

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATION NUMBER: 191052

APN: 109-171-29

Proposal to construct a new 2250 square foot non-habitable accessory structure with a toilet. Requires a Residential Development Permit for a structure exceeding 1000 square feet.

Property located approximately .5 miles north of the intersection of Casserly Road and Smith Road (142 Smith Rd)

OWNER: John & Rita Wolfe

APPLICANT: Joshua Stewman

SUPERVISORIAL DISTRICT: 4

PLANNER: Jonathan DiSalvo, (831) 454-3157

EMAIL: Jonathan.DiSalvo@santacruzcounty.us

Public comments must be received by 5:00 p.m. March 13, 2020.

A decision will be made on or shortly after March 16, 2020.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. Planner will provide notification of decision to any requesting party.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

NOTICE OF PROPOSED DEVELOPMENT

Application #: 191052

Proposal to construct a 2,250 square foot non-habitable
accessory structure with a toilet. Requires a Residential
Development Permit

Property located approximately .5 miles north of the
intersection of Casserly Road and Smith Road (142 Smith Rd)
APN 109-171-29

FOR FURTHER INFORMATION CONTACT:

APPLICANT:

JOSHUA STEWMAN

P.O. BOX 7012

SALINAS, CA 93950

(831) 424-1647

JOSHUA@HOMELIFEDESIGNSTUDIO.COM

PROJECT PLANNER:

JONATHAN DISALVO

701 OCEAN STREET, 4TH FLOOR

SANTA CRUZ, CA 95060

(831) 494-3157

JONATHAN.DISALVO@SANTACRUZCOUNTY.US



**COUNTY OF SANTA CRUZ
NOTICE OF PROPOSED
DEVELOPMENT SIGN
INSTALLATION CERTIFICATE**

Application Number: 191052 Date of Sign Installation: FEB 8, 2020
Assessor's Parcel number (APN): 109-171-29
Site Address: 142 SMITH RD WATSONVILLE 95076

Attach here a legible photo of sign installed on site. Photo shall indicate location.

I hereby testify that the sign installed fully complies with the specifications and standards of County Code Section 18.10.224, that the sign will be maintained for the required time, and that it will be removed when required by Section 18.10.22.

Applicant's Name (please print): JOHN WOLFE

Applicant's Signature: [Signature]

Date: FEB 10, 2020

When the sign has been placed, complete this certificate and mail to your project planner, _____, at County of Santa Cruz, Planning Department, 701 Ocean Street, 4th Floor, Santa Cruz CA 95060.

Failure to post the site as required is grounds for denial of your application.

WOLFE STORAGE BUILDING

GENERAL NOTES

1. CONTRACTOR LICENSE: THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
2. SCOPE: THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
3. QUALITY CONTROL: IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE A HIGH STANDARD OF WORK. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE ARCHITECT SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.
4. WARRANTY: THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
5. PERMITS: UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
6. LEGAL/NOTICES/CODE COMPLIANCE: THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING IN THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. THE CONTRACTOR SHALL OPERATE TO BEST MANAGEMENT PRACTICES.
7. RESPONSIBILITY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
8. SAFETY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING & PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.
9. INSURANCE: LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRED CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
10. CLEAN UP: THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
11. CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
12. ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
13. BUILDING CODES: ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE (C.B.C.) 2017 CALIFORNIA MECHANICAL, PLUMBING, ELECTRICAL, AND 2017 CALIFORNIA ENERGY CODE AND ANY AMENDMENTS OF PRECEDING CITY OR COUNTY.
14. NO LAND CLEARING OR GRADING SHALL OCCUR ON THE PROPERTY BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
15. ALL CUT AND/OR FILL OF SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEEDED WITH NATIVE GRASSES OR OTHERWISE TREATED TO CONTROL EROSION.
16. SHOP DRAWINGS: PRIOR TO FABRICATION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER FOR APPROVAL. SHOP DRAWINGS FOR ALL STRUCTURAL STEEL, REINFORCING STEEL, GLUE LAMINATED BEAMS AND PREFABRICATED TRUSSES. SHOP DRAWINGS ARE NOT CHANGE ORDERS, BUT RATHER SERVE TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE REQUIREMENTS & DESIGN CONCEPTS OF THE PLAN, DETAILS & SPECIFICATIONS.
17. CHANGE ORDERS: NO VERBAL CHANGE ORDERS SHALL BECOME LEGAL AND/OR BINDING.
18. CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
19. ALL MANUFACTURERS' INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.
20. MAILING TO BE IN COMPLIANCE WITH CBC TABLE 23-9-B-1.

FRONT PERSPECTIVE



SITE MAP



WATSONVILLE, CA 95076

PROJECT TEAM

OWNERS:	JOHN WOLFE 142 SMITH RD. WATSONVILLE, CA 95076
DESIGNER:	HOMELIFE DESIGN STUDIO - JOSHUA STEWMAN PO BOX 7012 SPRECKELS, CA 93962 (831) 920-8814 - joshua@homelifedesignstudio.com
CONTRACTOR:	SSB CONSTRUCTION STEPHEN W. GOLDMAN 1161 TERNEN AVE. SALINAS, CA 93901 (831) 424-1647
STRUCTURAL ENGINEER:	PACIFIC ENGINEERING GROUP 30 RYAN CT. MONTEREY, CA 93940 (831) 333-0644
CIVIL ENGINEER:	C3 ENGINEERING JENNIFER RUDOLPH 126 BONIFACIO PLACE - SUITE C MONTEREY, CA 93940 (831) 447-1192

DRAWING INDEX

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FIRE DEPT NOTES

1. THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2016 EDITION) AND PAJARO VALLEY FIRE PROTECTION DISTRICT AMMENDMENTS.
2. ALL BUILDING SHALL BE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM COMPLYING WITH THE CURRENTLY ADOPTED EDITION OF NFPA 13 D, AND ADOPTED STANDARDS OF THE PAJARO VALLEY FIRE PROTECTION DISTRICT.
3. THE DESIGNER/INSTALLER SHALL SUBMIT (3) SETS OF PLANS AND CALCULATIONS FOR THE UNDERGROUND AND OVERHEAD RESIDENTIAL AUTOMATIC FIRE SPRINKLER SYSTEM TO THIS AGENCY FOR APPROVAL.
4. AN UNDERGROUND FIRE PROTECTION SYSTEM WORKING DRAWING MUST BE PREPARED BY THE DESIGNER/INSTALLER. THE PLANS SHALL COMPLY WITH THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLATION POLICY HANDOUT. UNDERGROUND PLAN SUBMITTAL AND PERMIT, WILL BE ISSUED TO A CLASS B, CLASS C-16, CLASS C-36 OR OWNER BUILDER. NO EXCEPTIONS.
5. A 100-FOOT CLEARANCE SHALL BE MAINTAINED AROUND AND ADJACENT TO THE BUILDING OR STRUCTURE TO PROVIDE ADDITIONAL FIRE PROTECTION OR FIRE BREAK BY REMOVING ALL BRUSH, FLAMMABLE VEGETATION, OR COMBUSTIBLE GROWTH.
EXCEPTION: SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVERS, PROVIDED THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM NATIVE GROWTH TO ANY STRUCTURE.
6. ADDITIONAL NOTES - SEE A-0.3

PROJECT DATA

PROPERTY: ADDRESS	142 SMITH RD. WATSONVILLE, CA 95076
ASSESSOR'S PARCEL #:	109-171-029
ZONING:	A
GENERAL DESIGNATION:	R-M
TYPE OF CONSTRUCTION:	V-B
FIRE SPRINKLED:	YES, TO BE INSTALLED COMPLYING WITH CURRENTLY ADOPTED EDITION OF NFPA 13 D, AND ADOPTED STANDARDS OF THE PAJARO VALLEY FIRE PROTECTION DISTRICT.
LOT SIZE:	15.016 ACRES = 654,108 SQFT
BUILDING SQFT:	(E) HOUSE = 2,876 SQFT (P) STORAGE BUILDING = 1,853 SQFT
LOT COVERAGE (SQFT):	10,564 / 654,108 = 1.6 %
BUILDING COVERAGE:	EXISTING COVERAGE: (E) HOUSE = 2,876 SQFT (E) POOL & PATIO = 4,934 SQFT (E) DRIVEWAY = 504 SQFT PROPOSED COVERAGE: (E) HOUSE = 2,876 SQFT (E) POOL & PATIO = 4,934 SQFT (E) DRIVEWAY = 504 SQFT (P) STORAGE BLDG. = 1,853 SQFT (P) LANDINGS = 53 SQFT (E) TOTAL = 8,314 SQFT (P) TOTAL = 10,220 SQFT 1,906 SQFT OF NEW IMPERVIOUS
GRADING ESTIMATE:	0 CY / FILL: 0 CY

PROJECT DESCRIPTION

THIS PROJECT WILL INCLUDE THE INSTALLATION OF A NEW 1,853 SQFT PREMANUFACTURED STORAGE BUILDING.

CODE COMPLIANCE

CODE EDITIONS:
2016 CALIFORNIA RESIDENTIAL CODE (CRC) AND 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, AND
2016 CALIFORNIA MECHANICAL, PLUMBING, ELECTRICAL, CFC, & 2016 CALIFORNIA ENERGY CODE.

HOMELIFE DESIGN STUDIO



HOMELIFE
DESIGN STUDIO
RESIDENTIAL DESIGN • FEE-BY-AP
PROJECT MANAGEMENT •
www.homelifedesignstudio.com
(831) 330-8814

PROJECT:

JOHN WOLFE
STORAGE BUILDING

142 SMITH RD.
WATSONVILLE, CA 95076

APN: 109-171-29

PROJECT NO:

OWNER:

JOHN WOLFE
142 SMITH RD.
WATSONVILLE, CA 95076

SHEET TITLE:

PROJECT TITLE PAGE

SCALE:

DRAWN BY: TOM STEWMAN

PRINT DATE: JANUARY 9, 2020

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

DATE ISSUED FOR CONSTRUCTION: -

REVISIONS:

1. PLANNING RESPONSES 5/22/2019

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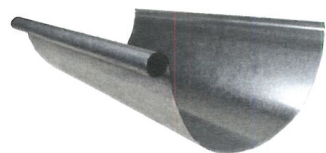
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A-0.1

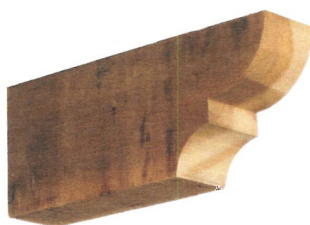
SHEET 1 OF 1 SHEETS

1645 EGAN AVE. • PACIFIC GROVE, CALIFORNIA 93950

TEL 831-330-8814 • joshua@homelifedesignstudio.com



ALUMINUM GUTTERS & DOWNSPOUTS



CEDAR RAFTER TAILS



METAL ROOFING



WINDOWS



EXTERIOR SIDING

PROJECT:

**JOHN WOLFE
STORAGE BUILDING**

142 SMITH ROAD
WATSONVILLE, CA 95076

APN: 109-171-29

PROJECT NO:

OWNER:

JOHN WOLFE
142 SMITH ROAD
WATSONVILLE, CA 95076

SHEET TITLE:
**COLOR MATERIAL
SAMPLES**

SCALE:

DRAWN BY: TB

PRINT DATE: OCTOBER 31, 2019

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

DATE ISSUED FOR CONSTRUCTION: -

REVISIONS:



FILE:

VIEW:

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SHEET NUMBER:

A-0.2

SHEET _____ OF _____ SHEETS

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TEL. 831-820-8814 • jthom@homelifedesignstudio.com

FIRE DEPARTMENT NOTES:

ADDITIONAL NOTES & FIRE DEPARTMENT NOTES

FIRE DEPARTMENT NOTES:

- 1. ALL BUILDINGS SHALL HAVE A PERMANENTLY POSTED ADDRESS WHICH SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND VISIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER AND THE ADDRESS SHALL BE VISIBLE AND LEGIBLE FROM THE ROAD ON WHICH THE ADDRESS IS LOCATED.
- 2. SIZE OF LETTERS, NUMBERS, AND SYMBOLS FOR ADDRESS SHALL BE A MINIMUM OF 3" LETTER HEIGHT, 1/2" STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN.
- 3. UNOBSTRUCTED VERTICAL CLEARANCE SHALL NOT BE LESS THAN 15' FOR ALL ACCESS ROADS. ACCESS DRIVEWAYS SHALL BE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING 22 TONS, NOT LESS THAN 12' OF UNOBSTRUCTED WIDTH, AND A MAX. 15% GRADE.
- 4. ALL FLAMMABLE VEGETATION OR OTHER COMBUSTIBLE GROWTH SHALL, AT ALL TIMES MAINTAIN CLEAR DISTANCE OF NOT LESS THAN 30' ON EACH SIDE FROM STRUCTURE OR BUILDINGS. THIS SHALL NOT APPLY TO SINGLE SPECIMENS OF TREES, SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVERS, PROVIDED THAT THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM THE NATIVE GROWTH TO ANY STRUCTURE.

FIRE 007 - DRIVEWAYS:

DRIVEWAYS SHALL NOT BE LESS THAN 12' WIDE UNOBSTRUCTED, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15'. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED 15%. WHERE THE GRADE EXCEEDS 8%, A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.17 OF ASPHALTIC CONCRETE ON 0.34 OF AGGREGATE BASE SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS (22 TONS), AND BE ACCESSIBLE BY CONVENTIONAL DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS 90 DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 25'. FOR DRIVEWAYS WITH TURNS GREATER THAN 90 DEGREES, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 28'. FOR ALL DRIVEWAY TURNS, AN ADDITIONAL SURFACE OF 4" SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING 150' IN LENGTH, BUT LESS THAN 800' IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY, WHERE THE DRIVEWAY EXCEEDS 800', TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400' INTERVALS. TURNOUTS SHALL BE A MINIMUM OF 12' WIDE AND 30' LONG WITH A MINIMUM OF 25' TAPER AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150' OF SURFACE LENGTH AND SHALL HAVE A MINIMUM 25' TAPER AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150' OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN 50' OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE 40' FROM THE CENTER LINE OF THE DRIVEWAY. IF A HAMMERHEAD "T" IS USED, THE TOP OF THE "T" SHALL BE A MINIMUM OF 60' IN LENGTH.

FIRE 008 - GATES:

ALL GATES PROVIDING ACCESS FROM THE ROAD TO A DRIVEWAY SHALL BE LOCATED AT LEAST 30' FROM THE ROADWAY AND SHALL BE OPEN TO ALLOW A VEHICLE TO STOP WITHOUT OBSTRUCTING TRAFFIC ON THE ROAD. GATE ENTRANCES SHALL BE AT LEAST THE WIDTH OF THE TRAFFIC LANE, BUT IN NO CASE LESS THAN 12' WIDE. WHERE A ONE-WAY ROAD WITH A SINGLE TRAFFIC LANE PROVIDES ACCESS TO A GATED ENTRANCE, A 40' TURNING RADIUS SHALL BE USED. WHERE GATES ARE TO BE LOCKED, THE INSTALLATION OF A KEY BOX OR OTHER ACCEPTABLE MEANS FOR IMMEDIATE ACCESS BY EMERGENCY EQUIPMENT MAY BE REQUIRED.

FIRE 008 - GATES:

ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH SANTA CRUZ COUNTY ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF 4" HEIGHT, 1/2" STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE REFLECTIVE AND MADE OF NONCOMBUSTIBLE MATERIAL. ADDRESS SIGNS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THE SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.

FIRE 021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD):

THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S). INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR AND COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION.

ACCESS ROAD / DRIVING REQUIREMENTS

THE ACCESS ROAD SHALL BE AN "ALL WEATHER" SURFACE. "ALL WEATHER" SURFACE IS DEFINED AS A MINIMUM OF 6" OF COMPACTED AGGREGATE BASE ROCK, CLASS II OR EQUIVALENT, AND CERTIFIED IN WRITING BY A LICENSED ENGINEER TO 95% COMPACTION FOR GRADES UP TO AND INCLUDING 5% FOR GRADES IN EXCESS OF 5% BUT NOT EXCEEDING 15%, OIL AND SCREEDS SHALL BE APPLIED TO A MINIMUM OF 6" OF COMPACTED AGGREGATE BASE ROCK, CLASS II OR EQUIVALENT, AND CERTIFIED IN WRITING BY A LICENSED ENGINEER TO 95% COMPACTION. FOR GRADES EXCEEDING 15%, 2" OF ASPHALTIC CONCRETE SHALL BE APPLIED OVER A MINIMUM OF 6" OF COMPACTED AGGREGATE BASE ROCK, CLASS II OR EQUIVALENT, AND CERTIFIED IN WRITING BY A LICENSED ENGINEER TO 95% COMPACTION.

THE MAXIMUM GRADE OF THE ACCESS ROAD SHALL NOT EXCEED 20%, WITH GRADES GREATER THAN 15% NOT PERMITTED FOR DISTANCES OF MORE THAN 200 FEET AT A TIME.

THE ACCESS ROAD SHALL HAVE A VERTICAL CLEARANCE OF 13'-6" FOR ITS ENTIRE WIDTH AND LENGTH, INCLUDING TURNOUTS.

AN APPROVED TURN-A-ROUND SHALL BE PROVIDED FOR ACCESS ROADS AND DRIVEWAYS IN EXCESS OF 150 FEET IN LENGTH.

DRAINAGE DETAILS FOR THE ROAD OR DRIVEWAY SHALL CONFORM TO CURRENT ENGINEERING STANDARDS, INCLUDING EROSION CONTROL MEASURES.

ALL PRIVATE ACCESS ROADS, DRIVEWAYS, TURN-A-ROUNDS, AND BRIDGES ARE THE RESPONSIBILITY OF THE OWNER(S) OF RECORD AND SHALL BE MAINTAINED TO ENSURE THE FIRE DEPARTMENT SAFE AND EXPEDIENT PASSAGE AT ALL TIMES.

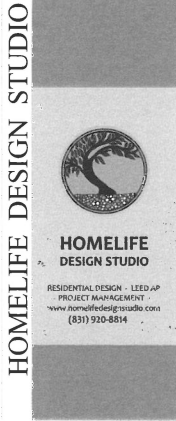
THE DRIVEWAY SHALL BE THEREAFTER MAINTAINED TO THESE STANDARDS AT ALL TIMES.

CULTURAL RESOURCES - ARCHAEOLOGICAL

STOP WORK WITHIN 50 METERS (165 FT.) OF UNCOVERED RESOURCES AND CONTACT THE SANTA CRUZ COUNTY PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.

GEOTECHNICAL NOTE

GRADING SHALL CONFORM TO ALL RECOMMENDATIONS PREPARED IN THE GEOTECHNICAL INVESTIGATION PREPARED FOR THIS SITE. PRIOR TO THE CONTRACTOR REQUESTING A FOUNDATION INSPECTION, THE SOILS ENGINEER SHALL ADVISE THE BUILDING OFFICIAL THAT: 1) THE BUILDING FOOTING EXCAVATIONS AND BUILDING PAD WERE PREPARED IN ACCORDANCE WITH THE SOIL REPORT RECOMMENDATIONS. 2) THE FOUNDATION FORMING AND GRADING COMPLY WITH THE SOIL REPORT AND APPROVED PLANS. 3) DRAINAGE SYSTEM IS IN ACCORDANCE WITH THE SOIL REPORT.



PROJECT:

JOHN WOLFE STORAGE BARN

142 SMITH RD.
WATSONVILLE, CA 95076

APH: 109-171-29

PROJECT NO:

OWNER:

JOHN WOLFE
142 SMITH RD.
WATSONVILLE, CA 95076

SHEET TITLE:
FIRE NOTES

SCALE:

DRAWN BY: TOM STEWMAN

PRINT DATE: JUNE 4, 2019

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

DATE ISSUED FOR CONSTRUCTION: -

REVISIONS:



FILE: VIEW:

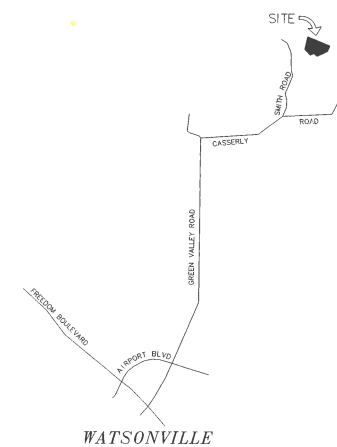
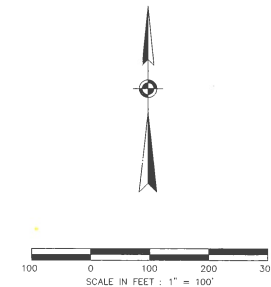
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SHEET NUMBER:

A-0.3

SHEET 3 OF 10 SHEETS

1425 SOAN AVE. • PACIFIC GROVE, CALIFORNIA 93950
TEL 831-550-1814 • jordan@homedesignstudio.com



VICINITY MAP
SCALE: 1" = 3000'



MID COAST ENGINEERS
CIVIL ENGINEERS AND LAND SURVEYORS
70 PENNY LANE, SUITE A WATSONVILLE, CA 95076 - (831) 724-2560



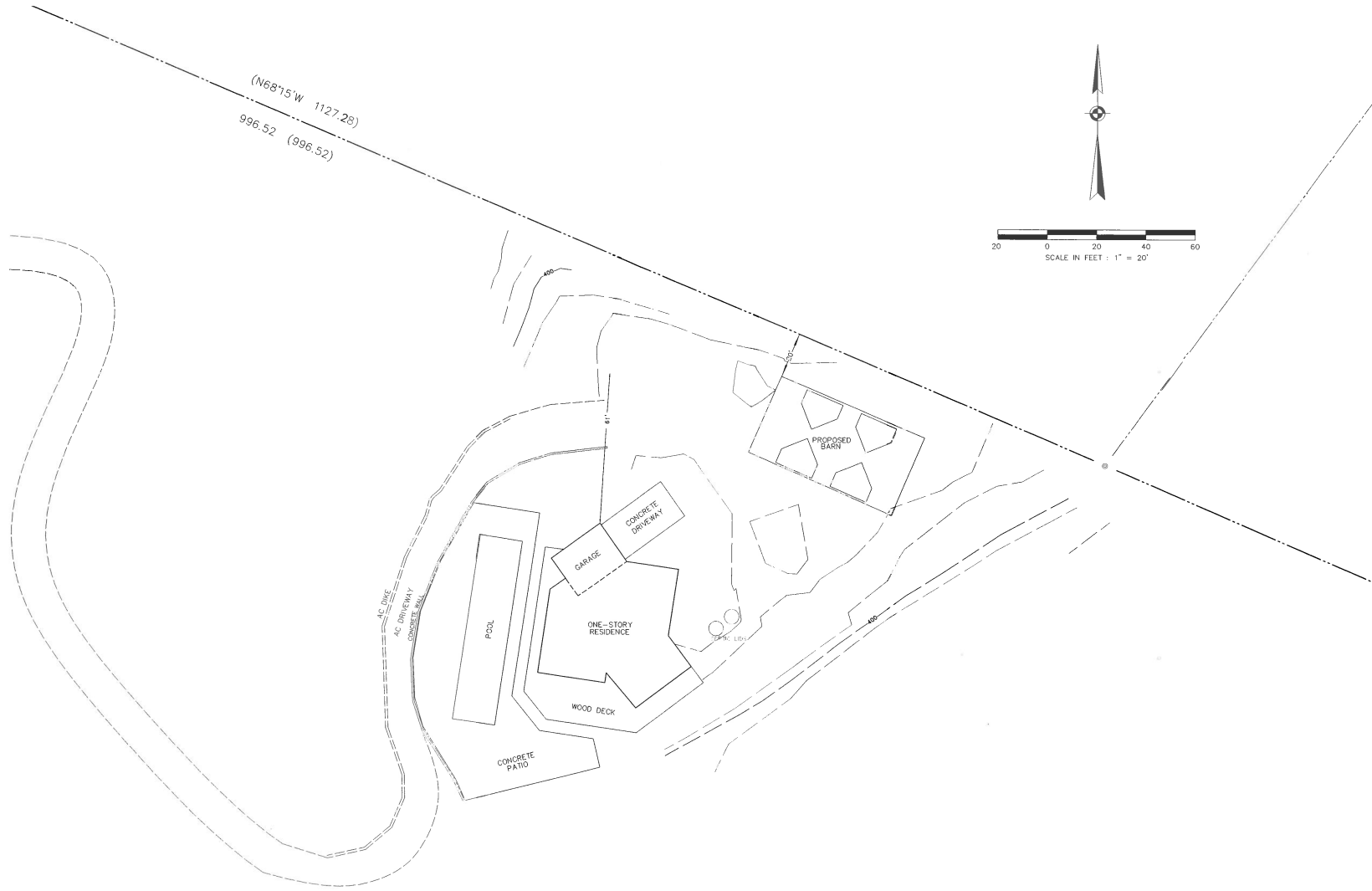
**SITE PLAN FOR
JOHN WOLFE**
APN 109-171-29
142 SMITH ROAD
WATSONVILLE, CALIFORNIA

SCALE: 1" = 100'
DESIGNED BY: LVJ/JSN
DRAWN BY: KEPT100
DATE: MAR. 2, 2018
REVISED: DEC 10, 2019
JOB NO.: 18015

SHEET

1

OF 2 SHEETS



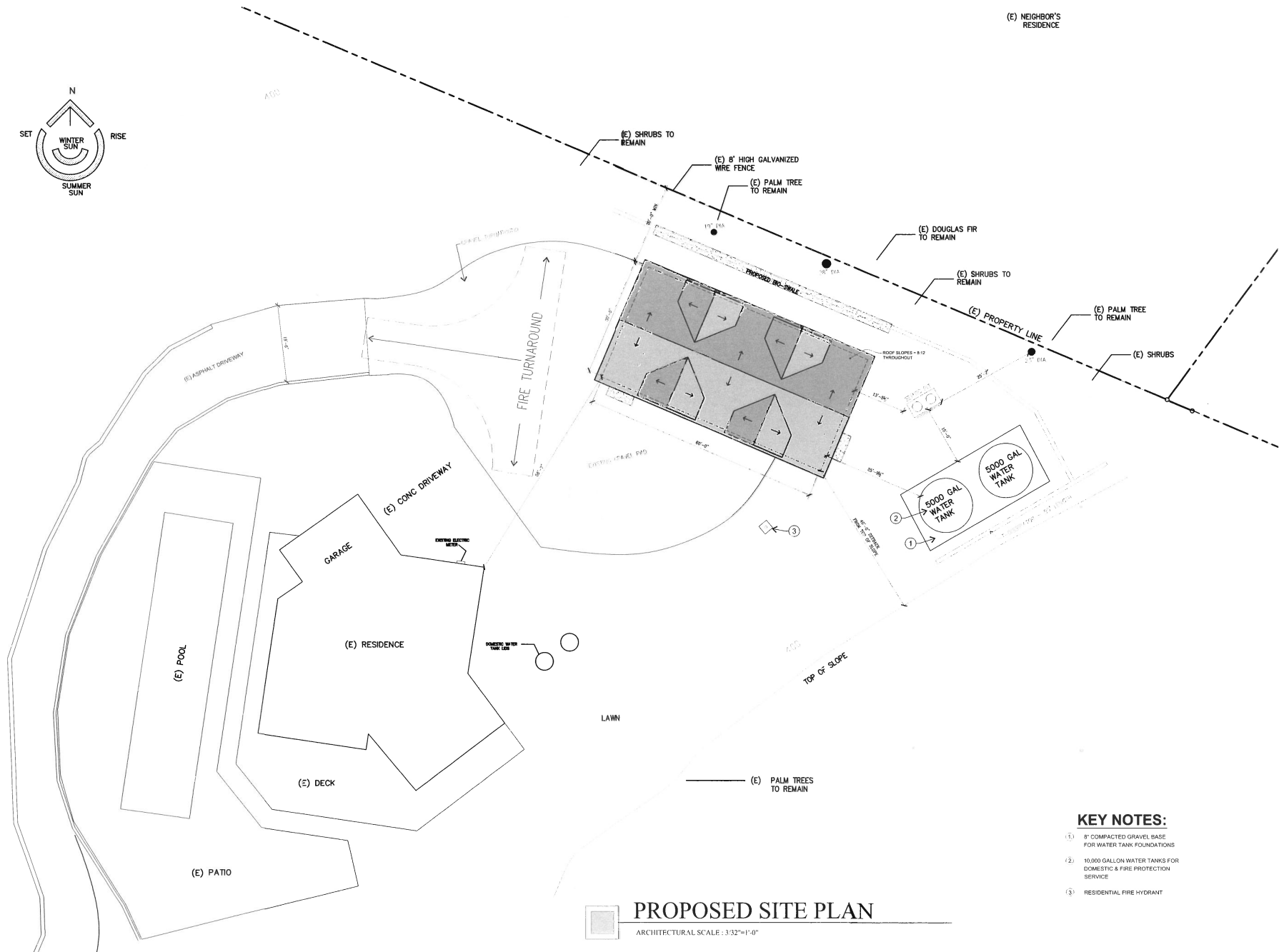
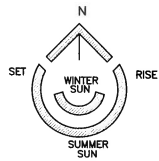
MID COAST ENGINEERS
 CIVIL ENGINEERS AND LAND SURVEYORS
 70 PENNY LANE, SUITE A WATSONVILLE, CA 95076 - (831) 724-2560



SITE PLAN FOR
JOHN WOLFE
 APN 109-171-29
 142 SMITH ROAD
 WATSONVILLE, CALIFORNIA

SCALE:	1" = 20'
DESIGNED BY:	LV/JGN
DRAWN BY:	KPT/JGN
DATE:	MAR. 2, 2018
REVISION:	DEC 10, 2019
JOB NO.:	18015

SHEET
2



PROPOSED SITE PLAN

ARCHITECTURAL SCALE : 3/32"=1'-0"

KEY NOTES:

- (1) 8" COMPACTED GRAVEL BASE FOR WATER TANK FOUNDATIONS
- (2) 10,000 GALLON WATER TANKS FOR DOMESTIC & FIRE PROTECTION SERVICE
- (3) RESIDENTIAL FIRE HYDRANT

HOMELIFE DESIGN STUDIO



HOMELIFE
DESIGN STUDIO

RESIDENTIAL DESIGN LIVED-AP
PROJECT MANAGEMENT
www.homelifedesignstudio.com
(831) 930-8814

PROJECT:

JOHN WOLFE
STORAGE BUILDING

142 SMITH ROAD
WATSONVILLE, CA 95076

APN: 109-171-29

PROJECT NO:

OWNER:

JOHN WOLFE
142 SMITH ROAD
WATSONVILLE, CA 95076

SHEET TITLE:

PROPOSED SITE PLAN

SCALE: 3/32"=1'-0"

DRAWN BY: TOM STEWMAN

PRINT DATE: JANUARY 9, 2020

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

DATE ISSUED FOR CONSTRUCTION: -

REVISIONS:



FILE:

VIEW:

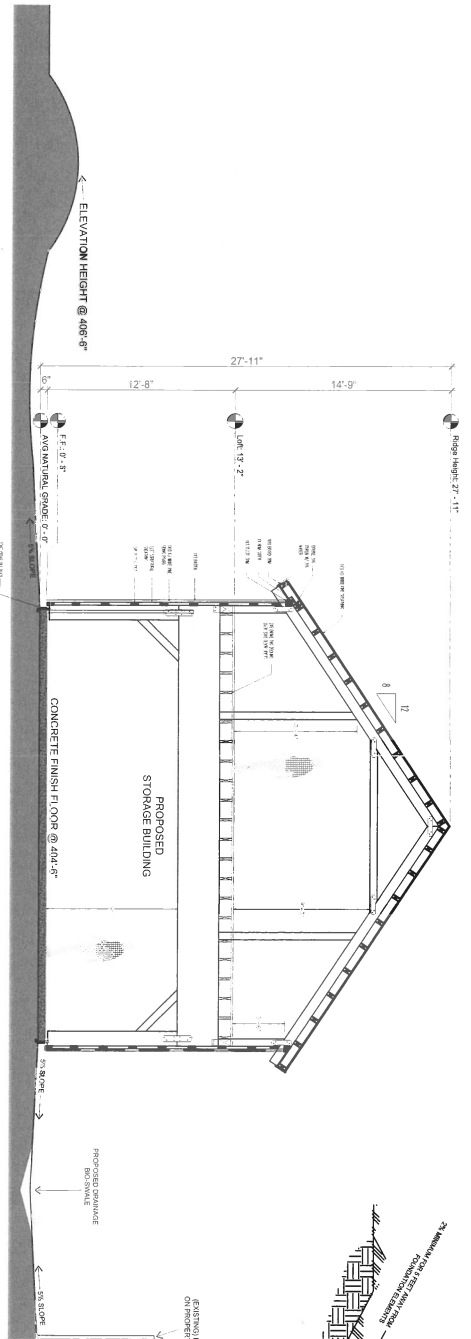
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SHEET NUMBER:

A-1.1

SHEET ____ OF ____ SHEETS

1042 EGAN AVE. • PACIFIC GROVE, CALIFORNIA 93950
TEL 805-555-8814 • www.homelifedesignstudio.com

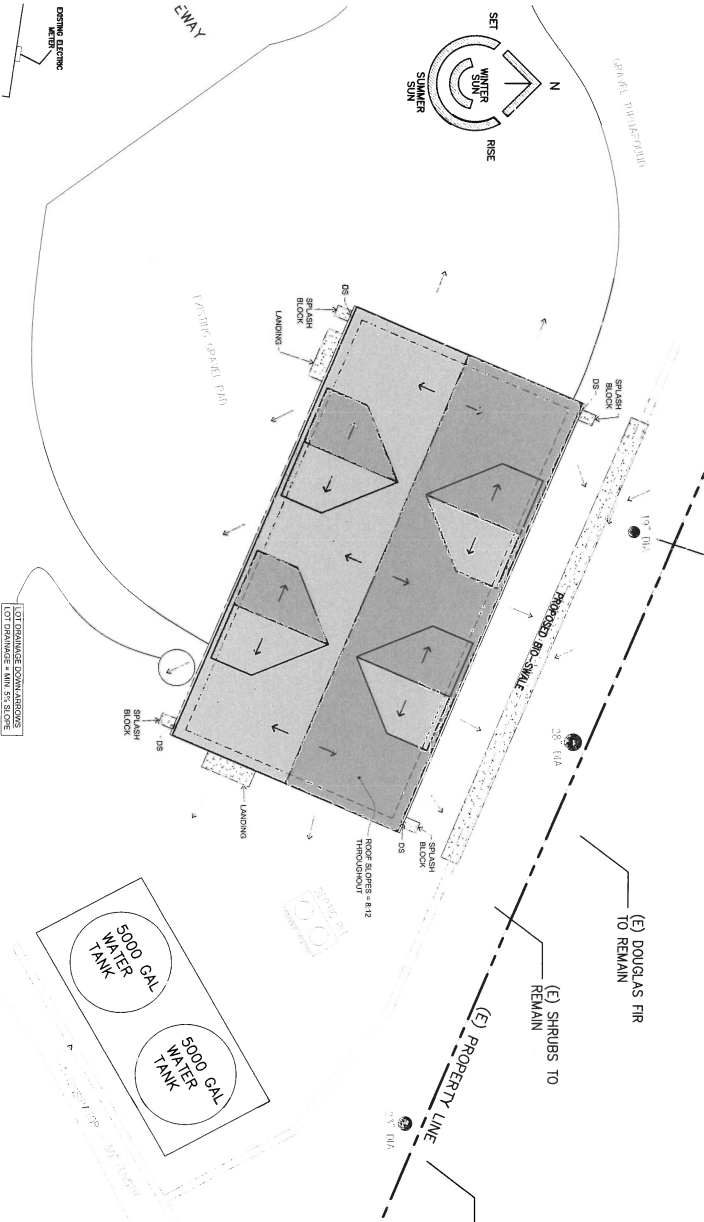
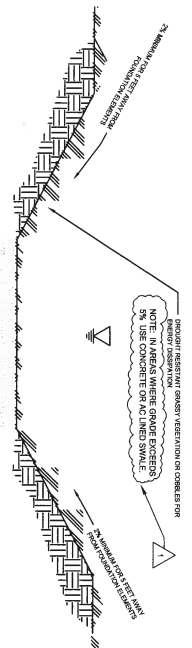


PROPOSED SECTION VIEW A-A

ARCHITECTURAL SCALE: 1/4"=1'-0"

TYPICAL SWALE

ARCHITECTURAL SCALE: 1/4"=1'-0"

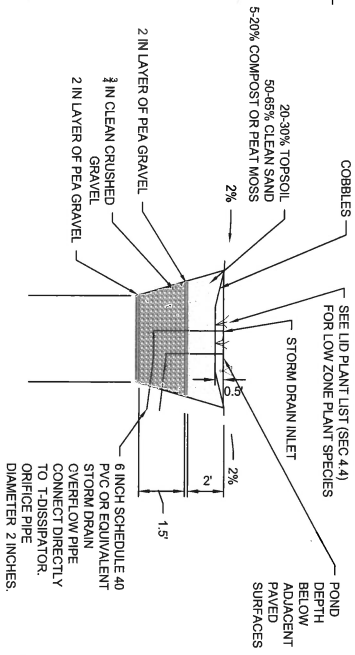


PROPOSED ROOF/DRAINAGE PLAN

ARCHITECTURAL SCALE: 1/8"=1'-0"

TYPICAL BIOSWALE/BIODETENTION BASIN

ARCHITECTURAL SCALE: 1/4"=1'-0"



NOTE: MAINTENANCE SCHEDULE -- OWNER AGREES TO INSPECT AND MAINTAIN THE PROPOSED STORMWATER DRAINAGE FEATURES ON A MONTHLY BASIS AND MAKE NEEDED ADJUSTMENTS AND REPAIRS AS REQUIRED TO MAINTAIN THE SYSTEM.

HOMELIFE DESIGN STUDIO



PROJECT:

JOHN WOLFE
STORAGE BUILDING

142 SMITH ROAD
WATSONVILLE, CA 95076

APR 106-171-29

OWNER:

JOHN WOLFE
142 SMITH ROAD
WATSONVILLE, CA 95076

SHEET TITLE:
PROPOSED SECTION VIEW
& PROPOSED
ROOF/DRAINAGE PLAN

SCALE: NOTED

DATE: 10/10/2003
DRAWN BY: TOM STEWART
PRINT DATE: JANUARY 9, 2003
PLANNING PERMIT SUBMITTAL DATE:
BUILDING PERMIT SUBMITTAL DATE:
DATE ISSUED FOR CONSTRUCTION:

REVISIONS:
1. 10/10/2003
2. 10/10/2003
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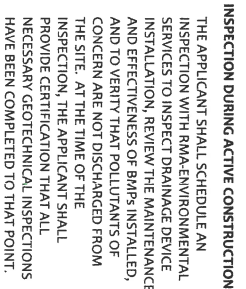
FILE: VIEW:

SHEET NUMBER:

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SHEET OF SHEETS

10/10/2003



INSPECTION DURING ACTIVE CONSTRUCTION
THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.

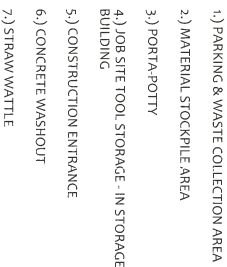
- 1.) PARKING & WASTE COLLECTION AREA
- 2.) MATERIAL STOCKPILE AREA
- 3.) PORTA-POTTY
- 4.) JOB SITE TOOL STORAGE - IN STORAGE BUILDING
- 5.) CONSTRUCTION ENTRANCE
- 6.) CONCRETE WASHOUT
- 7.) STRAW BATTLE

INSPECTION - FOLLOWING ALTERNATE CONSTRUCTION
PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED & THAT ALL TEMPORARY EROSION & SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

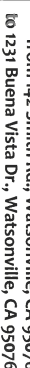
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VICINITY MAP



TRUCK
HAULING
ROUTE:

- 142 Smith Rd
- 1 Head southwest toward Smith Rd
- 2 Turn left onto Smith Rd
- 3 Turn right onto Cassady Rd
- 4 Turn left onto Green Valley Rd
- 5 Turn right onto Airport Blvd
- 6 Turn right onto Knapton Rd
- 7 Turn left onto Breaux v'ia Dr

1. ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY - FRIDAY, 8 AM TO 5PM.
2. WATER AT ACTIVE CONSTRUCTION AREAS AT LEAST TWICE PER DAY, FREQUENCY SHOULD BE BASED UPON THE TYPE OF OPERATION, SOIL, AND WIND EXPOSURE
3. ALL GRADING ACTIVITIES SHALL BE HALTED DURING PERIODS OF HIGH WINDS (15 MPH).
4. HAUL TRUCKS SHALL MAINTAIN 2 - FEET FREEBOARD AND BE COVERED.
5. COVER INACTIVE STORAGE PILES.
6. THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES, AND THAT COPIES ARE AVAILABLE FOR AGENCY REVIEW UPON REQUEST, ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE BRIEFED ON THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC REVIEW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. EQUIPMENT WASHING, RETEPELLING AND SERVICING SHALL TAKE PLACE USING THE SINGLE APPROVED BEST MANAGEMENT PRACTICES SHALL BE USED TO PREVENT FUEL OILS, HYDRAULIC FLUIDS, PETROLEUM PRODUCTS OR OTHER CHEMICALS FROM PLACING DUSTS AND OTHER ACTIVITIES. SEE THE EROSION CONTROL PLAN FOR FURTHER SPECIFIC ACTIVITIES.
8. THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROL AND PROCEDURES, (E.G. CLEANUP ALL LEAKS, DIPS, AND OTHER SPILLS IMMEDIATELY, KEEP MATERIALS COVERED AND OUT OF THE RAIN, INCLUDING COVERING EXPOSED PILES OF SOILS AND WASTES, DISPOSE OF ALL WASTES PROPERLY PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE, AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER).
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CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION, SHOULD QUESTIONS ARISE DURING CONSTRUCTION. IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES, THEIR CONTACT INFORMATION (INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBERS) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY AVAILABLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ALL QUESTIONS REGARDING THE PROJECT. IN THE EVENT OF THE USE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES, THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF ALL COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24 HRS OF RECEIPT OF THE COMPLAINT OR INQUIRY.

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MONDAY THRU FRIDAY 8AM - 5PM
8 WORKERS
4 REGULAR PICKUP TRUCKS
80% RECYCLE RATE FOR LUMBER

MONDAY THRU FRIDAY 8AM - 5PM
8 WORKERS
4 REGULAR PICKUP TRUCKS
80% RECYCLE RATE FOR LUMBER

TRASH AND UNRECYCLED DEBRIS ARE COLLECTED ON SITE IN A PORTABLE TRAILER AND REMOVED BY TOWING BEHIND A REGULAR PICKUP TRUCK ONCE A MONTH TO THE MARINA LANDFILL.

AREA 1: VEHICULAR PARKING ON EXISTING ASPHALT DRIVEWAY
AREA 2: MATERIAL STOCKPILE
AREA 3: PORTA POTTY
AREA 4: JOB SHACK

THE ONLY GRADING TO BE DONE IS TO CUT THE FOOTINGS. THERE IS NO IMPORT OR EXPORT OF DIRT.

GENERAL NOTES AND RECOMMENDATIONS

1. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB SITE CONDITIONS BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO SAND CREEK POST & BEAM.
2. THESE DRAWINGS PROVIDE SUGGESTED DESIGNS AND MATERIALS ONLY AND ARE NOT PROVIDED BY AN ARCHITECT OR ENGINEER FROM AN ADDITIONAL PROFESSIONAL SERVICES MAY BE REQUIRED TO tailor THIS PLAN TO YOUR SITUATION BECAUSE LOCAL CODES VARY WE SUGGEST YOU HAVE THESE PLANS TO YOUR LOCAL JURISDICTION TO HAVE THEM MEET SAFETY STATE OR LOCAL BUILDING CODES/REGULATIONS. THE PROJECT'S STRUCTURAL REQUIREMENTS, AND/OR ENGINEERING CONDITIONS SPECIFIC TO THE SITE, IN THE EVENT OF A CONFLICT BETWEEN SPECIFICATIONS CONTAINED WITHIN THIS SET OF PLANS AND APPLICABLE CODES OR REGULATIONS IN YOUR AREA, WE RECOMMEND THAT THE HIGHER STRINGENT PROVISION BE FOLLOWED DURING CONSTRUCTION. VARIATIONS REQUIRED BY LOCAL BUILDING OFFICIALS SHALL NOT BE DRAWING OR THE DESIGNER OR SAND CREEK POST & BEAM.
3. EVERY EFFORT HAS BEEN MADE TO ELIMINATE ERRORS DURING THE PREPARATION OF THESE DRAWINGS, BUT BECAUSE SAND CREEK POST & BEAM CANNOT GUARANTEE AGAINST THE POSSIBILITY OF HUMAN ERROR, IT BECOMES THE OBLIGATION OF THE USER TO VERIFY THE ACCURACY OF ALL DETAILS AND DIMENSIONS AND PERSONALLY BE RESPONSIBLE FOR THEM.
4. USE NOTED DIMENSIONS. DO NOT USE SCALED DIMENSIONS. IF DIMENSION IS NOTED CONSULT SAND CREEK POST & BEAM BEFORE PROCEEDING.
5. ALL MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS ARE DESIGNED/REVIEWED BY THE MECHANICAL/ELECTRICAL CONTRACTOR FOR THEIR USE.
6. ALL THREES ARE FULL DIMENSION POWER SHAFT INTERIOR WALL PLATE IS 2X6 EASTERN RED CEDAR. WE RECOMMEND SILL SEALER BE INSTALLED BETWEEN THE SILL PLATE.
7. WHERE FEASIBLE, INSTALL THE BOLTS IN THE PLATE JOINTS SO THAT THE NUTS CAN BE ACCESSSED FROM THE INTERIOR OF THE BARN. THE SCORING OR FRAMING MAY NEED TO BE NOTCHED SLIGHTLY FOR PLATE AND BOLT CLEARANCE.
8. VERIFY WINDOW AND DOOR POWER OPENINGS BEFORE FRAMING.
9. THE RECOMMENDED 1X3 BREAKER BOARD BE INSTALLED AT SINKING PLACES. WE RECOMMEND THAT THE CONTRACTOR INSTALL 2 FLASHING @ ALL BREAKER BOARD LOCATIONS IF 2 FLASHING IS INSTALLED IT IS TO BE PROVIDED BY GENERAL CONTRACTOR.
10. EXTERIOR FLASHING TO BE INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS AND PROJECTIONS OR PENETRATIONS AS REQUIRED BY 6020 CONSTRUCTION PRACTICES. FLASHING TO BE PROVIDED BY CUSTOMER OR GENERAL CONTRACTOR.
11. BE AWARE THAT EXCESSIVE LOADS PLACED IN THE LEFT HAND CAUSE STRUCTURAL DAMAGE.
12. ANY MATERIALS SHOWN ON THESE DRAWINGS WHICH ARE NOT WRITTEN IN YOUR CONTRACT OR INCLUDED IN THE SAND CREEK POST & BEAM MATERIALS LIST ARE TO BE PROVIDED BY THE BUYER.

FOUNDATION NOTES

LOCAL BUILDING CODE SPECIFICATIONS TAKE PRECEDENCE OVER THE STANDARD INFORMATION SHOWN IN THESE DRAWINGS. IT IS THE RESPONSIBILITY OF THE BUYER, OR ON SITE FOUNDATION CONTRACTOR TO VERIFY THE LOCAL BUILDING CODE REQUIREMENTS. SOIL CONDITION PROFILES, DEPTH, LOCAL CODES, HIDDEN CONDITIONS AND GRADE VARIATION TO BE BUILTERS FINAL DETERMINATION FACTOR IN SINKING OF FOOTINGS AND RELATED DETAILS. FOOTINGS AND DETAILS SHOWN ARE FOR ILLUSTRATION ONLY. TYPICAL AND BEAM FRAMED STRUCTURES TRANSMIT HEAVY CONCENTRATED LOADS THROUGH THE POSTS TO THE FOUNDATION. WE RECOMMEND FOUNDATION DESIGN TAKE THIS INTO CONSIDERATION.

REVISION HISTORY

REV#	DATE	DESCRIPTION
0	03/03/2014	INITIAL DRAWINGS
1	10/01/2014	BENT CHANGES
2	12/19/2014	LEFT HAND SIDE MOVED STABLES, SHORTER HEIGHT OF BUILDING
3	02/02/2014	--
4	02/02/2014	--
5	02/02/2014	--
6	02/02/2014	--
7	02/02/2014	--
8	02/02/2014	--
9	02/02/2014	--

SAND CREEK Post & Beam

CUSTOMER: JOHN WOLFE
JOB CODE: JWC14-1

SHEET INDEX

- COVER SHEET
- EXTERIOR ELEVATIONS
- EXTERIOR ELEVATIONS
- BUILDING SECTION
- MAIN FLOOR PLAN
- LEFT FLOOR PLAN

PROJECT LOCATION

ADDRESS: 7555 SWEET HAY, APTOS, CA 95023

WOOD TYPE

STRUCTURAL FRAMING: PONDROSA PINE #2 OR BETTER

BUILDING ELEVATION SAFETY NOTES:
THE CONTRACTOR IS RESPONSIBLE FOR PREPARING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES IN ACCORDANCE WITH NATIONAL, STATE, AND LOCAL SAFETY REQUIREMENTS. THE ADEQUACY AND SAFETY OF ELEVATION BREAKING, SHORING, AND TEMPORARY SUPPORTS IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

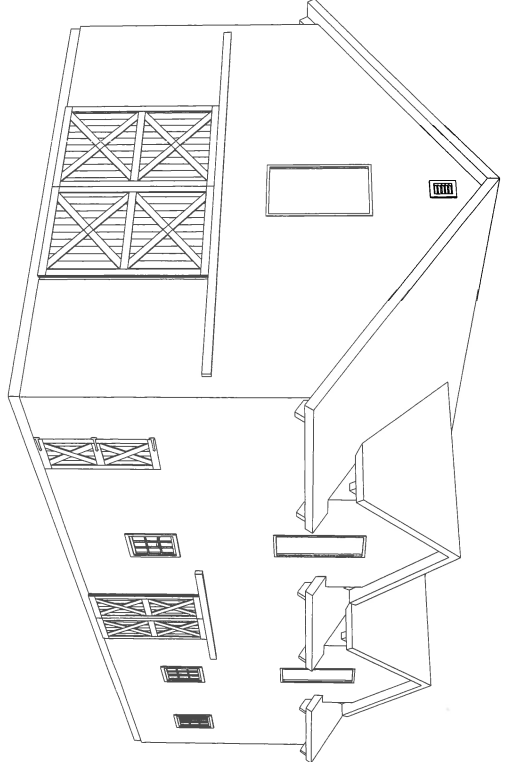
SYMBOLS

WOOD IN SECTION
CONCRETE IN SECTION
SAND OR GRAVEL IN SECTION
STEEL IN SECTION
BATT INSULATION IN SECTION
INSULATION MATERIAL IN SECTION
AREA POOF
BOARD AND BATTEN SCORING

E1
ELEVATION NUMBER
VIEW DIRECTION OF BUILDING ELEVATION
DESCRIBES DETAIL
DETAIL IS ON
VIEW DIRECTION OF SECTION DETAILS
POST CONNECTION TYPE

STANDARD ABBREVIATIONS

CONC.	CONCRETE	MAX	PARALLEL
CONT.	CONTINUOUS	MIN	MINIMUM
DBL.	DOUBLE	NIS	NOT TO SCALE
DF	DOUBLE END	OC	ON CENTER
EA	END	OH	OVERHEAD
EXT	EXTERIOR	SCRB	SAND CREEK POST & BEAM
FF	FINISHED FLOOR	STD	STANDARD
FIG	FIGURING	T16	TONGUE & GROOVE
INSL	INSULATION	TYP	TYPICAL
INT	INTERIOR		

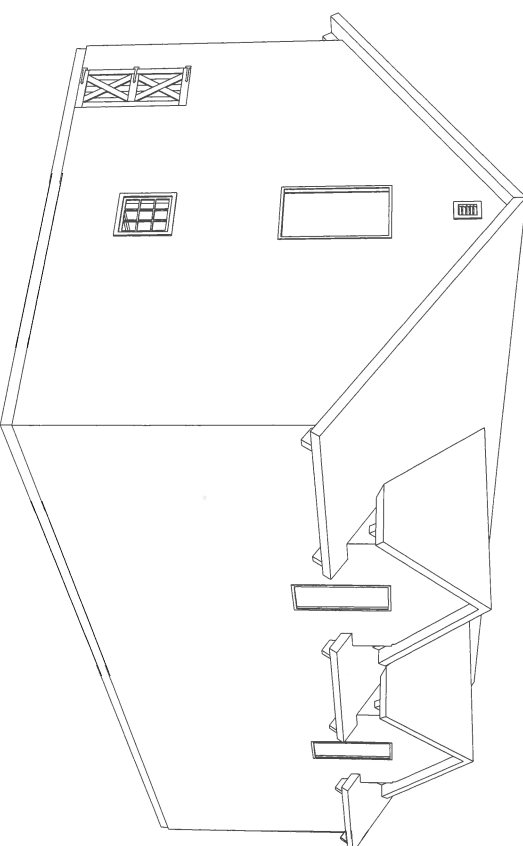


COVER SHEET

NOTE: LINE 30 DIMENSIONS ON COVER SHEET (SHEET 11) ARE REPRESENTATIONAL ONLY AND ARE NOT INTENDED FOR USE AS CONSTRUCTION DRAWINGS.

LIST BELOW ARE ITEMS SHOWN IN DRAWINGS BUT ARE NOT PROVIDED BY SAND CREEK POST AND BEAM

- ROOF FINISH MATERIAL
- LEFT HANDS
- FOUNDATIONS



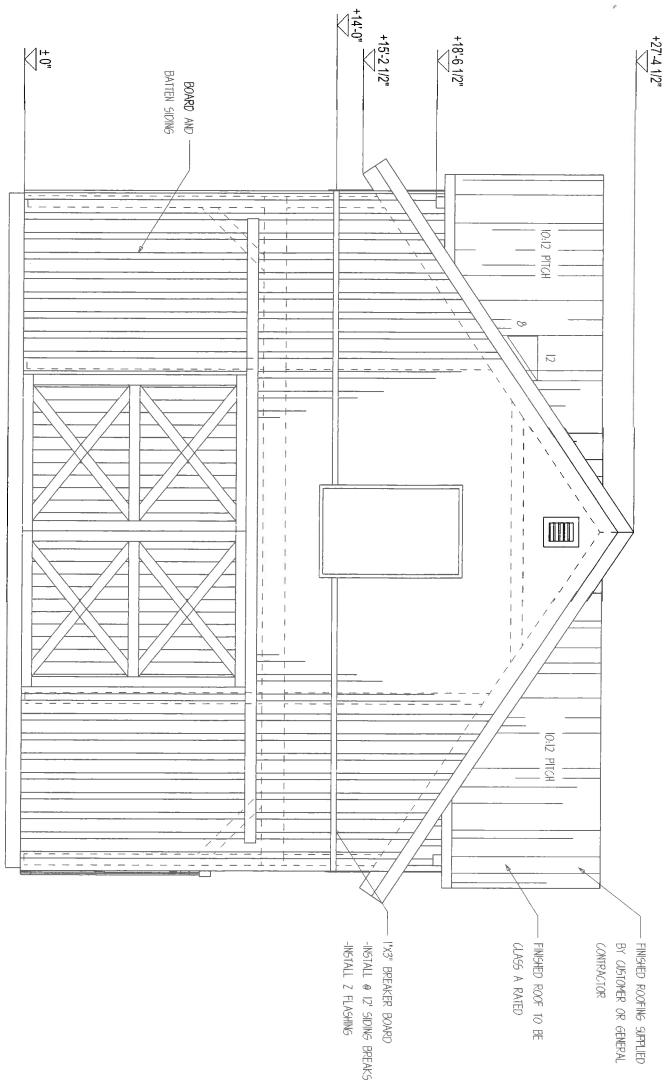
STYLE: PONDROSA BARN
REVISION: 2 (12-14-14)

DRAWN BY: BL
DRAWING STATUS: NOT FOR CONSTRUCTION

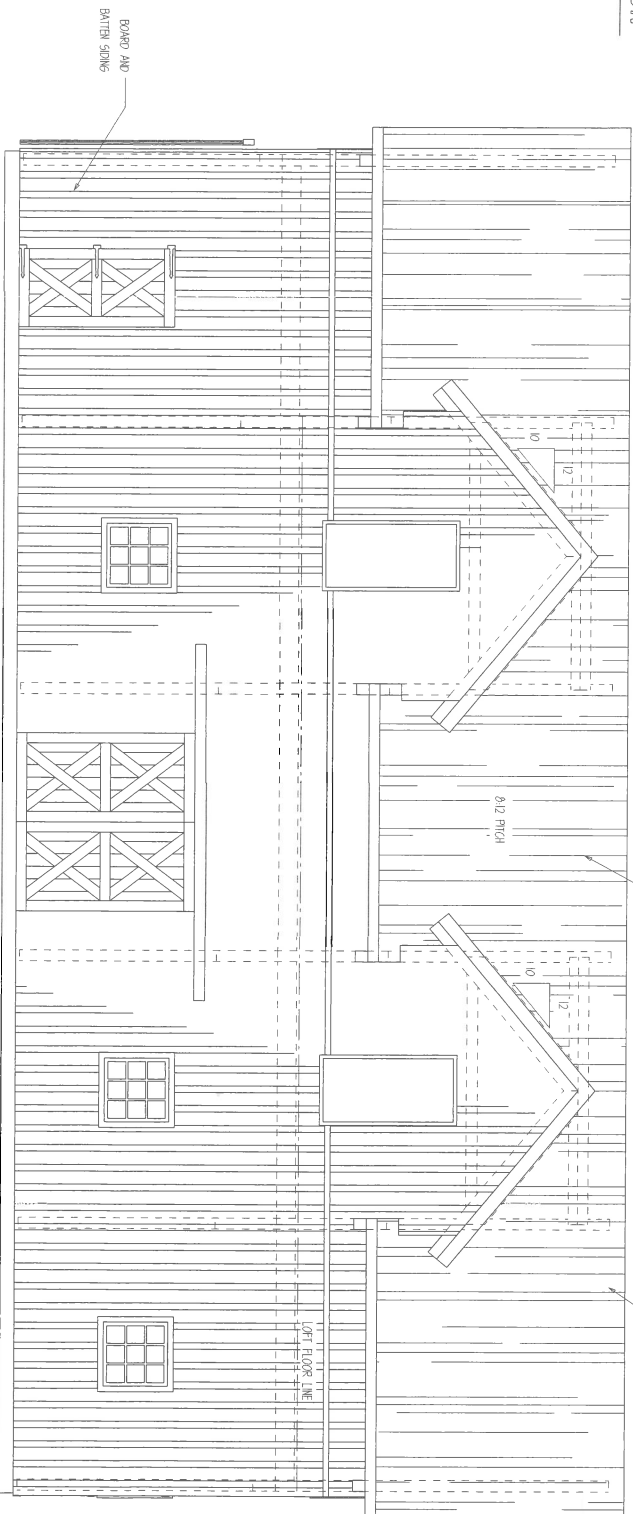
SAND CREEK POST & BEAM
116 W. 1st St
WAYNE, NE 68787

PH: (402) 833-5600
FAX: (402) 833-5602
Toll-free: 1-888-409-1680

SHEET #: 1



FRONT ELEVATION
E1
SCALE: 1/4" = 1'



RIGHT ELEVATION
E2
SCALE: 1/4" = 1'

SHEET NOTES:
1. BREAKER BOARD LOCATION IS APPROX. ONLY AND SHOULD BE INSTALLED ON SITE TO MATCH SIDING LENGTH PROVIDED.
2. DOOR AND WINDOW LOCATIONS ARE APPROX. ONLY. EXACT LOCATIONS TO BE VERIFIED BY CUSTOMER AND GENERAL CONTRACTOR.
3. FINISHED ROOFING MATERIAL TO BE PROVIDED BY CUSTOMER OR GENERAL CONTRACTOR. ROOFING UNDERLAMENT PROVIDED BY SAND CREEK POST & BEAM.

SAND CREEK
Post & Beam

CUSTOMER: JOHN WOLFE

STYLE: PONDEROSA BARN

DRAWN BY: BL

SAND CREEK POST & BEAM

116 W. 1st St

WAYNE, NE 68787

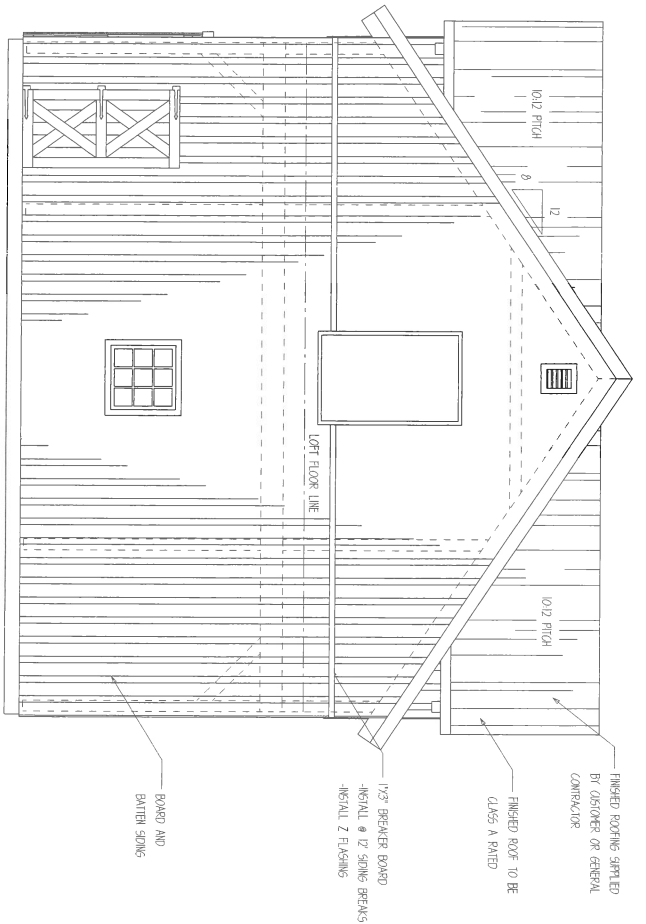
PH: (402) 833-5600
FAX: (402) 833-5602
Toll-free: 1-888-409-1680

JOB CODE: JWC014-1

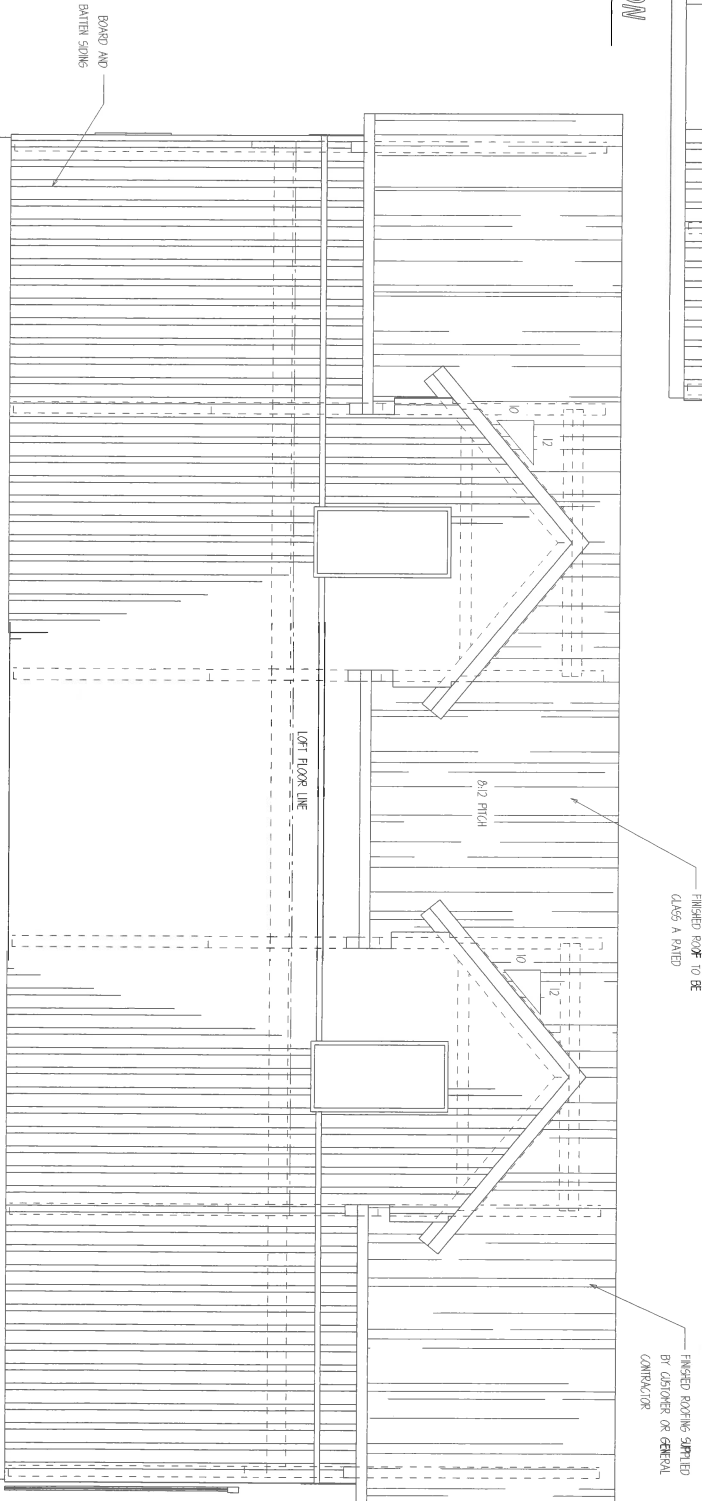
REVISION: 2 (12-14-14)

DRAWING STATUS: NOT FOR CONSTRUCTION

SHEET #: 2



E3
REAR ELEVATION
SCALE: 1/4" = 1'



E4
LEFT ELEVATION
SCALE: 1/4" = 1'

SHEET NOTES:
1. BREAKER BOARD LOCATION IS APPROX. ONLY AND SHOULD BE INSTALLED ON SITE TO MATCH SIDING LENGTH PROVIDED.
2. DOOR AND WINDOW LOCATIONS ARE APPROX. ONLY. EXACT LOCATIONS TO BE VERIFIED BY CUSTOMER AND GENERAL CONTRACTOR.
3. FINISHED ROOFING MATERIAL TO BE PROVIDED BY CUSTOMER OR GENERAL CONTRACTOR. ROOFING UNDERLAYMENT PROVIDED BY SAND CREEK POST & BEAM.

SAND CREEK
Post & Beam

CUSTOMER: JOHN KOLFE
JOB CODE: JWC114-1

STYLE: PONDEROSA BARN
REVISION: 2 (12-14-14)

DRAWN BY: BL
DRAWING STATUS: NOT FOR CONSTRUCTION

SAND CREEK POST & BEAM
116 W. 1st St
WAYNE, NE 68787

PH: (402) 833-5600
FAX: (402) 833-5602
Toll-free: 1-888-489-1680

SHEET #: 3

CUSTOMER: JOHN KOLFE
JOB CODE: JN09141

STYLE: PONDEROSA BARN
REVISION: 2 (12-14-14)

DRAWN BY: BL
DRAWING STATUS: NOT FOR CONSTRUCTION

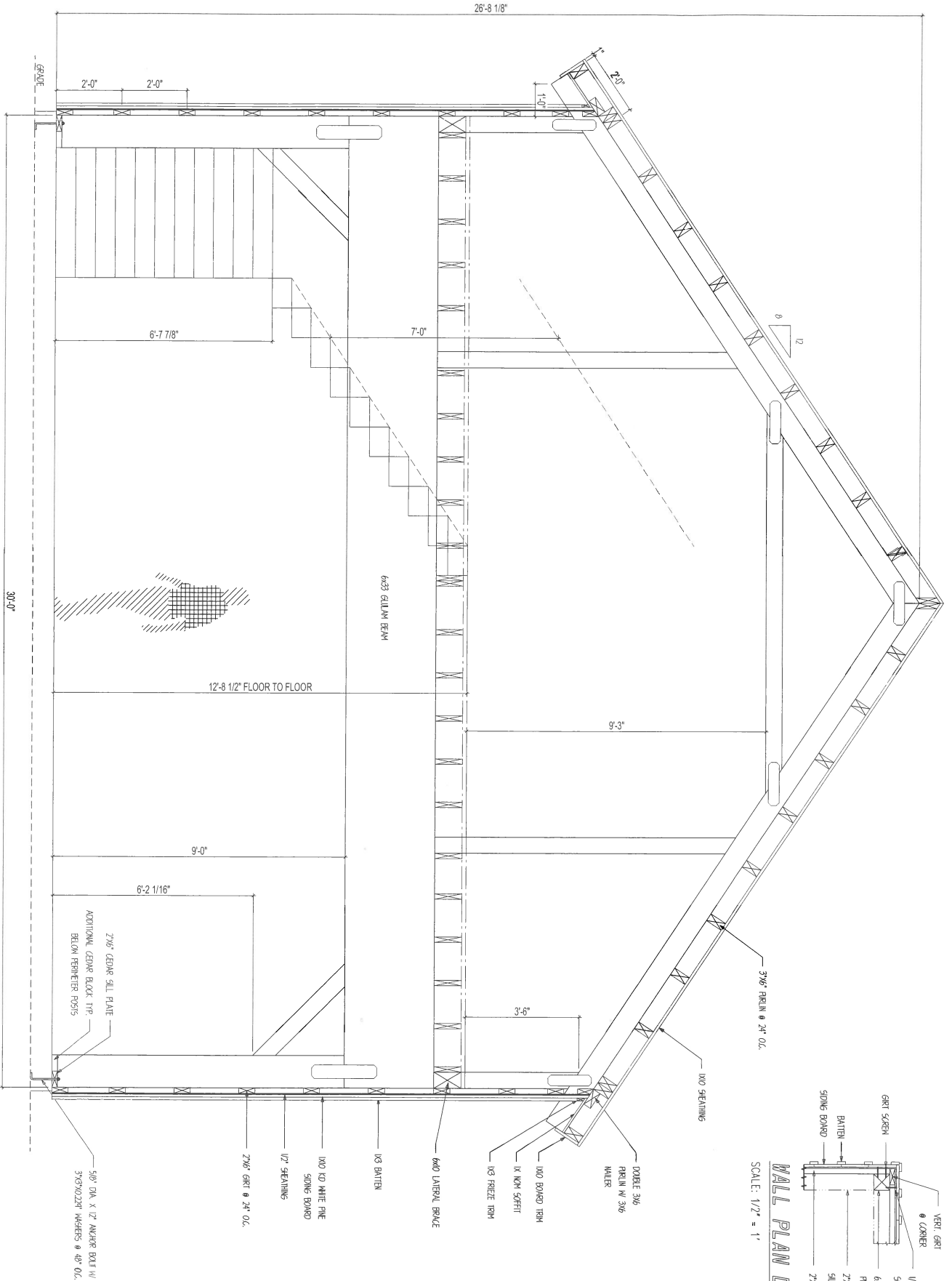
SAND CREEK POST & BEAM
116 W. 1st St
WAYNE, NE 68787

PH: (402) 833-5600
FAX: (402) 833-5402
Toll Free: 1-888-489-1880

SHEET #: 4

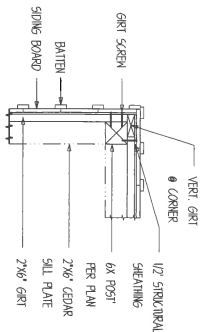
BUILDING SECTION

SCALE: 1/2" = 1'



WALL PLAN DETAIL

SCALE: 1/2" = 1'



CUSTOMER: JOHN WOLFE
JOB CODE: JWC914-1

STYLE: PONDEROSA BARN
REVISION: 2 (12-14-14)

DRAWN BY: BL
DRAWING STATUS: NOT FOR CONSTRUCTION

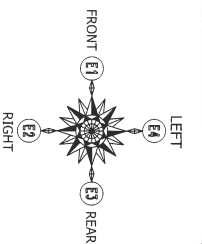
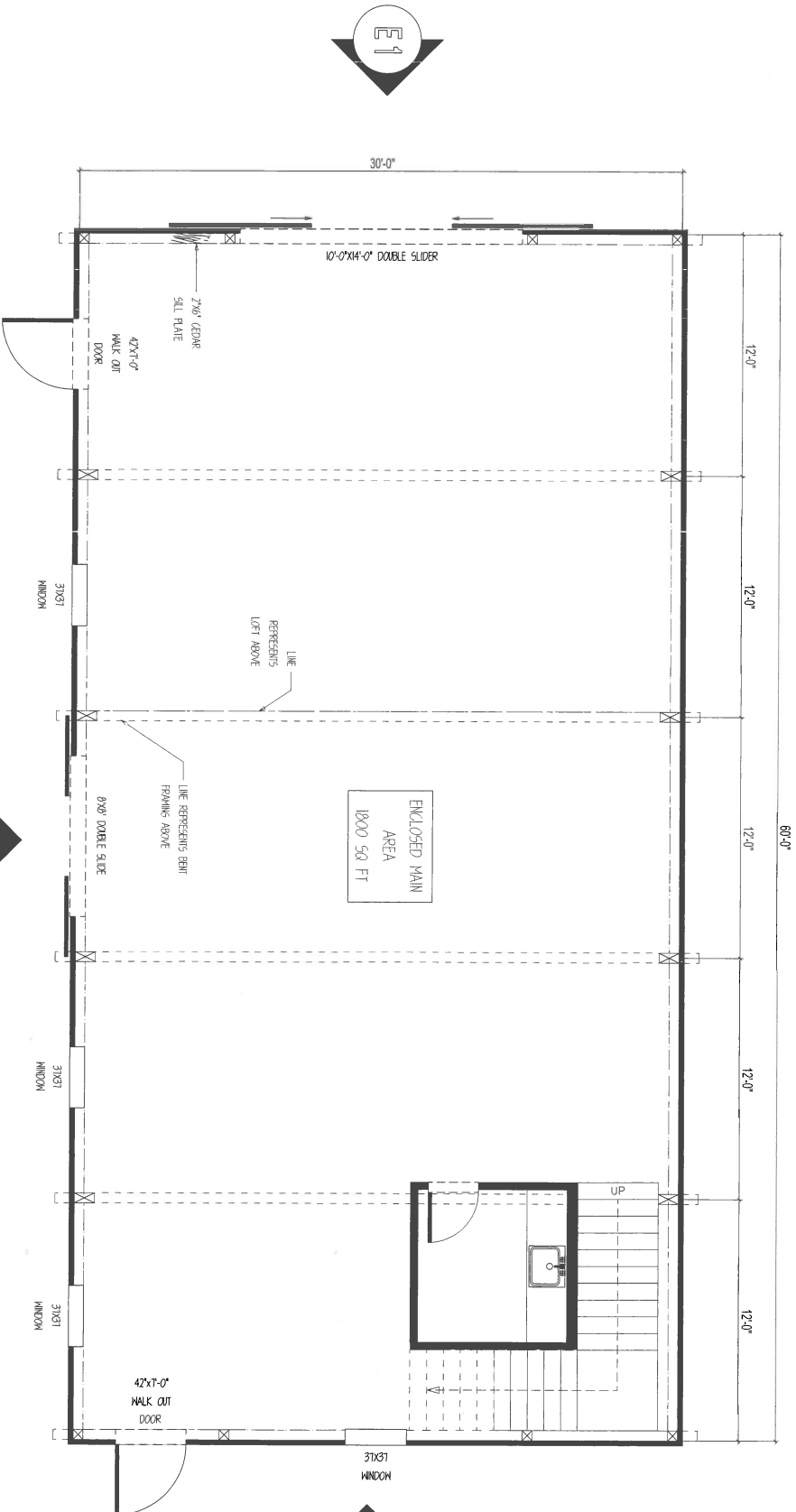
SAND CREEK POST & BEAM
116 W. 1st St
WAYNE, NE 68787

PH: (402) 833-5600
FAX: (402) 833-5602
Toll Free: 1-888-409-1660

SHEET #: 5

MAIN FLOOR PLAN

SCALE: 1/4" = 1'



CUSTOMER: JOHN WOLFE
JOB CODE: JWC919-1

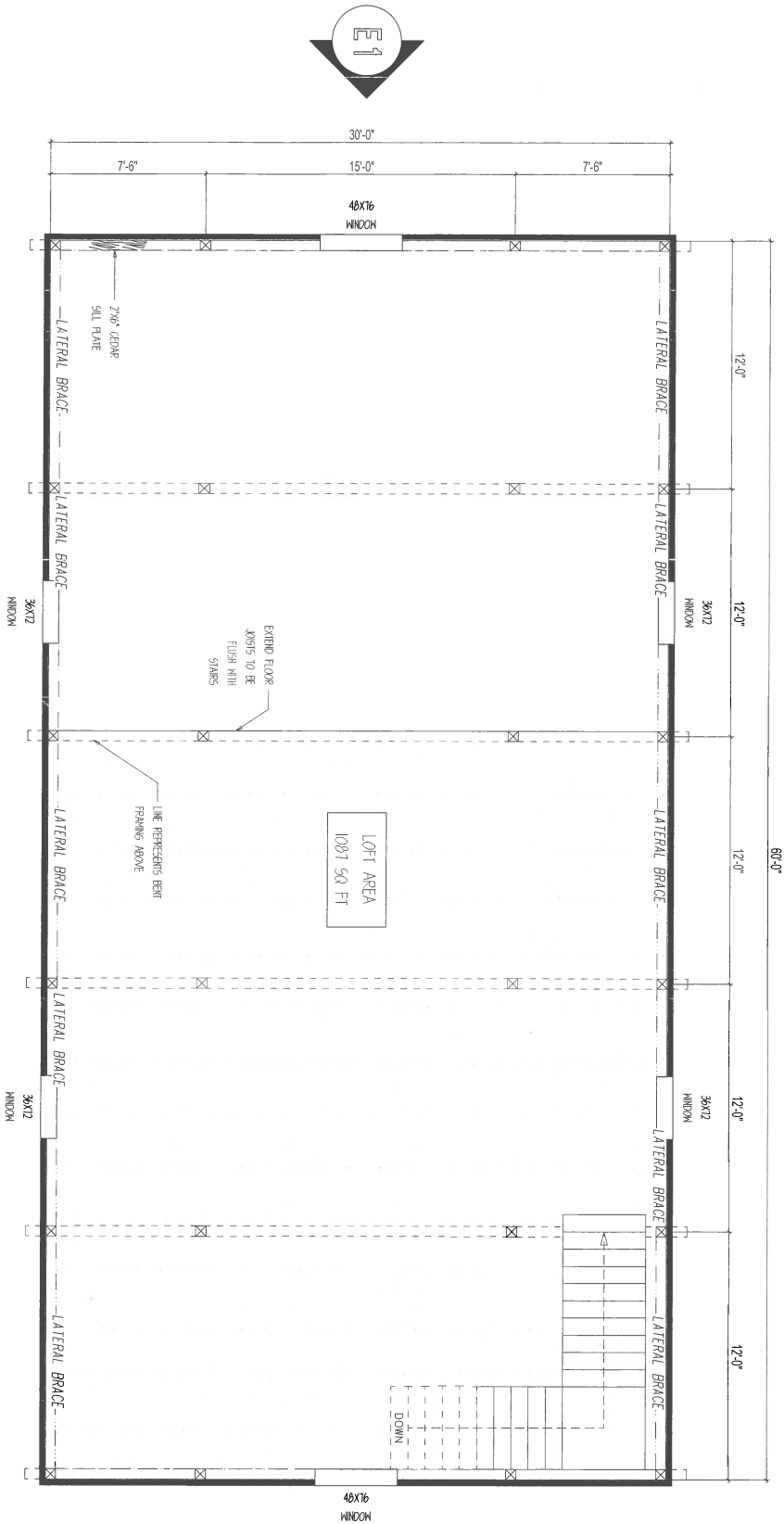
STYLE: PONDEROSA BARN
REVISION: 2 (12-14-19)

DRAWN BY: BL
DRAWING STATUS: NOT FOR CONSTRUCTION

SAND CREEK POST & BEAM
116 W. 1st St
WAYNE, NE 68787

PH: (402) 833-5600
FAX: (402) 833-5602
Toll Free: 1-888-489-1860

SHEET #: 6



LOFT FLOOR PLAN

SCALE: 1/4" = 1'