

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 191004

APN: 045-141-29

Proposal to remodel an existing 1010sf residence, including a 732sf single story addition on a parcel located in the R-1-6 zone district. Requires a Coastal Development Permit.

Property located on the northwest side of Loma Ave approximately 450 feet north of the intersection with Altivo (25 Loma Ave).

OWNER: Robert Shaffer

APPLICANT: Robert Shaffer

SUPERVISORIAL DISTRICT: 2

PLANNER: Evan Ditmars, (831) 454-3227

EMAIL: evan.ditmars@santacruzcounty.us

Public comments must be received by 5:00 p.m. May 9, 2019.

A decision will be made on or shortly after May 10, 2019.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.

Information regarding the appeal or hearing processes, including required fees, may be obtained by phoning (831) 454-2130.

For more information, call the project planner identified above.

ALTERATIONS TO THE SHAFFER RESIDENCE

GENERAL NOTES	PROJECT DATA	BUILDING CODE	SCOPE OF WORK		

All work and materials shall be in full accord with the latest rules and regulations of the Safety Orders of the Division of Industrial Safety, California Labor Code and all applicable federal, state and/or local health regulations. References in Specifications to "code" or to "building code" not otherwise identified shall mean the Edition of the Uniform Building Code in effect in Santa Cruz County, where permits are granted, on the date(s) permits are granted. All Construction must also conform to the current Building Code and the current Emergency Measures approved by Santa Cruz County or implemented by Emergency Order to the extent that they apply to this work. Nothing in the Drawings or these Specifications is to be construed as requiring or permitting work that is contrary to these rules, regulations and codes.

Any item of work necessary to the proper completion of the construction under this Contract but which is not specifically covered in the Drawings and Specifications shall be done in a manner deemed good practice by the trade involved. Any material or piece of equipment necessary for the proper completion of the construction, but not covered in the Drawings and Specifications shall be included and shall be of a quality commensurate with the class of building being constructed.

All manufactured items and materials shall be installed, applied, used, conditioned and cleaned per manufacturers' recommendations.

Contractor shall protect his work from damage continuously, including but not

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All manufactured items and materials shall be installed, applied, used, conditioned and cleaned per manufacturers' recommendations.

Contractor shall protect his work from damage and conditions that may be caused by

PROJECT DATA		045-141-29 R-16 R-3/UL V-B YES
APN # ZONE: GENERAL PLAN DESIGNATION: OCCUPANCY: TYPE OF CONSTRUCTION: FIRE SPRINKLERS:		4,649 SF 2,324.5 SF
SITE AREA MAXIMUM BUILDING AREA (FAR = 0.51)		4,649 SF 2,324.5 SF
FLOOR AREAS FIRST FLOOR AREA: GARAGE AREA (NON-HABITABLE): COVERED PORCH AREA:		EXISTING 1,010.7 SF 218.8 SF 0 SF
TOTAL		1,229.5 SF
LOT COVERAGE (40% MAX.)		EXISTING 1,010.7 SF 218.8 SF 120 SF
HOUSE GARAGE SHED		1,742.0 SF 0 SF 0 SF
TOTAL		1,742.0 SF (37.4%)

PROPOSED
1,742.0 SF
0 SF
<18.2 SF>

1,742.0 SF

EXISTING

1,742.0 SF
0 SF
0 SF

1,742.0 SF
(27.18)

ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES AS AMENDED BY SANTA CRUZ COUNTY:

PART 2 2016 CALIFORNIA RESIDENTIAL CODE (CRC)

PART 2 2016 CALIFORNIA BUILDING CODE (CBC)

PART 5 2016 CALIFORNIA PLUMBING CODE (CPC)

PART 4 2016 CALIFORNIA MECHANICAL CODE (CMC)

PART 3 2016 CALIFORNIA ELECTRICAL CODE (CEC)

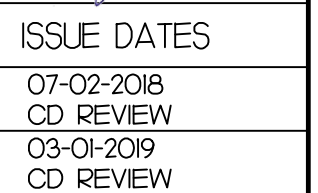
PART II 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE

CHAPTER 4, RESIDENTIAL MANDATORY MEASURES

2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS (CBEES)

2016 CALIFORNIA FIRE CODE (CFC)

**LABORDE
ARCHITECTURE**
710 CHANNING WAY
BERKELEY, CA 94710
510.665.4174



A0.1	TITLE SHEET, GENERAL NOTES
A1.0	SITE PLAN & ROOF PLAN
A2.0	EXISTING & DEMO FLOOR PLANS & ELEVATIONS
A2.1	PROPOSED FLOOR PLANS
A2.2	ELECTRICAL PLAN
A3.1	PROPOSED EXTERIOR ELEVATIONS
A3.2	PROPOSED SECTIONS, DOOR & WINDOW SCHEDULES
A4.1	INTERIOR ELEVATIONS
A4.2	INTERIOR ELEVATIONS
A4.3	INTERIOR ELEVATIONS
S0.1	GENERAL NOTES
S1.1	FIRST FLOOR PLAN
S2.0	CONCRETE GENERAL DETAILS
S2.1	CONCRETE DETAILS
S3.0	WOOD GENERAL DETAILS
S3.1	HOLDOWN & SHEARWALL DETAILS
EN1	ENERGY COMPLIANCE
EN2	ENERGY COMPLIANCE
GB1	CALGREEN MANDATORY

EN.1	ENERGY COMPLIANCE
EN.2	ENERGY COMPLIANCE
GB.1	CALGREEN MANDATORY

A.D.	AREA DRAIN	INS	INSULATION
ABV.	ABOVE	LT	LIGHT
ADJ.	ADJUSTABLE	MAX	MAXIMUM
ADJ. SH.	ADJUSTABLE SHELF	MECH	MECHANICAL
A.F.F.	ABOVE FINISHED FLOOR	MFR	MANUFACTURER
AL.	ALUMINATE	MN	MILY
AL.	ALUMINUM	MTL	METAL
ANOD.	ANODIZED	NØ	NEW
ARCH	ARCHITECTURAL	NIC	NOT IN CONTRACT
BD.	BOARD	NTS	NOT TO SCALE
B.R.	BOILER	OD.	ON CENTER
BLDG.	BUILDING	OH.	OVERHANG
BLCK.	BLACKING	Ø/	OVER
BM	BEAM	PLYWD	PLYWOOD
CAB	CABINET	PTD	PAINTED
CLG	CEILING	PT. GR.	PAINT GRADE
CLR	CLEAR	P.T.	PRESSURE TREAT
CLO	CLOSET	R.D.	ROOF DRAIN
CLOS.	CLOSING OUT	REWD	REWOOD
CONC	CONCRETE	REG	AIR REGISTER
CONT	CONTINUOUS	REQD	REQUIRED
DBL	DOUBLE	REQMTS	REQUIREMENTS
D.F.	DOUGLAS FIR	RM	ROOM
DIA	DIAMETER	R.O.	ROUGH OPENING
DM	DIMENSION	RWL	RAIN WATER LEAD
DOWN	DOWN	SCHD	SCHEDULE
D.S.	DOWNSPOUT	SECT	SECTION
DW	DISHWASHER	SHT	SHEET
DWG	DRAWING	SHTG	SHEATHING
(E)	EXISTING	SIM	SIMILAR
EA	EACH	S.L.D.	SEE LANDSCAPE D
ELEC	ELECTRICAL	S.L.G.	SEE ON GRADE
ELEV	ELEVATION	SPEC	SPECIFICATION
EXT	EXTERIOR	S.S.D.	SEE STRUCTURAL
FDN	FOUNDATION	ST. GR.	STAIN GRADE
FIN	FINISH	STL	STEEL
FIXT	FIXTURE	T.B.	TOWEL BAR
F.P.	FINISHED FLOOR	TBD	TO BE DETERMINED
F.P. FLR	FINISHED FLOOR	TØG &	TONGUE & GROOVE
F.J.	FLOOR JOIST	TEMP	TEMPERED
FLSHG	FLASHING	T.O.C.	TOP OF CONCRETE
F.O.C.	FACE OF CONCRETE	T.O.P.	TOP OF PLATE
F.O.F.	FACE OF FINISH	TYP	TYPICAL
F.O.S.	FACE OF STUD	UNØ	UNLESS OTHERWISE
F.O.E.S.	FACE OF EXISTING STUD	V.I.F.	VISIBLE IN FIELD
FTG	FOOTING	WDO	WINDOW
FURN	FURNACE	WH	WATER HEATER
G	GAS OUTLET/METER	WP.	WATER PROOF
GA	GAGE	W.I.C.	WALK-IN CLOSET

FIRE DEPARTMENT NOTICES

1. These plans are in compliance with California Building and Fire Codes (2016 edition) and Apos/LaSelva Fire Protection District Amendments. (CFC §1.1.3)
2. Each APN (lot) shall have separate plan submittals for buildings, sprinkler systems, underground systems, water storage systems and fire alarm systems. (CFC §501.3 as amended)
3. Fire flow requirements for this project is 1000 gallons per minute.
4. All buildings shall be protected by an approved automatic fire sprinkler system complying with the currently adopted edition of NFPA 13-D, and adopted standards of the Apos/LaSelva Fire Protection District. (CFC §901.2.1)
5. The designer/installer shall submit three (3) sets of plans and calculations for the overhead Fire Sprinkler System for approval prior to construction. (CFC §901.2)
6. All underground piping systems shall comply with the County Standard FPO-006 and shall require plan submittal and permit approval prior to installation. The standard is available at the Apos/LaSelva Fire Protection District upon request. (CFC §901.2)
7. The designer/installer shall submit three (3) complete sets of underground private fire hydrant and fire service water main piping plans and specifications, conforming to NFPA 24, for review and approval prior to installation. Submittal shall include underground piping plan, underground trench cross section detail showing depth of burial and type of backfill, construction installation drawings of the PIV and FDC, manufacturer's specifications of piping, valves, joints and fittings, and calculated size and locations of thrust blocks. (CFC §501.3)
8. A 30-foot clearance shall be maintained with non-combustible vegetation around all structures or to the property line whichever is a shorter distance.
 - a. EXCEPTION: Single specimens of trees, ornamental shrubbery or similar plants used as ground covers, provided they do not form a means of rapidly transmitting fire from native growth to any structure.
9. Building numbers shall be provided. Numbers shall be a minimum of four (4) inches in height on a contrasting background and visible from the street. Where numbers are not visible from the street, additional numbers shall be installed on a directional sign at the property driveway and the street. (CFC §505. 1)
10. A MINIMUM OF 48 HOURS NOTICE to the fire department is required prior to inspection." (CFC §105.2.2)
11. The job copies of the building and fire systems plans and permits must be on-site during inspections. (CFC §105.3.5)

3. These plans are in compliance with California Building and Fire Codes (2016 edition) and Apos/LaSelva Fire Protection District Amendments. (CFC §11.1.3)
2. Each APN [lot] shall have separate plan submittals for buildings, sprinkler systems, underground systems, water storage systems and fire alarm systems. (CFC §501.3 as amended)
3. Fire flow requirements for this project is 1000 gallons per minute.
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	EXISTING	PROPOSED
PERVIOUS AREA:		
LANDSCAPE AREA	1109 SF	1104 SF
DISINTEGRATED GRANITE (DG)	56 SF	108 SF
<u>TOTAL PERVIOUS AREA</u>	<u>1165 SF</u>	<u>1212 SF</u>
IMPERVIOUS AREA:		
STRUCTURE FOOTPRINT	1230 SF	1743 SF
CONCRETE SURFACES	2254 SF	1694 SF
<u>TOTAL IMPERVIOUS AREA</u>	<u>3484 SF</u>	<u>3437 SF</u>
TOTAL LOT AREA	4649 SF	4649 SF

PROPOSED CUT	0.0 CY
PROPOSED FILL	0.0 CY

** NO NEW GRADING IS ANTICIPATED IN CONSTRUCTION OF ADDITION

SOQUEL CREEK WATER DISTRICT
5180 SOQUEL DR.
SOQUEL, CA 95073
(831) 475-8500

EXISTING 1500 GALLON SEPTIC TANK

Sht. Title:

TITLE SHEET

Job: SFR

A0. |

A0. |

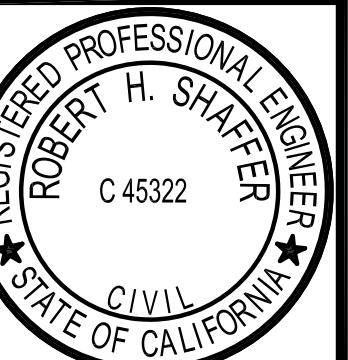
1

Good craftsman-like workmanship as well as compliance with drawings and specifications is a requirement for acceptance of the Work by the Owner.

1 CENTERLINE

FIRE DEPARTMENT NOTICES

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SITE PLAN NOTES:

- GENERAL NOTES. SEE FLOOR PLANS FOR ADDITIONAL INFO.
2. BOUNDARY VERIFICATION. THE G.C. SHALL VERIFY THE LOCATIONS OF:
 - a. PROPERTY BOUNDARIES, SETBACKS, AND EASEMENT LOCATIONS PRIOR TO ANY CONSTRUCTION.
 - b. ANY UTILITY LOCATIONS TO THE PROPERTY.
3. ATTENTION OF THE ARCHITECT BEFORE FURTHER COMMENCEMENT OF WORK.
4. ENCROACHMENT. THE G.C. IS RESPONSIBLE FOR OBTAINING APPROVAL / PERMIT PRIOR TO COMMENCING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
5. UTILITIES. THE G.C. SHALL LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION, GRADING, OR TRENCING.
6. UTILITIES. SEE ELECTRICAL PLAN SHEET A22 FOR EXACT LOCATIONS OF MAIN ELECTRIC METER AND GAS METER. COORDINATE FINAL LOCATION AND ROUTING WITH G.C. AND UTILITY SERVICE PROVIDER.
7. UTILITIES. THE G.C. SHALL COORDINATE THE LOCATION OF IRRIGATION VALVE BOXES WITH OWNER.
8. TREE PROTECTION. THE G.C. SHALL PROTECT EXISTING TREES FROM DAMAGE DURING CONSTRUCTION AND PROVIDE TREE PROTECTION PER LOCAL ORDINANCES. PROVIDE TREE PROTECTION FOR ALL EXISTING TREES TO BE CUT SHOULD BE INSPECTED BY A CERTIFIED ARBORIST PRIOR TO CUTTING, ANY ROOTS TO BE CUT SHALL BE MONITORED AND DOCUMENTED. ROOTS TO BE CUT SHOULD BE SEVERED CAREFULLY WITH A SAW OR TOPPERS.
9. GRADED GRADE. FINISH GRADE AROUND BUILDING TO HAVE A MIN. 2% SLOPE FOR 5 FEET (UNPAVED) AROUND BUILDING, FOR A MIN. OF 5 FEET AROUND BUILDING.
10. FOOTING DEPTH. ON FOUNDATION FOOTINGS SHALL BEAR ON NATIVE, UNDISTURBED SOIL. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
11. SIGNAGE. ALL SIGNAGE SHALL BE IDENTICAL TO THE SIGNAGE WITH A MINIMUM 1/2" STROKE, MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET. ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. CRC R004
12. AUTOMATIC IRRIGATION SYSTEMS. CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED PER CGEC 4.3041
13. THERE ARE NO STRESS GREATER THAN 6" IN DIAMETER

PERVIOUS & IMPERVIOUS SURFACE QUANTITIES:

	EXISTING	PROPOSED
PERVIOUS AREA:		
LANDSCAPE AREA	1109 SF	1104 SF
DISINTEGRATED GRANITE (DG)	56 SF	128 SF
<u>TOTAL PERVIOUS AREA</u>	<u>166 SF</u>	<u>1232 SF</u>
IMPERVIOUS AREA:		
STRUCTURE FOOTPRINT	1230 SF	1743 SF
CONCRETE SURFACES	2254 SF	694 SF
<u>TOTAL IMPERVIOUS AREA</u>	<u>3484 SF</u>	<u>3437 SF</u>
TOTAL LOT AREA	4649 SF	4649 SF

CUT AND FILL QUANTITIES: **

PROPOSED CUT 0.0 CY

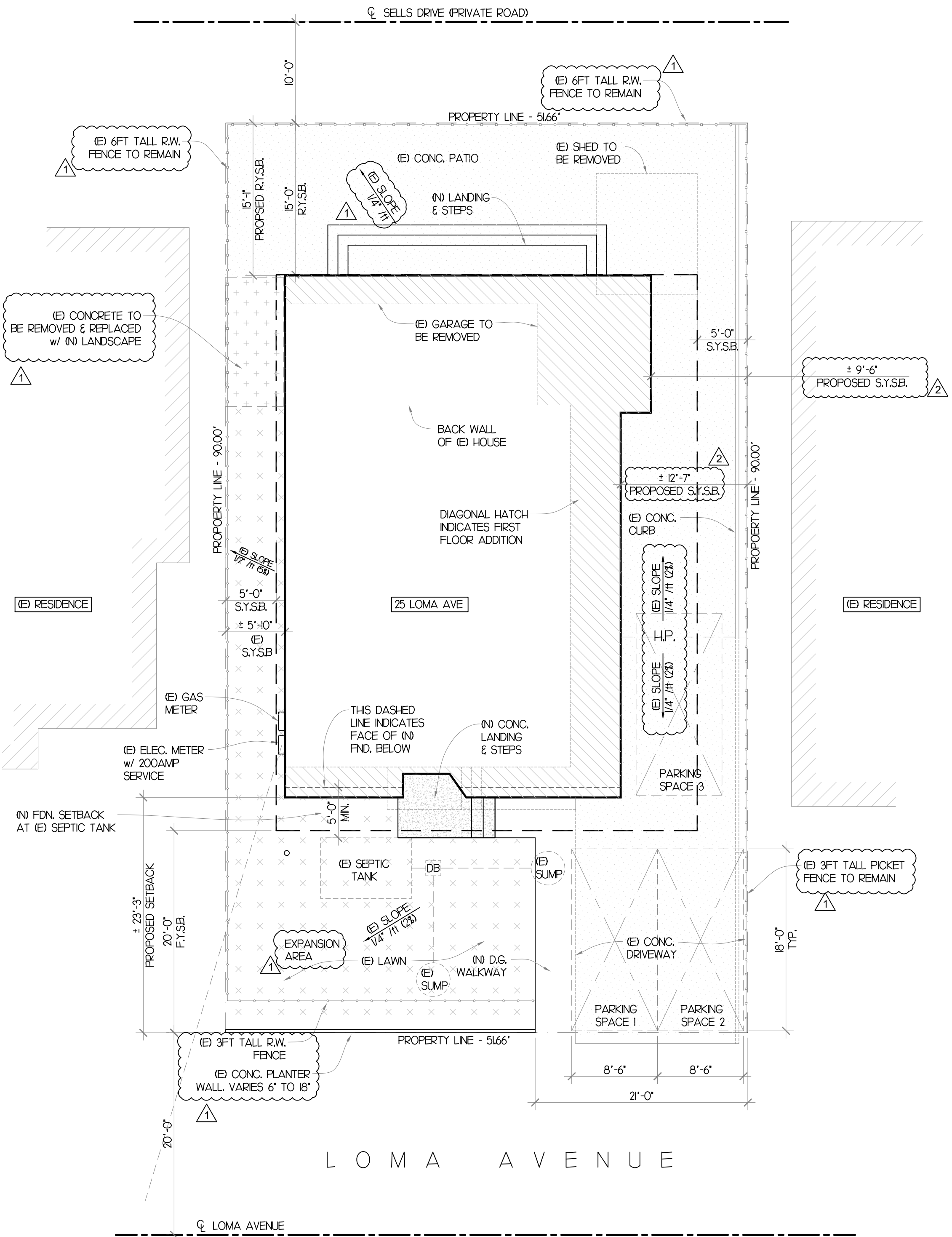
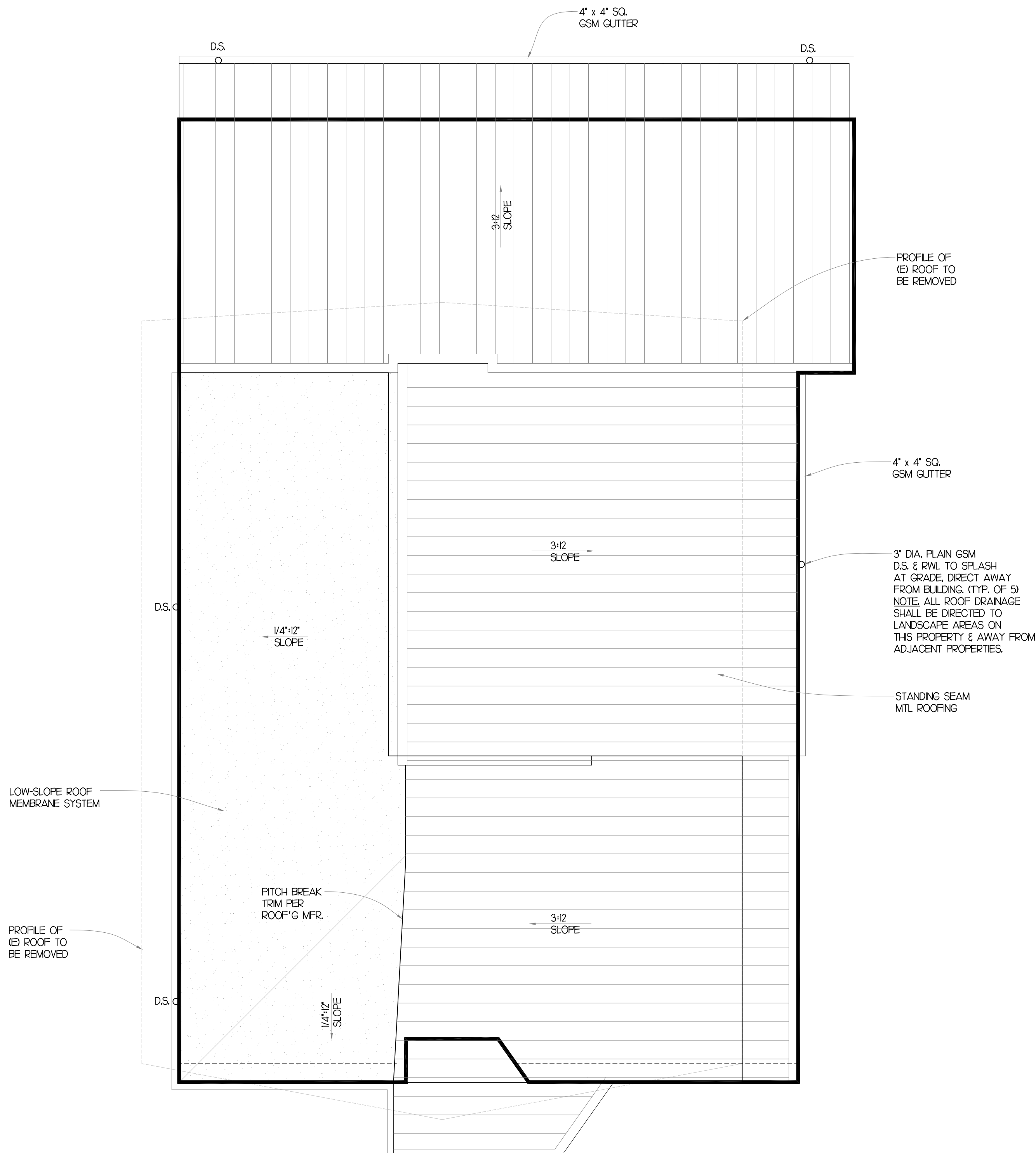
NO NEW GRADING IS ANTICIPATED IN CONSTRUCTION OF ADDITION

EXISTING WATER SERVICE:

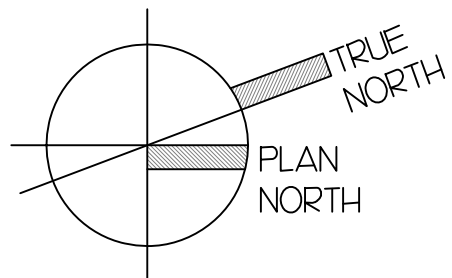
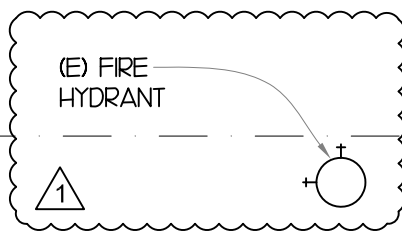
SOQUEL CREEK WATER DISTRICT
5180 SOQUEL DR.
SOQUEL, CA 95073
(831) 475-8500

EXISTING SEWAGE DISPOSAL

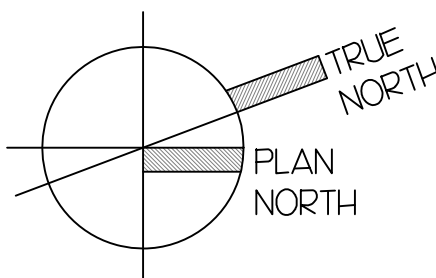
EXISTING 1500 GALLON SEPTIC TANK



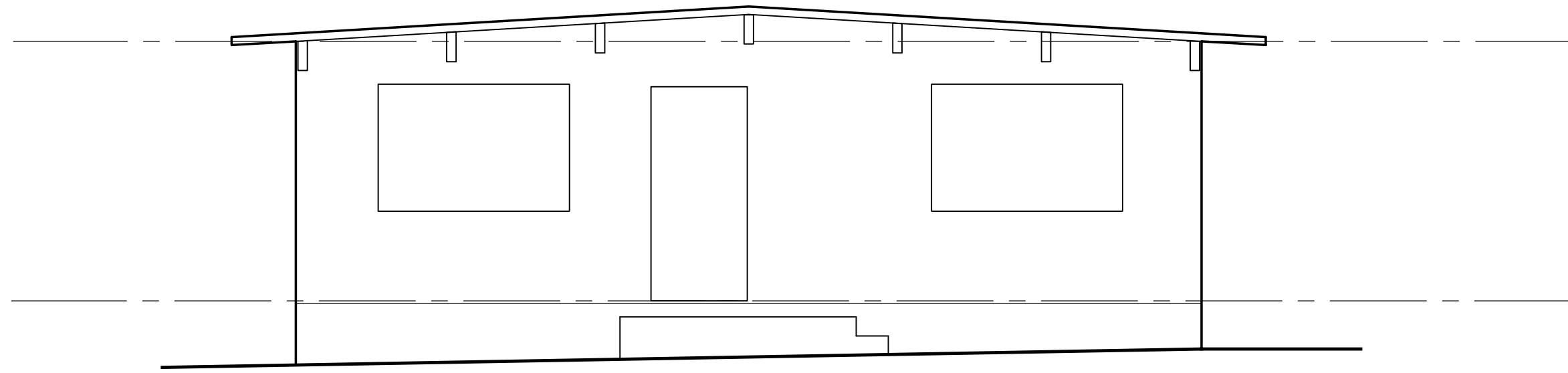
NOTE: THE CAL GREEN
MANDATORY REQUIREMENTS
ARE LOCATED ON SHEET GE



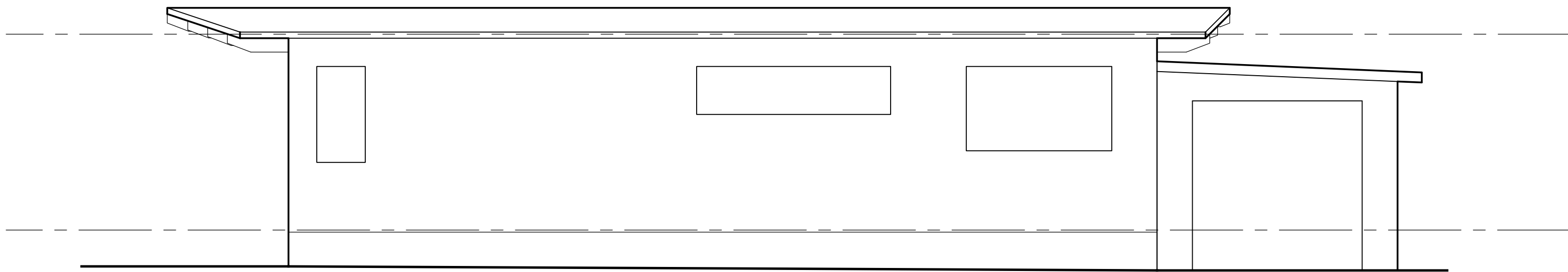
3 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



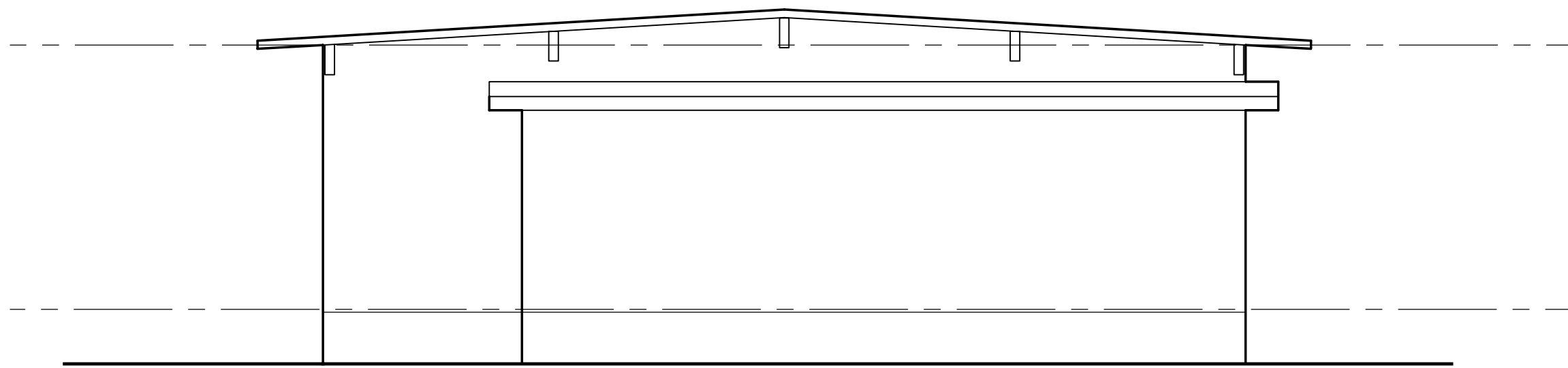
6 SITE PLAN
SCALE: 1/8" = 1'-0"



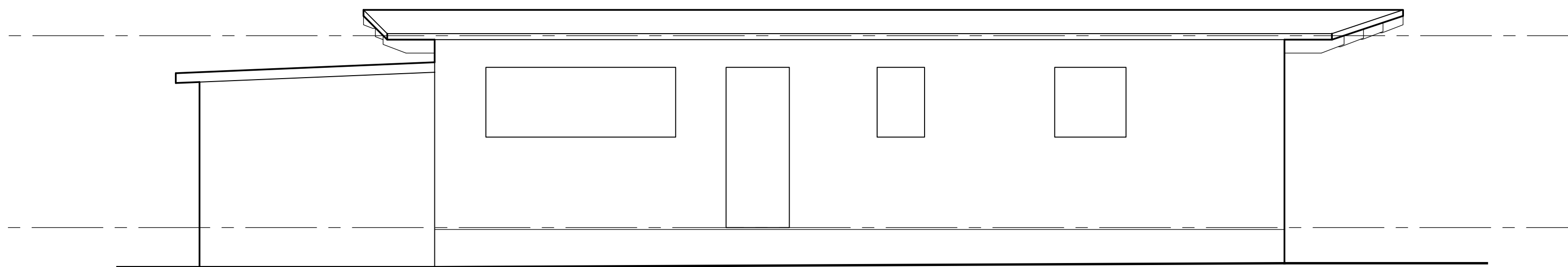
1 EXISTING EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

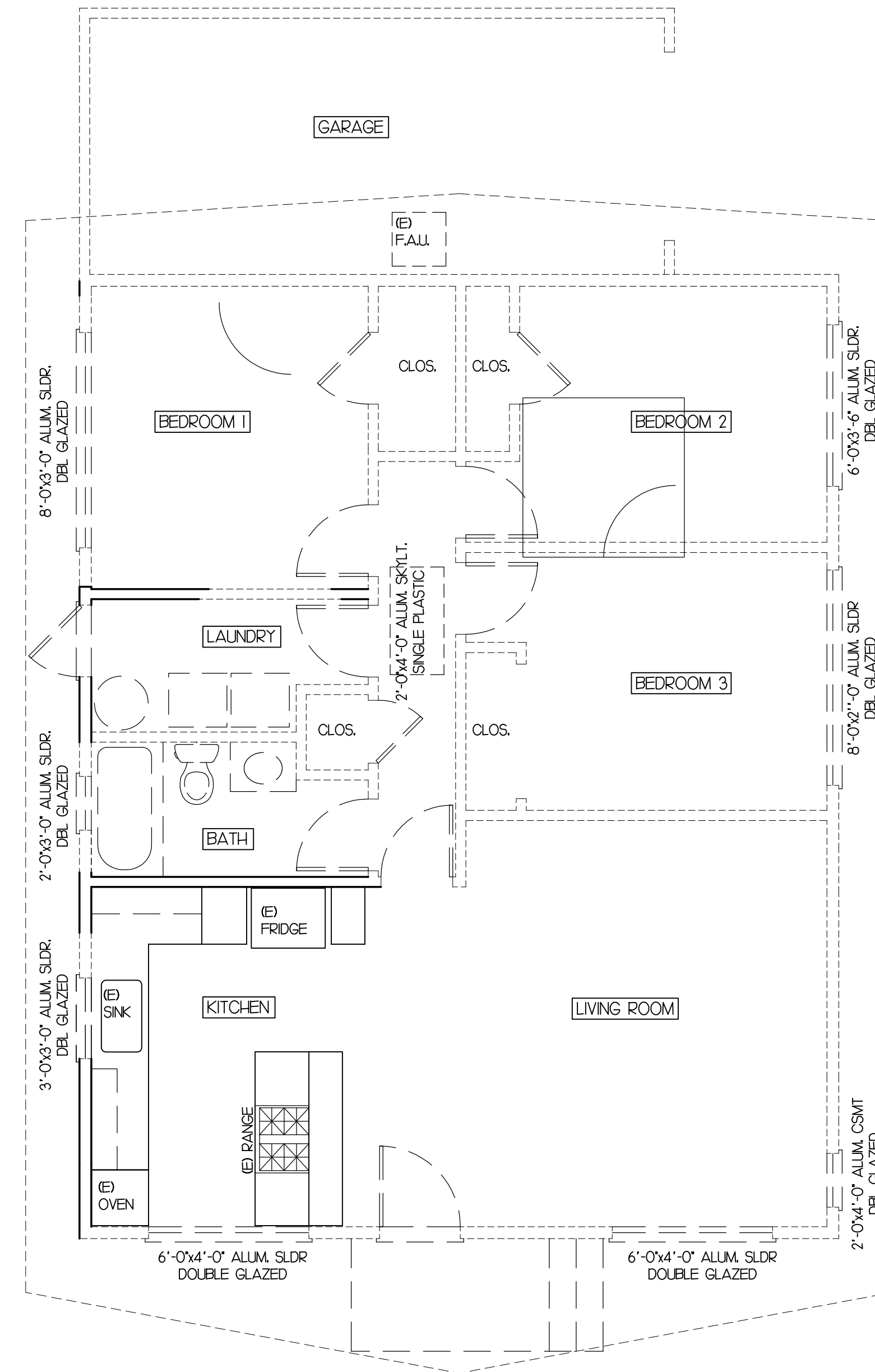


5 EXISTING WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



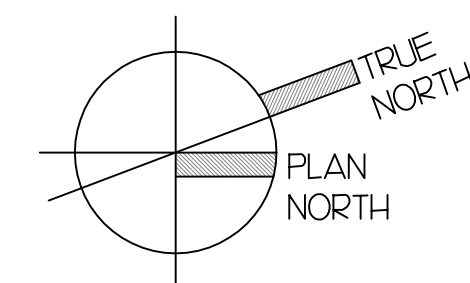
7 EXISTING SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

- DEMOLITION NOTES:
1. SITE MEETING, PRIOR TO DEMOLITION, THE G.C. SHALL CONDUCT A PRE-DEMOLITION SITE MEETING TO SCHEDULE THE WORK WITH THE OWNER, ARCHITECT, CONSULTANTS, AND SUBCONTRACTORS.
 2. PROTECTION, THE G.C. SHALL VERIFY ALL EXISTING FEATURES AND FINISHES TO REMAIN PRIOR TO DEMOLITION, AND VERIFY WITH OWNERS WHETHER REMOVED OR UNUSED PRODUCTS AND MATERIALS SHOULD BE SAVED OR DISCARDED.
 3. PROTECTION, THE G.C. SHALL TAKE ALL NECESSARY MEASURES TO PREVENT DAMAGE AND SETTLEMENT, AND PROTECT EXISTING BUILDING, APPLIANCES, AND FURNISHINGS DURING DEMOLITION. ANY DAMAGES TO THESE ITEMS SHALL BE PROPTLY RESTORED, REPAIRED, OR REPLACED AT NO COST TO THE OWNER.
 4. PROTECTION, THE G.C. SHALL PROVIDE ALL NECESSARY TEMPORARY ENCLOSURES, COVERINGS, AND GUARDS TO ADEQUATELY PROTECT PERSONS FROM POSSIBLE INJURY.
 5. ENCROACHMENT, THE G.C. SHALL CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
 6. DISPOSAL, THE G.C. SHALL BE RESPONSIBLE FOR REMOVAL AND LEGAL DISPOSAL OF ALL CONSTRUCTION DEBRIS AND OTHER ASSOCIATED MATERIALS FROM THE STRUCTURE AND THE SITE.
 7. ELECTRICAL, ALL UNUSED AND DEMOLISHED ELECTRICAL IS TO BE REMOVED BACK TO THE NEAREST UTILIZED JUNCTION.
 8. CONTAINMENT, THE G.C. SHALL PROVIDE COVERINGS AND THE LIKE FOR CONFINING DUST AND DEBRIS TO AREAS OF THE BUILDING IN WHICH DEMOLITION AND/OR ALTERATIONS ARE BEING PERFORMED.
 9. REPAIRS, ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED DURING EXECUTION OF WORK SHALL BE EQUAL TO OR BETTER THAN THEIR ORIGINAL CONDITION.
 10. SECURITY, THE G.C. SHALL MAINTAIN BUILDING SECURITY AT ALL TIMES.



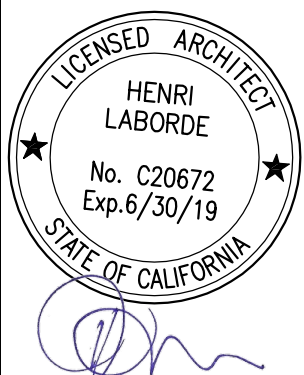
- WALL LEGEND
- EXISTING WALL TO REMAIN
 - WALL TO BE REMOVED
 - NEW WALL CONSTRUCTION

8 EXISTING & DEMO FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



REVISIONS	NO.
08/08/2018 BLDG. SUB.	
03/14/19 POC#1	▲

LABORDE
ARCHITECTURE
710 CHANNING WAY
BERKELEY, CA 94710
510.665.4174



ISSUE DATES
03-14-2018 CLIENT REVIEW
03-27-2018 PRICING
07-02-2018 CD REVIEW

ALTERATIONS TO THE SHAFFER RESIDENCE
25 LOMA AVENUE
LA SELVE BEACH, CA 95076

All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used or disclosed without written consent of the architect.

Sht. Title:
EXISTING & DEMO
FLOOR PLANS &
EXISTING
ELEVATIONS

Scale:

Drawn:

Job: SFR

Sheet:

A2.0

LIGHT & AIR NOTES:

1. LIGHT & AIR: ALL HABITABLE ROOMS SHALL HAVE A MIN. GLAZING AREA OF 8% OF THE FLOOR AREA OF SUCH ROOMS, AND SHALL HAVE A MIN. OPENABLE AREA OF 4% OF THE FLOOR AREA OF SUCH ROOMS FOR NATURAL VENTILATION. CRC R303.1

CRAWL SPACE VENTILATION NOTES:

1. FOUNDATION VENTS: PROVIDE NET FREE VENT AREA OF NOT LESS THAN 1 SF FOR EACH 50 SF. OF UNDER FLOOR AREA.
2. OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH OPENINGS OF 1/2" DIMENSION. CRC R408.1
3. LOCATIONS: SEE EXTERIOR ELEVATIONS FOR VENT LOCATIONS. VENTS SHALL NOT BE PLACED IN CLOSE PROXIMITY OF HOLDOWNS. COORDINATE VENT LOCATIONS WITH STRUCTURAL ENGINEER. CRC R408.1
4. WIRE MESH: ALL VENT OPENINGS SHALL BE FULLY COVERED WITH A NONCOMBUSTIBLE METAL WIRE MESH SCREEN. MESH OPENINGS SHALL BE A MINIMUM OF 1/2" AND SHALL NOT EXCEED 1/8". CRC 706.6.2
5. ACCESS: SHALL BE PROVIDED TO ALL UNDER-FLOOR SPACE. OPENINGS THROUGH FLOOR SHALL BE MINIMUM 18 INCHES x 24 INCHES. OPENINGS THROUGH A PERIMETER WALL SHALL NOT BE LESS THAN 16 INCHES x 24 INCHES PER CRC 408.4

CRAWL SPACE VENTILATION CALCS.	
CRAWL SPACE AREA¹	1,545 SF
REQUIRED RATIO	1/50
REQUIRED VENT AREA¹	10.3 SF
NUMBER OF 6"x4" VENTS PROVIDED¹	18
6"x4" VENT AREA²	58
TOTAL AREA OF VENTS PROVIDED	10.4 SF

BUILDING MAINTENANCE AND OPERATION: PROVIDE A COPY OF THE OPERATION AND MAINTENANCE MANUAL AT THE TIME OF FINAL INSPECTION PER CGBC 4.401. ITEMS SHALL INCLUDE:

1. DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
2. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
 21. EQUIPMENT AND APPLIANCES, INCLUDING WATER SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, PHOTOVOLTAIC SYSTEMS, ELECTRIC VEHICLE CHARGERS, WATER HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT
 22. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS
 23. SPACE CONDITIONING, INCLUDING CONDENSERS AND AIR FILTERS
 24. LANDSCAPING IRRIGATION SYSTEMS
 25. WATER REUSE SYSTEMS
3. INFO FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
4. PUBLIC TRANSPORTATION AND /OR CARPOOL OPTIONS AVAILABLE IN THE AREA
5. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60% AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY IN THAT RANGE.
6. INFORMATION ABOUT WATER CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER
7. INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS
8. INFO ON REQUIRED ROUTINE MAINTENANCE MEASURES INCLUDING BUT NOT LIMITED TO CAULKING, PAINTING, GRADING AROUND THE BUILDING
9. INFO ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE
10. A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE

ENVIRONMENTAL QUALITY NOTES:

1. ADHESIVES, SEALANTS, STAINS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS IN TABLE 4504.1 OR 4504.2, AS APPLICABLE PER CGBC 4504.2.1
2. ARCHITECTURAL PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS IN TABLE 4504.3 PER CGBC 4504.2.2
3. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS PER CGBC 4504.2.3
4. ALL CARPETS AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS PER CGBC 4504.3
5. MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH VOC EMISSION LIMITS SPECIFIED UNDER CGBC 4504.4
6. HARDWOOD, PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET FORMALDEHYDE REQUIREMENTS AS SHOWN ON TABLE 4504.5 PER CGBC 4504.5
7. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE PER CGBC 4505.3
8. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING AND MUST BE CONTROLLED BY HUMIDITY CONTROL PER CGBC 4506.1

FOUNDATION & CONCRETE NOTES:

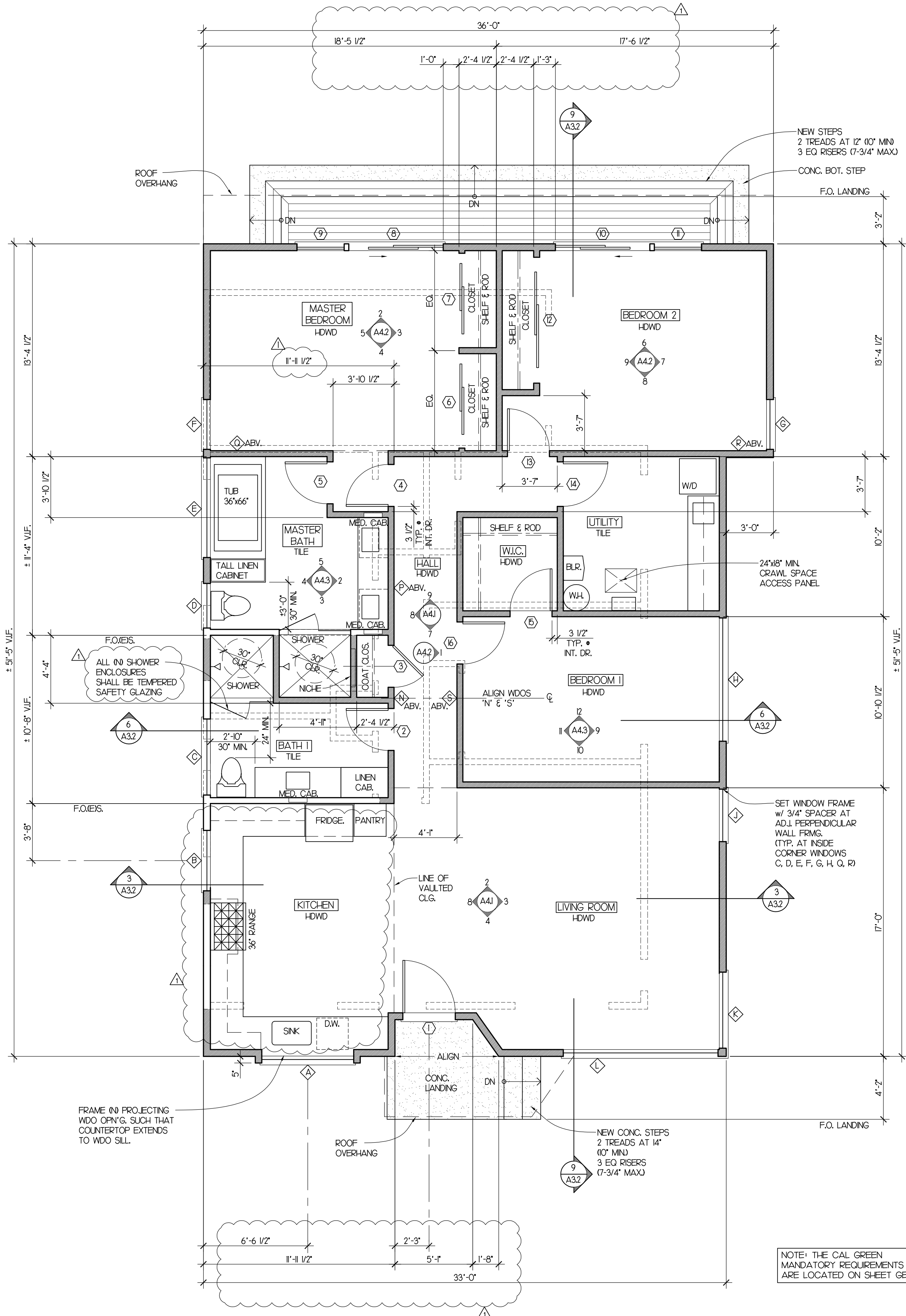
1. UNDER FLOOR ACCESS: PROVIDE MIN. OF 18" X 24" OR 16" X 24" THRU WALL ACCESS TO UNDER FLOOR AREAS. CRC R408.4
2. CRAWL SPACE: PROVIDE 18" TALL MIN. ACCESS PATHWAY THROUGH UNDER FLOOR AREA, INCLUDING UNDER DUCTS. CMC 603.2. FLOOR JOISTS OR FLOORS WITHOUT JOISTS WITH LESS THAN 18" CLR. TO EXPOSED GROUND SHALL BE PRESSURE TREATED. GIRDERS WITH LESS THAN 12" CLR. SHALL BE P.T. CBC 2304.12.1
3. PRESSURE TREATED: EXTERIOR WOOD FRAMING & SHEATHING RESTING ON FOUNDATIONS AND LESS THAN 8" FROM EARTH OR 2" FROM PAVING SHALL BE P.T. CBC 2304.12.1. (SIDING MAY BE 6" FROM EARTH. CBC 2304.12.2)
4. VERIFICATION: G.C. TO VERIFY ALL CONCRETE ROUGH OPENING SIZES, ELEVATIONS, ETC. PRIOR TO FOUNDATION POUR. G.C. TO COORDINATE ALL LOCATIONS OF HOLDOWNS, CURBS, STEPS, PLUMBING & MECHANICAL SLEEVES, ETC.
5. VERIFICATION: PRIOR TO POURING ANY CONCRETE FOR FOUNDATIONS, IT IS RECOMMENDED THAT A LICENSED SURVEYOR CONFIRM THAT THE REQUIRED SETBACKS AS SHOWN ON THE APPROVED PLANS HAVE BEEN MAINTAINED.

FLOOR PLANS NOTES:

1. DIMENSIONS: ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED. DIMENSIONS TO FACE OF FINISH ARE NOTES AS - F.O.F. FOR DIMENSIONS NOT SHOWN ON PLAN, SEE INTERIOR ELEVATION OR ASK THE ARCHITECT.
2. DIMENSIONS: DIMENSIONS OF EXISTING WALLS ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD.
3. DO NOT SCALE THE DRAWINGS.
4. DISCREPANCIES: IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE ARCHITECT OF ANY AMBIGUITIES OF DISCREPANCIES ON THE DRAWINGS AND GET CLARIFICATION BEFORE BEGINNING WORK.
5. PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYP. BD. CRC 302.7
6. DRAFTSTOPS: SHALL BE INSTALLED IN FLOOR/ CEILING ASSEMBLIES WHERE THERE IS A USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQUARE FEET AND IS DIVIDED INTO APPROXIMATELY EQUAL AREAS. CRC R302.2
7. SHOWERS: SHOWER AND TUB/SHOWER WALLS SHALL HAVE A NONABSORBENT SURFACE MIN. 72" ABOVE THE FLOOR, INSTALLED OVER FIBER-CEMENT BACKER BD. WATER-RESISTANT GYPSUM BACKING BOARD MAY NOT BE USED. CRC R307.2, R702.4
8. INTERIOR WATERPROOFING: AT ALL LOCATIONS SUBJECT TO EXPOSURE TO WATER, G.C. TO PROVIDE WATERPROOF MEMBRANE OVER HORIZONTAL AREAS AND UP WALLS 6" MIN ABOVE FINISH.
9. CONCEALED WORK: MAINTAIN RECORD DRAWINGS, SPECIFICATIONS, AND PHOTOS OF CONCEALED WORK.
10. FRAMING: ALL NEW EXTERIOR WALLS TO BE 2X4 WD. STUDS AT 16" O.C. TYP. UNLESS OTHERWISE NOTED. ALL NEW INTERIOR WALLS TO BE 2X4 WD. STUDS AT 16" O.C. TYP. UNLESS OTHERWISE NOTED.
11. ROUGH OPENINGS: CONTRACTOR TO VERIFY ROUGH OPENINGS SHOWN ON PLAN OR SCHEDULES WITH REQUIREMENTS OF UNITS TO BE INSTALLED PRIOR TO FRAMING OPENINGS.
12. SEPARATION WALLS & C.E.S.S. ALL WALLS & CEILINGS SEPARATING GARAGE FROM THE RESIDENCE & ALL STRUCTURES SUPPORTING THIS FLOOR/CEILING ASSEMBLY, SHALL HAVE MIN. 1/2" GYP. BD. ON GARAGE SIDE, PER CRC R302.6 AND TABLE R302.6.

INSULATION NOTES:

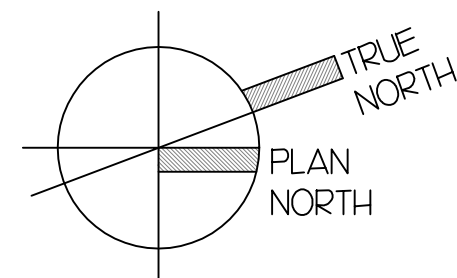
1. SEE TITLE 24 ENERGY REPORT FOR REQUIRED INSULATION VALUES.
2. NEW INSULATION: VERIFY EXISTING INSULATION OR INSTALL NEW INSULATION AS REQUIRED IN ALL AREAS EXPOSED DURING CONSTRUCTION REFER TO T-24 ENERGY FOR MIN. R-EO, R-VALLUE
3. SPRAY FOAM INSULATION: AT VAULTED CEILINGS, INSTALL AIR IMPERMEABLE, CLOSED CELL, SPRAY FOAM INSULATION PER T-24. (BAYSEAL ICC-ESR 2072 OR EQ.) APPLIED IN DIRECT CONTACT WITH UNDERSIDE OF ROOF SHEATHING PER CRC R806.4.5.1
4. INSULATION SHALL CONFORM TO FLAME-SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF CRC R302.0
5. AFTER INSTALLING INSULATION, THE INSTALLER SHALL POST AN INSULATION CERTIFICATE, SIGNED BY THE INSTALLER AND THE BUILDER, IN A CONSPICUOUS LOCATION IN THE BUILDING, STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, PART 2, CH. 2-53 OF THE CALIFORNIA ADMINISTRATIVE CODE.
6. REMODEL INSULATION NOTE: INSULATION MEETING THE MANDATORY FEATURE REQUIREMENTS IN THE CALIFORNIA ENERGY CODE SHALL BE INSTALLED AT CEILING, WALLS, FLOORS, AND WATER PIPES, WHEN THESE AREAS ARE EXPOSED DURING CONSTRUCTION.



6 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND

- EXISTING WALL TO REMAIN
- WALL TO BE REMOVED
- NEW WALL CONSTRUCTION



REVISIONS	NO.
08/08/2018 BLDG. SUB.	
03/14/19 PCC#1	

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ISSUE DATES

05-23-2018
CLIENT REVIEW
06-21-2018
DD REVIEW
06-26-2018
DD REVIEW
07-02-2018
CD REVIEW
03-01-2019
CD REVIEW

ALTERATIONS TO THE SHAFFER RESIDENCE
25 LOMA AVENUE
LA SELVE BEACH, CA 95076

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Sht. Title:
PROPOSED
FLOOR PLAN

Scale:

Drawn:

Job: SFR

Sheet:

A2.1

ELECTRICAL NOTES:

- NEW FIXTURES, ALL FIXTURES SHOWN ON THIS PLAN ARE NEW UNLESS NOTED AS EXISTING OR EX.
- VERIFICATION, ELECTRICAL SUBCONTRACTOR SHALL DETERMINE SERVICE REQUIREMENTS FOR THE NEW WORK PRIOR TO BID, VERIFY WHETHER EXISTING SERVICE IS SUFFICIENT TO HANDLE INCREASED LOADS.
- VERIFICATION, G.C. TO VERIFY ALL LIGHT FIXTURE, RECEPTACLE, SWITCH, PHONE, CABLE, AND NETWORK LOCATIONS WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION.
- GROUNDING ELECTRODE, PROVIDE A GROUNDING ELECTRODE SYSTEM, OR WHERE MULTIPLE EXIST THEY SHALL BE BONDED TOGETHER TO FORM ONE SYSTEM. GROUNDING ELECTRODES MAY BE: 1) METAL UNDERGROUND WATER PIPE; 2) METAL FRAME OF THE BLDG. CONNECTED TO THE EARTH; AND OTHERS AS LISTED IN NEC 250.52.
- RECEPTACLE SEATING, SHALL NOT EXCEED 12 FEET MEASURED HORIZONTALLY ALONG THE WALL, CEC ARTICLE 210.52(A).
- SUBPANELS, SHALL BE LOCATED SO THE HIGHEST BREAKER IS NO HIGHER THAN 6'-7" ABOVE THE FLOOR, AND SHALL NOT BE INSTALLED IN BATHROOMS, OVER STEPS OR WHERE THEY WILL BE EXPOSED TO DAMAGE, NEC 240-24.
- BRANCH CIRCUITS, ALL MULTIWIRE BRANCH CIRCUITS (DISHWASHER & GARBAGE DISPOSAL CIRCUITS) SHALL DISCONNECT SIMULTANEOUSLY ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES, CEC 210.4.
- GFCI, OUTLETS IN BATHROOM, GARAGE, & KITCHEN TO BE GFCI, ALL 15A AND 20A 125V RECEPTABLES INSTALLED IN A GARAGE MUST HAVE GFCI PROTECTION INCLUDING GARAGE DOOR OPENER RECEPTABLES, CEC 210.8.
- AFCI, COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER SHALL PROTECT ALL RECEPTABLES IN ALL BEDROOMS, DINING ROOMS, KITCHENS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS WITH BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE-PHASE, 15 AND 20-AMP RECEPTACLE OUTLETS, CEC 210.12(B).
- TAMPER-RESISTANT RECEPTABLES SHALL BE INSTALLED IN ALL NON-LOCKING TYPE 125-VOLT, 15/20 AMP RECEPTABLES, PER CEC 406.12.
- KITCHEN RECEPTABLES ALONG COUNTER TOPS SHALL BE SPACED A MAXIMUM OF 2 FEET FROM THE SINK(S) AND 4 FEET ON-CENTER, ISLAND OR PENINSULA COUNTER TOPS 12 INCHES OR WIDER SHALL HAVE AT LEAST ONE RECEPTACLE FOR EACH 4 FEET OF COUNTER TOP. KITCHEN OUTLETS SHALL BE ON AT LEAST TWO SEPARATE CIRCUITS WITH GROUND-FAULT CIRCUIT INTERRUPT PROTECTION, CEC 210.52.
- KITCHEN, PROVIDE A MIN. OF TWO 20 AMP BRANCH CIRCUITS TO SERVE SMALL APPLIANCES AT KITCHEN COUNTER AND ISLAND RECEPTABLES, CEC 210.52(B)(3).
- KITCHEN, PROVIDE DEDICATED CIRCUITS FOR THE DISHWASHER, GARBAGE DISPOSAL, AND MICROWAVE, CEC 210.23 A(1)(2).
- APPLIANCES & EQUIPMENT, PROVIDE POWER & UTILITIES TO ALL NEW APPLIANCES AND EQUIPMENTS AS REQUIRED.
- BATHROOMS, ALL RECEPTACLE OUTLETS IN THE BATHROOMS SHALL BE SUPPLIED BY AT LEAST ONE 20-AMP BRANCH CIRCUIT, SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS, RECEPTACLE TO BE ON THE WALL WITHIN 3' OF SINK BASIN AND GFCI PROTECTED, CEC 210.52(D), 210.1(C)(3), 210.8(A)(1).
- SMOKE / CO DETECTORS, ALL DETECTORS TO BE DUAL FUNCTION, 110 VOLT, AND INTERCONNECTED WITH BATTERY BACKUP, THEY SHALL BE MOUNTED ON THE CEILING OR HIGH ON WALL IN EACH SLEEPING AREA AND AT A POINT, CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA, AND AT LEAST ONE ON EACH LEVEL OF THE BUILDING CEC 907.21 & CEC905.
- FIRE RATED WALLS, ELECTRICAL OPENINGS (SWITCHES, RECEPTABLES, ETC) ON OPPOSITE SIDES OF FIRE RATED WALLS SHALL BE MAINTAINED AT LEAST 24 INCHES APART, LIGHTING, ALL LIGHTING SHALL BE HIGH EFFICACY PER 16 CEC.
- EXTERIOR LIGHTING, ALL EXTERIOR LIGHTING ATTACHED TO ANY BUILDING SHALL BE CONTROLLED BY A MOTION SENSOR WITH PHOTOCONTROL, OR CONTROLLED WITH AN ASTRONOMICAL TIME CLOCK, CEC 500.0(A) 3.
- LIGHTING, LIGHT FIXTURES LOCATED WITHIN CLOTHES CLOSETS SHALL BE MOUNTED ON THE WALL ABOVE THE DOOR OR ON THE CEILING, CEC 410-16 (a). MIN CLEARANCES FROM THE FIXTURE TO THE NEAREST STORAGE SPACE SHALL BE AS FOLLOWS:
 - SURFACE MOUNTED LED FIXTURES LIGHT SOURCE - 12"
 - SURFACE MOUNTED FLUORESCENT FIXTURES - 6"
 - RECESSED LED FIXTURES WITH COMPLETELY ENCLOSED LAMP - 6"
 - RECESSED FLUORESCENT FIXTURES - 6"

MECHANICAL NOTES:

- RESPONSIBILITY, MECHANICAL CONTRACTOR TO ACCEPT SOLE RESPONSIBILITY FOR PROPER DESIGN AND INSTALLATION OF MECHANICAL SYSTEM.
- SYSTEM DESIGN, MECHANICAL LAYOUT SHOWN IS SCHEMATIC AND IS SHOWN FOR DESIGN INTENT ONLY. MECHANICAL CONTRACTOR TO COORDINATE WITH G.C. ARCHITECT, AND OWNER TO DESIGN AND SUITABLE MECHANICAL SYSTEM.
- BATHROOM FANS TO BE PANASONIC WHISPER SERIES WHERE SHOWN ON ELECTRICAL PLAN, UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROLLER PER CGBSC 4.50(6).
- STRUCTURAL SUPPORT, APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY FASTENED IN PLACE, SUPPORTS FOR APPLIANCES SHALL BE ABLE TO SUSTAIN VERTICAL AND HORIZONTAL LOADS AS REQUIRED, CMC 902.6.
- EXTERIOR VENTS, CLOTHES DRYER VENT DUCT SHALL BE 4" WITH A MAXIMUM RUN OF 14', INCLUDING TWO 90 DEGREE ELBOWS, PER CMC 504.4.2 AND SHALL HAVE A BACK DRAFT DAMPER PER CMC 504.11. EXHAUST DUCTS SHALL TERMINATE 3' FROM PROPERTY LINES AND 3' FROM ANY OPENINGS INTO THE BUILDING PER CMC 502.2.
- EXHAUST DUCTS, KITCHEN HOODS, DRYER VENTS & BATH FANS SHALL TERMINATE OUTSIDE THE BUILDING AND BE EQUIPPED WITH BACK-DRAFT DAMPERS PER CMC SEC. 504 & CGBSC SEC. 4.50(6). TERMINATION OF ALL DUCTS SHALL BE AT LEAST 3'-0" FROM OPENINGS INTO THE BUILDING PER CMC 502.2.
- VENTILATION, FOR INTERMITTENT LOCAL EXHAUST, THE MINIMUM BATHROOM INTERMITTENT VENTILATION AIRFLOW SHALL BE 50 CFM AND FOR KITCHEN HOOD EXHAUST SHALL BE 100 CFM (OR AS AN ALTERNATE, PROVIDE CEILING OR WALL MOUNTED EXHAUST FAN OR DUCTED VENTILATION SYSTEM THAT PROVIDES AT LEAST 5 AIR CHANGES OF THE KITCHEN VOLUME PER HOUR) WITH DUCTING SIZED PER ASHRAE STANDARD 62.2 TABLE 7).
- COMBUSTION AIR, G.C. TO PROVIDE COMBUSTION AIR INTAKE TO MECHANICAL ROOM THROUGH CRAWL SPACE, PER CMC 701.3 & 701.4.
- HEATING SYSTEM, SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE METHODS OUTLINED IN CGBC 4.50(7.2).
- ENVIRONMENTAL QUALITY, AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING, AND VENTILATION EQUIPMENT, COVER ALL DUCTS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS WITH TAPE, PLASTIC, SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS WHICH MAY ENTER THE SYSTEM PER CGBC 4.50(4).

WHOLE HOUSE FAN NOTES:

- WHOLE HOUSE FAN REQUIRED PER CEC 150(X) SHALL HAVE MINIMUM 83 CFM PER ASHRAE STANDARD 62.2 EQUATION 4-1.
 $CFM = 0.01(X)(CONDITIONED FLOOR AREA) + 75(X)(NUMBER OF BEDROOMS + 1)$
 $CFM = 0.01(X)(5588) + 75(X3)$
 $CFM = 83$

LOCAL VENTILATION RATE SUMMARY:

MIN BATHROOM FAN FLOW	50 CFM
MIN DUCT SIZE	4" FLEX
MAX ALLOWABLE DUCT LENGTH	70 FT

SPACE HEATING SYSTEM NOTES:

- HEATING SHALL BE INFLOOR HYDRONIC RADIANT WITH COMBO BOILER AND INDIRECT WATER HEATER SYSTEM.
- SYSTEM SHALL BE "DESIGN-BUILD" PER 1-2.24 ENERGY REQUIREMENTS.
- HEATING ZONES SHALL BE AS FOLLOWS:
 - ZONE 1: LIVING ROOM, KITCHEN, HALL
 - ZONE 2: MASTER BEDROOM, MASTER BATH
 - ZONE 3: BEDROOM 1 & 2, BATH 1
 - UTILITY ROOM NOT HEATED

PLUMBING NOTES:

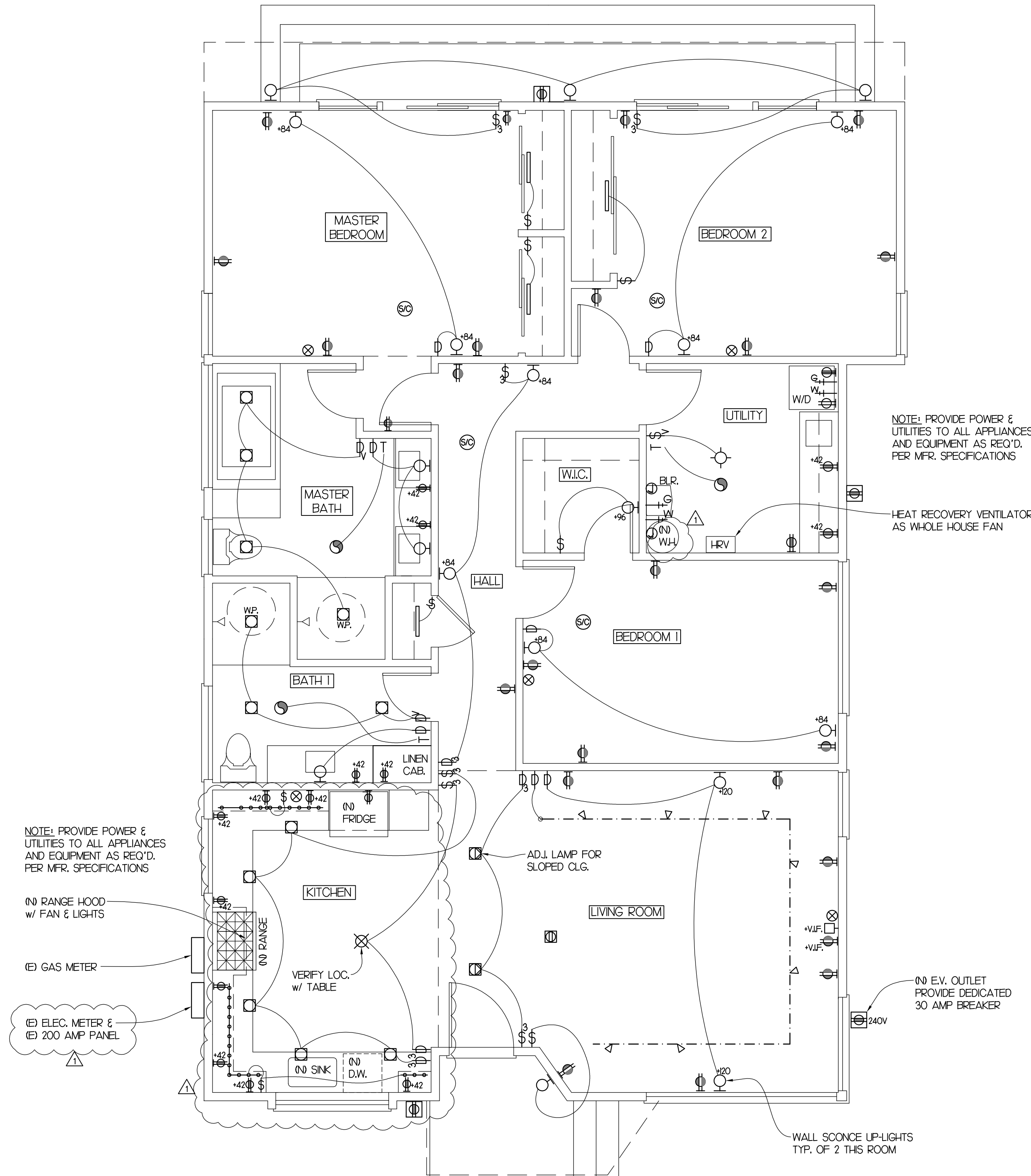
- VERIFICATION, PLUMBING SUBCONTRACTOR IS RESPONSIBLE FOR ASSESSING EXISTING SERVICES FOR COMPLIANCE WITH PROPOSED SERVICE REQUIREMENTS AND RECOMMENDING ANY MEASURES TO HANDLE ADDITIONAL LOADS PRIOR TO BID.
- VERIFICATION, PLUMBING SUBCONTRACTOR IS REQUIRED TO COORDINATE WITH G.C. AND FRAMING CONTRACTOR TO ENSURE PROPER NOTCHING AND BORING OF FRAMING MEMBERS PER STRUCTURAL REQUIREMENTS WITHIN THIS SET. G.C. SHALL VERIFY PLUMBING AND MECHANICAL RUNS WITHIN FRAMING SPACES. IT IS THE RESPONSIBILITY OF THE G.C. TO NOTIFY ARCHITECT OF CONFLICTS PRIOR TO ROUGH FRAMING.
- SINGLE LINE DIAGRAM, G.C. SHALL PROVIDE A SINGLE LINE DIAGRAM AT TIME OF INSPECTION (TO INDICATE THE DISTANCE FROM THE METER TO EACH GAS-FIRED APPLIANCE, INCLUDING THE SIZE OF THE GAS PIPE TO EACH APPLIANCE, SIZED PER CPC 708.4).
- WATER SUPPLY, ALL BUILDING WATER SUPPLY SYSTEMS INSTALLED WITH QUICK ACTING VALVES SHALL BE PROVIDED WITH WATER HAMMER ARRESTORS, LOCATED AS CLOSE AS POSSIBLE TO THESE VALVES, (IE. DISHWASHER HOT WATER LINE AND THE HOT/COLD WATER LINES FOR THE CLOTHES WASHER), CPC 609.0.
- CONDENSATE DRAIN, G.C. TO PROVIDE DRIP PAN FOR FURNACE AND WATER HEATER CONDENSATE, AND DAYLIGHT DRAIN TO EXTERIOR.
- DRAIN LINES, PRESSURE RELIEF VALVE DRAIN LINES SHALL BE GALV. STEEL OR HARD COPPER AND SHALL EXTEND TO THE OUTSIDE OF THE BLDG. & TERMINATE 6' TO 24" ABOVE GROUND.
- DISHWASHER, G.C. SHALL PROVIDE AND INSTALL AN APPROVED AIR GAP FOR THE DISHWASHER ON THE DISCHARGE SIDE AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAINBOARD, WHICHEVER IS HIGHER.
- SHOWER VALVES, SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION, PER CPC 408.3.
- GAS, GAS PIPING IS NOT ALLOWED TO RUN UNDER A CONCRETE SLAB WHEN THERE IS A ROOF OVER IT, CPC 121.3.
- SLIP JOINTS, CONTRACTOR TO PROVIDE 12"X12" ACCESS PANEL AT ALL FIXTURES HAVING SLIP JOINTS, CPC 402.0.
- HOSE BIBS, G.C. SHALL PROVIDE AND INSTALL AN APPROVED NON-REMOVAL BACK FLOW PREVENTION DEVICE ON ALL WATER OUTLETS WITH HOSE ATTACHMENTS AND HOSE BIBS.
- WATER-CONSERVING FIXTURES, ALL NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES PER CAL GREEN BLDG CODE (CGBC) 3011.
- PROTECT ANNULAR SPACES AROUND PPES, ELECTRICAL CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY PER CGBC 4.40(6).

PLUMBING FIXTURE FLOW RATES (MAX): CGBC 4.30(3)

- 1)SHOWERHEADS = 2 GPM • 80 PSI
2)LAVATORY FAUCETS = 1.2 GPM • 60 PSI
3)KITCHEN FAUCETS = 1.8 GPM • 60 PSI
4)WATER CLOSETS = 1.28 GALLONS/FLUSH

ELECTRICAL / MECHANICAL SYMBOLS

	RECESSED DOWNLIGHT		SURFACE MOUNT TRACK w/ DIRECTIONAL LIGHTS		ACFI DUPLEX WALL OUTLET
	ADJUSTABLE RECESSED		SURFACE MOUNT TRACK w/ PENDANT LIGHTS		GFI DUPLEX WALL OUTLET
	SURFACE MOUNT LIGHT		GAS BIB		FOURPLEX WALL RECEPTACLE
	PENDANT		WATER HOSE BIB		1/2 SWITCHED OUTLET
	WALL MOUNTED LIGHT		J-BX		220 OUTLET
	WALL MOUNTED FLOOD LIGHT		SINGLE POLE SWITCH		WATER PROOF GFI OUTLET
	STRIP FLUORESCENT		THREE-WAY SWITCH		DUPLEX FLOOR RECEPTACLE
	UNDERCABINET LED LIGHT		DIMMER SWITCH		THERMOSTAT
	UNDERCABINET FLUORESCENT LIGHT		VACANCY SENSOR		DATA OUTLET - PHONE, TV, INTERNET
	EXTERIOR WALKWAY LIGHT		TIMER SWITCH		TELEVISION
	EXHAUST FAN		DOOR JAMB SWITCH		HYDRONIC RADIATOR
	FAN / LIGHT COMBO		DUPLEX WALL OUTLET		
	SMOKE / CO2 DETECTOR				

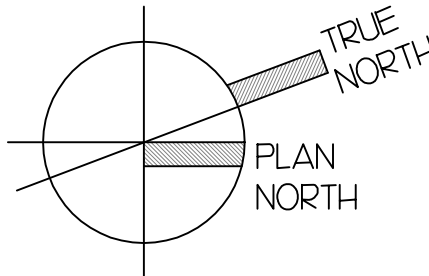


9

PROPOSED ELECTRICAL PLAN

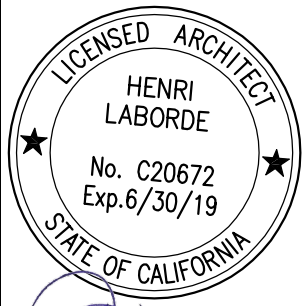
SCALE: 1/4" = 1'-0"

NOTE: THE CAL GREEN MANDATORY REQUIREMENTS ARE LOCATED ON SHEET GB1



REVISIONS	NO.
08/09/2018 BLDG. SUB.	
03/14/19 PCC#1	△

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ISSUE DATES

07-02-2018
CD REVIEW

ALTERATIONS TO THE SHAFFER RESIDENCE
25 LOMA AVENUE
LA SELVE BEACH, CA 95076

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Sht. Title:

ELECTRICAL
PLAN

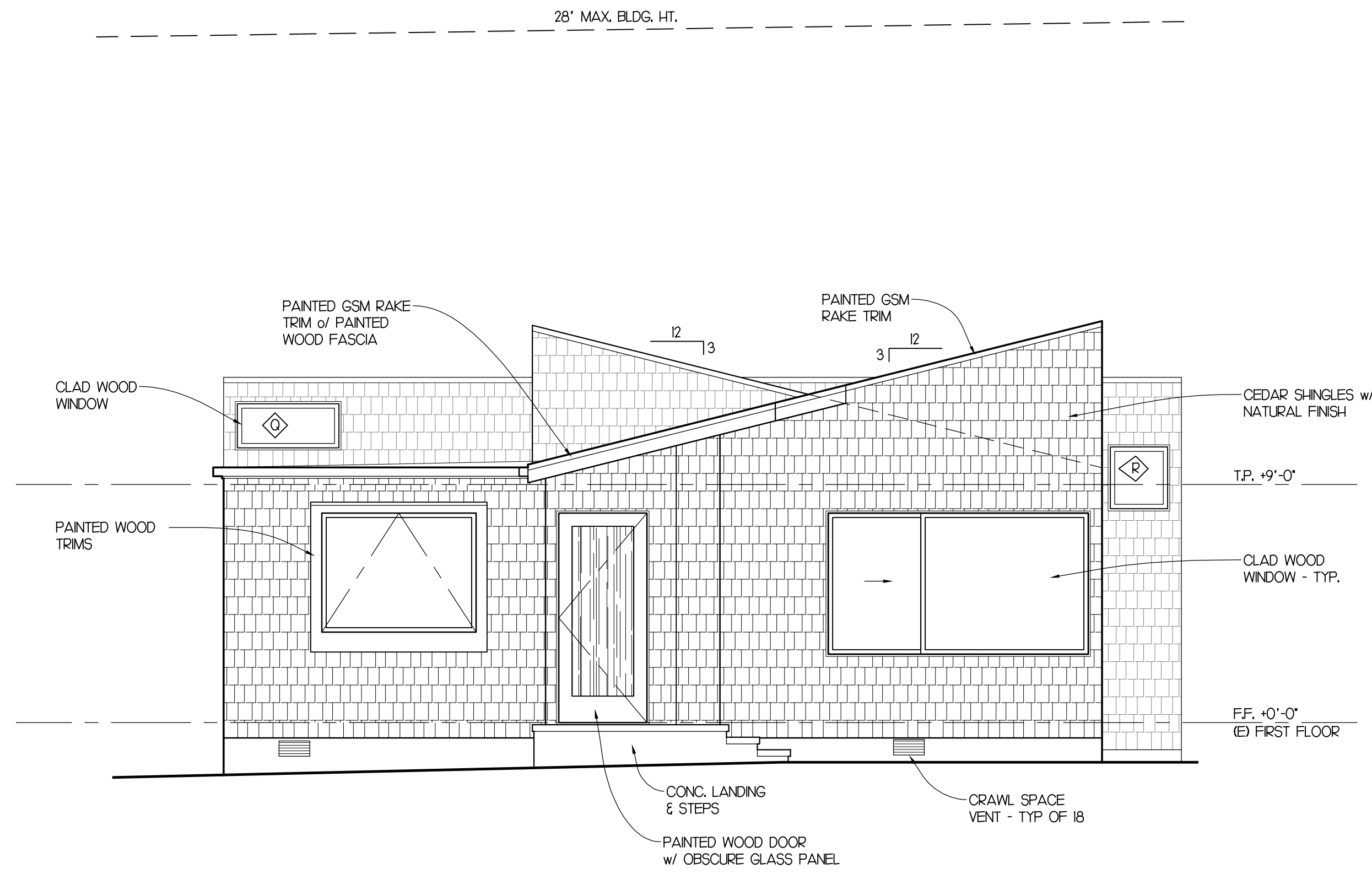
Scale:

Drawn:

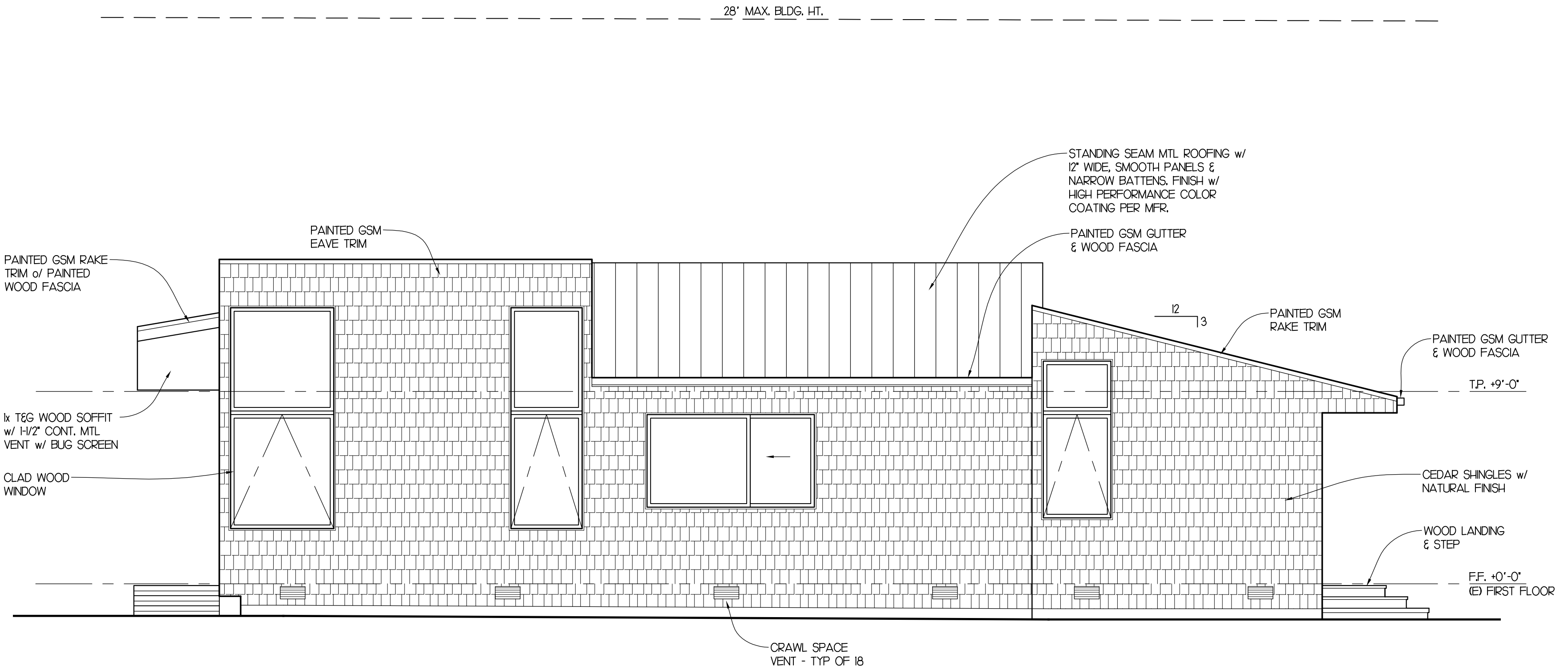
Job: SFR

Sheet:

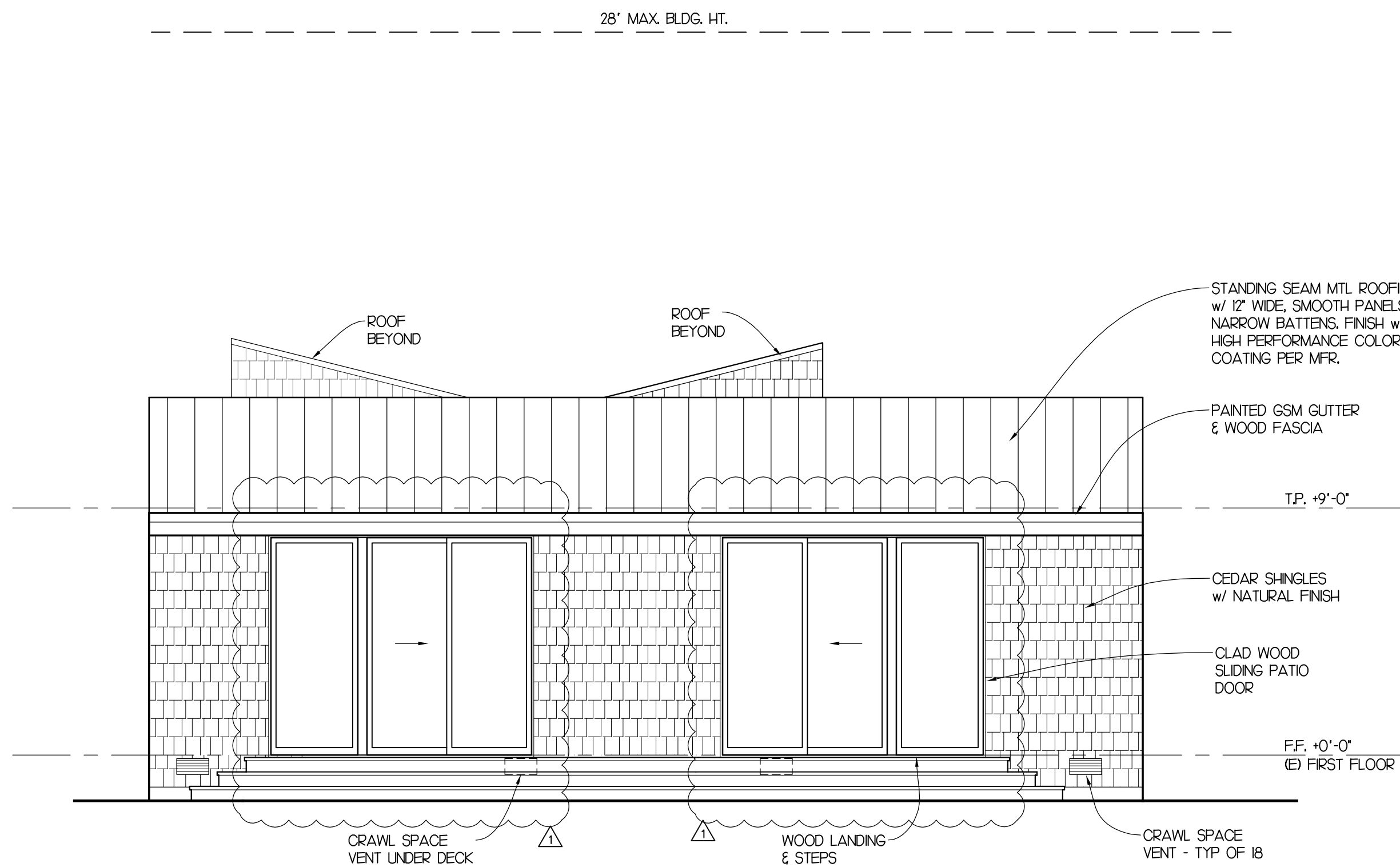
A2.2



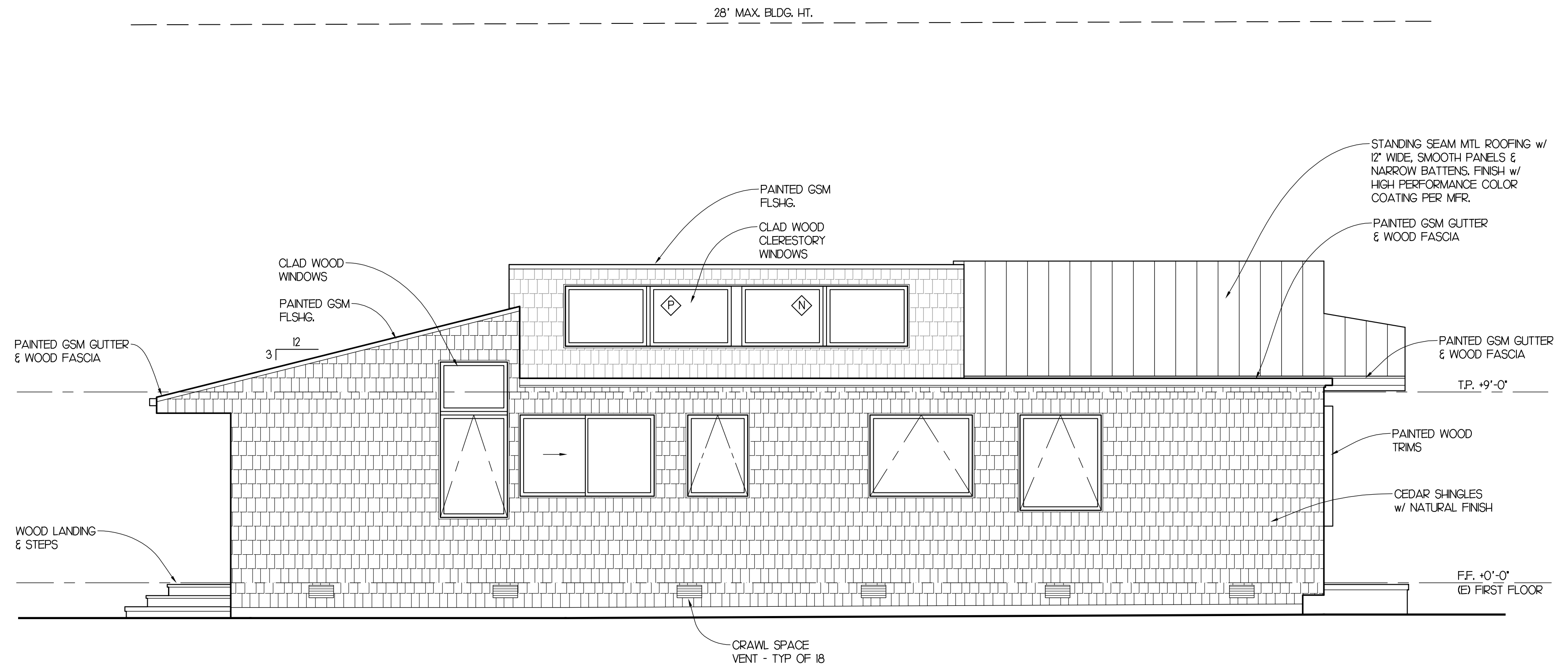
1 PROPOSED EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



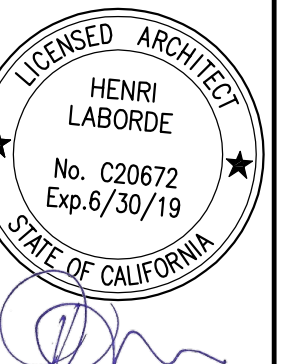
3 PROPOSED WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



4 PROPOSED SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS	NO.
08/08/2018 BLDG. SUB.	
03/14/19 PCC#1	1

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ISSUE DATES
06-21-2018 CD REVIEW
07-02-2018 CD REVIEW
03-01-2019 CD REVIEW

ALTERATIONS TO THE SHAFFER RESIDENCE
25 LOMA AVENUE
LA SELVA BEACH, CA 95076

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Sht. Title:
PROPOSED
EXTERIOR
ELEVATIONS

Scale:

Drawn:

Job: SFR

Sheet:

A3.1

(X)	SIZE (VERIFY w/ MFR)	LAYOUT	TYPE	HARDWARE	GLAZING	NOTES - SEE BELOW FOR ADDITIONAL NOTES
1	3'-4" x 8'-0" x 1-3/4"		WOOD STILE & RAIL w/ GLASS PANEL, PAINTED	ENTRY, DEADBOLT	DOUBLE, TEMP. OBSCURE	WEATHERSTRIP, CUSTOM
2	2'-8" x 7'-0" x 1-3/8"		FLUSH WOOD, SOLID CORE, PAINTED	PRIVACY		
3	2'-8" x 7'-0" x 1-3/8"		FLUSH WOOD, SOLID CORE, PAINTED	PASSAGE		
4	2'-8" x 7'-0" x 1-3/8"		FLUSH WOOD, SOLID CORE, PAINTED	PRIVACY		
5	2'-8" x 7'-0" x 1-3/8"		FLUSH WOOD, SOLID CORE, PAINTED	PRIVACY		
6	6'-0" x 7'-0" x 1-3/8"		FLUSH WOOD, SOLID CORE, BI-PASS SLIDERS	SLIDER w/ FLUSH PULL		
7	6'-0" x 7'-0" x 1-3/8"		FLUSH WOOD, SOLID CORE, BI-PASS SLIDERS	SLIDER w/ FLUSH PULL		
8	6'-0" x 8'-0" x 4-1/2"		CLAD WOOD GLIDING PATIO	BY MFR		
9	3'-2" x 8'-0" x 4-1/2"		CLAD WOOD SIDELITE	BY MFR		
10	6'-0" x 8'-0" x 4-1/2"		CLAD WOOD, GLIDING PATIO	BY MFR		
11	3'-2" x 8'-0" x 4-1/2"		CLAD WOOD SIDELITE	BY MFR		
12	8'-0" x 7'-0" x 1-3/8"		FLUSH WOOD, SOLID CORE, BI-PASS SLIDERS	SLIDER w/ FLUSH PULL		
13	2'-8" x 7'-0" x 1-3/8"		FLUSH WOOD, SOLID CORE, PAINTED	PRIVACY		
14	2'-10" x 7'-0" x 1-3/8"		FLUSH WOOD, SOLID CORE, PAINTED	PRIVACY		
15	2'-8" x 7'-0" x 1-3/8"		FLUSH WOOD, SOLID CORE, PAINTED	PASSAGE		
16	2'-8" x 7'-0" x 1-3/8"		FLUSH WOOD, SOLID CORE, PAINTED	PRIVACY		
17	NOT USED					

OUTSIDE FRAME SIZE	LAYOUT	TYPE	GLAZING	NOTES - SEE BELOW FOR ADDITIONAL NOTES
A 6'-0" x 4'-8"		GLAD WOOD AWNING	DOUBLE	
B 4'-0" x 4'-8"		GLAD WOOD AWNING	DOUBLE	
C 5'-0" x 4'-0"		GLAD WOOD AWNING	DOUBLE, TEMP	
D 3'-0" x 4'-0"		GLAD WOOD AWNING	DOUBLE	
E 6'-6" x 4'-0"		GLAD WOOD GLIDER	DOUBLE, TEMP.	
F 3'-4" x 7'-6" VJF.		GLAD WOOD AWNING / FIXED	DOUBLE	3'-4" x 5'-0" AWNING, COORDINATE HT. w/ WDO 'Q'
G 3'-4" x 7'-6"		GLAD WOOD AWNING / FIXED	DOUBLE	3'-4" x 5'-0" AWNING
H 8'-0" x 4'-6"		GLAD WOOD SLIDER	DOUBLE	3'-0" x 4'-6" VENT, EGRESS
J 3'-6" x 10'-6"		GLAD WOOD AWNING / FIXED	DOUBLE	3'-6" x 5'-6" AWNING
K 5'-0" x 10'-6"		GLAD WOOD AWNING / FIXED	DOUBLE	5'-0" x 5'-6" AWNING
L 10'-0" x 5'-6"		GLAD WOOD GLIDER	DOUBLE	3'-6" x 5'-6" VENT
M NOT USED				
N 8'-0" x 3'-0"		GLAD WOOD FIXED	DOUBLE	2 EQ FIXED SASH, ALIGN WITH WINDOW 'S', SEE FLR. PLAN
P 8'-0" x 3'-0"		GLAD WOOD FIXED	DOUBLE	2 EQ FIXED SASH
Q 4'-0" x 1'-10"		GLAD WOOD FIXED	DOUBLE	
R 2'-4" x 2'-6"		GLAD WOOD FIXED	DOUBLE	
S 8'-0" x 3'-0"		INTERIOR WOOD FIXED	SINGLE	2 EQ. FIXED PANELS, ALIGN WITH WINDOW 'N', SEE FLR. PLAN
T NOT USED				

2. WINDOW HEAD HEIGHTS, + 8'-0" AFF
DOOR SWING, REFER TO FLOOR PLAN FOR DOOR SWING, NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO INSTALLATION.
3. VERIFICATION, REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL LAYOUT INFORMATION AND SHOP DRAWING PLAN.
4. VERIFICATION, G.C. SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DOOR AND WINDOW UNITS, ROUGH OPENINGS, OPERATION CHARACTERISTICS, EGRESS CONDITIONS, ETC. PRIOR TO FINAL ORDER OF MATERIALS.
5. GLAZING, SAFETY/TEMPERED GLAZING IS REQUIRED AT 1) ALL GLAZED DOORS, 2) GLAZING WITHIN 24" OF EITHER EDGE OF A DOOR IN A CLOSED POSITION, 3) WITHIN 18" OF ANY FLOOR AND WITHIN 60" OF ANY WINDOW SASH, AND ALL GLAZED DOORS AND ENCLOSURES. EACH UNIT OF SAFETY/TEMPERED GLAZING SHALL BE PERMANENTLY IDENTIFIED BY MANUFACTURER. SEE CBC VOLUME 2, SECTION 2406.4 FOR HAZARDOUS LOCATIONS.
6. GLAZING, AT LEAST ONE WINDOW IN EACH BEDROOM SHALL MEET EMERGENCY ESCAPE REQUIREMENTS, NET CLEAR OPENING OF 57 SQ. FT., MIN. CLEAR OPENING HEIGHT OF 24", MIN. CLEAR OPENING WIDTH OF 20", MAX. SILL HEIGHT OF 44".
7. SHOP DRAWINGS, DOOR & WINDOW MANUFACTURER SHALL PROVIDE SHOP DRAWINGS AND SCHEDULE FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
8. SWING, SEE EXTERIOR ELEVATION FOR WINDOW SASH SWING, SEE FLOOR PLAN FOR DOOR SWING.

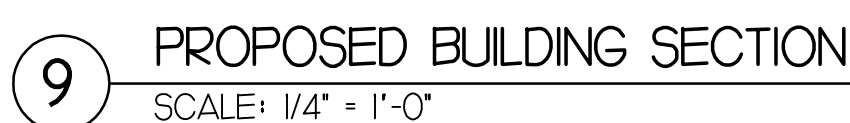
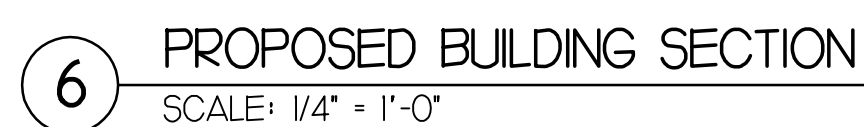
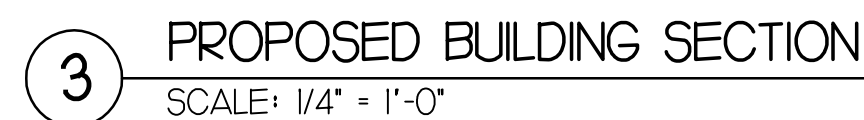
9. BRAND, ALL NEW WINDOWS AND EXTERIOR SLIDING DOORS TO BE "ANDERSON EAGLE E-SERIES", TO BE VERIFIED WITH OWNER.

10. TYPE, ALL NEW WINDOWS AND EXTERIOR DOORS TO BE FOR NEW CONSTRUCTION 5 YEAR MFR SPECIFICATIONS. SEE DOOR AND WINDOW LEGENDS FOR TYPES.

11. GLAZING, ALL NEW WINDOW AND EXTERIOR DOOR GLAZING TO BE LOW-E INSULATED GLAZING, AND SHALL HAVE A MAX UFACTOR OF 0.30, PER UFACTOR.

12. SCREENS, ALL NEW WINDOWS TO HAVE SCREENS FROM WINDOW MANUF., VERY SCREEN MATERIAL AND FINISH WITH OWNER.

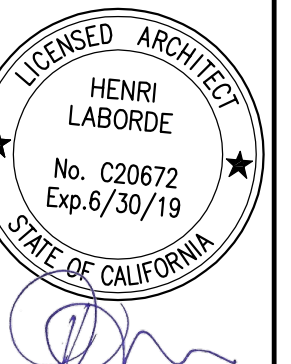
13. INTERIOR SWING DOOR HARDWARE, HINGES 1/2" PAIN 3-1/2"X3-1/2", FULL NOSE FIVE LOCK BOLTS, 1-1/2" X 1-1/2" X 1-1/2" WEIGHT, BRUSHED SS FINISH, UNLESS OWNER AUTHORIZES SUBSTITUTION.



NOTE: THE CAL GREEN
MANDATORY REQUIREMENTS
ARE LOCATED ON SHEET GB.

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LA SELVA BEACH, CA 95076

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t. Title:

SECTIONS
SCHEDULES

ale:

awn:

b: SFD

heet:

A3.2



FRONT LEFT
ELEVATION



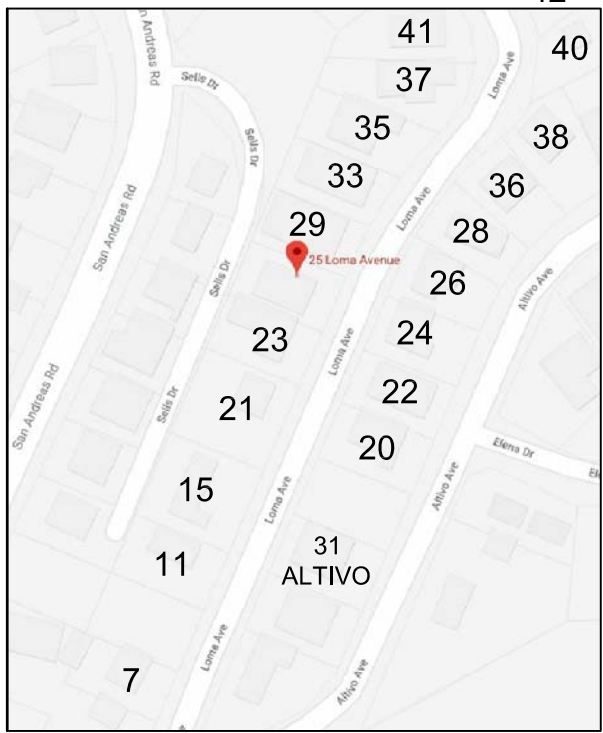
FRONT
ELEVATION



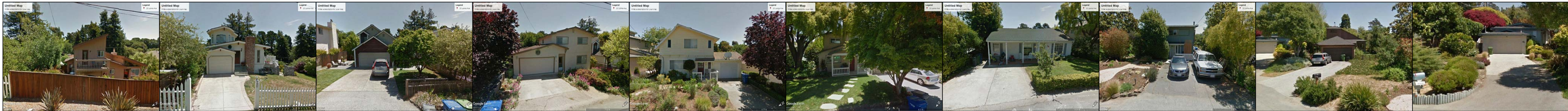
FRONT RIGHT
ELEVATION



LOMA AVE



ADDRESS MAP



31 ALTIVO