

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 191107

APN: 032-201-55

Proposal to construct a 1632 square foot single family dwelling on a vacant parcel. Proposal includes a request for a minor exception to the rear yard setback from 15' to 12' 9", a minor exception to the second floor front yard setback from 15' to 12' 9", and a minor exception to allow 54.1% floor area ratio.

Property located approximately 600 feet north of the intersection of E Cliff Drive and 33rd Avenue (240 33rd Ave).

OWNER: Troy Hinds

APPLICANT: Christine Van Wagenen

SUPERVISORIAL DISTRICT: 1

PLANNER: Evan Ditmars (831) 454-3227

EMAIL: Evan.Ditmars@santacruzcounty.us

Public comments must be received by 5:00 p.m. October 31, 2019.

A decision will be made on or shortly after November 1, 2019.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

For more information, call the project planner identified above.

240 33RD AVENUE RESIDENCE

PLANNING RESUBMISSION - AUGUST 30, 2019

PROJECT DESCRIPTION

DEMO OF (E) 4-BEDROOM DUPLEX AND CONSTRUCTION OF A NEW RESIDENCE ON A 2,603 SQUARE FOOT PARCEL.

This site currently contains an existing, non-conforming duplex which occupies this parcel, and part of the neighboring parcel (APN 032-201-54). The duplex is to be demolished, and one single family home is proposed to be constructed per parcel. This parcel is 2,603 SF, and is essentially flat.

The proposed project meets the County zoning & design requirements as well as those outlined in the Pleasure Point Design Guidelines with the exception of the FAR and setback restrictions imposed on the parcel by the county zoning requirements.

The applicant requests the following minor exceptions per 13.10.235 due to small lot size for the construction of this new residence:

FAR: For lots 4,000 SF or less, 7.5% increase in total allowable 50% FAR, allowing up to a 57.5% FAR.

SETBACKS: Up to a 15% reduction in the required front, side or rear setback. The applicant is requesting this minor exception for the second floor front yard setback and rear yard setback, reducing the 15' setback requirement to 12'-0".

All structures on 33rd Avenue are residential, and a mix of one- and two-story units. Many dwellings on 33rd Avenue and elsewhere in the Pleasure Point neighborhood are developed within front yard setbacks, and many appear to exceed FAR or lot coverage. The subject parcel has an unusually shallow dimension from front to back, and is a standard parcel (2,603 square feet) for the district (4,000 square foot minimum).

Per 13.10.323 E7 "front yard averaging" has been completed by a surveyor to determine the setback requirement on 33rd Avenue. The first front yard setback has been determined to be 10'-10", see attached sheet 2 of 2 from the surveyor documenting existing conditions of the neighboring homes.

PROJECT TEAM

CLIENT/TENANT

TROY HINDS
344 PINE STREET
SANTA CRUZ, CA 95062
P: 831.706.6224
E: troyhinds@gmail.com

ARCHITECT

WORKBENCH
CONTACT: JAMILEH CANNON
129 BULKHEAD STREET
SANTA CRUZ, CA 95060
P: 831.227.2217
E: jamileh@workbenchbull.com

CIVIL

RI ENGINEERING
CONTACT: CHRIS VAZ
303 POTRERO STREET, SUITE 42-202
SANTA CRUZ, CA 95060
P: 831.425.3901
E: chris@riengineering.com

LANDSCAPE

MBLA
CONTACT: MEGAN BLENCOWE BISHOP
P.O. BOX 328
APTOS, CA 95001
P: 831.818.9227
E: megan@mb-landarch.com

BUILDING CODES USED

- 2016 California Building Code
- 2016 California Residential Code
- 2016 California Electrical Code
- 2016 California Plumbing Code
- 2016 California Mechanical Code
- 2016 California Fire Code
- 2016 California Green Building Standards
- 2016 California Energy Efficiency Standards

PROJECT DATA

APN: 032-201-55
ZONING DISTRICT: R-1-4-PP (Single-Family Residential, Pleasure Point)
LAND USE DESIGNATION: R-UM (Urban Medium Density Residential)
COASTAL ZONE: Coastal Exclusion
URBAN SERVICES LINE: Inside
OCCUPANCY GROUP: R3

PARCEL AREA: 2,603 SF

GROSS FLOOR AREA CALCULATION:
FIRST FLOOR 904.51 SF
SECOND FLOOR 728.35 SF

TOTAL GROSS FLOOR PLAN AREA: 1,632.86 SF

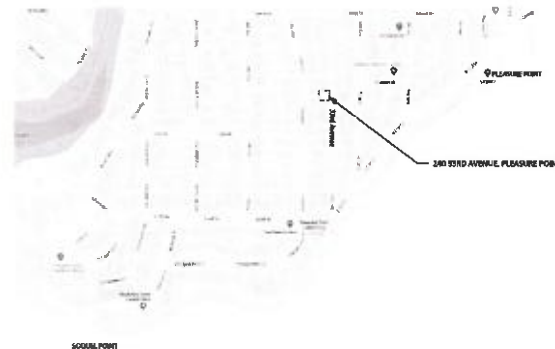
(E) LOT COVERAGE: 47.3%
(N) LOT COVERAGE: 34.7%

FLOOR AREA CALCULATION (FAR): .541
(See A1.00 for detailed FAR calculation)

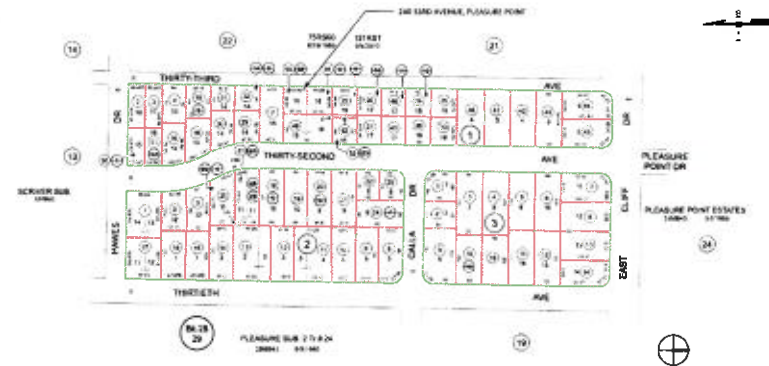
DRAWING INDEX

GENERAL	
A0.00	PROJECT INFORMATION
A0.01	NEIGHBORHOOD CONTEXT
A1.00	EXISTING / DEMO SITE PLAN & FAR CALC
SURVEY	
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S2	FRONT YARD AVERAGING
CIVIL	
C-1	GRADING & DRAINAGE PLAN
C-2	DETAILS & SECTIONS
C-3	STORMWATER POLLUTION CONTROL PLAN
LANDSCAPE	
L1.0	LANDSCAPE PLAN
ARCHITECTURAL	
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A2.01	ROOF PLAN
A3.00	ELEVATIONS
A3.01	SECTIONS

VICINITY MAP N.T.S



ASSESSOR'S MAP No. 32-20 N.T.S



129 BULKHEAD STREET
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

240 33RD AVENUE RESIDENCE

240 33rd Avenue
Santa Cruz, CA 95062

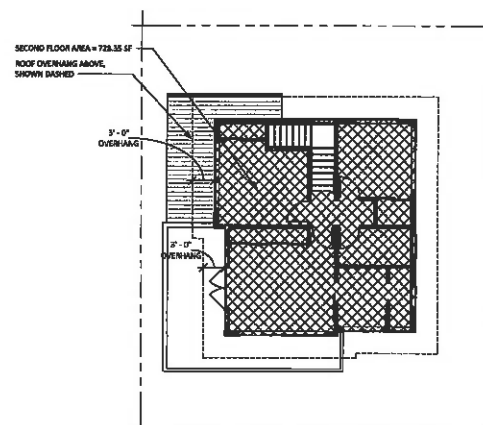


ISSUES/ REVISIONS		
Issue	DESCRIPTION	DATE
1	PLANNING RESUBMISSION	08.07.2
2	PLANNING RESUBMISSION RE	08.29.2
APN number: 032-201-55		
Project number: 180		
Print date: 08.30.20		
Drawn by: CV		
Checked by:		
Scale: 1/4" = 1'-0"		
All drawings and other documents submitted to the County of Santa Cruz are the property of the County of Santa Cruz and shall remain the property of the County of Santa Cruz. No part of this document may be reproduced without written consent of the County of Santa Cruz.		

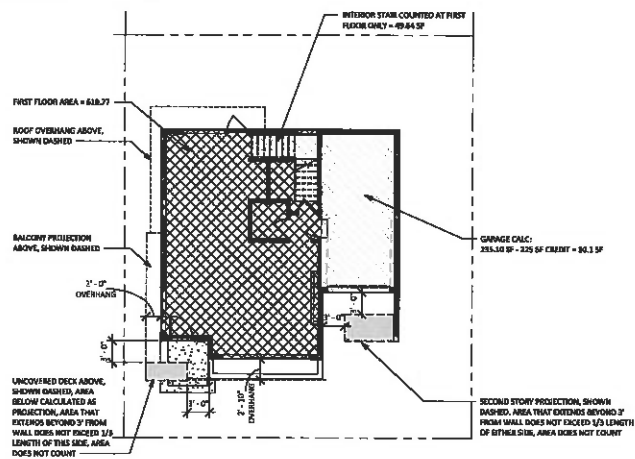
PROJECT INFORMATION

A0.00

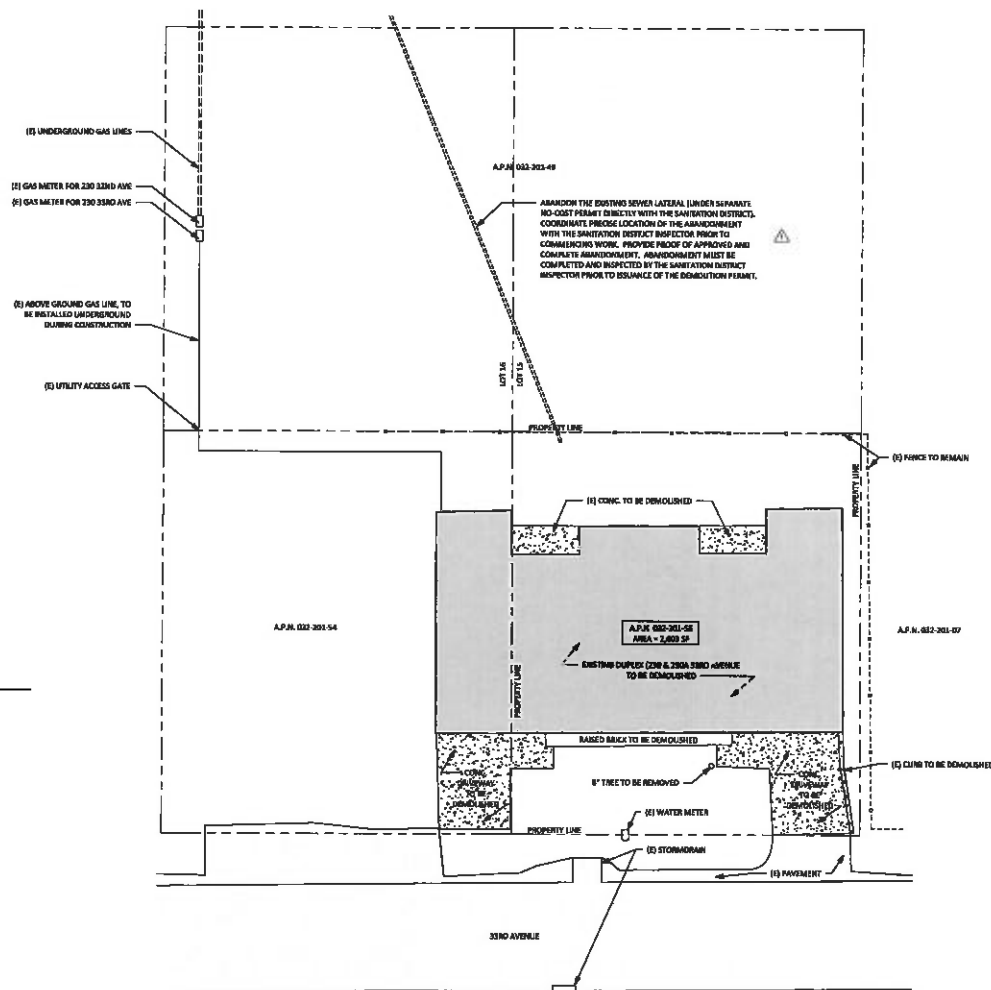
SEMIAN FOOTING		
First Floor		614.75
Second Floor		728.35
ARCHITECTURAL FEATURE		
Acids		N/A
Rooverment		N/A
Underfloor (> 7'-6" headroom)		N/A
High Ceilings (> 12' Clearing height)		N/A
Murals		N/A
Interior stairs (First Floor Only)		44.44
Fully Enclosed Deck		N/A
Deck, covered	Does Not Count	N/A
Area between projections		N/A
> 7' from building (14'00 3F per side does not count)		N/A
Interior Stairs		N/A
Open Terraces	Does Not Count	
Stamps (3'-6" x 5'-6")	10.0	
Accessory Structure	N/A	
Bay Windows	N/A	
Chimneys	N/A	
Columns, Pillars, Walls	Does Not Count	
Elevator shafts, Rinked, uncovered courtyards	Does Not Count	
AREA TOTAL		1,427.86
	PAR = 1,427.86 / 1,003 = .883	



③ SECOND FLOOR PLAN - FAR DIAGRAM
1/8" = 1'-0"



② FIRST FLOOR PLAN - FAR DIAGRAM
1/8" = 1'-0"



① EXISTING / DEMO SITE PLAN
1/8" = 1'-0"



129 BULKHEAD STREET
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

240 33RD AVENUE RESIDENCE

240 33rd Avenue
Santa Cruz, CA 95062

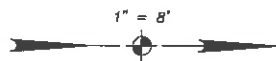


ISSUES / REVISIONS		
Issue	DESCRIPTION	DATE
1	PLANNING RESUBMISSION	06.07.98
2	PLANNING RESUBMISSION #2	08.23.98
APR number	032-201-A	
Project number	160	
Prius Date	08.30.98	
Drawn by	CV	
Checked by		
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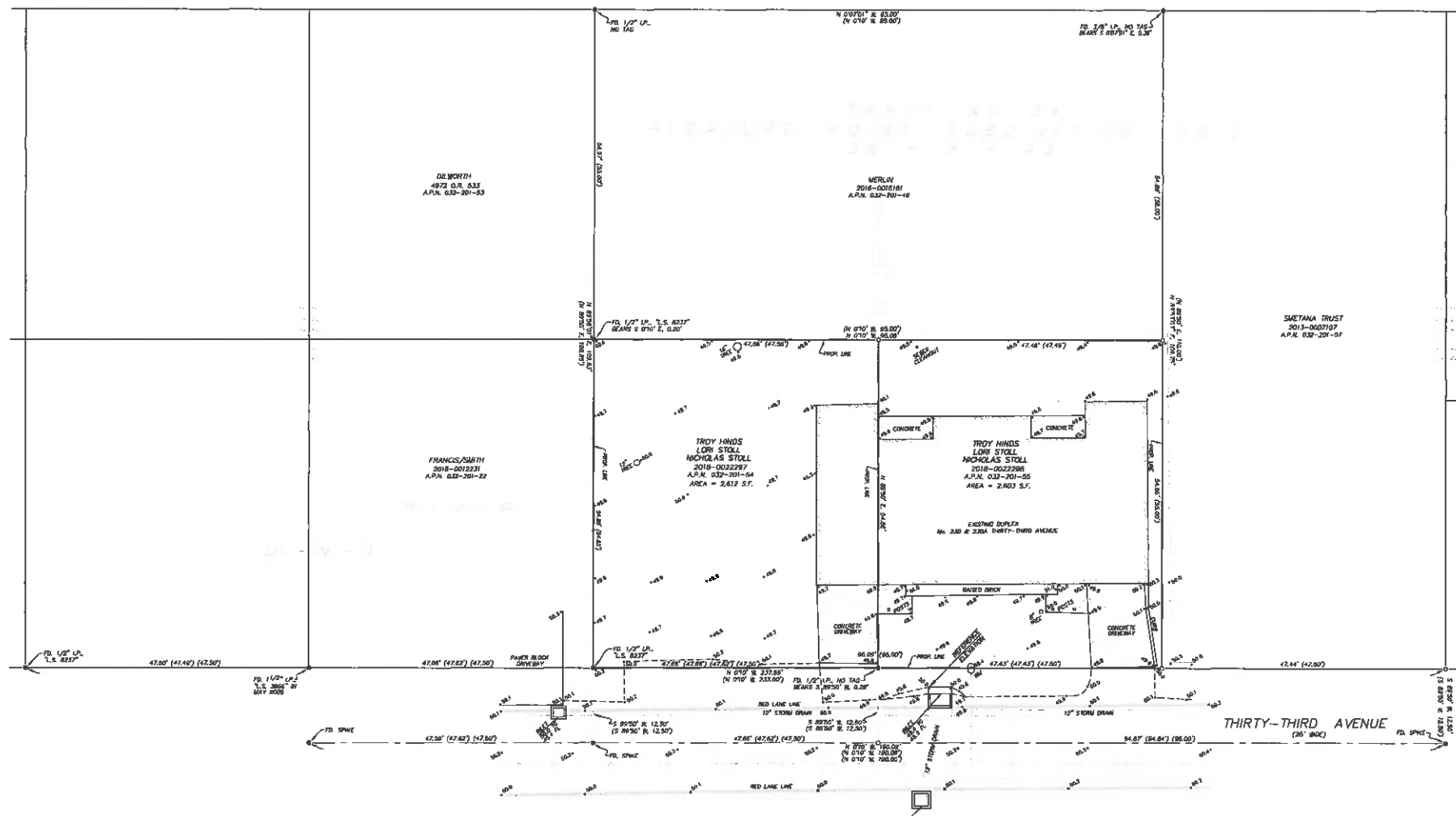
All drawings and related material representing copyright material are hereby made available to all interested parties and may be used or reproduced without charge or fee.

**EXISTING / DEMO
SITE PLAN & FAR
CALC**

A1.00



THIRTY-SECOND AVENUE
(FORMERLY EUCALYPTUS AVENUE)



BASIS OF BEARINGS: N 0°10' W
ESTABLISHED BETWEEN MONUMENTS FOUND AS NOTED ALONG THE CENTERLINE
OF THIRTY-THIRD AVENUE, AND AS SAID BEARING IS SHOWN ON 75-M-60
AND 121-M-1.

REFERENCE ELEVATION
IS THE SOUTHWEST CORNER OF THE CONCRETE CURB ABOVE THE EXISTING
INLET AS SHOWN HEREON. USED FOR ASSUMED ELEVATION = 50.0'.

LEGEND

- Indicates survey monument found as noted herein.
- Indicates nothing found or set.
- x Indicates spot elevation of existing ground or surface.
- () Indicates record data.



SURVEYOR'S MAP
SHOWING BOUNDARY, TOPOGRAPHIC, AND SITE
INFORMATION ON THE LANDS OF
**TROY HINDS, LORI STOLL,
& NICHOLAS STOLL**
RECORDER'S DOCUMENT NUMBERS
2018-0022297 & 2018-0022298
SANTA CRUZ COUNTY, CALIFORNIA
SCALE: 1" = 8'
BY: LUKE R. BEUTIZ, C.E., L.S.
A.P.N. 032-201-54 & 55 SHEET 1 OF 2

1" = 16'

THIRTY-SECOND AVENUE

EAST CLIFF DRIVE

SEE TH. SET BELOW

THIRTY-THIRD AVENUE

THIRTY-SECOND AVENUE

SEE THIS SHEET ABOVE

NO HOUSE ON THIS PARCEL

HAWES DRIVE

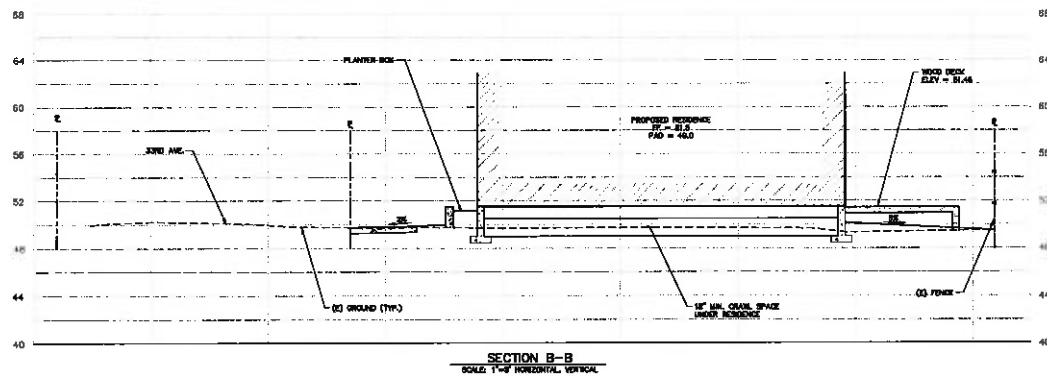
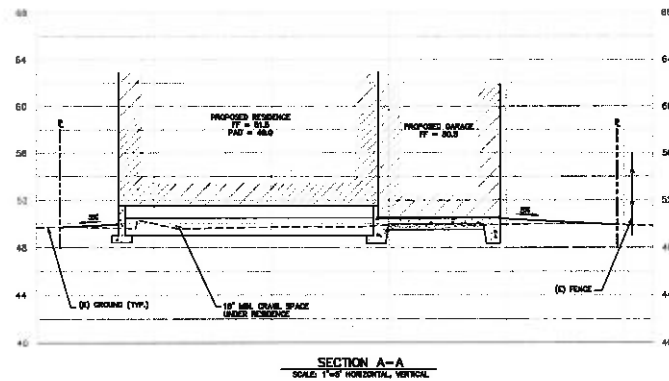
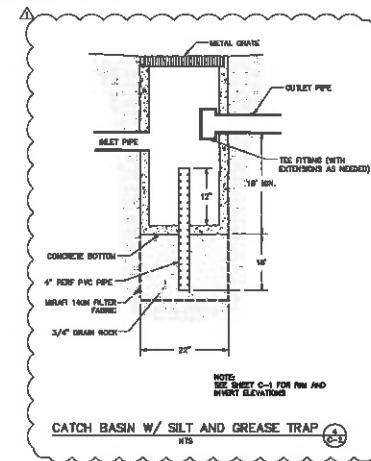
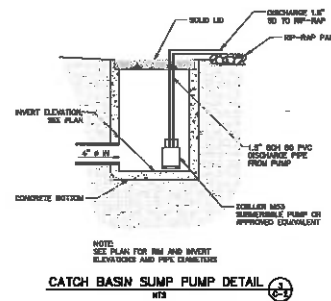
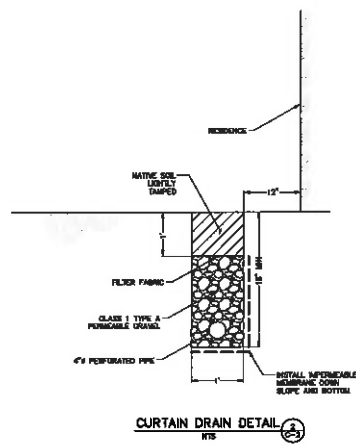
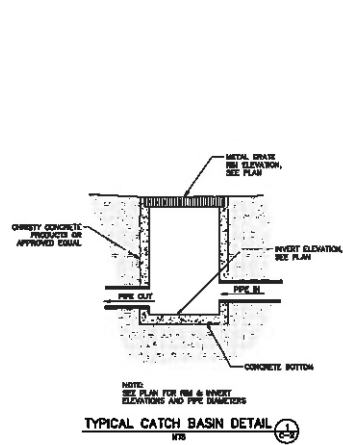
THIRTY-THIRD AVENUE



Luke Beautz

SURVEYOR'S MAP
SHOWING BOUNDARY, TOPOGRAPHIC, AND SITE
INFORMATION ON THE LANDS OF
**TROY HINDS, LORI STOLL,
& NICHOLAS STOLL**
RECORDER'S DOCUMENT NUMBERS
2018-0022257 & 2018-0022258
SANTA CRUZ COUNTY, CALIFORNIA
SCALE: 1" = 16' NOVEMBER 2018
BY: LUKE R. BEAUTZ, C.E., L.S.
A.P.N. 032-201-54 & 55 SHEET 2 OF 2

C-1



RESPONSE TO COUNTY PLANNING COMMENTS DATED 05/15/2019



R.I. Engineering Inc.
303 Palomar St., Suite 402-202, Santa Cruz, CA 95060
831-425-3301 www.rilingr.com

NEW SPEC HOME
FOR
TROY HINDS
220 33RD AVE
SANTA CRUZ, CA
APRIL 03/2019-55
DETAILS & SECTIONS

project no.
19-002-1
date
JUNE 2019
scale
AS SHOWN
dwg name
CIVIL 1 SPEC.dwg

C-2

PLANNING SUBMITTAL

TOTAL AREA OF DISTURBANCE = 2,600 SQFT

SITE HOUSEKEEPING REQUIREMENTS

CONSTRUCTION MATERIALS

1. ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (E.G. FILL, SPILLS, AGGREGATE, FILL, SAND, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BARRIED.
2. ALL EXCESSIVE MATERIALS SHALL BE STORED IN AN APPROPRIATE CONTAINER WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE OR IN A STORAGE BIN COMPLETELY ENCLOSED.
3. COVERAGE OF CONSTRUCTION MATERIALS TO PREVENT ANY SPILLAGE OR LEAKAGE SHALL BE MAINTAINED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (E.G. PILES, EQUIPMENT PADS, CHAINES, CONCRETE, INSULATIONS, WOODS, ETC.).
4. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE MAINTAINED.

LANDSCAPE MATERIALS

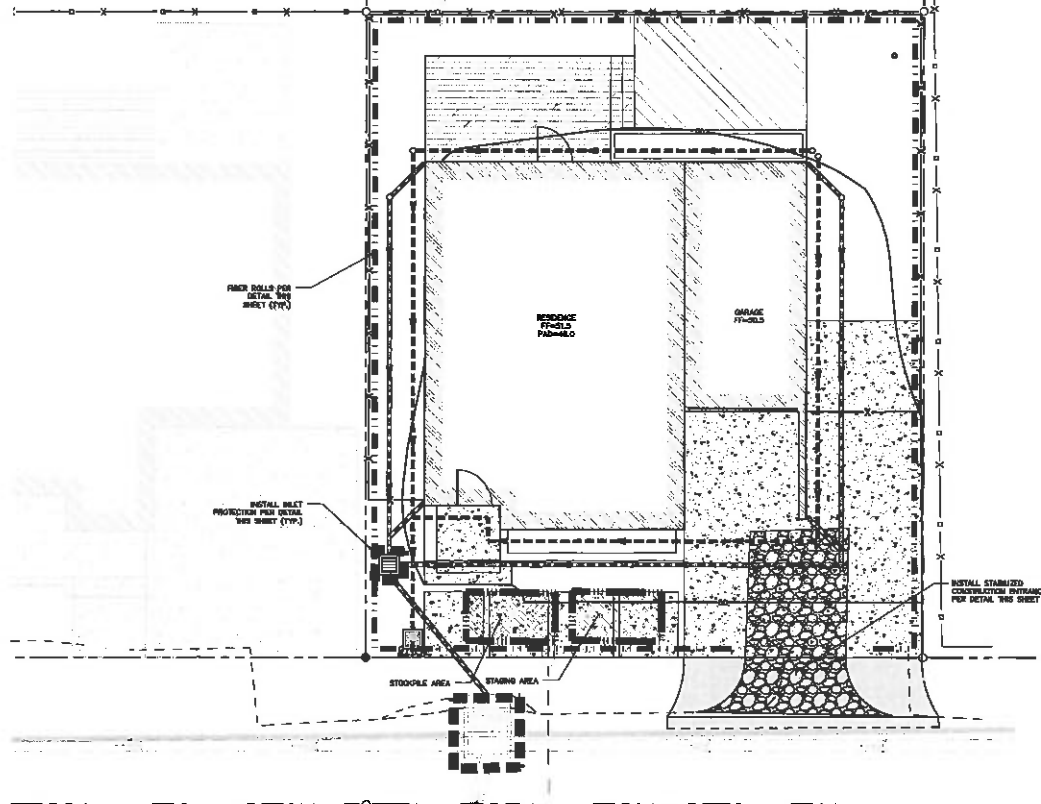
1. COVERED STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
2. CERTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
3. DISCONTINUE THE APPLICATION OF ANY EROSION CONTROL MATERIAL WITHIN 3 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIOD OF PRECIPITATION.
4. APPLY EROSION CONTROL MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR BASED ON WATER INFILTRATION BY PROVISIONAL AND COMPOUNDED FIELD PERCENTAGE.
5. STOCK EROSION CONTROL MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

VEHICLE STORAGE AND MAINTENANCE

1. VEHICLES SHALL BE TIED TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE MATERIALS.
2. ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE DAPS.
3. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE COVERED OR PROPERLY.

WASTE MANAGEMENT

1. WASTE SHALL BE REMOVED BY HAND OR WITH TRUCKS OR MATERIALS ON IMPROVED OR PAVED SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PROHIBITED.
2. SANITATION FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORM DRAIN. DRAINAGE SYSTEM OR REMOVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, FORCE OR DRAINAGE, SENSITIVE, SENSITIVE AREA OR OTHER DRAINAGE FACILITY.
3. SANITATION FACILITIES SHALL BE MAINTAINED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPAIRED AS NECESSARY.
4. OTHER WASTE CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
5. DISCHARGE FROM WASTE DISPOSAL CONTAINERS TO THE STORM DRAIN DRAINAGE SYSTEM OR REMOVING WATER SHALL BE PROHIBITED.
6. PROHIBITED WASTE MATERIAL SHALL BE COVERED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
7. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS WASTE SHALL BE IMPLEMENTED.
8. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON THE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND COVERED OR PROPERLY.
9. CONCRETE SURFACE AREAS AND OTHER SURFACE AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE COVERED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL, AND ON THE SURROUNDING AREAS.



EROSION CONTROL MEASURES

1. EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BY OCTOBER 15.
2. UNLESS SPECIFIC MEASURES ARE SHOWN OR NOTED ON THIS PLAN, ALL COLLECTED RUNOFF SHALL BE CONFINED TO DRAINAGE COURSES IN LIMITED CONCENTRATIONS. DISCHARGE SHALL BE IN THE LOCATIONS SHOWN ON THE PLAN.
3. THE EROSION AND RESULT OF THESE MEASURES IS TO CONTROL, SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. IF FAILED INSPECTIONS BY COUNTY STAFF SHOW THE GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
4. ALL DISTURBED AREAS NOT CURRENTLY BEING USED FOR CONSTRUCTION SHALL BE SEEDING WITH THE FOLLOWING SEED MIXTURE:
WINTER BARLEY 25%/ADZE
5. AFTER SECOND STRAW MULCH WILL BE APPLIED IN 4" (A/C) LAYERS.
6. AMMONIUM PHOSPHATE FERTILIZER, 0-3-3, SHALL BE APPLIED AT A RATE OF 30 LBS. PER ACRE ON SLOPES GREATER THAN 5%. EROSION CONTROL BLANKET (NORTH AMERICAN GREEN) SHALL BE APPLIED.
7. SALT BARRIERS SHALL BE PLACED END TO END AND STAYED DOWN ALONG THE BOTTOM OF ALL GRADED SLOPES.

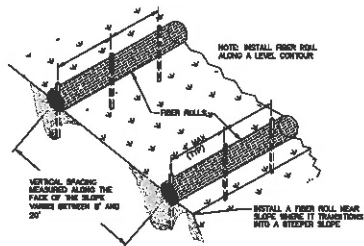
ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO SALT FENCE, FIBER ROLL, AND SLOPE PROTECTION SHALL BE IN PLACE BY OCTOBER 15TH. THE ENGINEER OF RECORD SHALL INSPECT ONCE EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

EXPOSED SLOPE MEASURES

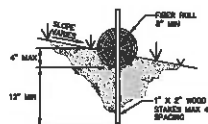
1. COVER ALL EXPOSED SLOPES.
2. STRAW 2 TONS/ACRE ON SLOPES \leq 3:1 WITH 10% SEED.
3. USE NORTH AMERICAN GREEN CIES OR EQUAL ON SLOPES $>3:1$.

EROSION CONTROL LEGEND

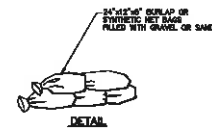
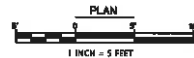
- INSTALL FIBER ROLL PER DETAILS THIS SHEET
- INSTALL CATCH BASIN PROTECTION PER DETAILS THIS SHEET
- INSTALL STABILIZED CONSTRUCTION ENTRANCE PER DETAILS THIS SHEET
- PROPOSED SLOPE PROTECTION
- PROPOSED STOCKPILE AREA
- PROPOSED STAGING AREA



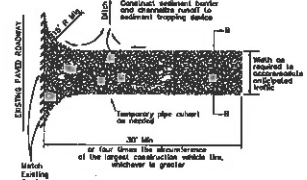
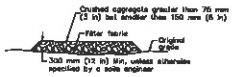
TYPICAL FIBER ROLL INSTALLATION



FIBER ROLL DETAIL IN SLOPE AREA



GRAVEL BAG CATCH BASIN PROTECTION



CONSTRUCTION ENTRANCE DETAIL





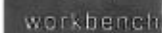
**240 33rd Avenue
Santa Cruz, CA 95062**

[illegible]

FLOOR PLANS

A2.00





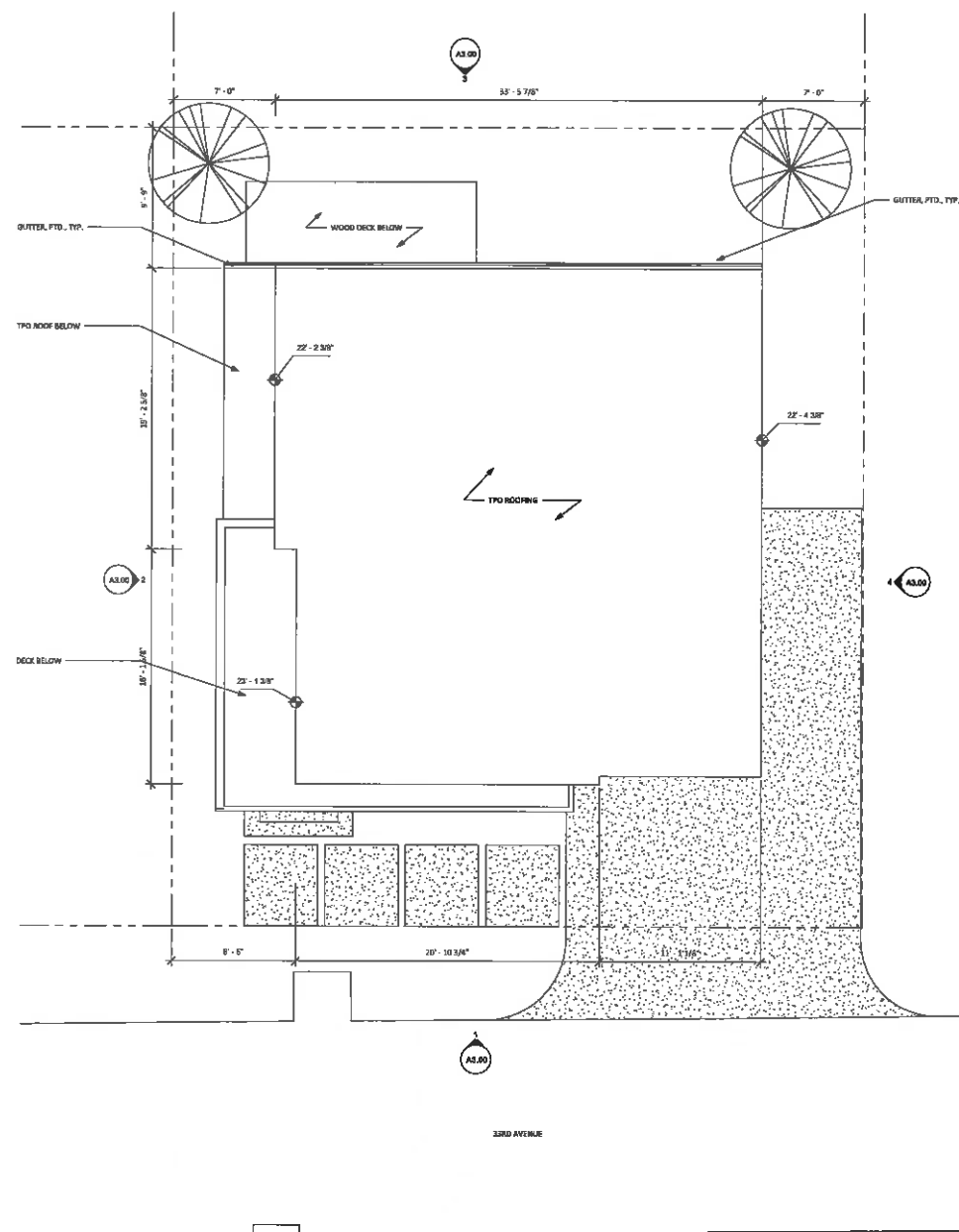
240 33RD AVENUE RESIDENCE

240 33rd Avenue
Santa Cruz, CA 95062

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ROOF PLAN

A2.01



① ROOF PLAN
1/4" = 1'-0"



240 33RD AVENUE RESIDENCE

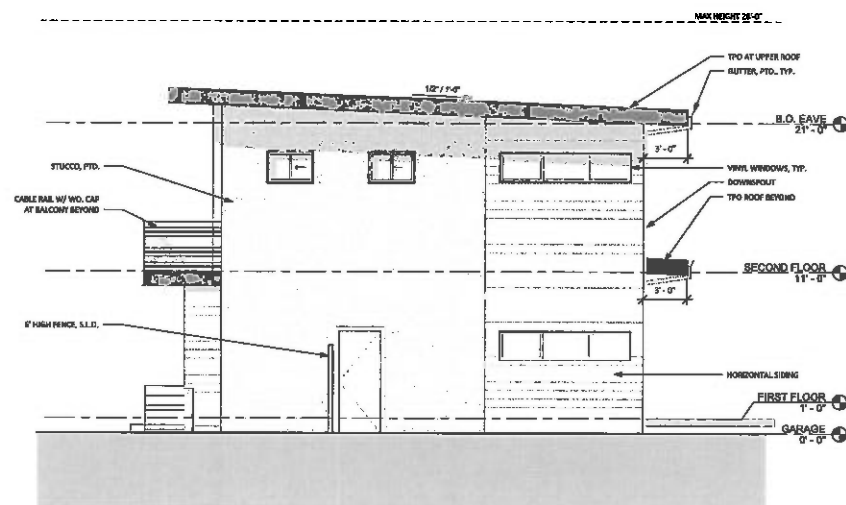
**240 33rd Avenue
Santa Cruz, CA 95062**

ISSUES/ REVISIONS[illegible]

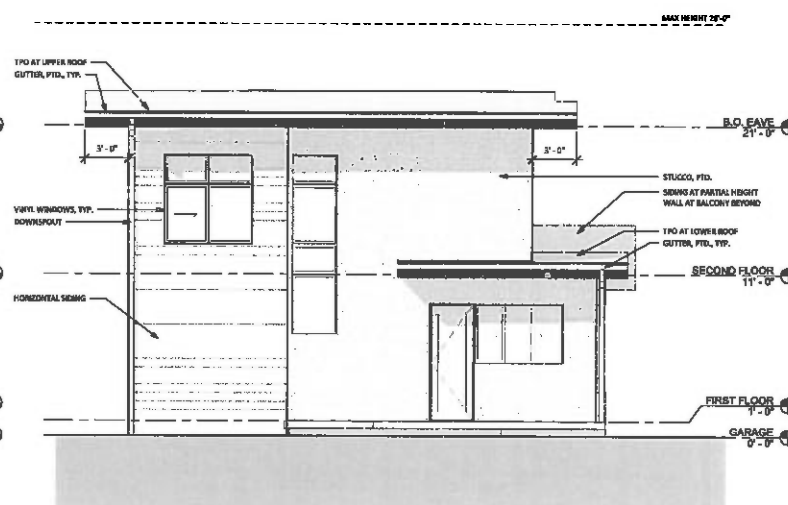
Scale: $\frac{1}{4"} = 1'$

ELEVATIONS

A3.00



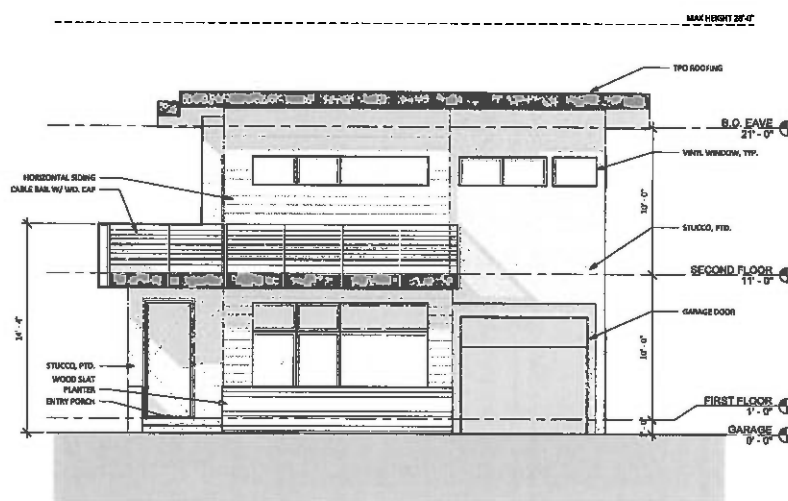
④ NORTH ELEVATION
1/4" = 1'-0"



③ WEST ELEVATION
 $1/4" = 1'-0"$



② SOUTH ELEVATION
1/4" = 1'-0"



① EAST ELEVATION
1/4" = 1'-0"

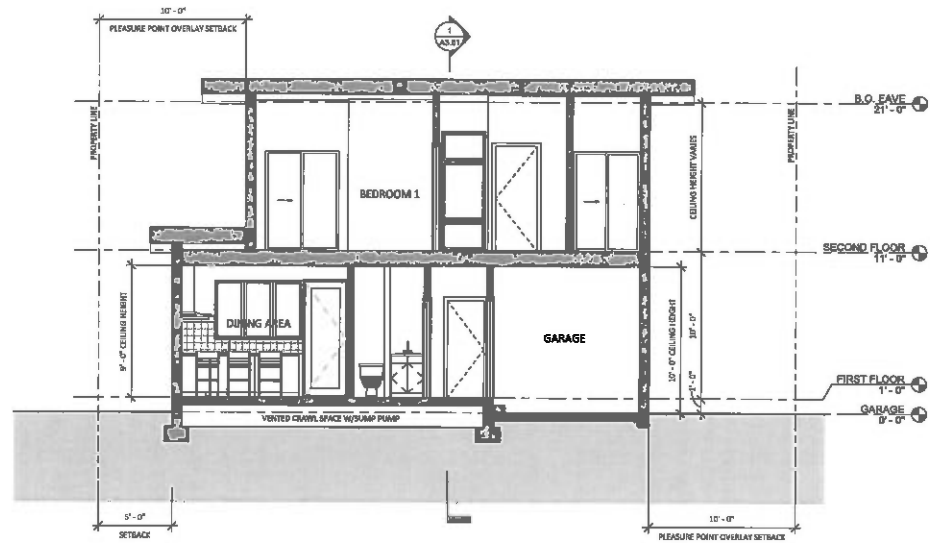


**240 33rd Avenue
Santa Cruz, CA 95062**

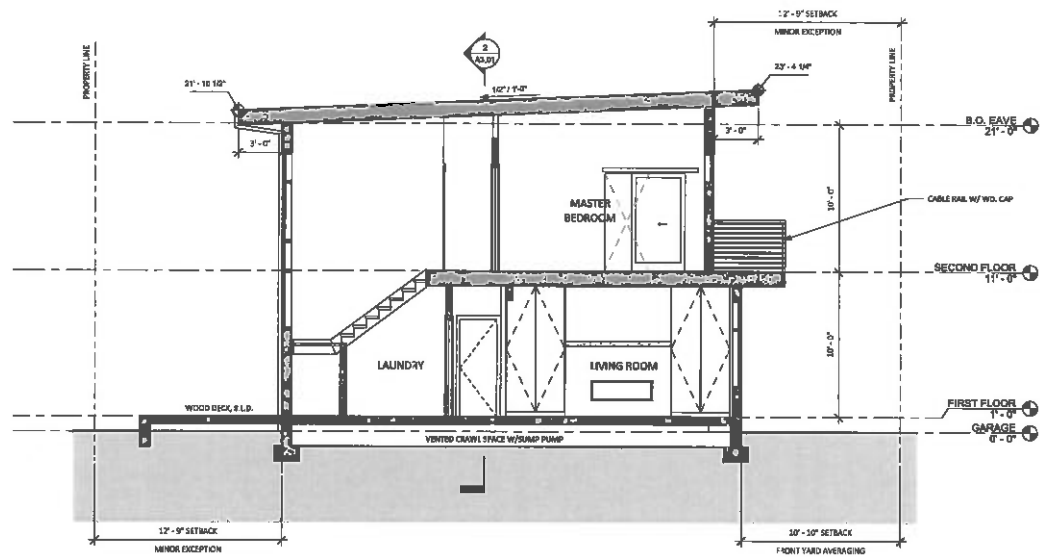
[illegible]

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A3.01



② NORTH-SOUTH SECTION
1/4" = 1'-0"



① EAST-WEST SECTION
1/4" = 1'-0"