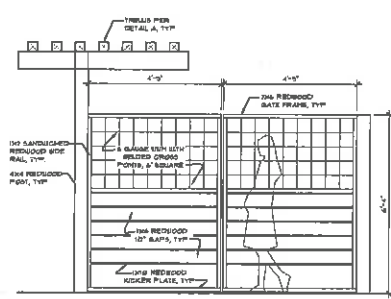


PROJECT NAME  
EL VAQUERO WINERY

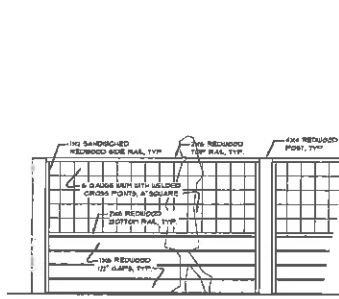
**L3.1**



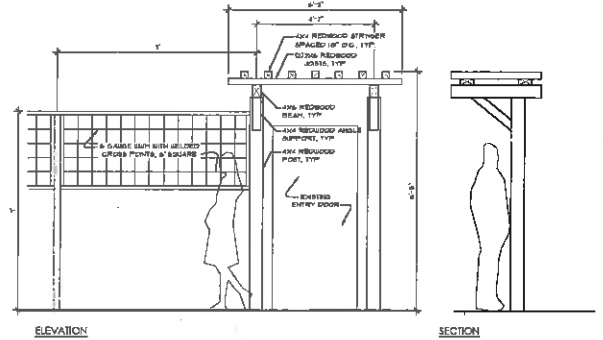
**A** PATIO FENCE AND TRELLIS  
SCALE: 1/2" = 1'-0"



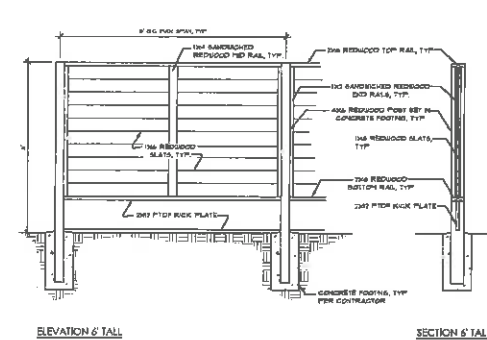
**B** PATIO ENTRY GATES  
SCALE: 1/2" = 1'-0"



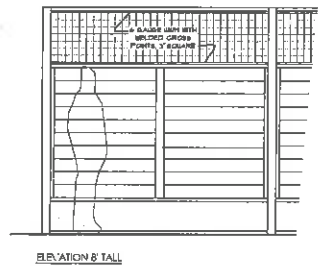
**C** FRONT YARD VINEYARD FENCE  
SCALE: 1/2" = 1'-0"



**D** ARBOR AND VINE SUPPORTS  
SCALE: 1/2" = 1'-0"



**E** PERIMETER FENCING  
SCALE: 1/2" = 1'-0"



ELEVATION 8' TALL