

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 191195

APN: 025-013-45

Proposal to construct a 1000 square foot shop with a 315 square foot deck above an 845 square foot garage. Dwelling to be constructed is not part of this application. Proposal requires a residential development permit for a nonhabitable accessory structure greater than 1,000 square feet.

Property located at the end of Lupine Lane (48 Lupine) approximately 650 feet west of the intersection with Dempsey Rd.

OWNER: Jacob McEvoy

APPLICANT: Peter Spellman

SUPERVISORIAL DISTRICT: 1

PLANNER: Evan Ditmars, (831) 454-3227

EMAIL: Evan.Ditmars@santacruzcounty.us

Public comments must be received by 5:00 p.m. August 09, 2019.

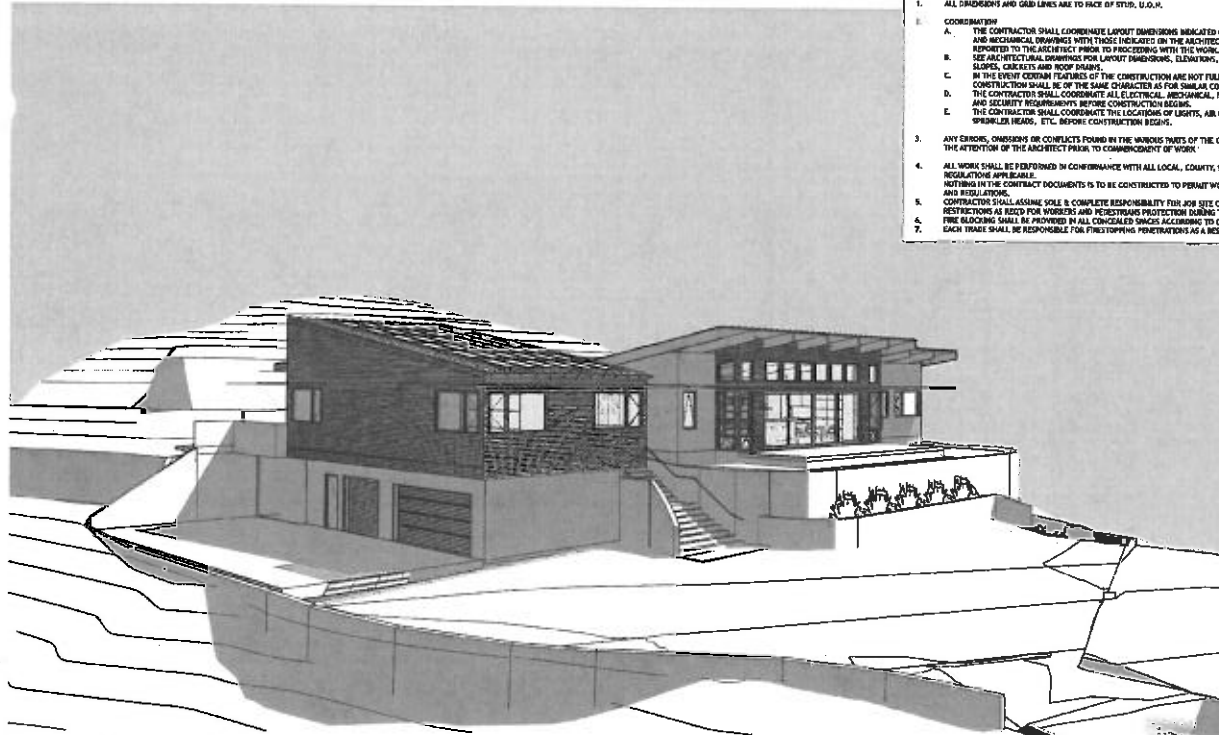
A decision will be made on or shortly after August 12, 2019.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

For more information, call the project planner identified above.

48 LUPINE LANE



VIEW FROM ENTRY DRIVE

THIS PROJECT IS REQUIRED TO MEET WILDLAND URBAN INTERFACE REQUIREMENTS. FOR THE COUNTY'S SRA (MODERATE) CATEGORY.

BELOW IS A LISTING OF THE DESIGN ELEMENTS THAT THIS PROJECT COMPLIES WITH:

1. ROOF AND ROOF EDGES, MINIMUM CLASS B ROOF ASSEMBLY AND NO SPACE BETWEEN ROOF AND ROOF COVERING OR NO. 72 CAP SHEET OVER SHEATHING, STANDING SEAM METAL ROOFING THROUGHOUT.
2. EXTERIOR WALLS AND SIDING: NON-COMBUSTIBLE SIDINGS PROPOSED (METAL SIDING)
3. EAVES AND PORCH CEILINGS: STAINED REDWOOD T&G OVER 5/8" TYPE X GYP BD. PANELS, ALL ROOFS ARE UNVENTED. ALL UNPROTECTED TRIM MATERIAL MIN. 2" NOMINAL DIMENSIONAL LUMBER.
4. VENTS: ALL VENTS (AT SHOP OVERHANGS AND HOUSE OVERHANGS) CONT. STRIP VENT STATE FIRE MARSHALL APPROVED (SLAB ON GRADE FOUNDATION: NO VENTS).
5. WINDOWS AND EXTERIOR DOORS: WINDOWS MUST BE INSULATED GLASS WITH A MIN. OF ONE PANE TEMPERED OR 20 MIN. FIRE RATED. EXTERIOR DOORS MUST BE NON-COMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1-3/8" SOLID CORE OR HAVE A 20 MIN. FIRE-RESISTANCE RATING.
6. EXTERIOR DECKING: DECKING TO BE SPM APPROVED, NON-COMBUSTIBLE, SLAB ON GRADE AT HOUSE, 2" NOMINAL THICKNESS REDWOOD AT THE DECK BEHIND THE SHOP.

FIRE DEPARTMENT NOTES

1. Building numbers shall be provided. Numbers shall be a minimum of four (4) inches in height on a contrasting background and visible from the street. Where numbers are not visible from the street, additional numbers shall be installed on a directional sign at the property driveway and street. (CFC 9505.1)
2. All buildings shall be protected by an approved automatic fire sprinkler system complying with the currently adopted edition of NFPA 13-B, and adopted standards of the Central Fire Protection District. (CFC 9901.2.1)
3. Roof coverings to be no less than Class "B" rated roof. (CFC 91005.1.2 & Santa Cruz County Code 12.10.215 (G))
4. A fire-free clearance shall be maintained around the building or structure to provide additional fire protection or fire break by removing all brush, flammable vegetation, or combustible growth. EXCEPTION: Single specimens of trees, ornamental shrubbery or fire break by removing all brush, flammable vegetation, or combustible growth. EXCEPTION: Single specimens of trees, ornamental shrubbery or fire break by removing all brush, flammable vegetation, or combustible growth. (CFC 91005.1.2)
5. A minimum of 48 HOURS NOTICE to the fire department is required prior to inspection. (CFC 91005.1.2)
6. The job copies of the building and fire systems plans and permits must be on-site during inspection.
7. As a condition of submission of these plans, the submitter, designer and installer certify that these plans and details comply with applicable Specifications, Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by this review, subsequent review, inspection or other source, and, to hold harmless and without prejudice, the reviewer and reviewing agency.
8. A fire-free clearance shall be maintained around and adjacent to the building or structure to provide additional fire protection or fire break by removing all brush, flammable vegetation, or combustible growth. EXCEPTION: Single specimens of trees, ornamental shrubbery or other plants used as ground covers, provided they do not form a means of rapidly transmitting fire from native growth to any structure.
9. The job copies of the building and fire systems plans and permits must be on-site during inspection. (CFC 91005.1.2)
10. The designer/installer shall submit two (2) sets of plans and calculations for the installed fire sprinkler system for approval prior to construction. (CFC 9901.2)

GENERAL NOTES

1. ALL DIMENSIONS AND GRID LINES ARE TO FACE OF STUDY, U.O.M.
2. COORDINATION: THE CONTRACTOR SHALL COORDINATE LAYOUT DIMENSIONS INDICATED ON THE CIVIL, LANDSCAPE, STRUCTURAL, ELECTRICAL AND MECHANICAL DRAWINGS WITH THOSE INDICATED ON THE ARCHITECTURAL DRAWINGS. ALL DIMENSIONS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
3. SEE ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS, ELEVATIONS, EGRESSWAYS IN SLAB, OPENINGS IN WALLS AND ROOF, ROOF SLOPES, CEMENTS AND ROOF FINISHES.
4. IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE CONSTRUCTION DOCUMENTS, THEN THE CONTRACTOR SHALL COORDINATE ALL ELECTRICAL, MECHANICAL, FIRE PROTECTION, TELECOMMUNICATIONS, AUDIOVISUAL AND SECURITY REQUIREMENTS BEFORE CONSTRUCTION BEGINS.
5. THE CONTRACTOR SHALL COORDINATE THE LOCATIONS OF LIGHTS, AIR OUTLET AND INLET REGISTERS, SMOKE DETECTORS, FIRE SMOKE ALARMS, ETC. BEFORE CONSTRUCTION BEGINS.
6. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
7. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS, ORDINANCES AND REGULATIONS APPLICABLE.
8. NOTATIONS IN THE CONSTRUCTION DOCUMENTS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES, LAWS ORDINANCES AND REGULATIONS.
9. CONTRACTOR SHALL ASSUME SOLE & COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS & COMPLY WITH SAFETY REGULATIONS AND RESTRICTIONS AS NEEDED FOR WORKERS AND PEDESTRIAN PROTECTION DURING THE COURSE OF CONSTRUCTION.
10. FIRE BLOODING SHALL BE PROVIDED IF ALL CONCEALED SMOKES ACCORDING TO CFC SECTION 717.
11. EACH TRADE SHALL BE RESPONSIBLE FOR FINISHING PENETRATIONS AS A RESULT OF INSTALLATION OF THEIR WORK.

PROJECT DIRECTORY

OWNER:	ASTER POND/LAKE RECREATION 48 LUPINE LANE SANTA CRUZ, CA 95062 TEL: 850-794-9398 EMAIL: asterpond@outlook.com
ARCHITECT:	PETER SPELLMAN DESIGN, INC. 150 GREEN STREET SANTA CRUZ, CA 95062 TEL: 850-794-9398 EMAIL: peter@peterdesign.com
TELECOMMUNICATIONS/MECHANICAL:	MONTELY ENERGY GROUP-NORTH MILL STREET 224 Industrial Ave., Suite C Santa Cruz, CA 95062 TEL: 850-794-9398 EMAIL: mtegroup.com
STRUCTURAL:	Jennifer Bennett, P.E. 180 Boulevard St. Santa Cruz, CA 95060 TEL: 850-794-9398 EMAIL: jennifer@jennett.com
SOILS/FOUNDATION:	Herby Davis Davis & Associates, Inc. 8501 42nd STREET San Jose, CA 95139 TEL: 408-262-0000 EMAIL: herby@herby.com
CIVIL:	RAVENHILL CIVIL ENGINEERING INC. David R. Ravenhill 2500 Highway 101 Santa Cruz, CA 95065 TEL: 850-794-9398 EMAIL: david@ravenhill.com
LANDSCAPE:	

LOCATION MAP



DEFERRED SUBMITTALS

DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE SUBMITTER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE SUBMITTER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SANTA CRUZ AND THE COUNTY OF SANTA CRUZ. THE SUBMITTER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SANTA CRUZ AND THE COUNTY OF SANTA CRUZ. THE SUBMITTER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SANTA CRUZ AND THE COUNTY OF SANTA CRUZ.

1. FIRE SMOKE ALARM

PROJECT INFORMATION

NEW SINGLE FAMILY DWELLING WITH DETACHED GARAGE WITH NON-HABITABLE SHOP ABOVE. SINGLE LEVEL HOUSE WITH 2 BEDROOMS PLUS AN OFFICE, 2-1/2 BATHS, KITCHEN, LIVING, DINING.

PROJECT ADDRESS: 48 LUPINE LANE
SANTA CRUZ, CA 95062
APN: 025-013-45
ZONING DISTRICT: RA
LOT AREA: 44,783 SF (1.49 ACRES)
LOT COVERAGE: 4.4%

FLOOR AREA:
HOUSE (SINGLE LEVEL):
CONDITIONED SPACE: 2025.5 SF

UNCONDITIONED SPACE:
GARAGE: 845 SF
SHOP: 1000 SF
TOTAL UNCONDITIONED: 1845 SF

DOCK/SHOP: 315 SF
PHOTO OFF LIVING ROOM (LESS THAN 15" FROM GRADE): 42 SF

OCCUPANCY GROUP: HOUSE (R), GARAGE U, SHOP U-NON-RESIDENTIAL
NUMBER OF STORIES: 2
CONSTRUCTION TYPE: TYPE V-B FULLY SPRINKLERED

BUILDING CODES: 2014 CALIFORNIA RESIDENTIAL CODE, CALIFORNIA BUILDING CODE, CALIFORNIA MECH. CODE, CALIFORNIA ELECTRIC CODE, CALIFORNIA GREEN BUILDING CODE AND THE CALIFORNIA ENERGY CODE.

THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2014 EDITION) AS AMENDED BY THE CENTRAL FIRE PROTECTION DISTRICT.

SRA = MODERATE, WUI REQUIREMENTS APPLY

NOTE: GEOTECH REPORT FILED FOR THIS PROJECT. CONTRACTOR TO COMPLY WITH REQUIREMENTS OF REPORT.

HERS CERTIFICATION IS REQUIRED FOR IAQ, COOLING SYSTEM AIR FLOW AND FAN EFFICIENCY, DUCT SEALING AND DUCT LOCATIONS. SEE MD-3 FOR HERS SUMMARY.

SHEET INDEX

- A1 COVER SHEET/SITE PLAN
- A1.0 SITE PLAN
- A1.C CAL GREEN
- A1.1 GARAGE LEVEL PLAN
- A1.2 MAIN LEVEL FLOOR PLAN
- A1.3 ROOF PLAN
- A1.4 GARAGE LEVEL ELECTRICAL PLAN
- A1.5 MAIN LEVEL ELECTRICAL PLAN
- A2.0 SCHEDULES
- A3.0 ELEVATIONS
- A3.1 ELEVATIONS
- A3.2 ELEVATIONS
- A4.0 SECTIONS
- A4.1 SECTIONS
- AD1 DETAILS

- CIVIL
- C1.0 COVER SHEET
- C2.0 NOTES
- C3.0 CONSTRUCTION DETAILS
- C4.0 GRADING AND DRAINAGE PLAN
- C5.0 UTILITY PLAN
- C5.1 UTILITY PLAN
- C6.0 PAVING PLAN
- C7.0 EROSION CONTROL NOTES & DETAILS
- C7.1 EROSION CONTROL PLAN
- C8.0 SWCP
- C8.1 SWCP CALC.

- STRUCTURAL
- S1.1 NOTES AND SPECS
- S1.2 TYPICAL DETAILS
- S2.1 ROOF FRAMING PLAN
- S2.2 FLOOR FRAMING PLAN
- S2.3 FOUNDATION PLAN
- S4.1 DETAILS
- S4.2 DETAILS
- S4.3 DETAILS
- S4.4 DETAILS
- S4.5 SIMPSON DETAIL
- S4.6 SIMPSON DETAIL
- S4.7 SIMPSON DETAIL
- S4.8 SIMPSON DETAIL
- S4.9 SIMPSON DETAIL
- S4.10 SIMPSON DETAIL
- S4.11 SIMPSON DETAIL
- S4.12 SIMPSON DETAIL
- S4.13 SIMPSON DETAIL
- S4.14 SIMPSON DETAIL
- S4.15 SIMPSON DETAIL
- S4.16 SIMPSON DETAIL
- S4.17 SIMPSON DETAIL
- S4.18 SIMPSON DETAIL
- S4.19 SIMPSON DETAIL
- S4.20 SIMPSON DETAIL
- S4.21 SIMPSON DETAIL
- S4.22 SIMPSON DETAIL
- S4.23 SIMPSON DETAIL
- S4.24 SIMPSON DETAIL
- S4.25 SIMPSON DETAIL
- S4.26 SIMPSON DETAIL
- S4.27 SIMPSON DETAIL
- S4.28 SIMPSON DETAIL
- S4.29 SIMPSON DETAIL
- S4.30 SIMPSON DETAIL
- S4.31 SIMPSON DETAIL
- S4.32 SIMPSON DETAIL
- S4.33 SIMPSON DETAIL
- S4.34 SIMPSON DETAIL
- S4.35 SIMPSON DETAIL
- S4.36 SIMPSON DETAIL
- S4.37 SIMPSON DETAIL
- S4.38 SIMPSON DETAIL
- S4.39 SIMPSON DETAIL
- S4.40 SIMPSON DETAIL
- S4.41 SIMPSON DETAIL
- S4.42 SIMPSON DETAIL
- S4.43 SIMPSON DETAIL
- S4.44 SIMPSON DETAIL
- S4.45 SIMPSON DETAIL
- S4.46 SIMPSON DETAIL
- S4.47 SIMPSON DETAIL
- S4.48 SIMPSON DETAIL
- S4.49 SIMPSON DETAIL
- S4.50 SIMPSON DETAIL
- S4.51 SIMPSON DETAIL
- S4.52 SIMPSON DETAIL
- S4.53 SIMPSON DETAIL
- S4.54 SIMPSON DETAIL
- S4.55 SIMPSON DETAIL
- S4.56 SIMPSON DETAIL
- S4.57 SIMPSON DETAIL
- S4.58 SIMPSON DETAIL
- S4.59 SIMPSON DETAIL
- S4.60 SIMPSON DETAIL
- S4.61 SIMPSON DETAIL
- S4.62 SIMPSON DETAIL
- S4.63 SIMPSON DETAIL
- S4.64 SIMPSON DETAIL
- S4.65 SIMPSON DETAIL
- S4.66 SIMPSON DETAIL
- S4.67 SIMPSON DETAIL
- S4.68 SIMPSON DETAIL
- S4.69 SIMPSON DETAIL
- S4.70 SIMPSON DETAIL
- S4.71 SIMPSON DETAIL
- S4.72 SIMPSON DETAIL
- S4.73 SIMPSON DETAIL
- S4.74 SIMPSON DETAIL
- S4.75 SIMPSON DETAIL
- S4.76 SIMPSON DETAIL
- S4.77 SIMPSON DETAIL
- S4.78 SIMPSON DETAIL
- S4.79 SIMPSON DETAIL
- S4.80 SIMPSON DETAIL
- S4.81 SIMPSON DETAIL
- S4.82 SIMPSON DETAIL
- S4.83 SIMPSON DETAIL
- S4.84 SIMPSON DETAIL
- S4.85 SIMPSON DETAIL
- S4.86 SIMPSON DETAIL
- S4.87 SIMPSON DETAIL
- S4.88 SIMPSON DETAIL
- S4.89 SIMPSON DETAIL
- S4.90 SIMPSON DETAIL
- S4.91 SIMPSON DETAIL
- S4.92 SIMPSON DETAIL
- S4.93 SIMPSON DETAIL
- S4.94 SIMPSON DETAIL
- S4.95 SIMPSON DETAIL
- S4.96 SIMPSON DETAIL
- S4.97 SIMPSON DETAIL
- S4.98 SIMPSON DETAIL
- S4.99 SIMPSON DETAIL
- S4.100 SIMPSON DETAIL

- PLUMBING/MECHANICAL/TELECOMMUNICATIONS
- P1.1 FIRST FLOOR WASTE AND VENT PLAN
- P1.2 SECOND FLOOR WASTE AND VENT PLAN
- P2.1 FIRST FLOOR DOMESTIC WATER/GAS
- P2.2 SECOND FLOOR DOMESTIC WATER/GAS
- MD.1 NOTES
- MD.2 NOTES
- MD.3 ENERGY COMPLIANCE
- MD.4 HAZARDOUS MATERIALS
- MD.5 RADIANT HEAT PLAN
- MD.6 COOLING AND VENTILATION PLAN
- MD.7 HEATING AND DRYING PLAN
- MD.8 HEATING AND DRYING PLAN
- MD.9 DETAILS
- MD.10 HEAT SOURCE VENTING

- RAINWATER/SEPTIC
- R1 RAINWATER PLAN
- R2 RAINWATER DETAILS
- S1 SEPTIC SYSTEM
- S2 SEPTIC SYSTEM

PSD

PETER SPELLMAN
DESIGN, INC.

102 GREEN STREET
SANTA CRUZ, CA 95060
TEL: 831-419-4170
pdesign@hotmail.com



48 LUPINE LANE
SANTA CRUZ, CA. 95065
APN: 025-013-45

PROJECT TITLE:
NEW SINGLE FAMILY DWELLING
AND DETACHED GARAGE W/
NON-HABITABLE SHOP ABOVE

BUILDING PERMIT SUBMITTAL 12-11-18
PCP1 SUBMITTAL 4-19-19
PCP2 SUBMITTAL 7-11-19

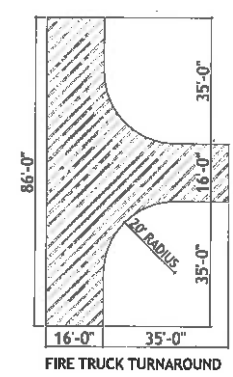
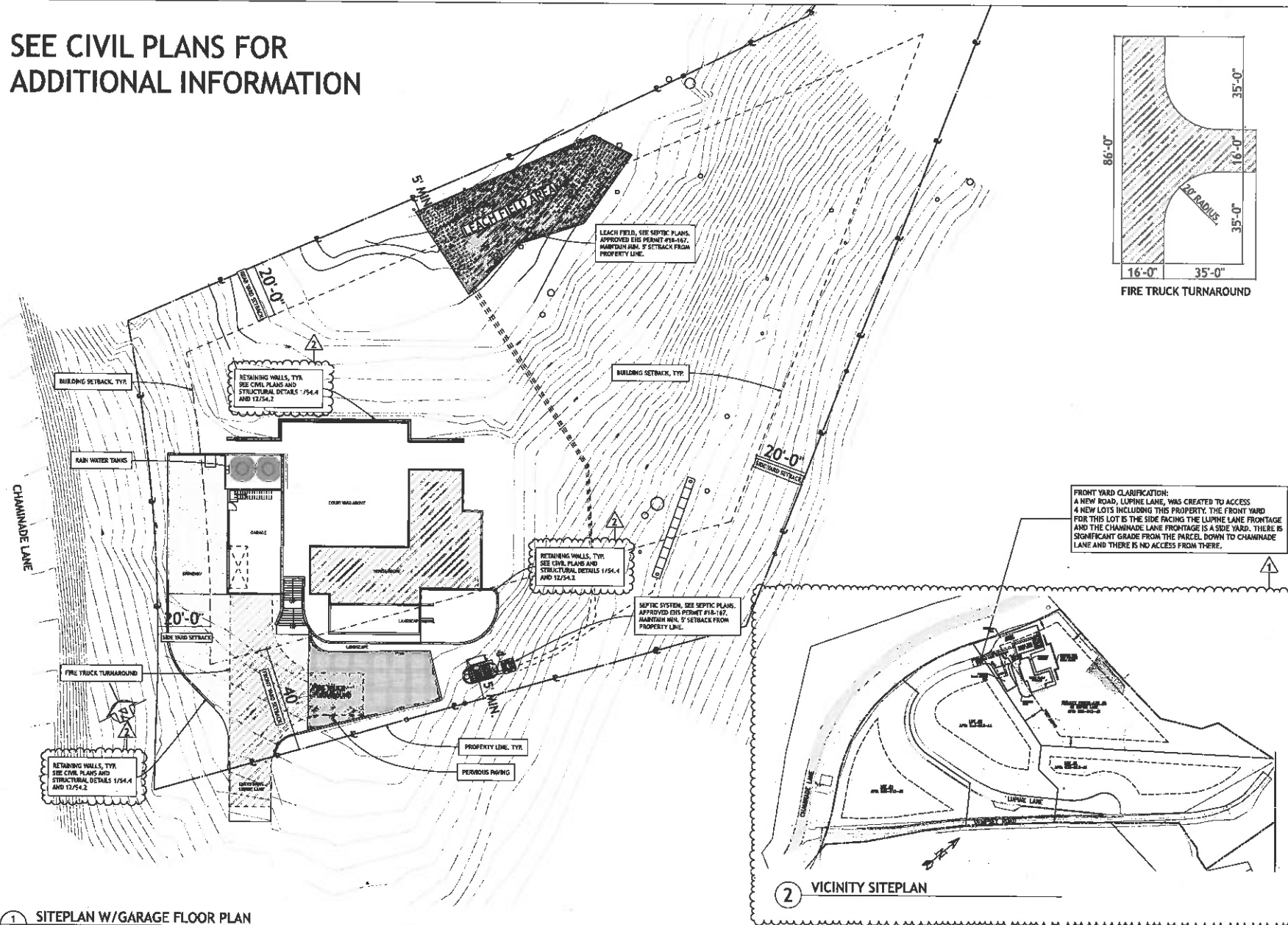
COPYRIGHT 2018, PETER SPELLMAN DESIGN, INC.
ALL RIGHTS RESERVED. NO PART OF THIS
DOCUMENT MAY BE REPRODUCED OR
TRANSMITTED IN ANY FORM OR BY ANY
MEANS, ELECTRONIC OR MECHANICAL,
INCLUDING PHOTOCOPYING, RECORDING,
OR BY ANY INFORMATION STORAGE AND
RETRIEVAL SYSTEM, WITHOUT PERMISSION
IN WRITING FROM PETER SPELLMAN DESIGN, INC.

PROJECT NUMBER: 18-009
DATE: 12-11-18

COVER SHEET

A1

SEE CIVIL PLANS FOR
ADDITIONAL INFORMATION



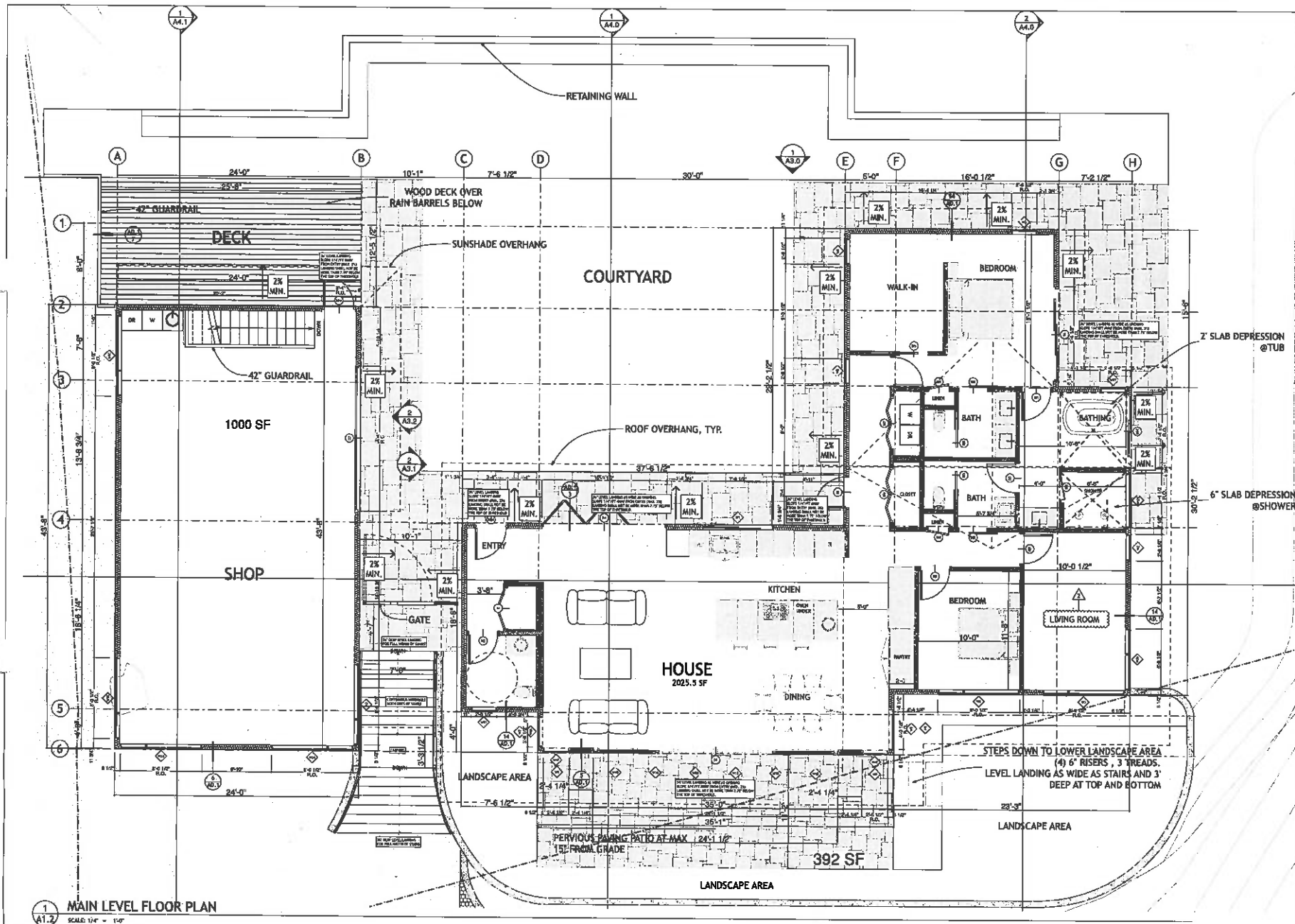
PSD
PETER SPELLMAN
DESIGN, INC.
 102 GREEN STREET
 SANTA CRUZ, CA 95060
 T: 831-419-4170
 psdesign@hotmail.com

48 LUPINE LANE
SANTA CRUZ, CA. 95065
APN: 025-013-45

PROJECT TITLE:	
NEW SINGLE FAMILY DWELLING AND DETACHED GARAGE W/ NON-HABITABLE SHOP ABOVE	
BUILDING PERMIT SUBMITTAL:	12-11-18
PCPI SUBMITTAL:	4-29-19
PCPS SUBMITTAL:	7-11-19
<small> I, PETER SPELLMAN, A PROFESSIONAL ENGINEER, HEREBY CERTIFY THAT I AM THE DESIGNER OF THE ABOVE PROJECT AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF CALIFORNIA. I HAVE REVIEWED THE PROJECT AND I AM SURE THAT IT COMPLIES WITH ALL APPLICABLE CITY, STATE AND FEDERAL REQUIREMENTS. I HAVE ALSO REVIEWED THE PROJECT AND I AM SURE THAT IT COMPLIES WITH ALL APPLICABLE CITY, STATE AND FEDERAL REQUIREMENTS. I HAVE ALSO REVIEWED THE PROJECT AND I AM SURE THAT IT COMPLIES WITH ALL APPLICABLE CITY, STATE AND FEDERAL REQUIREMENTS. </small>	
PROJECT NUMBER:	18-009
DATE:	12-11-18

SITEPLAN
A1.0

1 SITEPLAN W/GARAGE FLOOR PLAN
SCALE: 1/8" = 1'-0"



PSD

**PETER SPELLMAN
DESIGN, INC.**

102 GREEN STREET
SANTA CRUZ, CA 95060
T: 831-419-4170
psdesign@hotmail.com



**48 LUPINE LANE
SANTA CRUZ, CA. 95065
APN: 025-013-45**

PROJECT TITLE:
NEW SINGLE FAMILY DWELLING
AND DETACHED GARAGE W/
NON-HABITABLE SHOP ABOVE

BUILDING PERMIT SUBMITTAL: 12-15-19
PCF1 SUBMITTAL: 4-18-19
PCF2 SUBMITTAL: 7-15-19

CONTRACTOR SHALL REVIEW EXISTING RECORDING
ALL DIMENSIONS, ELEVATIONS, AND FINISHES
SHOWN ON EXISTING RECORDING SHALL BE
VERIFIED BY THE CONTRACTOR. THE CONTRACTOR
SHALL BE RESPONSIBLE FOR OBTAINING ALL
NECESSARY PERMITS AND APPROVALS.
THESE PLANS ARE THE PROPERTY OF PETER SPELLMAN DESIGN, INC.
NO PART OF THESE PLANS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF PETER SPELLMAN DESIGN, INC.

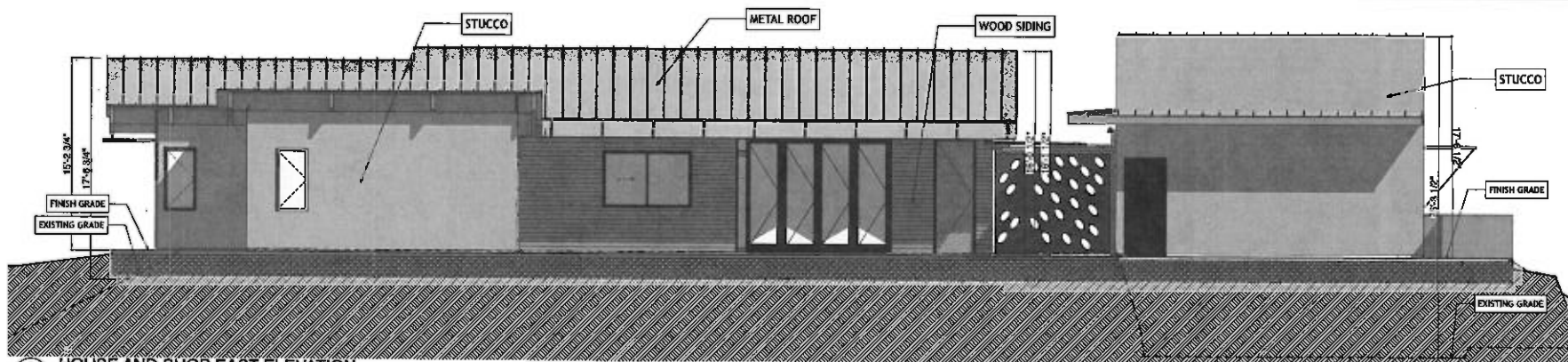
PROJECT NUMBER: 18-009
DATE: 12-15-19

**MAIN LEVEL
FLOOR PLAN**

A1.2

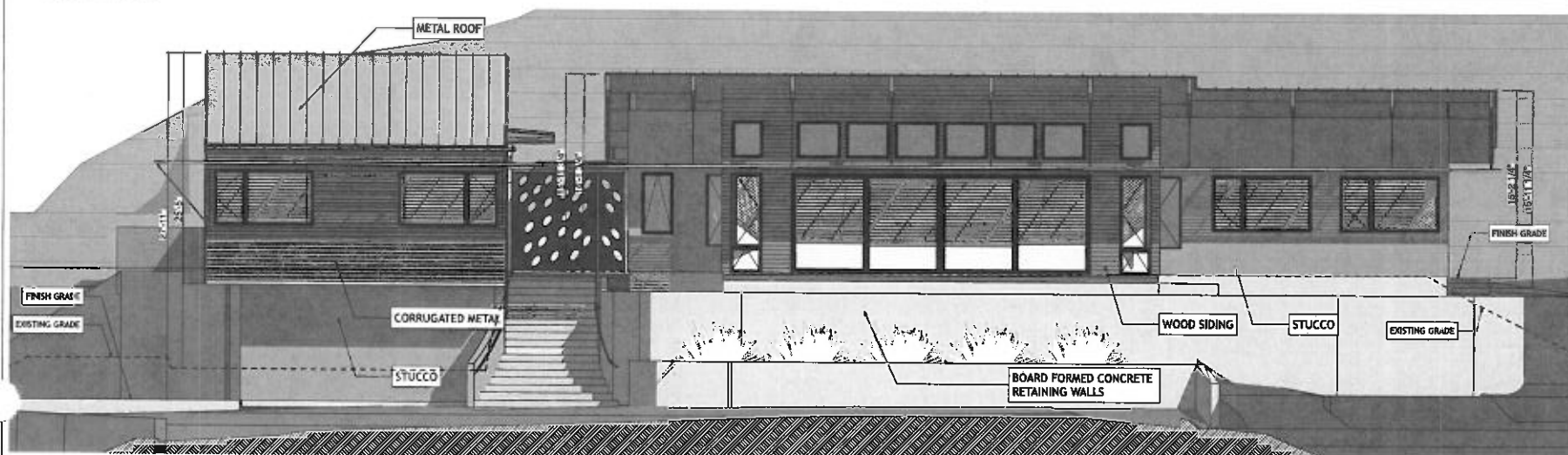
A1.3





1 HOUSE AND SHOP EAST ELEVATION

SCALE: 1/4" = 1'-0"



2 HOUSE AND GARAGE/SHOP WEST ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR FINISH TRANSITION NOTE:
USE FRY REGLET CLEAR ANODIZED ALUMINUM
MOLDINGS @ ALL EXTERIOR MATERIAL TRANSITIONS.
CORNER TRANSITIONS: "X" MOLDING XCM-75-75
TRANSITIONS IN THE SAME PLANE: "T" MOLDING TRM-75-150

EXTERIOR FINISHES
WUI CONDITIONS APPLY (SRA MODERATE)

HOUSE:
NON-COMBUSTIBLE SIDING: CORRUGATED METAL
7/8" STUCCO OR WUI COMPLIANT WOOD SIDING
ROOF: STANDING SEAM METAL
ROOF OVERHANGS: T&G STAINED REDWOOD 0/3/8" TYP. X GYPBD.
EXPOSED FRAMING: 3.25" GLULAM BEAMS, STAINED
SUNSHADE: NON-COMBUSTIBLE METAL GRATING

SHOP:
NON-COMBUSTIBLE SIDING: CORRUGATED METAL AND 7/8" STUCCO
ROOF: STANDING SEAM METAL (NO OVERHANGS)
SUNSHADE OVER DOORS @ COURTYARD AND REAR DECK:
2X WOOD FRAMED W/STANDING SEAM METAL ROOF.
UNDERSIDE: REDWOOD T&G OVER 5/3" TYP X GYPBD.
W/CONT. WUI COMPLIANT STRIP VENT (BRANGUARD#UE2011-H)

GARAGE:
7/8" STUCCO ASSEMBLY

PSD

PETER SPELLMAN
DESIGN, INC.

102 GREEN STREET
SANTA CRUZ, CA 95060
T: 831-419-4170
psdesign@hotmail.com



48 LUPINE LANE
SANTA CRUZ, CA. 95065
APN: 025-013-45

PROJECT TITLE:
NEW SINGLE FAMILY DWELLING
AND DETACHED GARAGE W/
NON-HABITABLE SHOP ABOVE

BUILDING PERMIT SUBMITTAL 12-15-16
PCF1 SUBMITTAL 4-19-19
PCF2 SUBMITTAL 7-01-19

COPYRIGHT 2016 PETER SPELLMAN DESIGN, INC.
ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF PETER SPELLMAN DESIGN, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF PETER SPELLMAN DESIGN, INC.

PROJECT NUMBER: 18-036
DATE: 12-11-16

ELEVATIONS

A3.0

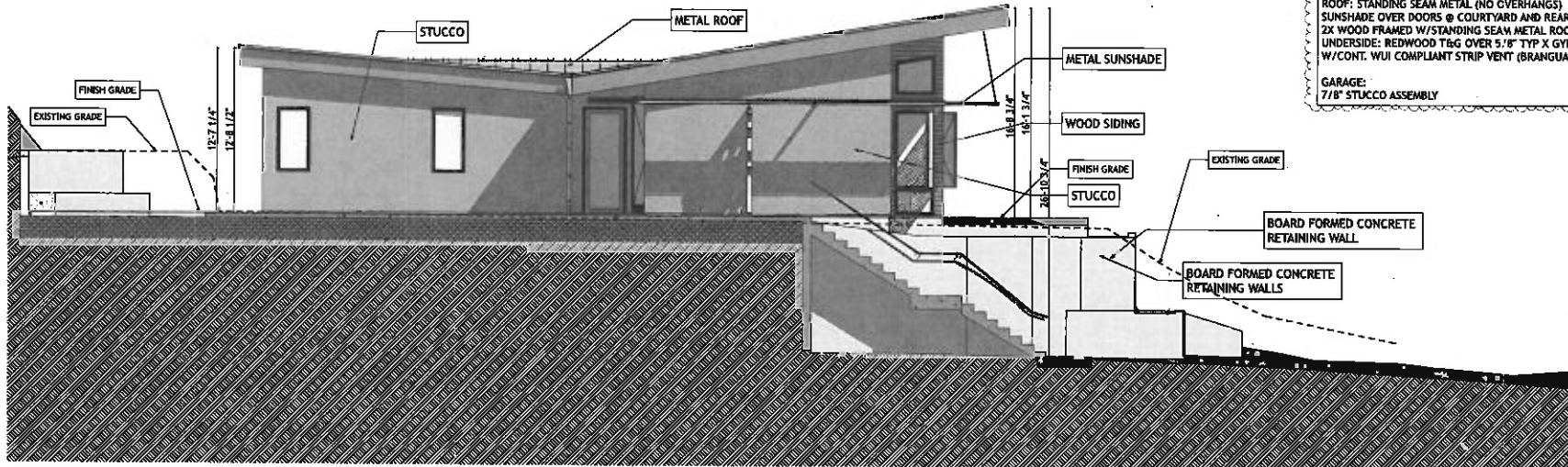
EXTERIOR FINISH TRANSITION NOTE:
USE FRY REGLET CLEAR ANODIZED ALUMINUM
MOLDINGS @ ALL EXTERIOR MATERIAL TRANSITIONS.
CORNER TRANSITIONS: "X" MOLDING XCM-75-75
TRANSITIONS IN THE SAME PLANE: "T" MOLDING TRM-75-150

EXTERIOR FINISHES
WUI CONDITIONS APPLY (SRA MODERATE)

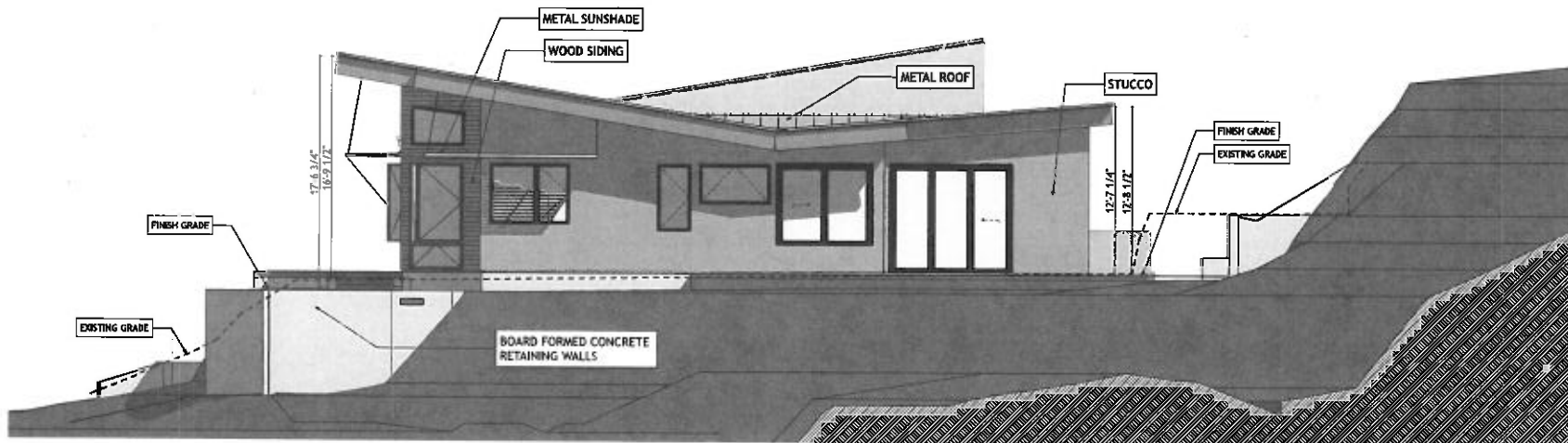
HOUSE:
NON-COMBUSTIBLE SIDING: CORRUGATED METAL
7/8" STUCCO OR WUI COMPLAINT WOOD SIDING
ROOF: STANDING SEAM METAL
ROOF OVERHANGS: T&G STAINED REDWOOD 0/5/8" TYP. X GYPBD.
EXPOSED FRAMING: 3.25" GLULAM BEAMS, STAINED
SUNSHADE: NON-COMBUSTIBLE METAL GRATING

SHOP:
NON-COMBUSTIBLE SIDING: CORRUGATED METAL AND 7/8" STUCCO
ROOF: STANDING SEAM METAL (NO OVERHANGS)
SUNSHADE OVER DOORS @ COURTYARD AND REAR DECK:
2X WOOD FRAMED W/STANDING SEAM METAL ROOF
UNDERSIDE: REDWOOD T&G OVER 5/8" TYP. X GYPBD.
W/CONT. WUI COMPLAINT STRIP VENT (BRANGUARD#UEZ011-H)

GARAGE:
7/8" STUCCO ASSEMBLY



2 HOUSE NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 HOUSE SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

PSD

PETER SPELLMAN
DESIGN, INC.

102 GREEN STREET
SANTA CRUZ, CA 95060
T: 831-419-4170
psdesign@hotmail.com



48 LUPINE LANE
SANTA CRUZ, CA. 95065
APN: 025-013-45

PROJECT TITLE:
NEW SINGLE FAMILY DWELLING
AND DETACHED GARAGE W/
NON-HABITABLE SHOP ABOVE

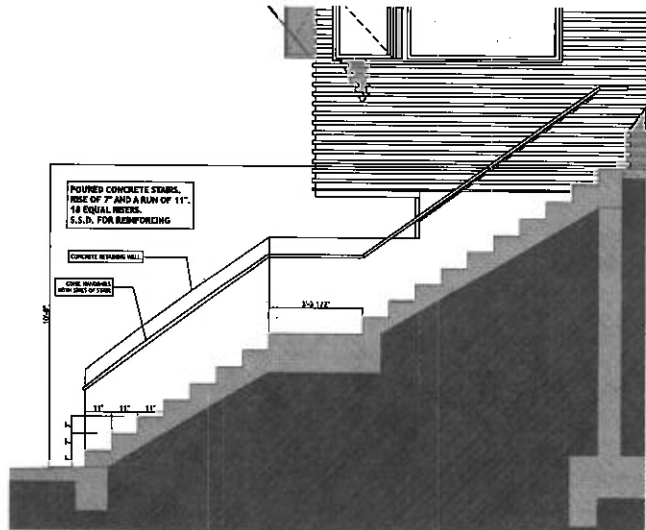
BUILDING PERMIT SUBMITTAL 12-11-19
PCPI SUBMITTAL 6-19-19
PCPI SUBMITTAL 7-11-19

APPROVE: [Signature]
I, [Signature], ARCHITECT, hereby certify that the above is a true and correct copy of the plans as submitted for review and approval by the Santa Cruz County Planning and Building Department. I am not responsible for any errors or omissions on these plans.

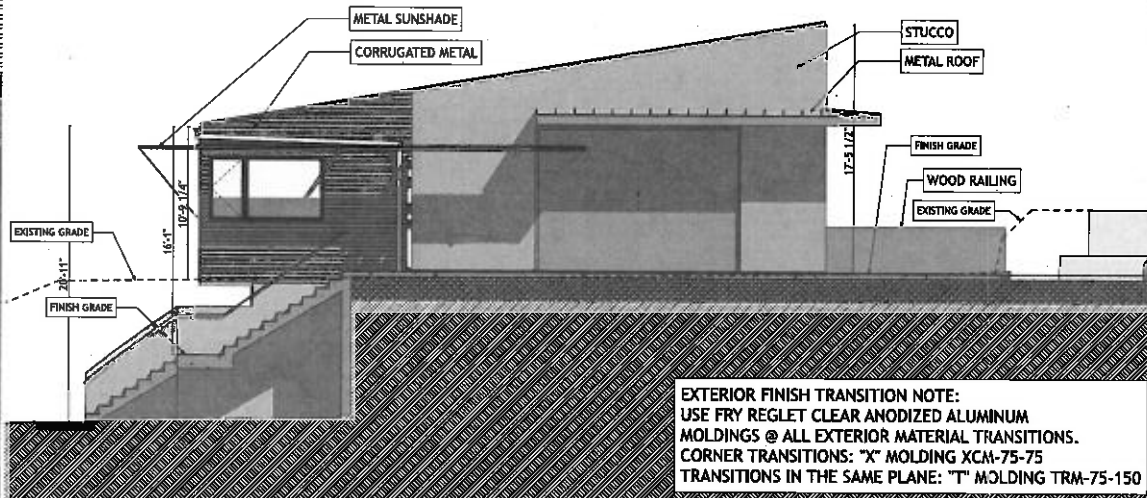
PROJECT NUMBER: 16-039
DATE: 12-11-19

ELEVATIONS

A3.1

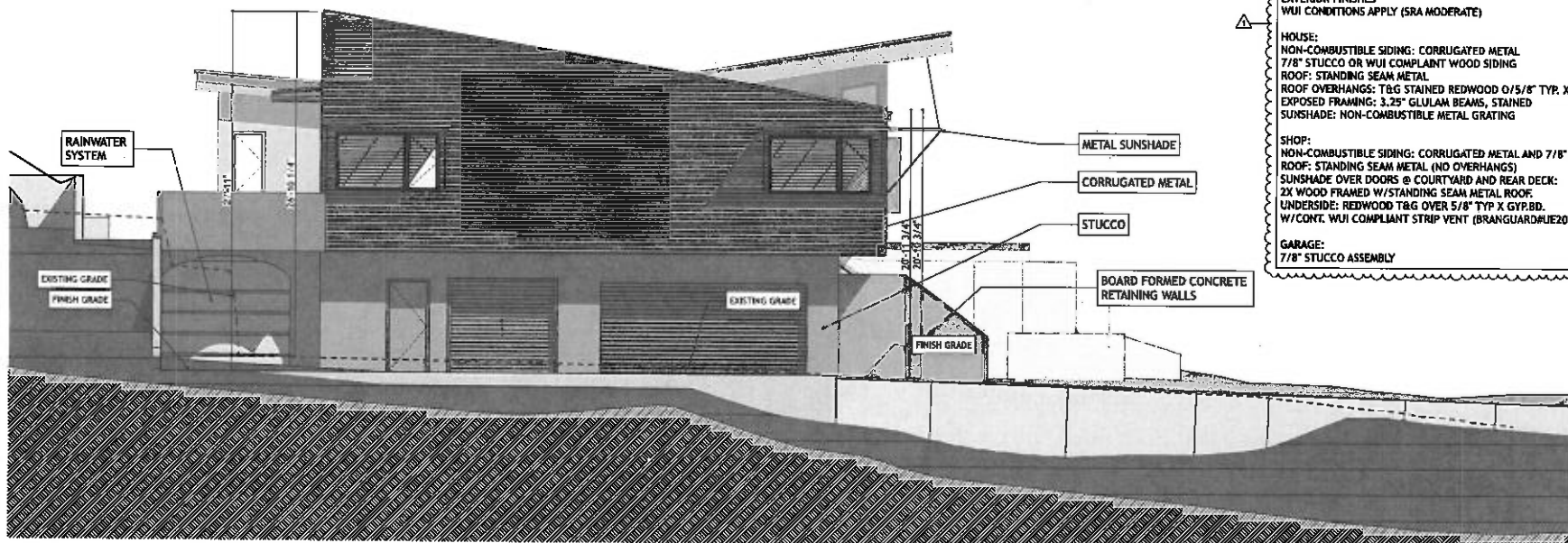


3 SECTION THRU ENTRY STAIRS
A3.2



2 GARAGE/SHOP SOUTH ELEVATION
A3.2

EXTERIOR FINISH TRANSITION NOTE:
USE FRY REGLET CLEAR ANODIZED ALUMINUM MOLDINGS @ ALL EXTERIOR MATERIAL TRANSITIONS.
CORNER TRANSITIONS: "X" MOLDING XCM-75-75
TRANSITIONS IN THE SAME PLANE: "T" MOLDING TRM-75-150



1 GARAGE/SHOP NORTH ELEVATION
A3.2

EXTERIOR FINISHES
WUI CONDITIONS APPLY (SRA MODERATE)

HOUSE:
NON-COMBUSTIBLE SIDING: CORRUGATED METAL
7/8" STUCCO OR WUI COMPLAINT WOOD SIDING
ROOF: STANDING SEAM METAL
ROOF OVERHANGS: T&G STAINED REDWOOD 0/5/8" TYP. X GYPBD.
EXPOSED FRAMING: 3.25" GLULAM BEAMS, STAINED
SUNSHADE: NON-COMBUSTIBLE METAL GRATING

SHOP:
NON-COMBUSTIBLE SIDING: CORRUGATED METAL AND 7/8" STUCCO
ROOF: STANDING SEAM METAL (NO OVERHANGS)
SUNSHADE OVER DOORS @ COURTYARD AND REAR DECK:
2X WOOD FRAMED W/STANDING SEAM METAL ROOF
UNDERSIDE: REDWOOD T&G OVER 5/8" TYP X GYPBD.
W/CONT. WUI COMPLIANT STRIP VENT (BRANGUARD#UEZ011-H)

GARAGE:
7/8" STUCCO ASSEMBLY

PSD
PETER SPELLMAN
DESIGN, INC.
102 GREEN STREET
SANTA CRUZ, CA 95060
T: 831-419-4170
psdesign@hotmail.com



48 LUPINE LANE
SANTA CRUZ, CA. 95065
APN: 025-013-45

PROJECT TITLE:
NEW SINGLE FAMILY DWELLING
AND DETACHED GARAGE W/
NON-HABITABLE SHOP ABOVE

BUILDING PERMIT SUBMITTAL 12-11-18
PCF SUBMITTAL 6-19-19
SCF SUBMITTAL 7-11-19

PROJECT NO. 10000
DATE: 12-11-18

PROJECT NUMBER: 18-038
DATE: 12-11-18

ELEVATIONS

A3.2

PSD

PETER SPELLMAN
DESIGN, INC.

102 GREEN STREET
SANTA CRUZ, CA 95060
P: 831-491-4170
psdesign@hotmail.com



48 LUPINE LANE
SANTA CRUZ, CA. 95065
APN: 025-013-45

PROJECT TITLE:
NEW SINGLE FAMILY DWELLING
AND DETACHED GARAGE W/
NON-HABITABLE SHOP ABOVE

BUILDING PERMIT SUBMITTAL 12-11-18
PCPI SUBMITTAL 6-09-19
PCPI SUBMITTAL 7-01-19

PERMIT SET, PERMITS, PLANS, AND
ALL OTHERS SHALL BE REVIEWED BY THE
SANTA CRUZ PLANNING AND ZONING
DEPARTMENT FOR CONFORMANCE WITH
THE CITY OF SANTA CRUZ, CALIFORNIA
MUNICIPAL CODE AND ORDINANCES.

PROJECT NUMBER: 16-028
DATE: 12-11-18

SECTIONS

A4.1

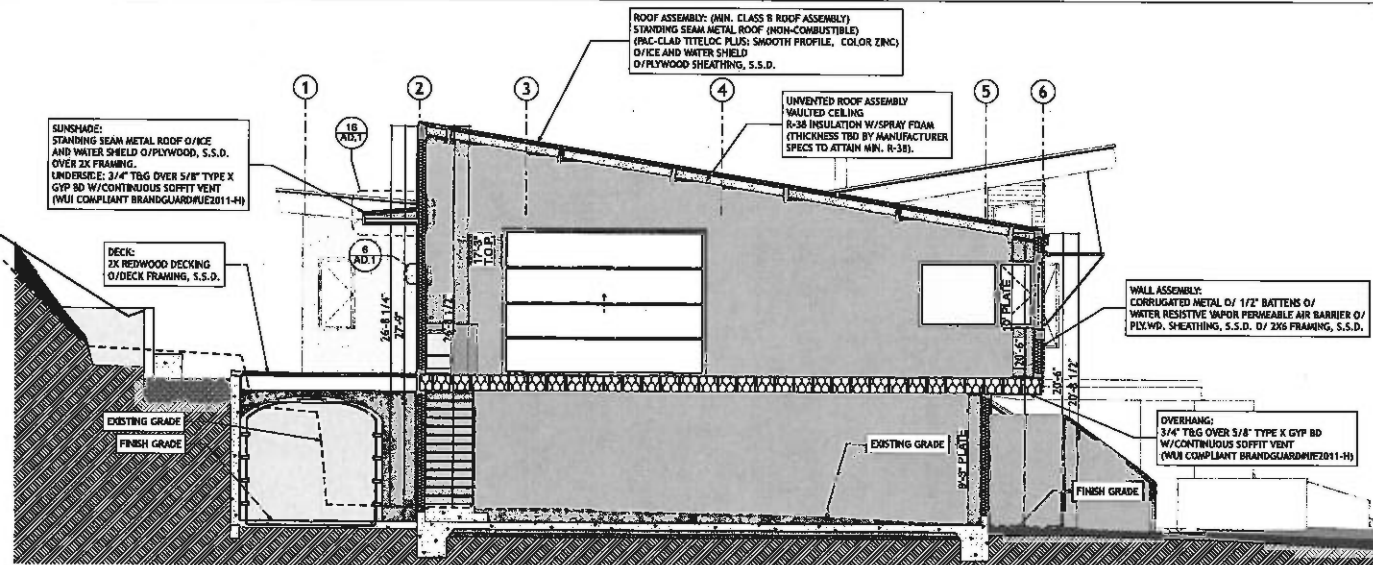
INSULATION

ROOF:
R-38 MIN. CLOSED CELL SPRAY FOAM @ R-5/INCH
WALLS @ HOUSE:
R-21 MIN. W/LOOSE-FILL CELLULOSE @ CAVITY AND
1.25" EXTERIOR INSULATION (ROXUL COMFORTBOARD),
GARAGE/SHOP: FIBERGLASS BATT
FLOORS:
2" RIGID INSULATION BETWEEN CONC. TOPPING
SLAB AND STRUCTURAL SLAB FOR HOUSE.
R-21 BATTS AT SHOP FLOOR

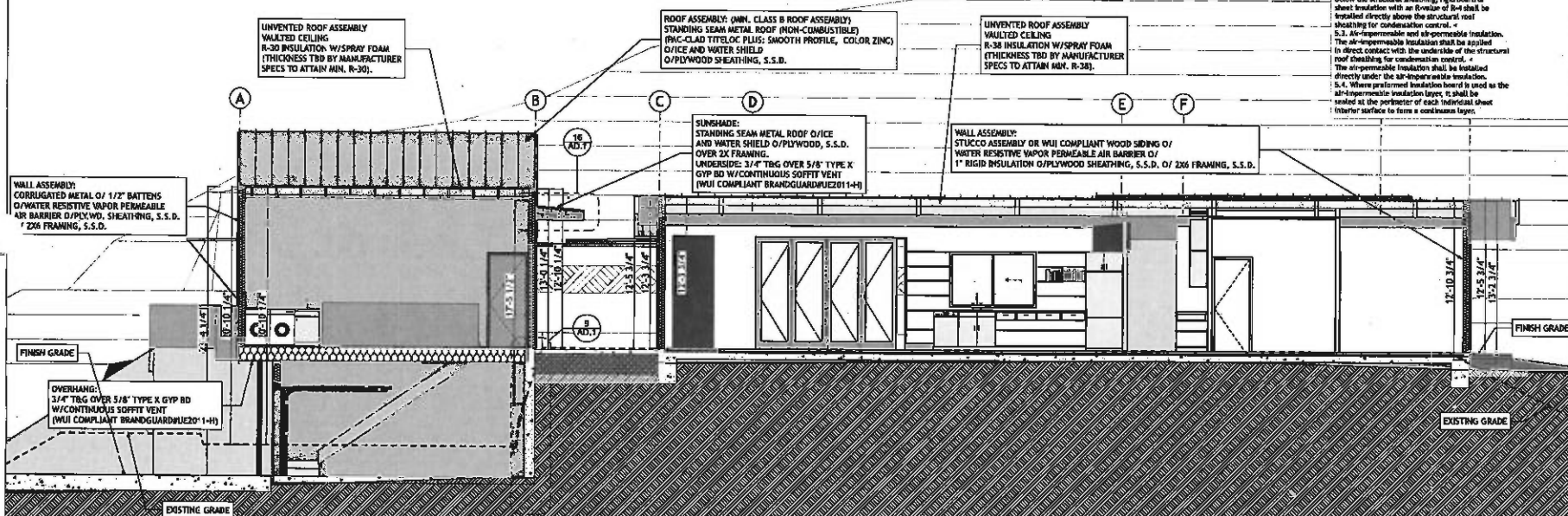
UNVENTED ROOF ASSEMBLY

NOTES:

PER SECTION 901.5 OF THE 2013 IRC Unvented attic and
unvented enclosed rafter assemblies.
Unvented attic assemblies spaces between the
rafters of the top story and the roof (rafters) and
unvented enclosed rafter assemblies spaces between rafters
that are applied directly to the underside of roof framing
members/rafters and the structural roof sheathing at the top of
the roof (forming eaves/overhangs) shall be permitted if all the
following conditions are met:
1. The unvented attic space is completely contained
within the building thermal envelope.
2. No breather Class I vapor retarders are installed on the
ceiling side (interior) of the unvented attic assembly
or on the ceiling side of the unvented enclosed rafter
assembly.
3. Where wood shingles or shakes are used, a minimum 1/4-
inch (6 mm) vented air space separates the shingles or
shakes and the ceiling underlayment above the structural
sheathing.
4. In California Climate Zones 14 and 16, any air-impermeable
insulation shall be a Class II vapor retarder, or
shall have a Class II vapor retarder coating or covering
in direct contact with the underside of the insulation.
See Table 304, Part 4, Figure 100.1-A California Climate
Zones.
5. Either Items 5.1, 5.2 or 5.3 shall be met, depending on
the air permeability of the insulation directly under the
structural roof sheathing. No insulation shall be
required when roof tiles, wood shingles or wood
shakes, or any other roofing system using battens and
no continuous underlayment is installed. A continuous
layer shall be considered to exist if sheathing, roofing
paper or any continuous layer which has a perm rate of
no more than one perm unit (the dry cup method).
5.1. Air-impermeable insulation only. Insulation
shall be applied in direct contact with the underside
of the structural roof sheathing.
5.2. Air-permeable insulation only. In addition to the
air-permeable insulation installed directly
below the structural sheathing, rigid board or
sheet insulation with an R-value of 5 or greater shall be
installed directly above the structural roof
sheathing for condensation control.
5.3. Air-impermeable and air-permeable insulation.
The air-impermeable insulation shall be applied
in direct contact with the underside of the structural
roof sheathing for condensation control.
5.4. Where perforated insulation board is used as the
air-impermeable insulation layer, it shall be
sealed at the perimeter of each individual sheet
interior surface to form a continuous layer.



1
A4.1
SECTION THRU SHOP/GARAGE
SCALE: 1/4" = 1'-0"



2
A4.1
SECTION S THRU HOUSE AND GARAGE/SHOP
SCALE: 1/4" = 1'-0"