

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 191148

APN: 044-191-15

Proposal to demolish an existing, enclosed carport and construct a 228 square foot garage. Requires a residential development permit for a garage located within 3 feet of a side yard property line.

Property located approximately 550 feet east of the intersection of Sumner Avenue and Arthur Avenue (321 Arthur Avenue).

*Note: A previous notice for this project was sent in August. The project plans and scope have been revised.

OWNER: Valerie Madeley

APPLICANT: Robin Alaga

SUPERVISORIAL DISTRICT: 2

PLANNER: Evan Ditmars (831) 454-3227

EMAIL: Evan.Ditmars@santacruzcounty.us

Public comments must be received by 5:00 p.m. November 20, 2019.

A decision will be made on or shortly after November 21, 2019.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

For more information, call the project planner identified above.

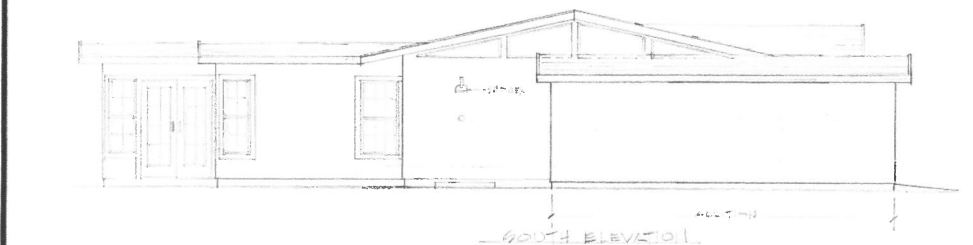
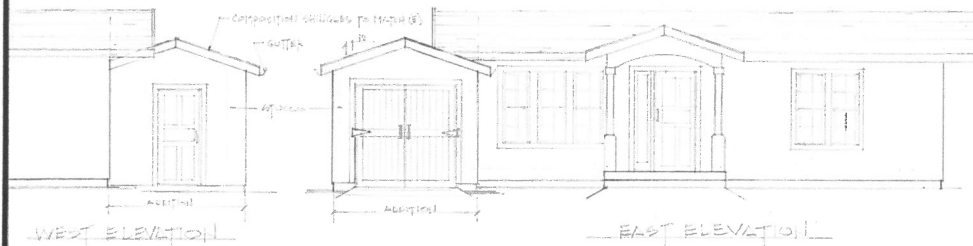
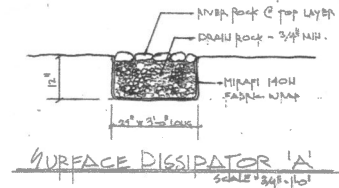
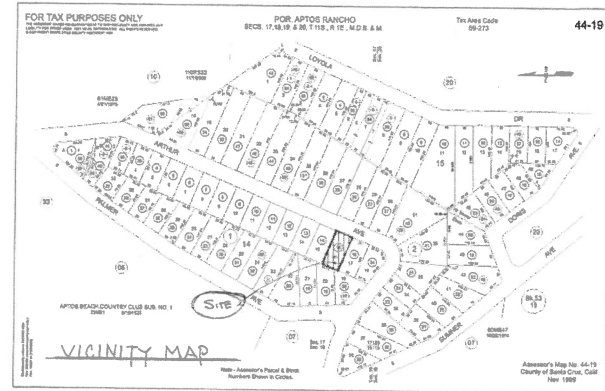
GENERAL NOTES

- The code editions to be followed:
California Energy Standards 2016 Edition California Green Building Standards Code 2016 Edition
California Residential Code 2016 Edition California Fire Code 2016 Edition
- Hold down devices must be secured in place prior to foundation inspection
- Fasteners in preservative-treated wood (anchor bolts, nails, screws, etc.) shall be of an approved silicon bronze or copper, stainless steel or hot-dipped zinc coated steel. Foundation sills shall be a naturally durable wood or a preservative-treated wood.
- Anchor bolts shall be a minimum of 1/2 inch diameter in SDC D and 3/8 inch minimum diameter in SDC E.
- Anchor bolts shall be embedded a minimum of 7 inches into foundation.
- Anchor bolts shall not be spaced more than 8 feet apart in SDC D and no more than 4 feet apart in SDC E.
- There shall be a minimum of 2 bolts per all piece with one bolt not located more than 12 inches or not less than 4 inches of each end of the sill piece.
- Washers for anchor bolts shall be a minimum of 3 inches by 3 inches by 0.229 inch thick. Steel plate washers may be slotted.
- Minimum compressive strength of concrete shall be 2,500 psi.
- Reinforcing steel to be a minimum of ASTM A636 Grade 60.
- Footing lumber shall be Douglas Fir #2 (unless noted otherwise).
- Wall framing shall comply with CBC Table 2303.5.1.
- Roofing shall be in compliance with CBC Table 2304.10.1.
- Attic and foundation venting shall be a minimum of 1/150 of the area to be vented.
- Joists and other openings in the building envelope that are potential sources of air leakage shall be caulked, gasketed, weather-stripped or otherwise sealed to limit infiltration and exfiltration.
- The builder/contractor shall provide the owner and County Building Department a copy of the CF-28 Installation Certificate at the time of inspection.

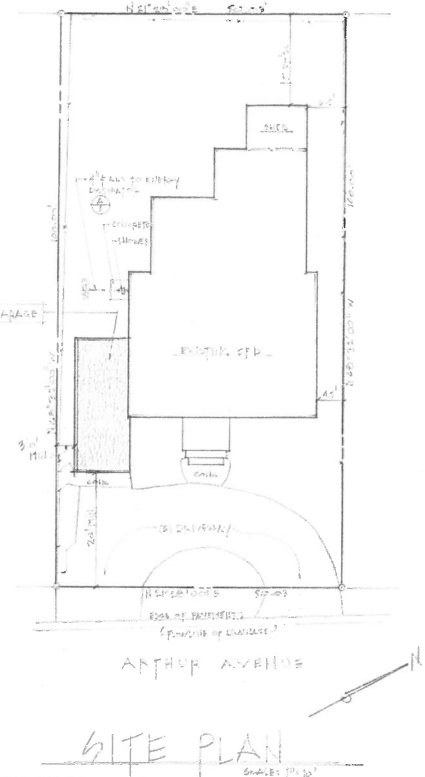
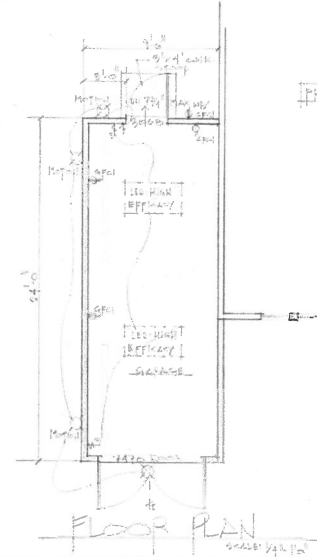
OWNER: John Zawistowski & Valerie Freer
321 Arthur Avenue
Aptos, CA 95003

PROJECT DATA:
A.P.N. 044 - 191 - 15
Zoning R-1-5
Occupancy Group R-3
Construction Type V-B
Parcel Size 5,000 sq. ft.
Lot Coverage 1,559 sq. ft. (31%)
FAR 1,559 sq. ft. (31%)
Existing Residence 1,283 sq. ft.
Existing Carport to be demolished 128 sq. ft.
Proposed Garage 228 sq. ft.
Existing Covered Porch 48 sq. ft.

SCOPE OF WORK:
Demolish an existing carport converted to a garage.
Construct a 228 sq. ft. garage. Recognize an outdoor shower.



ELEVATIONS
SCALE: 1/8" = 1'-0"

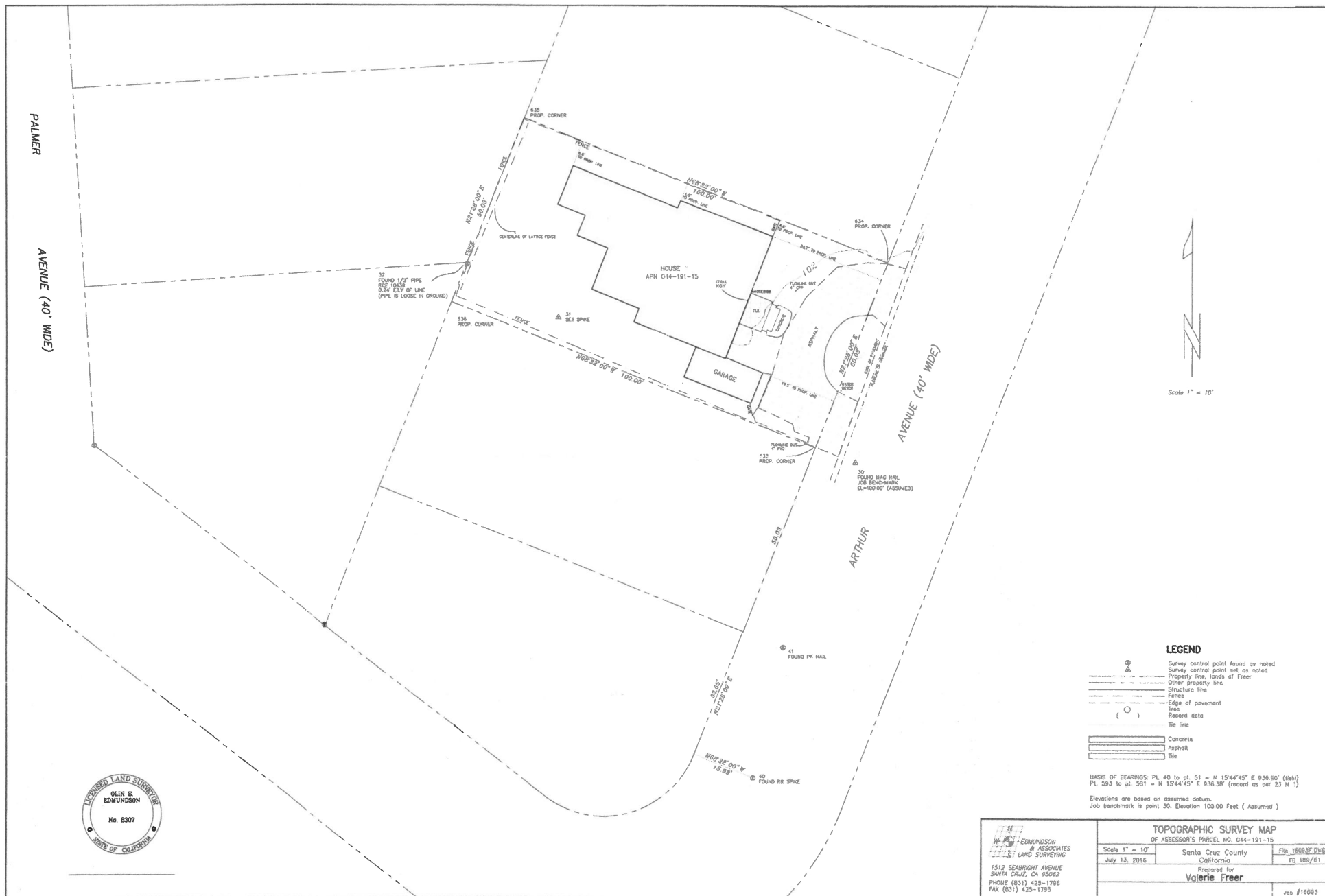


REVISION	BY

ROBIN ALAGA
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e-mail: alagabob@gmail.com

FEER-ZAWISTOWSKI STORAGE BUILDING
Valerie Freer & John Zawistowski
321 Arthur Avenue Aptos, CA 95003
A.P.N. 044 - 191 - 15

DRAWN	WDF
CHECKED	
DATE	9-02-2016
SCALE	NONE
JOB NO.	16-01
SHEET	1 OF 1
OR	
SHEETS	



LEGEND

- Survey control point found as noted
- Survey control point set as noted
- Property line, lands of Freer
- Other property line
- Structure line
- Fence
- Edge of pavement
- Tree
- Record data
- Tie line
- Concrete
- Asphalt
- Tile

BASIS OF BEARINGS: PL 40 to pt. 51 = N 15°44'45" E 936.50' (field)
 PL 503 to pt. 581 = N 15°44'45" E 936.38' (record as per 23 M 1)

Elevations are based on assumed datum.
 Job benchmark is point 30. Elevation 100.00 Feet (Assumed)

TOPOGRAPHIC SURVEY MAP OF ASSESSOR'S PARCEL NO. 044-191-15		
Scale 1" = 10'	Santa Cruz County California	File 16683P DWG
July 15, 2016	Prepared for Valerie Freer	FB 189/61
1512 SEABRIGHT AVENUE SANTA CRUZ, CA 95062 PHONE (831) 425-1786 FAX (831) 425-1795		Job #16083