

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 181600

APN: 028-212-16

Proposal to extend the expiration date of Coastal Development Permit 111084 (to remodel and construct an addition of approximately 400 square feet to an existing two story single family dwelling) from 12/16/18 to 12/16/19 and to amend the design of the approved addition. Requires a Time Extension and amendment to Coastal Development Permit 111084.

Property located on the south side of Geoffroy Drive approximately 250 feet west of 16th Avenue. (110 Geoffroy Drive)

OWNER: Deborah Hoyt

APPLICANT: Fuse Architects c/o Dan Townsend

SUPERVISORIAL DISTRICT: 1

PLANNER: Randall Adams, (831) 454-3218

EMAIL: Randall.Adams@santacruzcounty.us

Public comments must be received by 5:00 p.m. May 2, 2019.

A decision will be made on or shortly after May 2, 2019.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

For more information, call the project planner identified above.

PROPOSAL FOR 419 SQ FT ADDITION AND REMODEL TO AN EXISTING RESIDENCE ON A COASTAL BLUFF IN SANTA CRUZ COUNTY. THE ADDITION AND REMODEL WILL UPDATE THE EXISTING HVAC SYSTEM TO RADIANT FLOOR HEATING, INSULATION, EXTERIOR DOORS AND WINDOWS. PROPOSAL TO ADD PASSIVE AND ACTIVE SOLAR UPGRADES; REDO THE ROOF LINES AND ADD PARAPETS (TO SCREEN SOLAR PANELS). NO CHANGE TO EXISTING FOOTPRINT.

ACTIVE COASTAL DEVELOPMENT PERMIT # 111084

INDEX:

1. COVER SHEET/ SITE PLAN
2. EXISTING FLOOR PLAN
3. NEW FLOOR PLAN
4. ELEVATIONS
5. ROOF HEIGHT
6. LANDSCAPE

APN-028-212-16

THESE PLANS AND ALL CONSTRUCTION ARE TO BE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (3016) AS AMENDED BY THE CENTRAL FIRE PROTECTION DISTRICT.

OCCUPANCY R-3/U
NO SPRINKLERS EXISTING
TYPE V-8
FIRE FLOW MIN. REQUIRED=1000 GALLONS FIRE FLOW
AVAILABLE=(186 GPM* (20 PSI RESIDUAL =1642
GPM*))

PROVIDE AN AUTOMATIC FIRE SPRINKLER SYSTEM IN ALL BUILDINGS PER CURRENT EDITION OF NFPA 13D PER CHAPTER 60 OF THE CALIFORNIA BUILDING CODE.

THE SPRINKLER INSTALLER/DESIGNER SHALL SUBMIT
(3) THREE SETS OF PLANS & CALCULATIONS FOR
UNDERGROUND & OVERHEAD RESIDENTIAL
SPRINKLER SYSTEM TO THE CENTRAL FIRE DISTRICT
PER CURRENT GUIDE SHEET & THE SINGLE FAMILY
DWELLING GUIDE.

ROOF COVERING-MIN. CLASS "B" OR BETTER

ALL DISTURBED SOIL TO BE CONTAINED BY
APPROVED CONTAINMENT BERM.

GRADING TO BE LIMITED TO FOUNDATION &
DRIVEWAY PREP.

ALL EXPOSED SOIL TO BE RE-SEEDING WITH NATIVE GRASSES AND WILDFLOWERS. (TYPICAL MIX SHALL CONTAIN 1 LB BLANDO BROME & 2/3 LB ROSE CLOVER WITH TRACE WILDFLOWER)

2" MIN. LAYER OF STRAW MULCH OR EQUAL TO COVER SEEDED AREA TO BE IN PLACE BY 10/15

SLOPES EXCEEDING 20% SHALL BE COVERED WITH SECURED JUTE OR OTHER APPROVED FABRIC

110 GEOFFROY DRIVE
SCALE: 1/8" = 1'-0"

SITE SUMMARY TABLE	
ASSESSOR'S PARCEL NUMBER:	028-213-16
ZONING:	R-1-S
UTILITY DISTRICT:	S.C. MUNI
SITE AREA TABULATION:	
PARCEL SIZE (GROSS):	1.0394 SQFT
PARCEL SIZE (NET):	6.565 SQFT
COVERAGE (ALL STRUCTURES):	2127 SQFT
PERCENTAGE	32 %
IMPERVIOUS SURFACES:	1060 SQFT (16%)
GRADING VOLUME	N/A
NUMBER OF BEDROOMS:	3
PARKING SPACES:	2 GARAGE SPACES
FLOOR AREA RATIO TABULATION:	
PARCEL SIZE (NET):	6,565
EXIST. FLOOR AREA (HEATED):	2,499 sq. ft.
ADDIT. FLOOR AREA (HEATED):	419 sq. ft.
GARAGE AREA (-225 SQFT)	255 sq. ft.
TOTAL AREA	3,163 sq. ft.
FLOOR AREA RATIO:	48.2 %

411 capitol avenue
capitolito • cellifornia
631.479.9235 (NY)
631.479.9325 (FL)
www.fusearchitectllc.com
fuse@fusearchitectllc.com

fus9 architects inc.

HOYT HUFFORD RESIDENCE

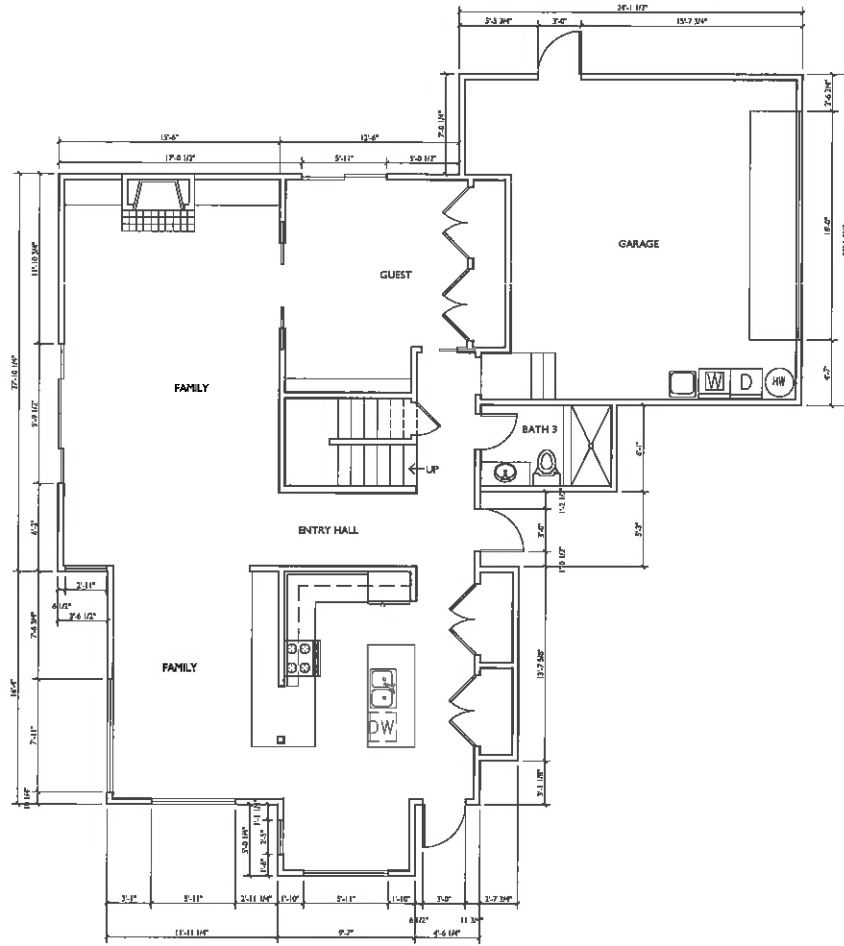
110 Geoffrey Dr., Santa Cruz, CA 95062
A.P.N. 028-212-16

November 2, 2017
 Δ December 4, 2018

SITE PLAN

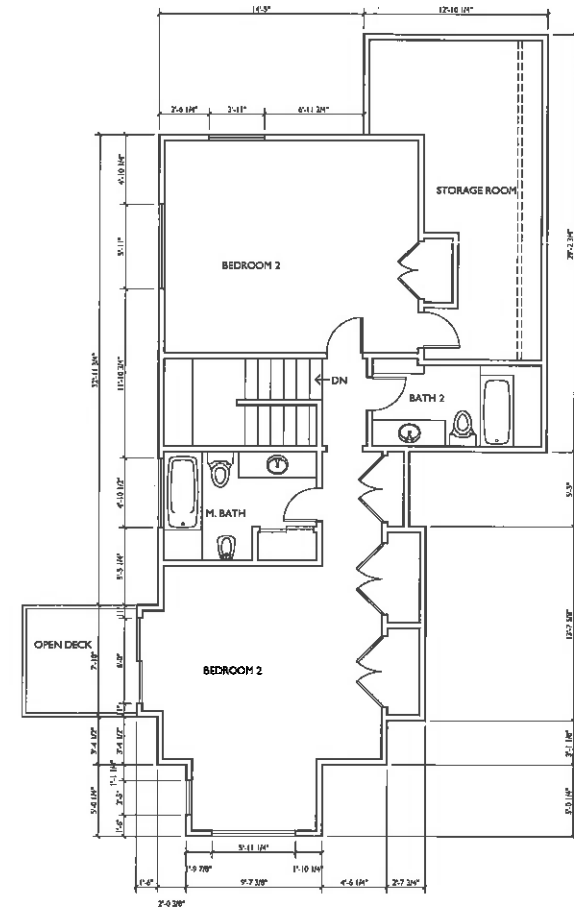
A1.0

Mon Dec 3 12:17:30 2018



LOWER FLOOR

SCALE $\frac{1}{4}'' = 1'-0''$



UPPER FLOOR

SCALE $\frac{1}{4}'' = 1'-0''$



411 capella avenue
 850 475 2255 (t)
 capella + califonia
 www.fusobuilders.com
 fuso@fusobuilders.com

fuso architects llc.

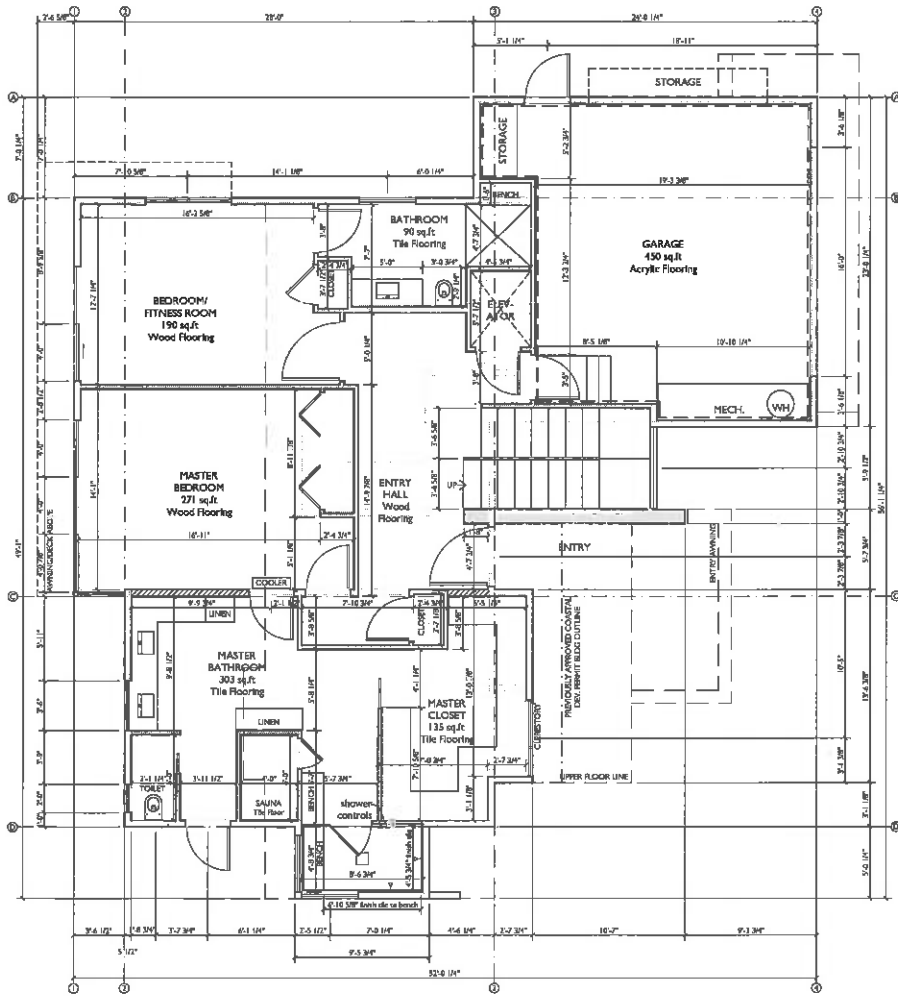
HOYT HUFFORD RESIDENCE

November 2, 2017
 Existing Lower & Upper Floor Plans
 A/December 4, 2018

A2.0

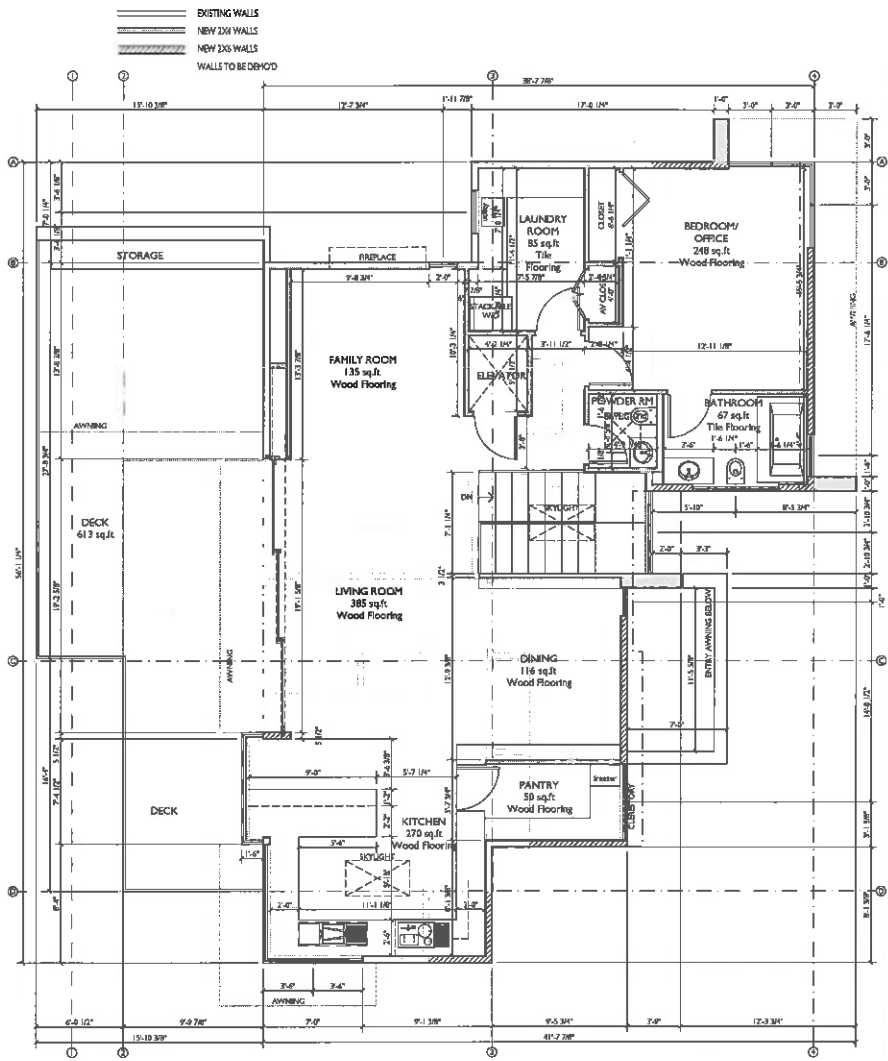
Principals
 daniel perez / architect
 daniel bowser / architect

110 Geddes Dr, Santa Cruz, CA 95062
 APN: 028-212-16



LOWER FLOOR

SCALE 1/4" = 1'-0"



UPPER FLOOR

SCALE 1/4" = 1'-0"



411 Capital Avenue
San Jose, CA 95128
Tel: 408.261.1111
www.f38architects.com
f38@f38architects.com

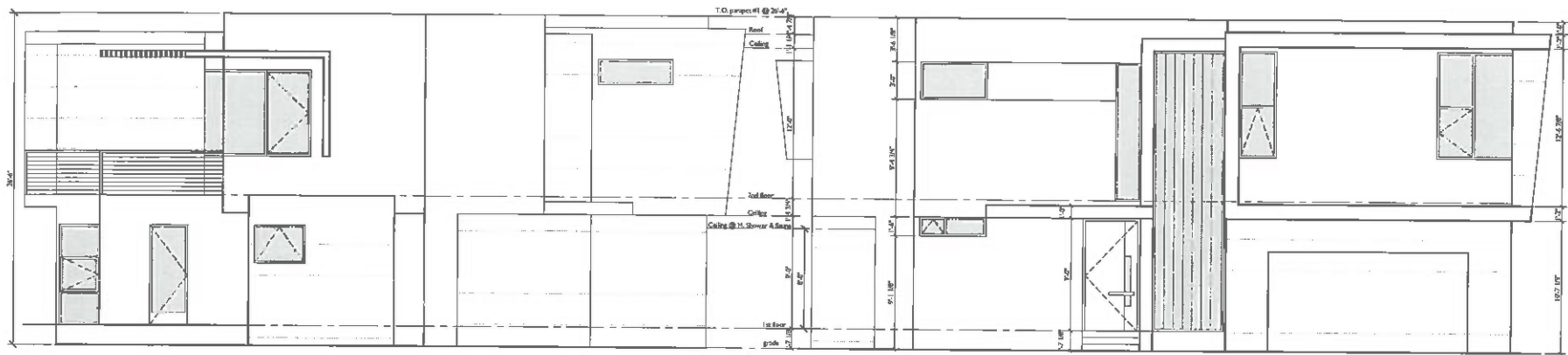
HOYT HUFFORD RESIDENCE f38 architects inc.

Principals
diana corner / architect
diana lombard / architect

November 2, 2017
December 4, 2018

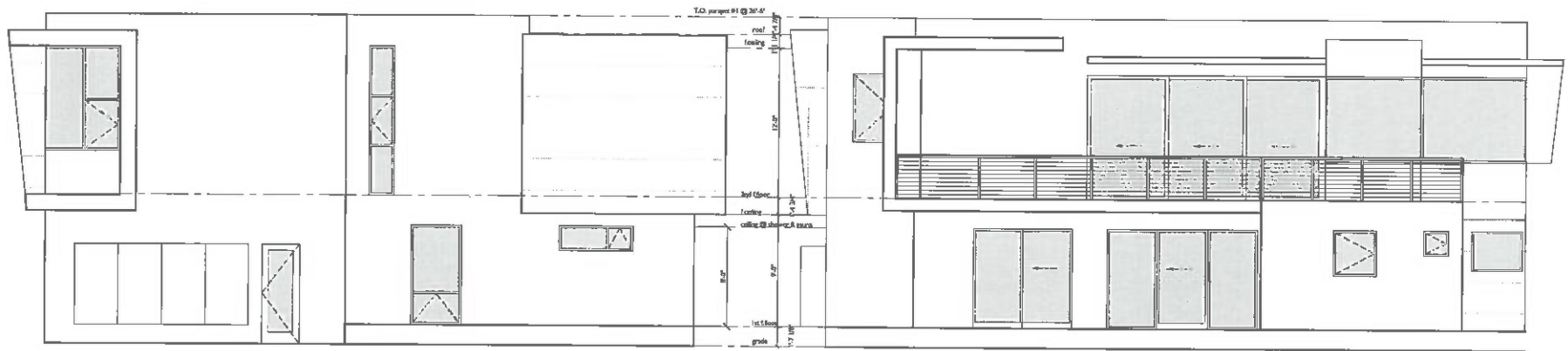
Proposed Lower &
Upper Floor Plans

A2.1



1. SOUTH/EAST ELEVATION
SCALE: 1/4" = 1'-0"

2. NORTH/EAST (ENTRY) ELEVATION
SCALE: 1/4" = 1'-0"



3. NORTH/WEST ELEVATION
SCALE: 1/4" = 1'-0"

4. SOUTH WEST (BAY) ELEVATION
SCALE: 1/4" = 1'-0"



411 Capitol Avenue
San Francisco, CA 94107
www.townsendarchitect.com
tse@townsendarchitect.com



fuso architects inc.
Principals
daniel townsend / architect
danielle gomez / architect

HOYT HUFFORD RESIDENCE
110 Geaford Dr. Santa Cruz, CA 95062
A.P.N. 028-212-16

June 11, 2018
Δ Oct 15, 2018

Elevations

A3.0

*ALL PLANTS ARE INCLUDED ON THE CALIFORNIA COASTAL COMMISSION LIST OF RECOMMENDED BLUFF PLANTS

