

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATION NUMBER: 191310 **APN: 103-211-25**
SITUS: 604 Olive Springs Rd, Soquel, CA 95073

Proposal to construct a new 3,584 square foot non-habitable accessory structure (barn) with a half bathroom. Requires a residential development permit for an accessory structure greater than 1,000 square feet outside the Urban Services Line.

Property located on the north side of Olive Springs Road, approximately 0.75 miles east of the intersection of Olive Springs Road and Soquel San Jose Road (604 Olive Springs Road).

OWNER: Gordon Joel
APPLICANT: Matson Britton Architects-Frank Kruzic
SUPERVISORIAL DISTRICT: 1
PLANNER: Evan Ditmars, (831) 454-3227
EMAIL: Evan.Ditmars@santacruzcounty.us

Public comments must be received by 5:00 p.m. November 3, 2020.

A decision will be made on or shortly after November 4, 2020.

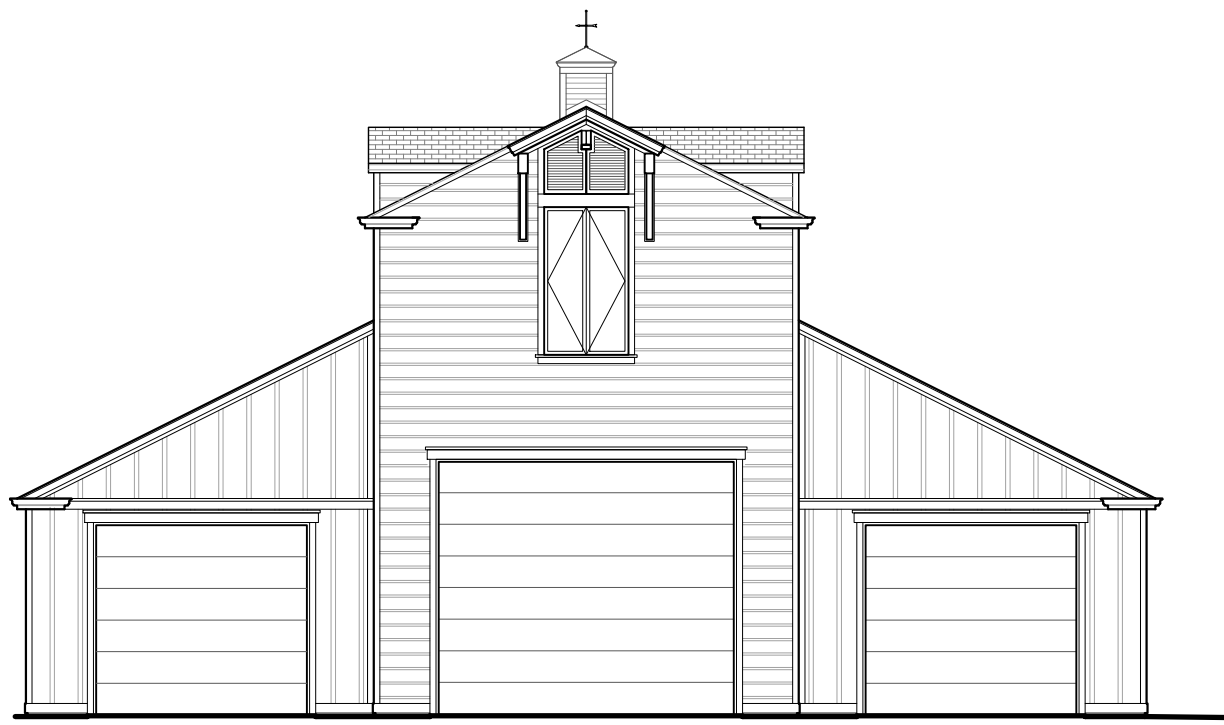
Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. Planner will provide notification of decision to any requesting party.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

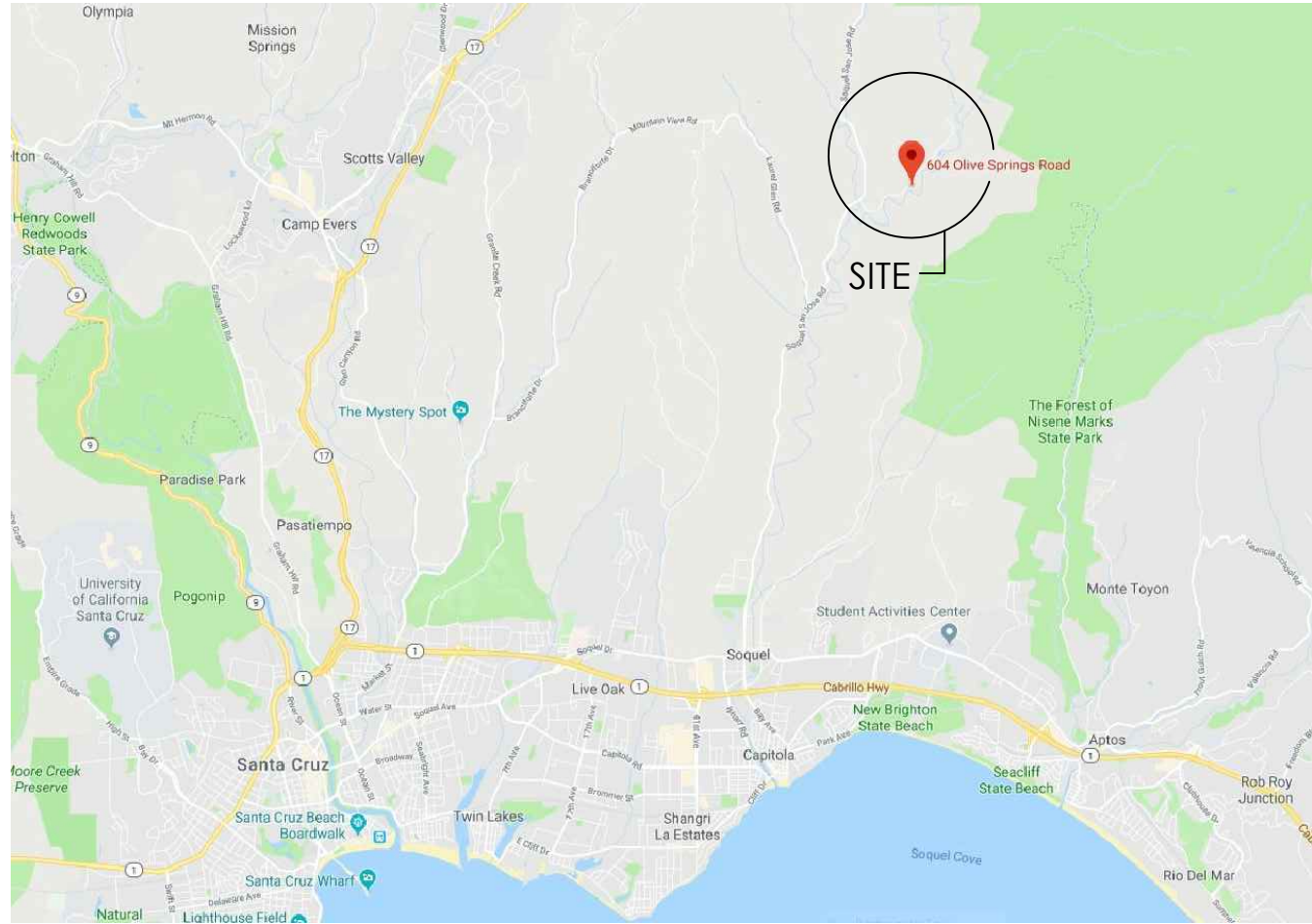
GORDON JOEL
APN# 103-221-25

ABBREVIATIONS

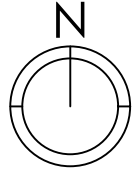
&	AND	H.B.	HOSE BIB
L, A	ANGLE	HDR.	HEADER
@	AT	HDWR.	HARDWARE
'	DEGREE	HORIZ.	HORIZONTAL
A.B.	ANCHOR BOLT	HT., H.	HEIGHT
(A)	ABOVE	I.D.	INSIDE DIAMETER
A.C.I.	AMERICAN CONCRETE INSTITUTE	IN.	INCH(ES)
		INSUL.	INSULATION
		INT.	INTERIOR
ADJ.	ADJACENT	JT.	JOINT
A.F.F.	ABOVE FINISH FLOOR	K.P.	KING POST
		L	LENGTH
A.I.S.C.	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	LIN.	LINEAR
		MAX.	MAXIMUM
ALT.	ALTERNATE	M.B.	MACHINE BOLT
ALUM.	ALUMINUM	MEMB.	MEMBRANE
APPROX.	APPROXIMATELY	MFR.	MANUFACTURER
ARCH.	ARCHITECTURAL	MIN.	MINIMUM
A.S.T.M.	AMERICAN SOCIETY OF TESTING MATERIALS	MISC.	MISCELLANEOUS
		MTL.	METAL
(B)	BELOW	MW.	MICROWAVE
BD.	BOARD	N.	NORTH
BLDG.	BUILDING	(N)	NEW
BLKG.	BLOCKING	N.T.S.	NOT TO SCALE
BM.	BEAM	O/	OVER
B.N.	BOUNDARY NAILING	O.C.	ON CENTER
B.O.	BOTTOM OF	O.D.	OUTSIDE DIAMETER
BOT.,	BOTTOM	O.H.	OPPOSITE HAND
BOTT.	BETWEEN	OV.	OVEN
BTWN.	CABINET	N.I.C.	NOT IN CONTRACT
CAB.	CEILING BEAM	PL.	PLATE
C.B.	CEILING JOIST	PLYWD.	PLYWOOD
C.J.	CEILING	PKG.	PARKING
CLG.	CLEAR	P.S.F.	POUNDS PER SQUARE FOOT
CLR.	COLUMN		
COL.	CONCRETE	P.S.I.	POUNDS PER SQUARE INCH
CONC.	CONTINUOUS	QTY.	QUANTITY
CONT.	CENTER	RAD.	RADIUS
CTR.	CENTERLINE	R.B.	ROOF BEAM
CL	BAR DIAMETER	RCP.	REFLECTED CEILING PLAN
Db	DOUBLE	RE:	REFERENCE
DBL.	DEGREE	REF.	REFRIGERATOR
DEG.	DEMOLISH	REINF.	REINFORCED
DEMO.	DETAIL	REQ'D.	REQUIRED
DET., DTL.		RM.	ROOM
D.W.		R.O.	ROUGH OPENING
DWG.	DISHWASHER	R.R.	ROOF RAFTER
DWN.,	DRAWING	SCHED.	SCHEDULE
DN.	DOWN	SF.,	SQUARE FOOT
(E)		SQ. FT.	
EA.	EXISTING	SHTG.	SHEATHING
E.N.	EACH	SHT.	SHEET
EL.,	EDGE NAILING	SIM.	SIMILAR
ELEV.	ELEVATION	SL.	SLOPED
ELEV.		SPKL.	SPRINKLER
ENG.	ELEVATOR	SQ.	SQUARE
EQ.	ENGINEER	STAGG.	STAGGER
EXT.	EQUAL	STD.	STANDARD
E.W.	EXTERIOR	STL.	STEEL
F.B.	EACH WAY	STR.,	STRUCTURAL
F.F.	FLOOR BEAM	STRUCT.	
FIN.	FINISHED FLOOR	T&B	TOP & BOTTOM
F.J.	FINISH(ED)	T&G	TONGUE & GROOVE
FL.	FLOOR JOIST	THK.	THICK
FLR.	FLUSH	T.O.	TOP OF
F.N.	FLOOR	T.P.	TOILET PAPER
FND.	FIELD NAILING	TYP.	TYPICAL
F.O.	FOUNDATION	U.B.C.	UNIFORMED BUILDING CODE
FP.	FACE OF	VERT.	VERTICAL
F.R.	FIREPLACE	W.	WIDTH
FT.	FIRE RATED	WD.	WOOD
FTG.	FOOT OR FEET	WH.	WATER HEATER
FZR.	FOOTING		
GA.	FREEZER		
GALV.	GUAGE		
G.B.	GALVANIZED		
GLB.	GRADE BEAM		
GYP. BD.,	GLU-LAM BEAM		
G.W.B.	GYPSUM WALL BOARD		



GORDON JOEL
NEW BARN
604 OLIVE SPRINGS ROAD
SOQUEL, CA 95073
APN 103-211-25
PREVIOUS APN 103-211-09



VICINITY MAP



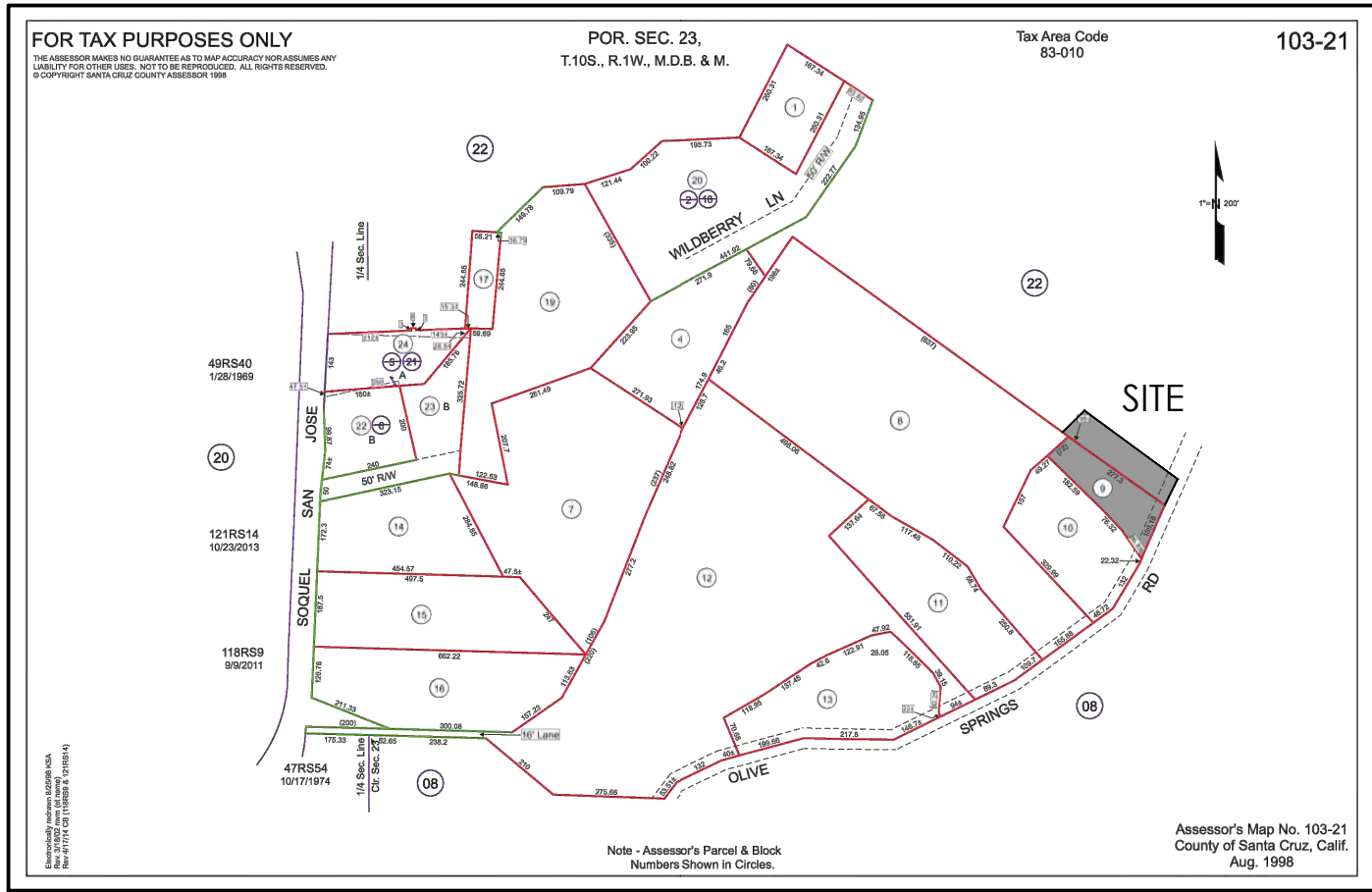
FIRE NOTES

- These plans shall comply with 2016 california building code and 2016 california fire code and district amendments.
- Occupancy R-3 & U, Type V-B, FULLY SPRINKLED.
- Address numbers shall be posted and maintained as shown on the site plan. Numbers shall be a minimum of 4 inches in height and of a color contrasting to their background.
- Roof covering shall be no less than Class "A" rated.
- Private on-site fire hydrant located at south property line. Hydrant is within 150' of furthest part of residence, ADU, garage and proposed barn.

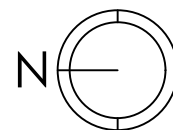
FIRE SPRINKLER NOTES

- The FIRE SPRINKLER SYSTEM drawings must be prepared and submitted for approval by a California State Licensed Contractor (Class A, or C-16) meeting the requirements of NFPA-13, "Standard for the Installation of Fire Sprinkler Systems". Designer/installer shall submit two (2) sets of plans and calculations to this agency for approval."
- Water Storage to meet the fire flow demand will be determined by utilizing NFPA 1142.
- Water storage and underground fire protection system working drawing must be prepared and submitted for approval by a California State Licensed Contractor (Class A, C-16 or C-34). The plans shall comply with NFPA 24, "Standard for the Installation of Private Fire Service Mains and Their Appurtenances". Designer/installer shall submit two (2) sets of plans and calculations to this agency for approval."
- A 100-foot clearance shall be maintained around and adjacent to the building or structure to provide additional fire protection or fire break by removing all brush, flammable vegetation, or combustible growth. EXCEPTION: Single specimens of trees, ornamental shrubbery or similar plants used as ground covers, provided they do not form a means of rapidly transmitting fire from native growth to any structure.
- The job copies of the building plans and fire systems plans and permits must remain on-site during inspections.

Note: As a condition of submittal of these plans, the submitter, designer and installer certify that these plans and details comply with applicable Specifications, Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by this review, subsequent review, inspection or other source, and, to hold harmless and without prejudice, the reviewer and reviewing agency.



PARCEL MAP



CODE COMPLIANCE

THIS RESIDENTIAL CONSTRUCTION COMPLIES WITH TITLE 24 AND THE FOLLOWING CODES:
2016 CALIFORNIA RESIDENTIAL CODE (CRC)
2016 CALIFORNIA BUILDING CODE (CBC)
2016 CALIFORNIA MECHANICAL CODE (CMC)
2016 CALIFORNIA PLUMBING CODE (CPC)
2016 CALIFORNIA ELECTRICAL CODE (CEC)
2016 CALIFORNIA ENERGY CODE (CEnC)

WELO COMPLIANCE

THE PROJECT WILL COMPLY WITH THE WELO REQUIREMENTS.
THE CHECKLIST WILL BE DEFERRED UNTIL BUILDING PERMIT REVIEW.

SHEET INDEX

ARCHITECTURAL DRAWINGS

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P7	EXTERIOR ELEVATIONS
P8	BUILDING SECTIONS

CIVIL DRAWINGS

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C2	GRADING & DRAINAGE PLAN
C3	DETAILS
C4	SECTIONS
C5	STORMWATER POLLUTION CONTROL PLAN

SURVEY

SU1	SURVEY PLAN
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PROJECT INFORMATION

OWNER:	GORDON JOEL 604 OLIVE SPRINGS ROAD SOQUEL, CA 95073
A. P. N.:	103-211-25
ZONING:	RA
OCCUPANCY GROUP:	U (PER 2016 CRC)
CONSTRUCTION TYPE:	VB (SPRINKLERED)

PROJECT DESCRIPTION:
A NEW DETACHED 3,584 SF TWO-STORY BARN FOR PERSONAL STORAGE USE; WHICH INCLUDES A MAIN STORAGE BARN, 2ND FLOOR STORAGE, TWO SINGLE-STORY STORAGE BARN, AND A CONVENIENCE HALF-BATH. EXISTING MAIN RESIDENCE, GARAGE AND ADU TO REMAIN - NOT PART OF THIS PROJECT.

THIS PROJECT CONSISTS OF THE FOLLOWING:
A NEW TWO-STORY STORAGE BARN FOR PERSONAL STORAGE USE CONSISTING OF A 1,000 SF MAIN FLOOR STORAGE BARN ACCESSED FROM FRONT AND REAR, A 1,000 SF UPPER FLOOR STORAGE (ACCESSED BY A SEPARATE EXTERIOR STAIR), TWO FLANKING ONE-STORY STORAGE BARN, SEPARATELY ACCESSED, OF 792 SF EACH. A CONVENIENCE HALF-BATH (SINK AND TOILET) LOCATED IN THE MAIN STORAGE. NO ACCESS BETWEEN STORAGE BARN. EXISTING MAIN RESIDENCE, GARAGE AND ADU TO REMAIN AS IS - NOT PART OF THIS PROJECT.
SITE WORK INCLUDES A NEW PERMEABLE DRIVEWAY AT THE NEW BARN.

WILDLAND-URBAN INTERFACE - SEVERITY RATING: SRA - VERY HIGH
CONSTRUCTION SHALL COMPLY WITH THE WUI CODE, CRC R337

FIRE JURISDICTION: CENTRAL FIRE DISTRICT

CONSULTANTS

ARCHITECTS:
MATSON BRITTON ARCHITECTS
728 N. BRANCIFORTE
SANTA CRUZ, CA 95062
PHONE: 831-425-0544
FAX: 831-425-4795

ENGINEERING:
R.I. ENGINEERING, INC.
303 POTRERO STREET, STE. 42-202
SANTA CRUZ, CA 95060
PHONE: 831-425-3901
FAX: 831-425-1522

SURVEYING:
HANAGAN LAND SURVEYING, INC
305-C SOQUEL AVE
SANTA CRUZ, CA 95062
PHONE: 831-469-3428
FAX: 831-469-3400

GEOTECHNICAL:
ROCK SOLID ENGINEERING, INC
1100 MAIN STREET, SUITE A
WATSONVILLE, CA 95076
PHONE: 831-724-5868

PROJECT CALCULATIONS

TOTAL LOT SIZE: (30,796.92 + 22,782.75) = 53,579.67 S.F. (1.23 ACRE)
MAX PARCEL COVERAGE (10% OF NET LOT SIZE): 5,357.97 S.F.

LOT COVERAGE FOOTPRINT:	
(E) RESIDENCE (1st FLOOR)	1,123.0 S.F.
(E) GARAGE	1,000.0 S.F.
(E) MECHANICAL ROOM	28.0 S.F.
(E) COVERED BREEZEWAY	178.0 S.F.
(E) COVERED PORCH	156.0 S.F.
(E) SUBTOTAL	2485.0 S.F.

(N) BARN - 1ST FLOOR (1000 + 792 + 792) =	2,584.0 S.F.
TOTAL FOOTPRINT AREA	5,069.0 S.F.

(E) ADU	(NA) 639.0 S.F.
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PROPOSED LOT COVERAGE: 5,069.0 / 53,580 = 9.5 %

PROPOSED BARN	
MAIN STORAGE BARN	1,000.0 S.F.
STORAGE BARN	792.0 S.F.
STORAGE BARN	792.0 S.F.
2ND FLOOR STORAGE	1,000.0 S.F.
TOTAL	3,584.0 S.F.

HABITABLE FLOOR AREA RATIO (1 ACRE & GREATER): N/A

(E) STABLE & CORAL DESIGNATED FOR DEMOLITION/REMOVAL EXIST ON BOTH PROPERTIES AND MUST BE (AND MAY ALREADY HAVE BEEN) DEMOLISHED.
TOTAL SQUARE FOOTAGE/AREA ON THIS PROPERTY: APPROX 735 SF

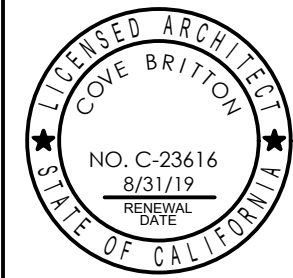


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REVISIONS
05/12/20 PLANCHK

GORDON JOEL
NEW BARN
604 OLIVE SPRINGS ROAD
SOQUEL, CA 95073
APN: 103-211-25
(OLD) APN: 103-211-09

TITLE SHEET



D	A	T	E	
08 / 08 / 19				
D	R	A	W	N
FK				
J	O			B
GORDON JOEL				
S	H	E	E	T

P1

FLOOR PLAN NOTES

1

WALL HUNG LAV SINK, CPC 402.4
ALLOW 4" MIN CLEARANCE AT EDGE OF SINK
TO WALL. ALSO SEE CPC 402.5

2

FLOOR MOUNTED TOILET. 15" MIN. FROM ITS
CENTER TO A SIDE WALL OR OBSTRUCTION AND
24" MIN CLEAR IN FRONT OF A TOILET OR BIDET.
CPC 402.5

3

5/8" TYPE 'X' GYP BD ALL WALLS AND CEILINGS

4

REDWOOD STAIRS.

5

BUILT-UP REDWOOD COLUMNS,
MATCH (E) RESIDENCE

6

42" HIGH REDWOOD GUARD WITH REDWOOD
BALUSTRADE. GUARDS SHALL NOT HAVE OPENINGS
THAT ALLOW THE PASSAGE OF A 4" DIAM SPHERE,
CRC R312.1.3

7

CONCRETE FLOOR SLAB - NO SLOPE

8

GLOBAL INDUSTRIAL® I-BEAM TROLLEY, 2500 LB
CAPACITY ATTACHED TO BOTTOM FLANGE OF
STEEL BEAM, PER STRUCTURAL DWG

9

CONCRETE RETAINING WALLS WITH CONCRETE
WALKWAYS AT THE BUILDING PERIMETER.
SEE CIVIL DWGS

10

LINE OF DORMERS ABOVE

11

HOIST (RIDGE) STEEL BEAM WITH EXTERIOR PRIMER
SEALANT AND PAINT AT EXTERIOR CONDITIONS.

WALL LEGEND

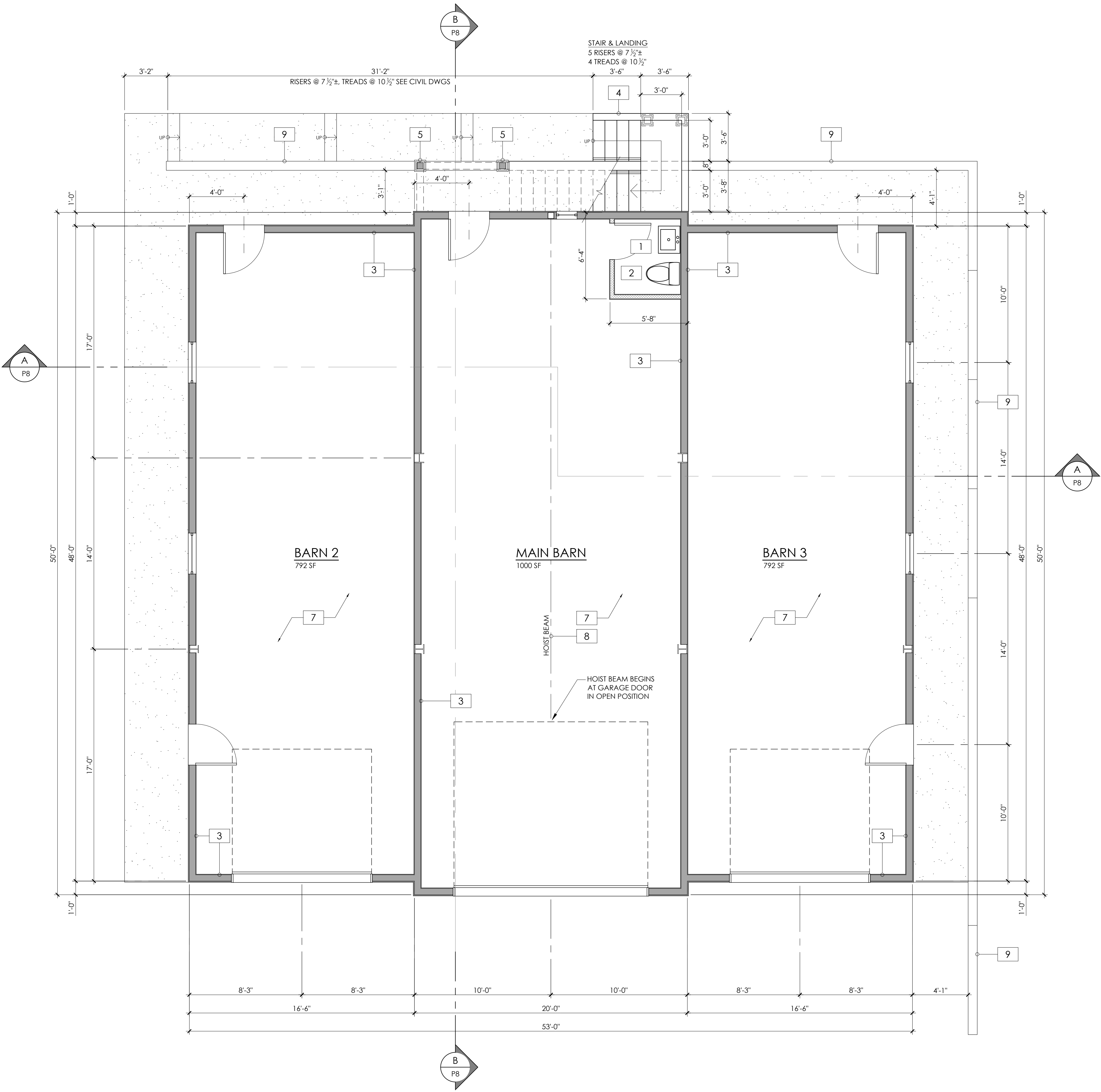
2x6 WOOD STUD WALL,
SEE STRUC DWGS

2x4 WOOD STUD WALL,
SEE STRUC DWGS

2x4 WOOD STUD WALL,
42" HIGH WALL

I □

STEEL COLUMN,
SEE STRUC DWGS



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



MATSON

ARCHITECTS

728 N BRANCIFORTE

SANTA CRUZ

CA 95062

831-425-0544

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REVISIONS

05/12/20

PLANCHK

GORDON JOEL
NEW BARN
604 OLIVE SPRINGS ROAD
SOQUEL, CA 95073
APN: 103-211-25
(OLD) APN: 103-211-09

FIRST FLOOR PLAN

REGISTERED ARCHITECT

GORDON JOEL

NO. C-23616

8/31/19

RESIDENTIAL

STATE OF CALIFORNIA

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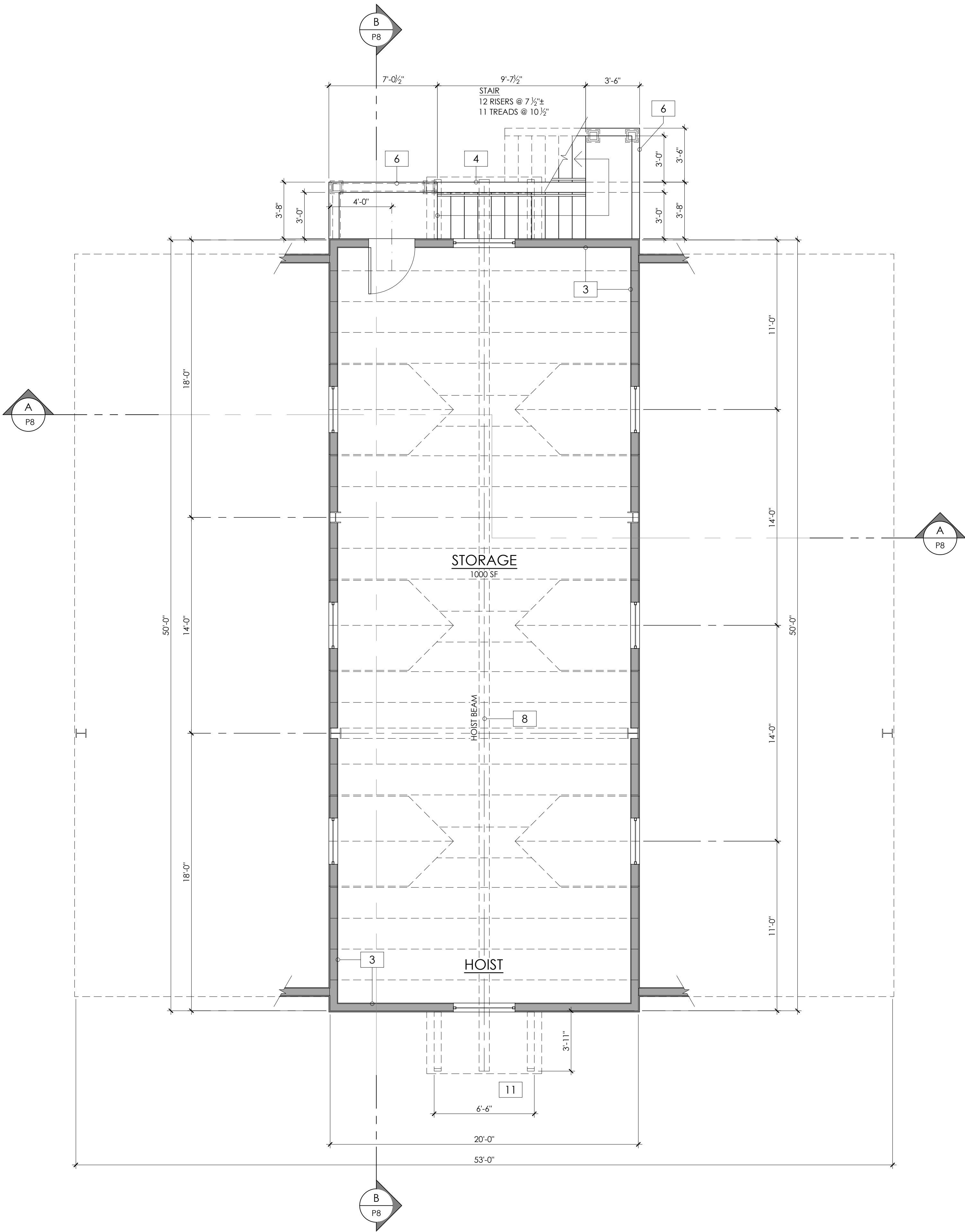
GORDON JOEL

SHEET

P3

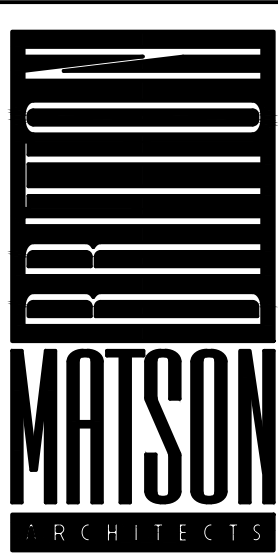
FLOOR PLAN NOTES	
1	WALL HUNG LAV SINK, CPC 402.4 ALLOW 4" MIN CLEARANCE AT EDGE OF SINK TO WALL. ALSO SEE CPC 402.5
2	FLOOR MOUNTED TOILET. 15" MIN. FROM ITS CENTER TO A SIDE WALL OR OBSTRUCTION AND 24" MIN CLEAR IN FRONT OF A TOILET OR BIDET. CPC 402.5
3	5/8" TYPE 'X' GYP BD ALL WALLS AND CEILINGS
4	REDWOOD STAIRS.
5	BUILT-UP REDWOOD COLUMNS, MATCH (E) RESIDENCE
6	42" HIGH REDWOOD GUARD WITH REDWOOD BALUSTRADE. GUARDS SHALL NOT HAVE OPENINGS THAT ALLOW THE PASSAGE OF A 4" DIAM SPHERE. CRC R312.1.3
7	CONCRETE FLOOR SLAB - NO SLOPE
8	GLOBAL INDUSTRIAL® I-BEAM TROLLY, 2500 LB CAPACITY ATTACHED TO BOTTOM FLANGE OF STEEL BEAM, PER STRUCTURAL DWG
9	CONCRETE RETAINING WALLS WITH CONCRETE WALKWAYS AT THE BUILDING PERIMETER, SEE CIVIL DWGS
10	LINE OF DORMERS ABOVE
11	HOIST (RIDGE) STEEL BEAM WITH EXTERIOR PRIMER SEALANT AND PAINT AT EXTERIOR CONDITIONS.

WALL LEGEND	
	2x6 WOOD STUD WALL, SEE STRUC DWGS
	2x4 WOOD STUD WALL, SEE STRUC DWGS
	2x4 WOOD STUD WALL, 42" HIGH WALL
	STEEL COLUMN, SEE STRUCT DWGS



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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CA 95062
831-425-0544

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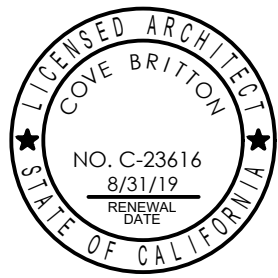
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REVISIONS

05/12/20 PLANCHK

GORDON JOEL
NEW BARN
604 OLIVE SPRINGS ROAD
SOQUEL, CA 95073
APN: 103-211-25
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SECOND FLOOR PLAN



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J	O			B
GORDON JOEL				
S	H	E	E	T

P4

ROOF PLAN LEGEND

R1

40 YEAR COMPOSITION SHINGLE CLASS A RATED ROOF ON 1-LAYER 15# FELT OVER 1/2" CDX ROOF PLYWOOD OVER ROOF RAFTERS. SEE STRUCT DWGS. FOR RAFTER SIZE AND SPACING.

R2

LINE OF FLOOR BELOW

R3

4" GALVALUME OGEE GUTTERS WITH LEAF GUARDS PER CRC 337.5.4 (DOWNSPOUTS NOT SHOWN; LOCATIONS TO BE DETERMINED BY ARCHITECT)

R4

GALVANIZED DOWNSPOUTS (DS) TO BELOW. DRAIN TO SPLASH BLOCKS. DOWNSPOUTS FROM ROOF ABOVE TO ROOF BELOW (DSR)

R5

FIRE-RESISTIVE, PREFAB OR SITE-BUILT CUPOLA WITH METAL WEATHERVANE, MATCH (E) RESIDENCE. SEE STRUCT DWGS FOR FRAMING

R6

26 GA GALV. FLASHING AT ROOF TO WALL CONDITIONS, TYP. SEE DETAIL.

R7

COMPOUND 2 x BARGE AT GABLE ENDS. SEE DETAIL.

R8

REDWOOD ROOF BRACE-BRACKET

R9

METAL VALLEY FLASHING
ROOF VALLEY FLASHING SHALL BE NOT LESS THAN NO. 24 GAGE GALVANIZED SHEET CORROSION-RESISTANT METAL INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72- POUND MINERAL-SURFACED NON-PERFORATED CAP SHEET, AT LEAST 36-INCH WIDE RUNNING THE FULL LENGTH OF THE VALLEY.
CBC 705A.3, CRC R337.5.3

R10

4" OGEE GALVALUME GUTTER, RETURN 36" INTO GABLE END, PER EXTERIOR ELEVATIONS

R11

REDWOOD STAIRS

ROOF PLAN NOTES

1.

ROOF TO BE COMPOSITION ASPHALT SHINGLE TILE ROOFING IN ACCORDANCE WITH CRC R905.2 & TABLE R905.1.1.(2).

2.

ROOFING TO BE MINIMUM FIRE RATED CLASS A, PER 2016 C.B.C.

3.

ALL FLASHING, COUNTERFLASHING, AND COPING TO BE MINIMUM 26 GA. GALVANIZED STEEL

4.

FLASH AND COUNTERFLASH AS REQUIRED.

5.

GALVALUME OGEE GUTTERS TO MATCH EXISTING RESIDENCE. DOWNSPOUTS LOCATIONS & NUMBERS ARE SCHEMATIC. FINAL LOCATION AND NUMBERS TO BE VERIFIED BY ARCHITECT PRIOR TO PLACEMENT.

6.

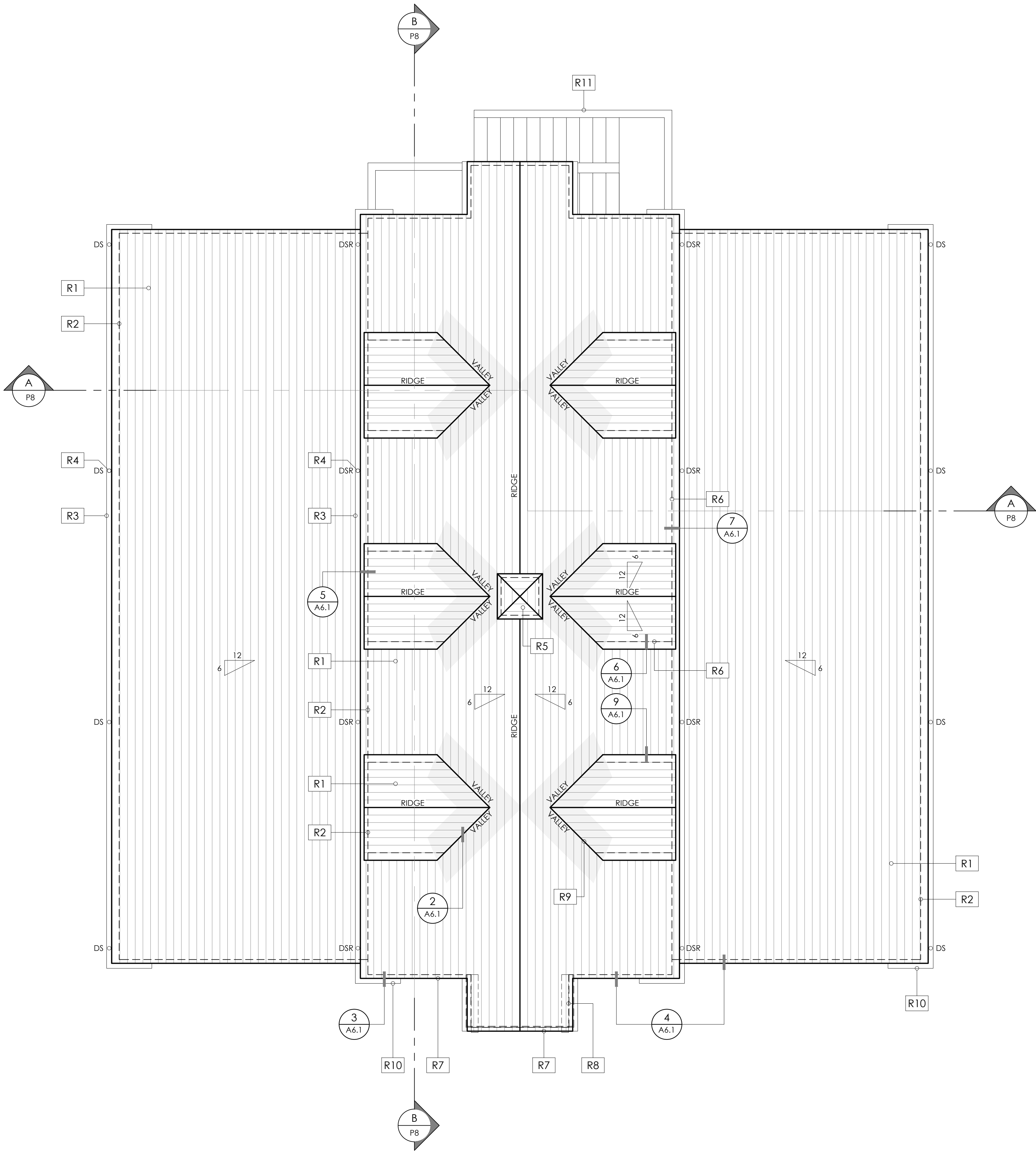
ROOF DRAINAGE TO SPLASH BLOCKS OR CARRIED VIA 4" P.V.C. CLOSED PIPE TO DISPENSAL BOX. SLOPE 2% MINIMUM WITH 2' GROUND COVER. VERIFY WITH CIVIL DRAWINGS.

7.

SYMBOL INDICATES DIRECTION OF SLOPE

8.

DASHED LINE INDICATES WALL BELOW.



ROOF PLAN
SCALE: 1/4" = 1'-0"



728 N BRANCIFORTE

SANTA CRUZ

CA 95062

831-425-0544

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05/12/20

PLANCHK

GORDON JOEL

NEW BARN

604 OLIVE SPRINGS ROAD

SOQUEL, CA 95073

APN: 103-211-25

(OLD) APN: 103-211-09

ROOF PLAN

SEAL

GORDON JOEL

8/31/19

NO. C-23616

REGISTERED ARCHITECT

STATE OF CALIFORNIA

D A T E

08 / 08 / 19

D R A W N

FK

J O B

GORDON JOEL

S H E E T

P5

JOEL.TB.dwg

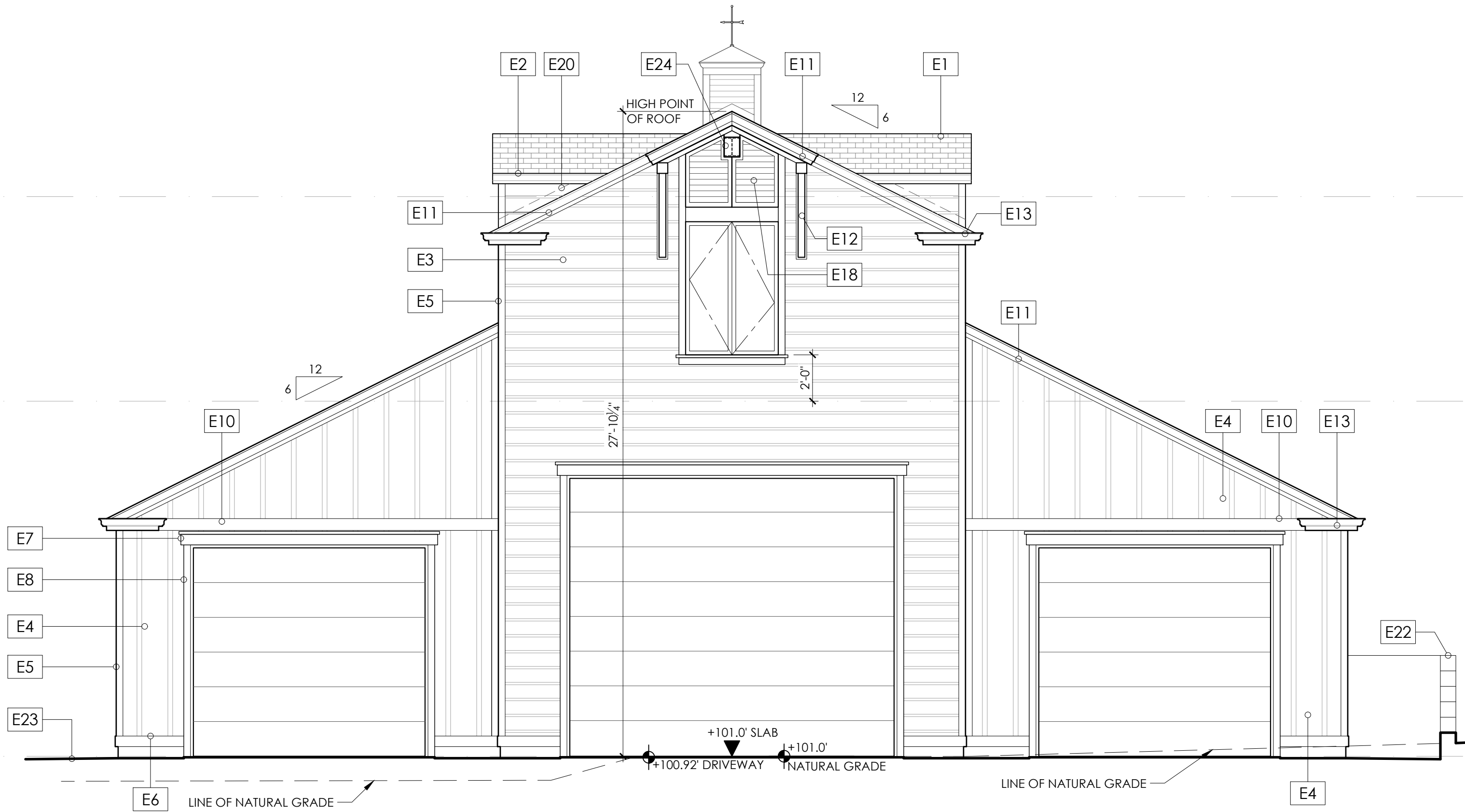
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KruCAD



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

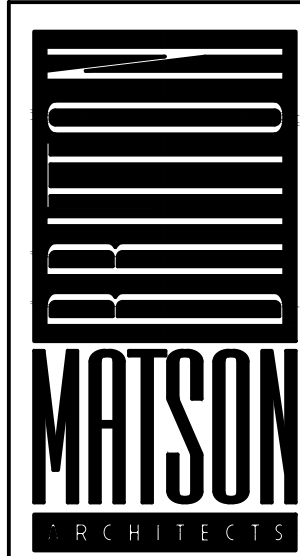
COLOR MATERIALS

ROOF	COMP SHINGLE ROOF PRESIDENTIAL SHAKE TL COLOR: SOLARIS SHADOW GRAY
TRIM	HARDIE TRIM PRIMED TO PAINT COLOR: MOUNTAIN SAGE
BODY	HARDIE HORIZONTAL SMOOTH BEADED SIDING COLOR: COUNTRY LANE RED

ELEVATION LEGEND

- E1 40 YEAR CLASS A COMP SHINGLE ROOF, MATCH (E) RESIDENCE COLOR
- E2 4" OGEE GALVALUME GUTTER AT 2x FASCIA, MATCH (E) RESIDENCE COLOR
- E3 8" FIBER CEMENT HORIZONTAL SMOOTH BEADED SIDING, TRIM BOARD CORNERS, INSTALL PER MFR SPECS, MATCH (E) RESIDENCE COLOR - COUNTRY LANE RED
- E4 3/4" x 2 1/2" WIDE FIBER CEMENT BATTENS @ 16" OC, OVER 4' x 8' FIBER CEMENT SMOOTH PANEL SIDING, TRIM BOARD CORNERS, INSTALL PER MFR SPECS
- E5 1" x 3 1/2" FIBER CEMENT TRIM BOARD AT CORNER CONDITIONS, INSTALL PER MFR SPECS
- E6 1 1/2" x 5 1/2" FIBER CEMENT TRIM WATER TABLE, INSTALL PER MFR
- E7 FIBER CEMENT DOOR/WINDOW HEADER TRIM: 1 1/2" LEDGE TRIM OVER 1 1/2" x 5.5" FLAT TRIM
- E8 1" x 3 1/2" FIBER CEMENT DOOR/WINDOW TRIM, INSTALL PER MFR.
- E9 FIBER CEMENT WINDOW SILL TRIM: 1 1/2" x 1 1/2" SILL TRIM MOULD LEDGE OVER 1 1/2" x 3.5" FLAT TRIM
- E10 FIBER CEMENT "BODY" TRIM AT GUTTER RETURN OVER 1 1/2" x 3.5" FLAT TRIM, SEE DETAIL
- E11 COMPOUND 2 x BARGE AT GABLE ENDS, SEE DETAIL
- E12 REDWOOD ROOF BRACE-BRACKET, FIRE RESISTANT MATERIALS, SEE STRUCT DWGS
- E13 4" OGEE GALVALUME GUTTER, RETURN 36" INTO GABLE END, PER EXTERIOR ELEVATIONS
- E14 42" HIGH REDWOOD DECK GUARD WITH 2 x 2 BALUSTRADE. GUARDS SHALL NOT HAVE OPENINGS THAT ALLOW THE PASSAGE OF A 4" DIAM SPHERE, CRC R312.1.3
- E15 34" - 38" HIGH REDWOOD STAIR GUARD WITH 2x2 BALUSTRADE. GUARDS SHALL NOT HAVE OPENINGS THAT ALLOW THE PASSAGE OF A 4" DIAM SPHERE, CRC R312.1.3
- E16 1 1/2" DIA REDWOOD HANDRAILS (SMOOTH FINISH) @ 1 1/2" CLEARANCE TO WALL, 34" - 38" ABOVE NOSING, PER CRC R311.7.8
- E17 BUILT-UP REDWOOD COLUMN, MATCH (E) RESIDENCE
- E18 FALSE LOUVER DOORS WITH REMOVABLE HINGES AND REMOVABLE SILL (HEAD) TRIM ABOVE REMOVABLE HINGE WINDOWS
- E19 FALSE LOUVER DOORS - FIXED
- E20 26 GA GALV FLASHING AT ROOF TO WALL CONDITIONS, TYP, SEE DETAIL.
- E21 FIRE-RESISTIVE, PREFAB OR SITE-BUILT CUPOLA WITH METAL WEATHERVANE, MATCH (E) RESIDENCE
- E22 5' HIGH CONCRETE RETAINING WALLS, (8' HIGH MAX ALLOWED), SEE CIVIL DWGS
- E23 FINISH GRADE TO DRAIN 2% SLOPE, MIN. AWAY FROM BUILDING, CRC R401.3 SEE CIVIL ENG DWGS
- E24 STEEL RIDGE BEAM/HOIST WITH WOOD BEAM INFILL AT WEB/FLANGE, SEE DETAIL 13/A6.1

NOTE: COLOR PALETTE TO MATCH EXISTING RESIDENCE



728 N BRANCIFORTE
SANTA CRUZ
CA 95062
831-425-0544

NOTICE

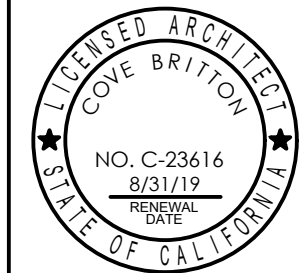
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REVISIONS

05/12/20 PLANCH

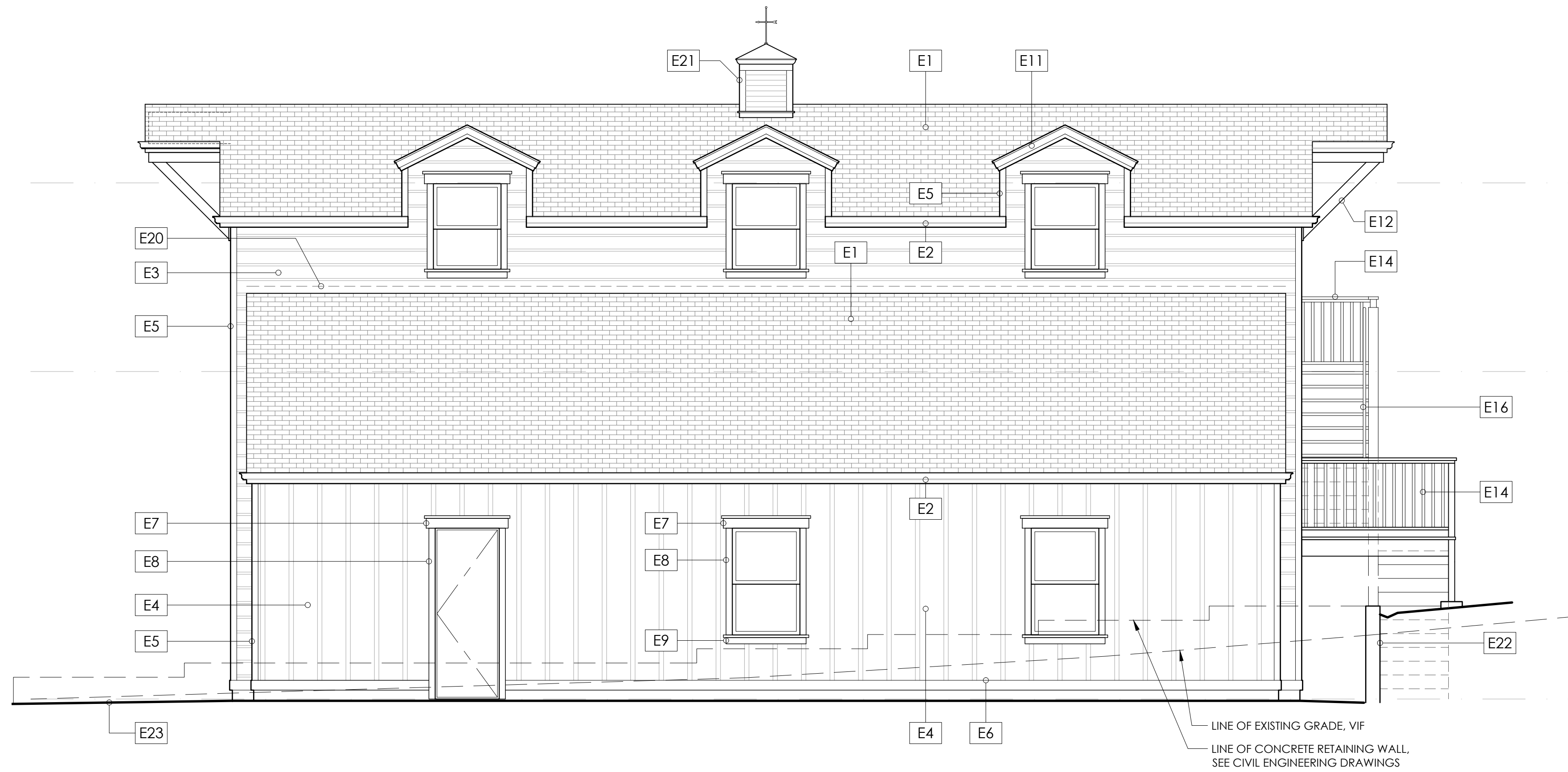
GORDON JOEL
NEW BARN
604 OLIVE SPRINGS ROAD
SOQUEL, CA 95073
APN: 103-211-25
(OLD) APN: 103-211-09

EXTERIOR ELEVATIONS

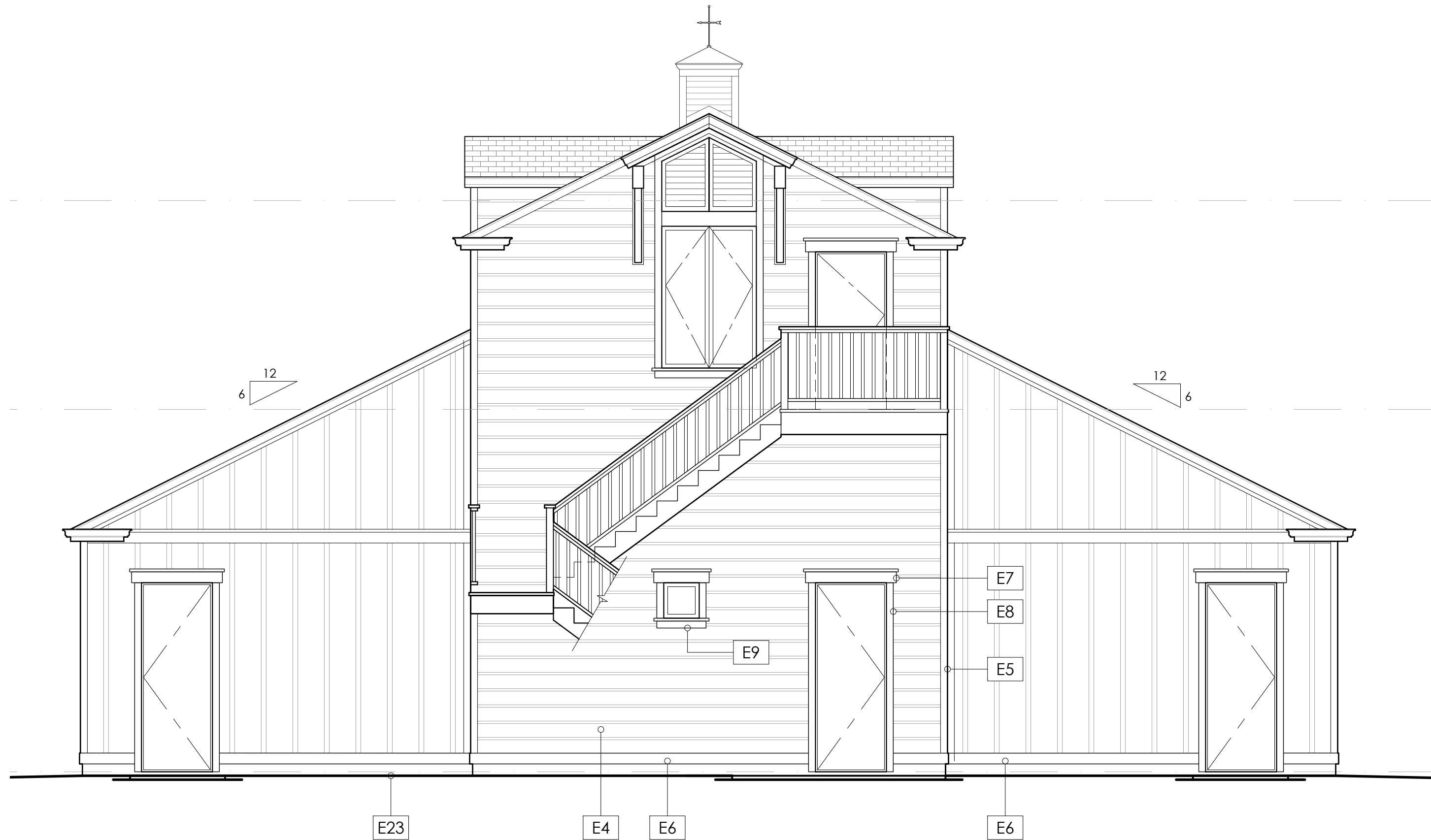


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GORDON JOEL				
S	H	E	E	T

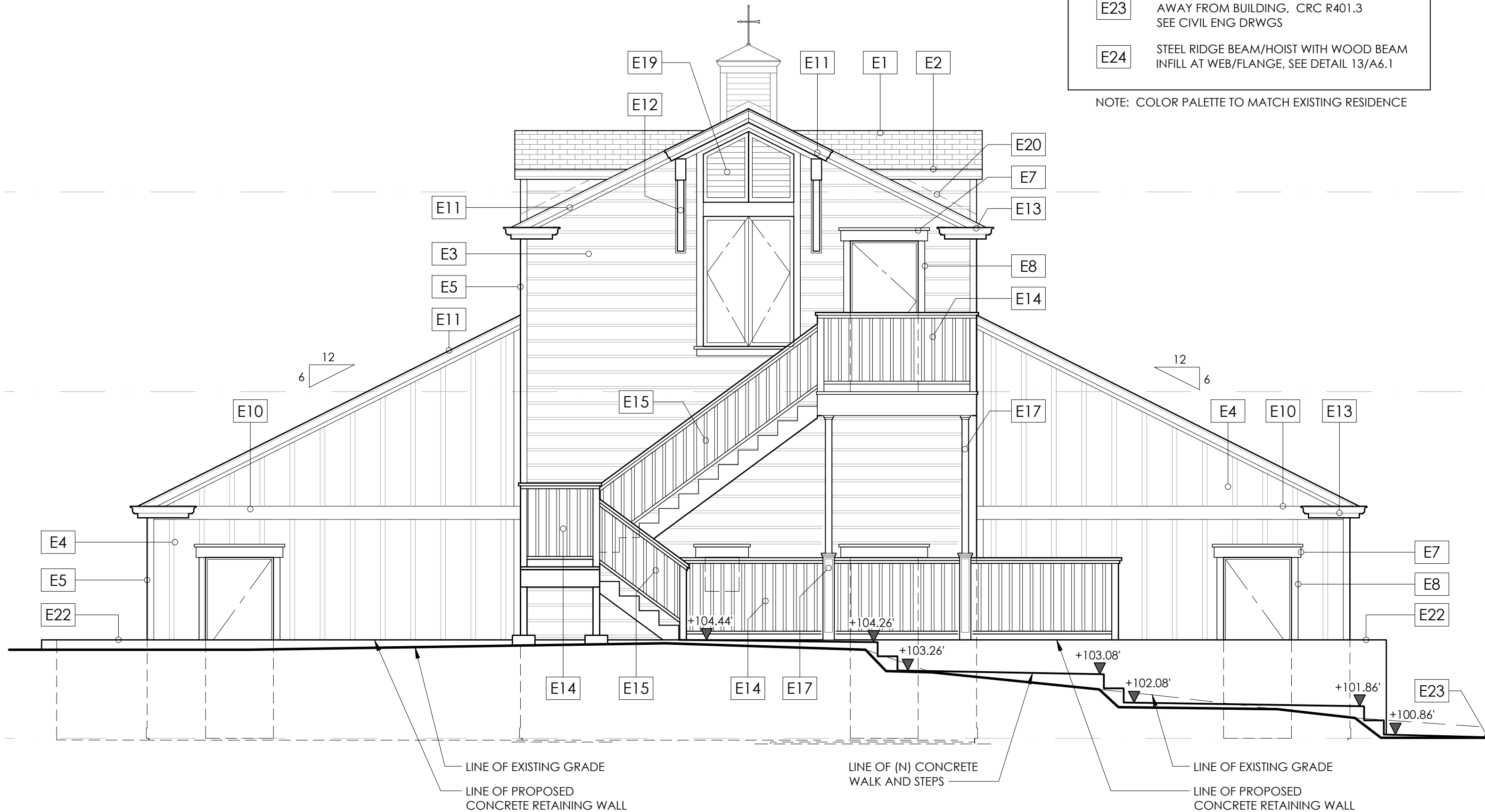
P6



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION AT RETAINING WALL
SCALE: 1/4" = 1'-0"

ELEVATION LEGEND	
E1	40 YEAR CLASS A, COMP SHINGLE ROOF, MATCH (E) RESIDENCE COLOR
E2	4" OGEE GALVALUME GUTTER AT 2x FASCIA, MATCH (E) RESIDENCE COLOR
E3	8" FIBER CEMENT HORIZONTAL SMOOTH BEADED SIDING, TRIM BOARD CORNERS, INSTALL PER MFR SPECS, MATCH (E) RESIDENCE COLOR - COUNTRY LANE RED
E4	3/4" x 2 1/2" WIDE FIBER CEMENT BATTENS @ 16" OC, OVER 4' x 8' FIBER CEMENT SMOOTH PANEL SIDING, TRIM BOARD CORNERS, INSTALL PER MFR SPECS
E5	1" x 3 1/2" FIBER CEMENT TRIM BOARD AT CORNER CONDITIONS, INSTALL PER MFR SPECS
E6	1 1/2" x 5 1/2" FIBER CEMENT TRIM WATER TABLE, INSTALL PER MFR
E7	FIBER CEMENT DOOR/WINDOW HEADER TRIM: 1 1/2" LEDGE TRIM OVER 1 1/2" x 5.5" FLAT TRIM
E8	1" x 3 1/2" FIBER CEMENT DOOR/WINDOW TRIM, INSTALL PER MFR.
E9	FIBER CEMENT WINDOW SILL TRIM: 1 1/2" x 1 1/2" SILL TRIM MOULD LEDGE OVER 1 1/2" x 3.5" FLAT TRIM
E10	FIBER CEMENT "BODY" TRIM AT GUTTER RETURN OVER 1 1/2" x 3.5" FLAT TRIM, SEE DETAIL
E11	COMPOUND 2 x BARGE AT GABLE ENDS, SEE DETAIL
E12	REDWOOD ROOF BRACE-BRACKET, FIRE RESISTANT MATERIALS, SEE STRUCT DWGS
E13	4" OGEE GALVALUME GUTTER, RETURN 36" INTO GABLE END, PER EXTERIOR ELEVATIONS
E14	42" HIGH REDWOOD DECK GUARD WITH 2 x 2 BALUSTRADE. GUARDS SHALL NOT HAVE OPENINGS THAT ALLOW THE PASSAGE OF A 4" DIAM SPHERE, CRC R312.1.3
E15	34" - 38" HIGH REDWOOD STAIR GUARD WITH 2x2 BALUSTRADE. GUARDS SHALL NOT HAVE OPENINGS THAT ALLOW THE PASSAGE OF A 4" DIAM SPHERE, CRC R312.1.3
E16	1 1/2" DIA REDWOOD HANDRAILS (SMOOTH FINISH) @ 1 1/2" CLEARANCE TO WALL, 34" - 38" ABOVE NOSING, PER CRC R311.7.8
E17	BUILT-UP REDWOOD COLUMN, MATCH (E) RESIDENCE
E18	FALSE LOUVER DOORS WITH REMOVABLE HINGES AND REMOVABLE SILL (HEAD) TRIM ABOVE REMOVABLE HINGE WINDOWS
E19	FALSE LOUVER DOORS - FIXED
E20	26 GA GALV FLASHING AT ROOF TO WALL CONDITIONS, TYP, SEE DETAIL.
E21	FIRE-RESISTIVE, PREFAB OR SITE-BUILT CUPOLA WITH METAL WEATHERVANE, MATCH (E) RESIDENCE
E22	5' HIGH CONCRETE RETAINING WALLS, (8' HIGH MAX ALLOWED), SEE CIVIL DWGS
E23	FINISH GRADE TO DRAIN 2% SLOPE, MIN, AWAY FROM BUILDING, CRC R401.3 SEE CIVIL ENG DRWGS
E24	STEEL RIDGE BEAM/HOIST WITH WOOD BEAM INFILL AT WEB/FLANGE, SEE DETAIL 13/A6.1
NOTE: COLOR PALETTE TO MATCH EXISTING RESIDENCE	

728 N BRANCIFORTE
SANTA CRUZ
CA 95062
831-425-0544

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REVISIONS
05/12/20 PLANCHK

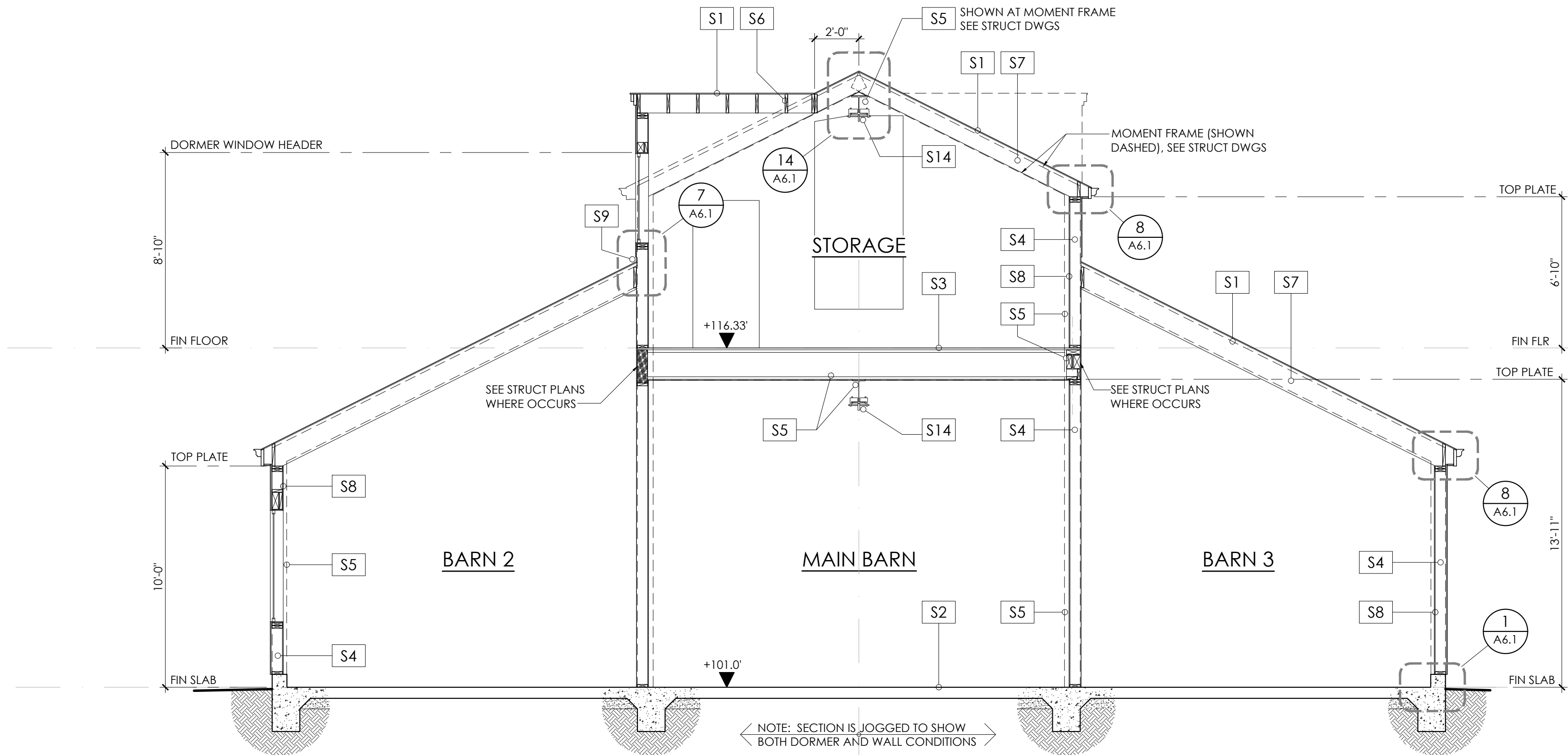
GORDON JOEL
NEW BARN
604 OLIVE SPRINGS ROAD
SOQUEL, CA 95073
APN: 103-211-25
(OLD) APN: 103-211-09

EXTERIOR ELEVATIONS

REGISTERED ARCHITECT
GORDON JOEL
NO. C-23616
8/31/19
STATE OF CALIFORNIA

D	A	T	E	
08	/	08	/	19
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J	O	B		
GORDON JOEL				
S	H	E	E	T

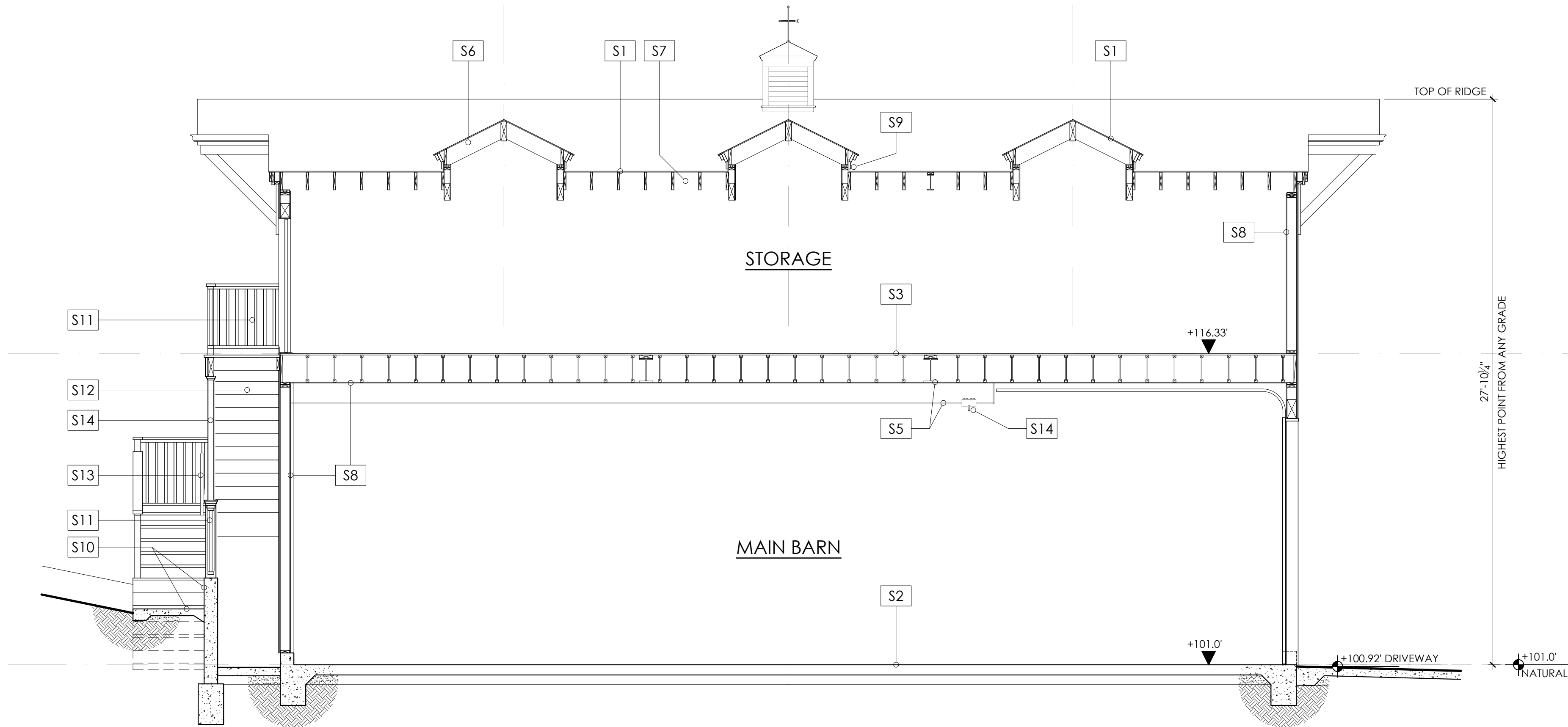
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SECTION A

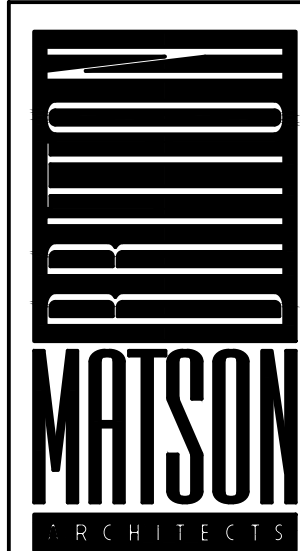
SCALE: 1/4" = 1'-0"

SECTION LEGEND	
S1	40 YEAR CLASS A COMP SHINGLE ROOF, MATCH (E) RESIDENCE COLOR
S2	CONCRETE SLAB FLOOR, DO NOT SLOPE, SEE STRUCT DWGS.
S3	SUBFLOOR OVER WOOD FLOOR FRAMING, SEE STRUCT DWGS.
S4	WALLS - WOOD STUDS @ 16" O.C., SEE STRUCT DWGS.
S5	STEEL BEAM OR MOMENT FRAME, SEE STRUCT DWGS
S6	DORMER ROOF FRAMING, SEE STRUCT DWGS.
S7	ROOF FRAMING PER STRUCT DWGS.
S8	3/8" TYPE 'X' GYP BD.
S9	GALVANIZED FLASHING @ ROOF TO WALL CONDITIONS
S10	RETAINING WALL AND CONCRETE STEPS, SEE CIVIL DWGS.
S11	42" HIGH REDWOOD DECK GUARD WITH 2 x 2 BALUSTRADE. GUARDS SHALL NOT HAVE OPENINGS THAT ALLOW THE PASSAGE OF A 4" DIAM SPHERE, CRC R312.1.3
S12	34" - 38" HIGH REDWOOD STAIR GUARD WITH 2x2 BALUSTRADE. GUARDS SHALL NOT HAVE OPENINGS THAT ALLOW THE PASSAGE OF A 4" DIAM SPHERE, CRC R312.1.3
S13	1 1/2" DIA REDWOOD HANDRAILS (SMOOTH FINISH) @ 1 1/2" CLEARANCE TO WALL, 34" - 38" ABOVE NOSING, PER CRC R311.7.8
S14	GLOBAL INDUSTRIAL® I-BEAM TROLLEY, 2500 LB CAPACITY ATTACHED TO STEEL RIDGE BEAM, PER STRUCTURAL DWGS



SECTION B

SCALE: 1/4" = 1'-0"



728 N BRANCIFORTE
SANTA CRUZ
CA 95062
831-425-0544

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REVISIONS

05/12/20 PLANCHK

GORDON JOEL
NEW BARN
604 OLIVE SPRINGS ROAD
SOQUEL, CA 95073
APN: 103-211-25
(OLD) APN: 103-211-09

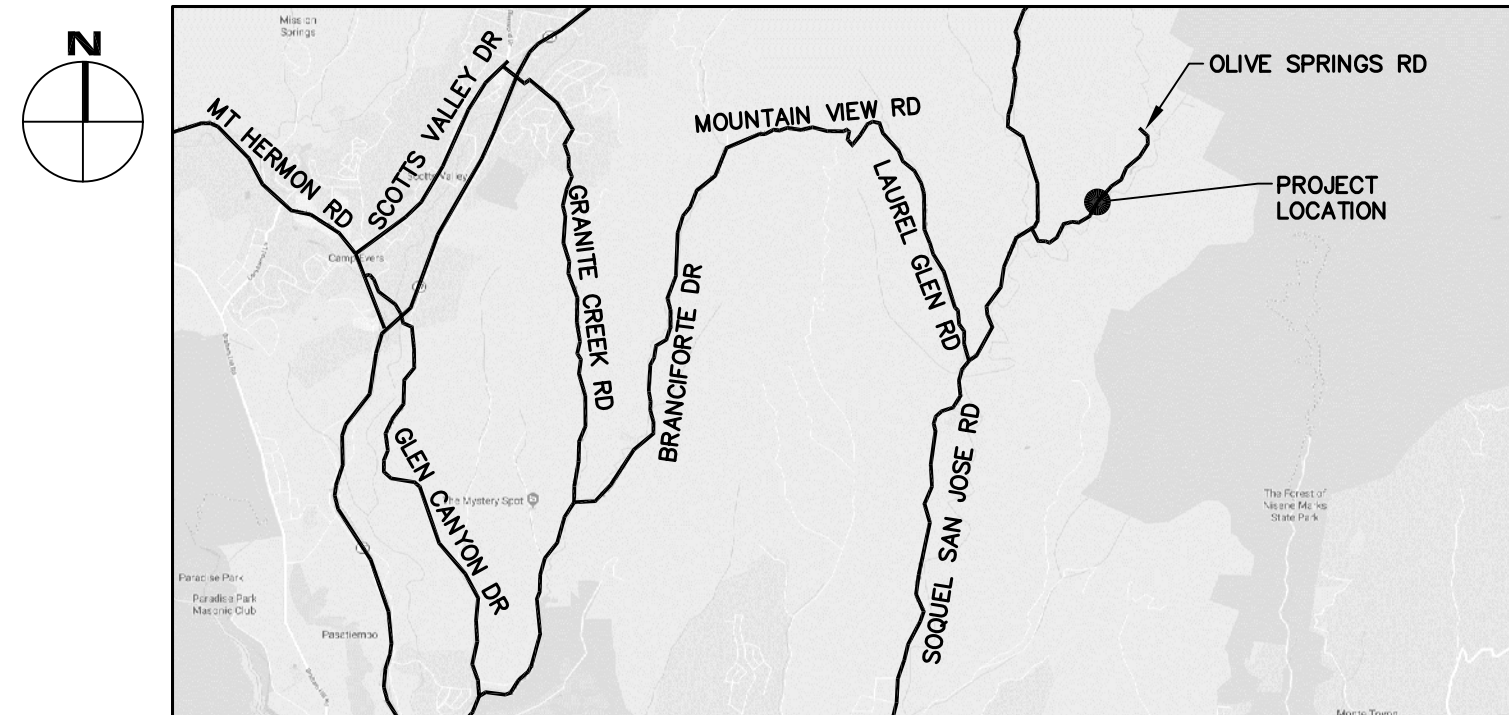
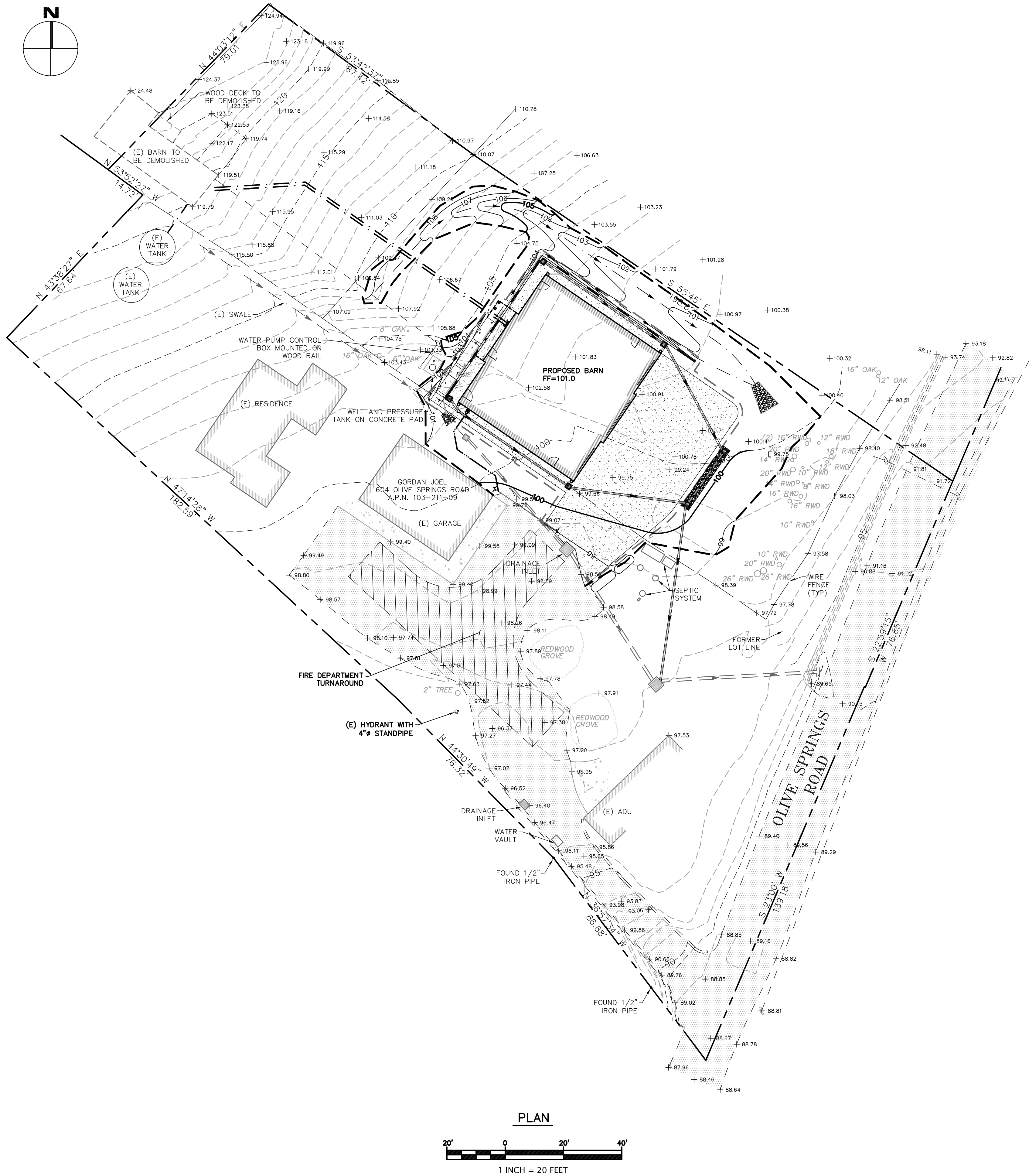
BUILDING SECTIONS



D	A	T	E	
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D	R	A	W	N
FK				
J	O			B
GORDON JOEL				
S	H	E	E	T

P8

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VICINITY MAP
NTS

STORM DRAIN SYSTEM MAINTENANCE

THE HOME OWNER IS RESPONSIBLE FOR MAINTAINING THE STORM DRAINAGE SYSTEM AND ALL COMPONENTS. EVERY YEAR, PRIOR TO THE WET WEATHER SEASON (OCTOBER 15TH) ALL THE CATCH BASINS AND STORM DRAIN CLEANOUTS SHALL BE INSPECTED AND CLEANED OF ANY DEBRIS, SILT, TRASH AND SEDIMENT.

STORM DRAINAGE NOTES

- CULVERTS SHALL BE REINFORCED CONCRETE PIPE (RCP), POLYVINYL CHLORIDE (PVC SDR35), OR HIGH DENSITY POLYETHYLENE (HDPE ADS N12 OR EQUAL) AND SHALL HAVE A SMOOTH INTERIOR CONFORMING TO SECTION E - STORM DRAINAGE FACILITIES OF COUNTY OF SANTA CRUZ DESIGN CRITERIA.
- INLETS SHALL BE CHRISTY CONCRETE PRODUCTS OR APPROVED EQUAL WITH SMOOTH CONCRETE BOTTOM.
- CONNECT ALL DOWNSPOUTS TO PERIMETER STORM DRAIN.

TOPOGRAPHIC SURVEY

THE TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION PROVIDED HEREON WAS COMPLETED BY HANAGAN LAND SURVEYING, INC. RI ENGINEERING INC. MAKES NO GUARANTEE AS TO THE ACCURACY OF BOTH. THE CONTRACTOR SHALL VERIFY THE BOUNDARY LOCATION AND TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING WORK.

BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS MAP IS BETWEEN FOUND MONUMENTS ON THE WESTERN LINE OF 604 OLIVE SPRINGS ROAD PER THE DEED FILED UNDER DOCUMENT NUMBER 5261-OR-439 IN THE SANTA CRUZ COUNTY RECORDS.

BASIS OF ELEVATION

THE BASIS OF ELEVATION FOR THIS MAP IS BASED ON THE ELEVATION OF TOPOGRAPHIC FEATURES DISPLAYED ON THE WARD SURVEYING TOPOGRAPHIC MAP OF THIS PROPERTY THAT WAS PUBLISHED ON 11-19-01.

THE CONTOUR INTERVAL IS 1 FOOT.

APPROXIMATE EARTHWORK QUANTITIES

SITE GRADING	CUBIC YARDS		NET
	CUT	FILL	
OVEREXCAVATION/RECOMPACTION	108	11	97 CUT

- NOTES:
- EARTHWORK QUANTITIES ARE APPROXIMATE AND SHALL BE INDEPENDENTLY VERIFIED BY THE CONTRACTOR FOR BIDDING PURPOSES.
 - EARTHWORK VOLUMES FOR RESIDENCE GRADING INCLUDE EXCAVATION TO ROUGH GRADE FOR CONSTRUCTION OF THE PROPOSED RESIDENCE. EARTHWORK VOLUMES REQUIRED TO CONSTRUCT THE FOUNDATIONS HAVE NOT BEEN INCLUDED.
 - EXCESS SOIL SHALL BE HAULED OR PLACED IN A COUNTY APPROVED LOCATION.

IMPERVIOUS AREA TABLE

TOTAL AREA OF DISTURBANCE = 10,200 S.F.

IMPERVIOUS AREA	EXISTING	PROPOSED	REPLACED
STRUCTURES	0 SF	2,584 SF	0 SF
CONCRETE WALKWAY	0 SF	121 SF	0 SF
GRAVEL AREA*0.5	0 SF	1,502 SF	0 SF
TOTAL IMPERVIOUS	0 SF	4,207 SF	0 SF

NOTES:

- COUNTY OF SANTA CRUZ DESIGN CRITERIA 2018
- DRAINAGE CONDITIONS ARE TO BE SIMILAR TO (E) DRAINAGE CONDITIONS WITH NO SIGNIFICANT CHANGES TO DRAINAGE PATTERNS.
- CREATED OR REPLACED IMPERVIOUS AREA IS <5000 SF. THEREFORE PROJECT IS A "MEDIUM" PROJECT PER COUNTY OF SANTA CRUZ DESIGN CRITERIA 2018

LEGEND

	(E) AB
	(E) AC
	(E) CONCRETE
	PROPOSED CONCRETE
	PROPOSED GRAVEL
	PROPERTY LINE
	PROPOSED LIMIT OF GRADING
	PROPOSED RETAINING WALL
	PROPOSED SWALE
	PROPOSED SD
	PROPOSED PERIMETER SD
	PROPOSED SDCO
	PROPOSED CB

ABBREVIATIONS

BW	BOTTOM OF WALL
CB	CATCH BASIN
CONST	CONSTRUCT
DIA. Ø	DIAMETER
DS	DOWNSPOUT
DTL	DETAIL
DWY	DRIVEWAY
(E)	EXISTING
EL	ELEVATION
EOP	EDGE OF PAVEMENT
FF	FINISH FLOOR
FG	FINISH GRADE
FS	FIRE SERVICE
HP	HIGH POINT
INV	INVERT
LF	LINEAR FEET
LP	LOW POINT
MAX	MAXIMUM
N.T.S.	NOT TO SCALE
RW	RETAINING WALL
RM	RIM ELEVATION
S	SLOPE
SCCO	COUNTY OF SANTA CRUZ
SSCO	SANITARY SEWER CLEANOUT
SDCO	STORM DRAIN CLEANOUT
TYP	TYPICAL
TW	TOP OF WALL
WS	WATER SERVICE



RI Engineering, Inc.

303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.riengineering.com

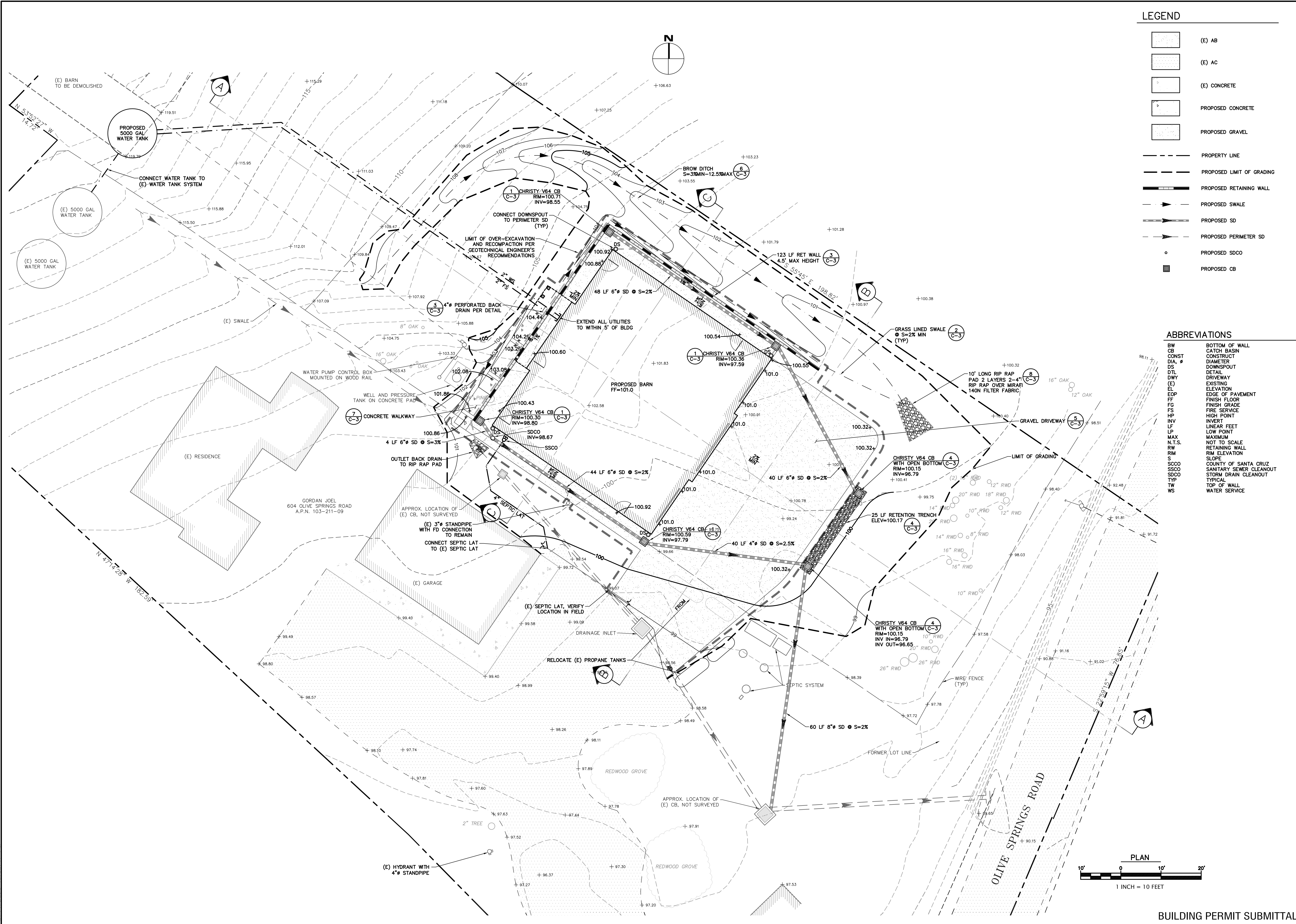
NEW BARN
FOR
GORDON JOEL
604 OLIVE SPRINGS ROAD
SANTA CRUZ COUNTY, CA
APN 103-211-09

SITE PLAN

project no.
19-035-1
date
JULY 2019
scale
AS SHOWN
dwg name
CIVIL2.DWG

C-1

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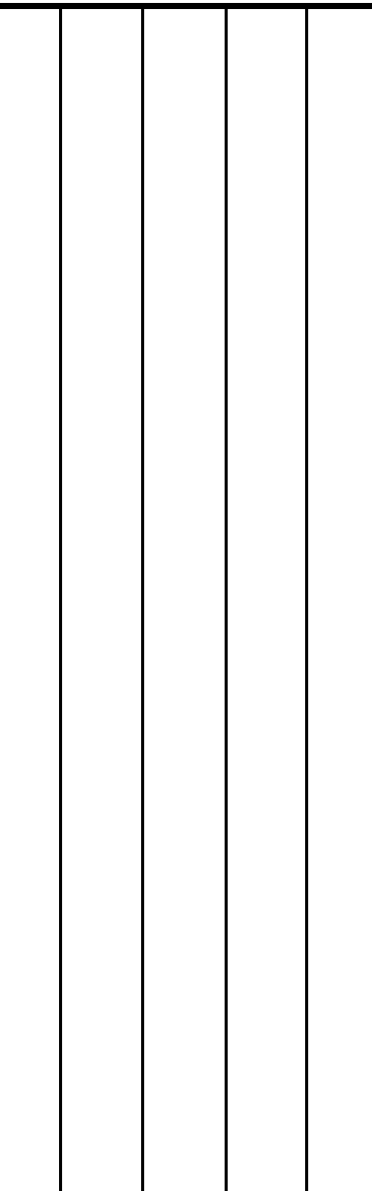


LEGEND

- (E) AB
- (E) AC
- (E) CONCRETE
- PROPOSED CONCRETE
- PROPOSED GRAVEL
- PROPERTY LINE
- PROPOSED LIMIT OF GRADING
- PROPOSED RETAINING WALL
- PROPOSED SWALE
- PROPOSED SD
- PROPOSED PERIMETER SD
- PROPOSED SDCO
- PROPOSED CB

ABBREVIATIONS

- | | |
|--------|-------------------------|
| BW | BOTTOM OF WALL |
| CB | CATCH BASIN |
| CONST | CONSTRUCT |
| DIA, Ø | DIAMETER |
| DS | DOWNSPOUT |
| DTL | DETAIL |
| DWY | DRIVEWAY |
| (E) | EXISTING |
| EL | ELEVATION |
| EOP | EDGE OF PAVEMENT |
| FF | FINISH FLOOR |
| FG | FINISH GRADE |
| FS | FIRE SERVICE |
| HP | HIGH POINT |
| INV | INVERT |
| LF | LINEAR FEET |
| LP | LOW POINT |
| MAX | MAXIMUM |
| N.T.S. | NOT TO SCALE |
| RET | RETAINING WALL |
| RW | RIM ELEVATION |
| S | SLOPE |
| SCCO | COUNTY OF SANTA CRUZ |
| SDCO | SANITARY SEWER CLEANOUT |
| SDCO | STORM DRAIN CLEANOUT |
| TYP | TYPICAL |
| TW | TOP OF WALL |
| WS | WATER SERVICE |



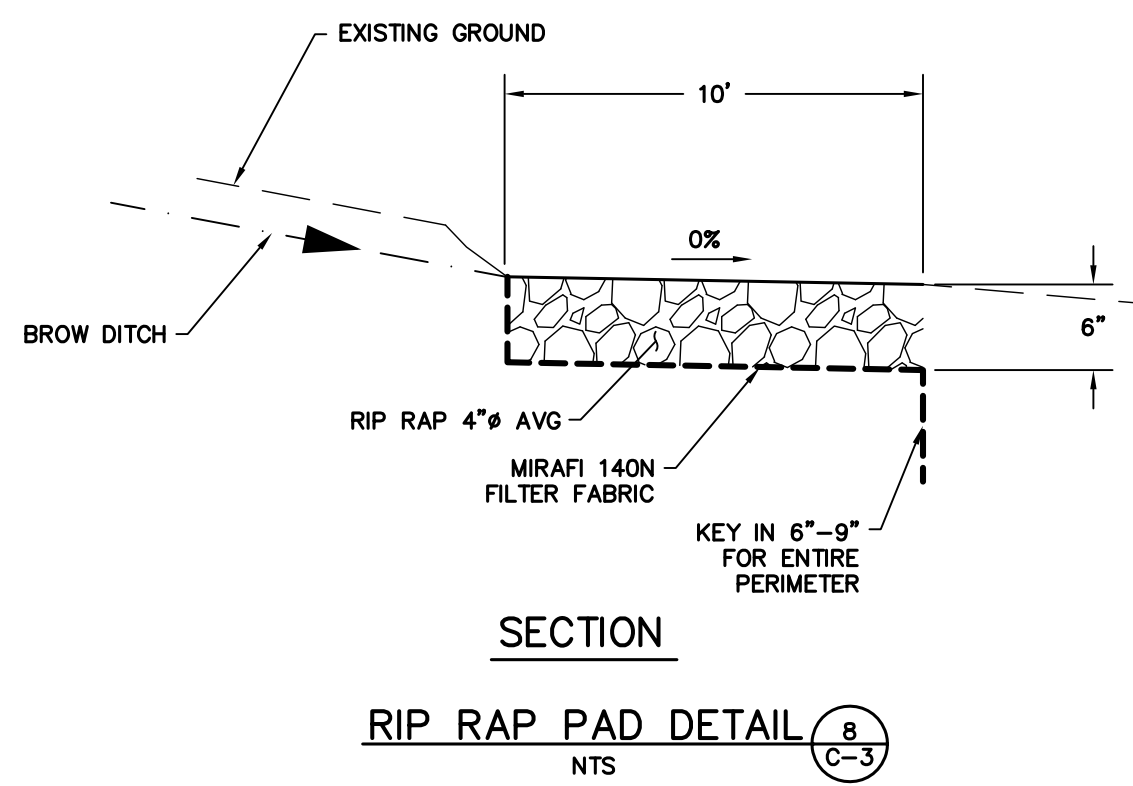
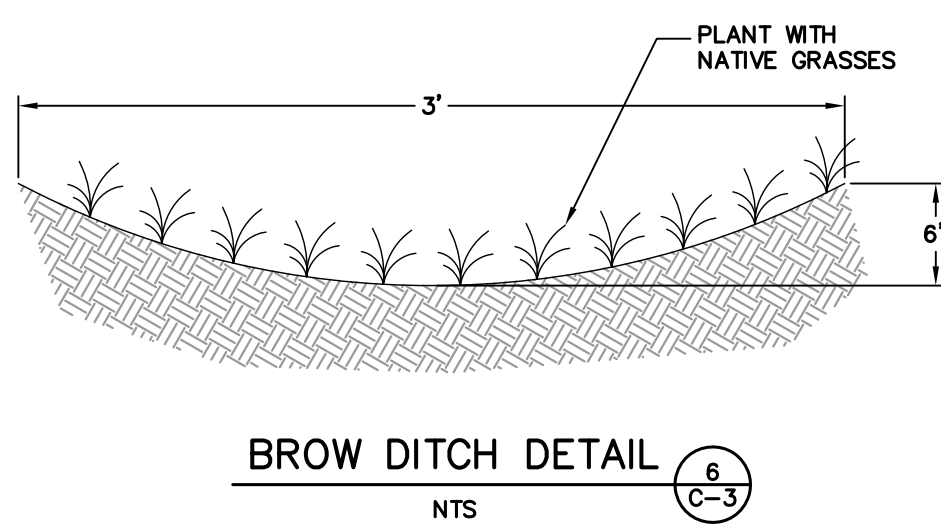
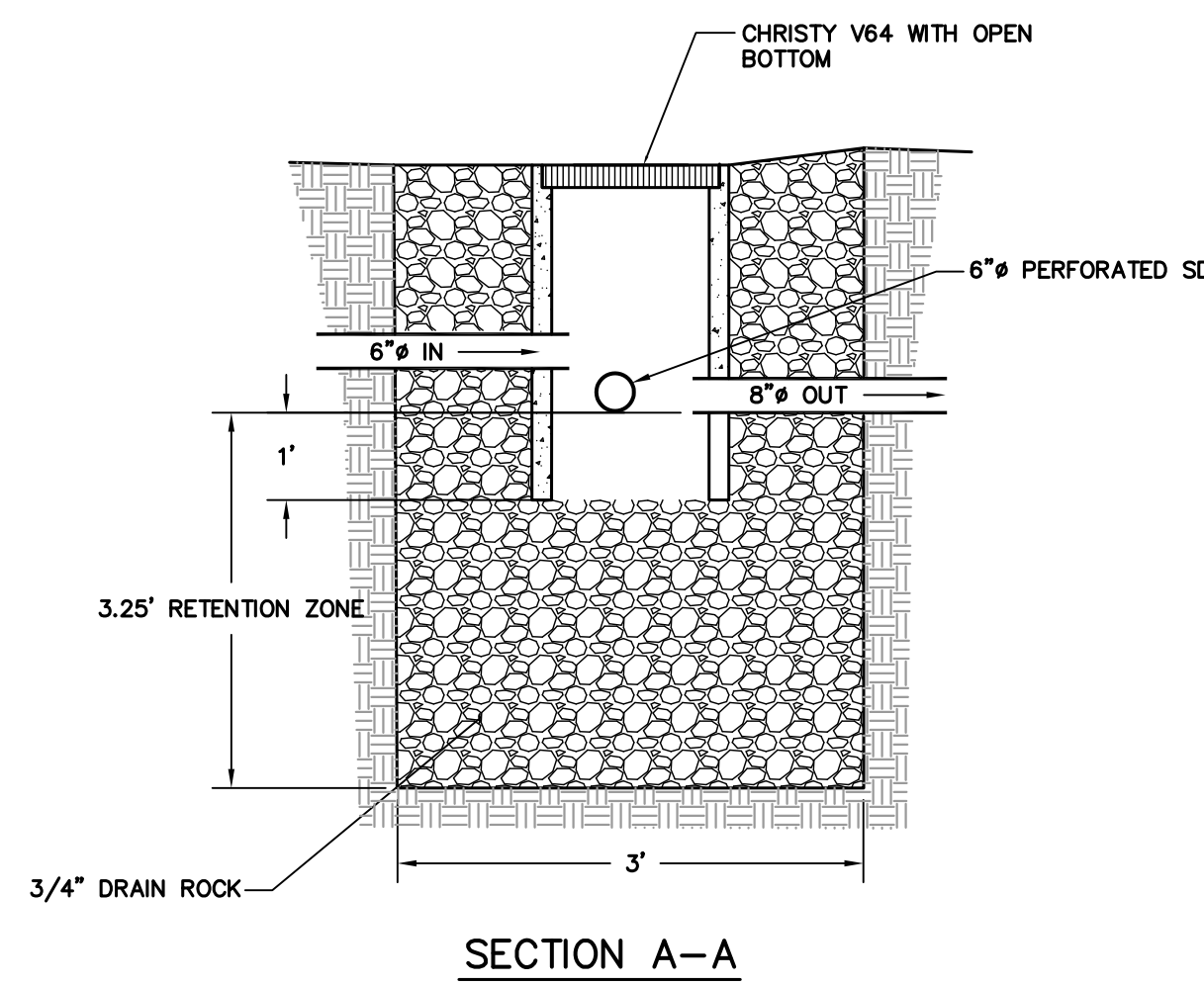
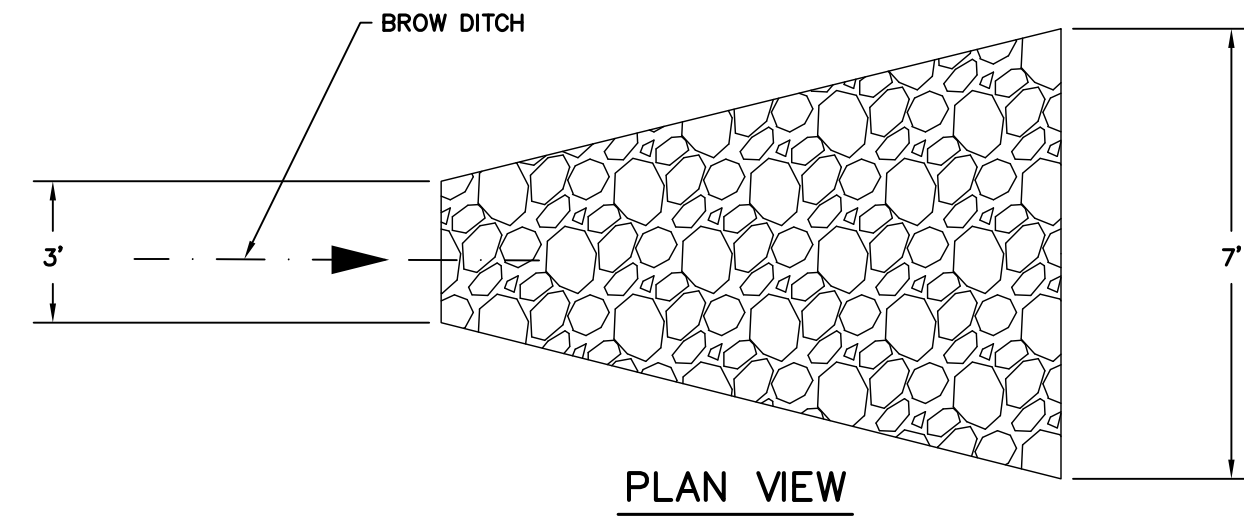
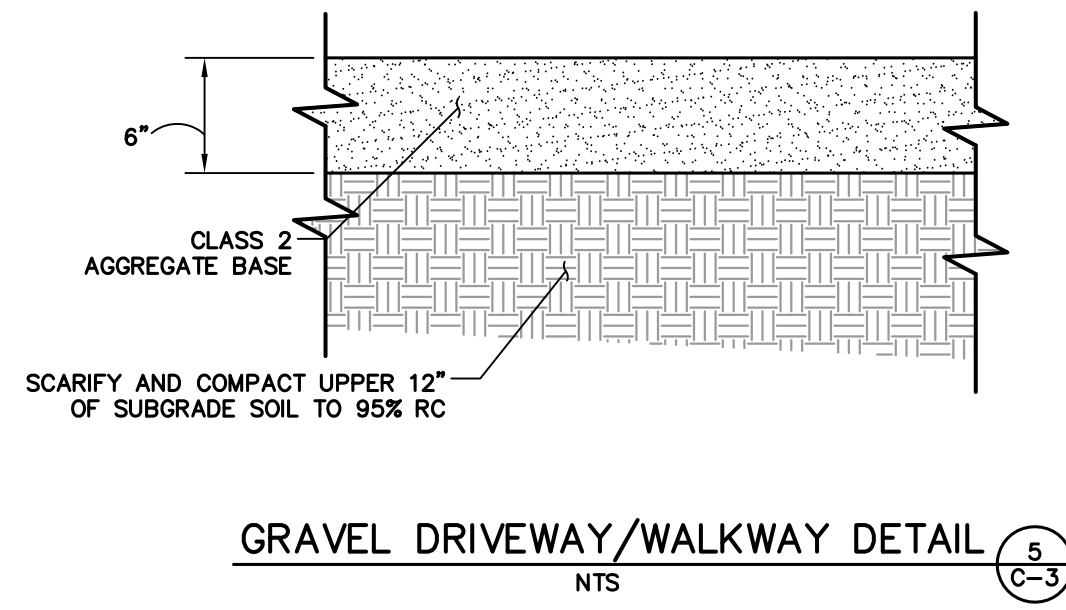
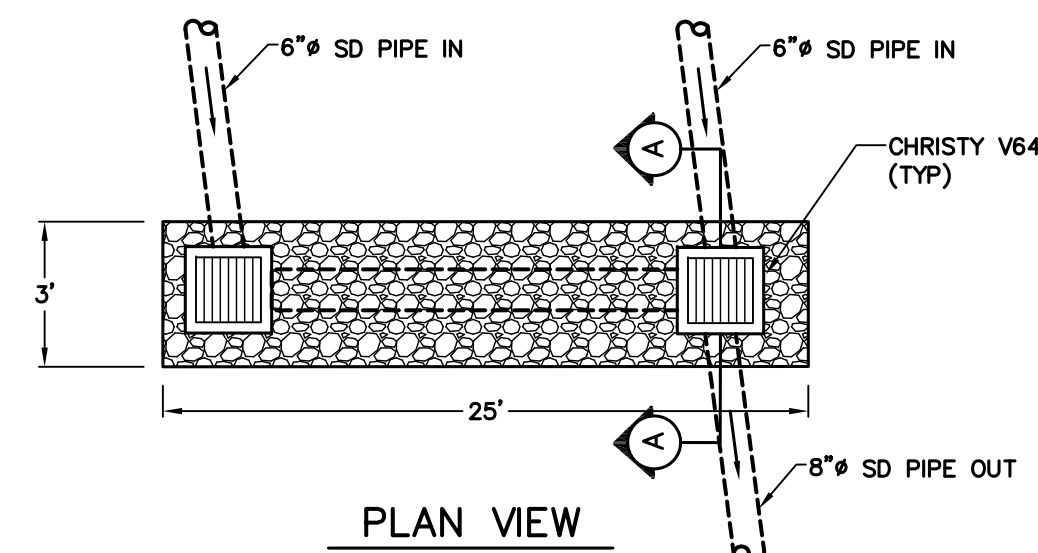
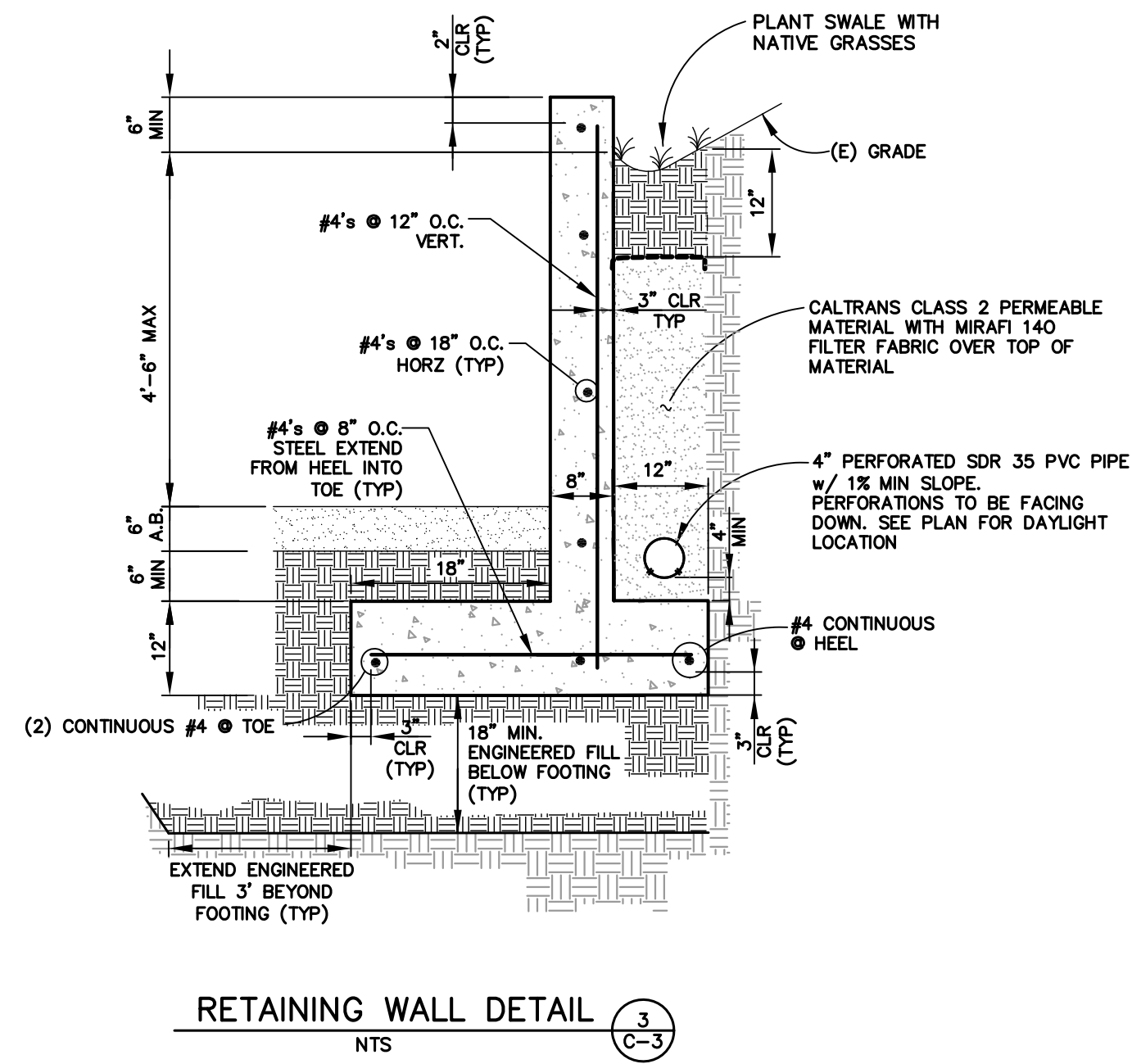
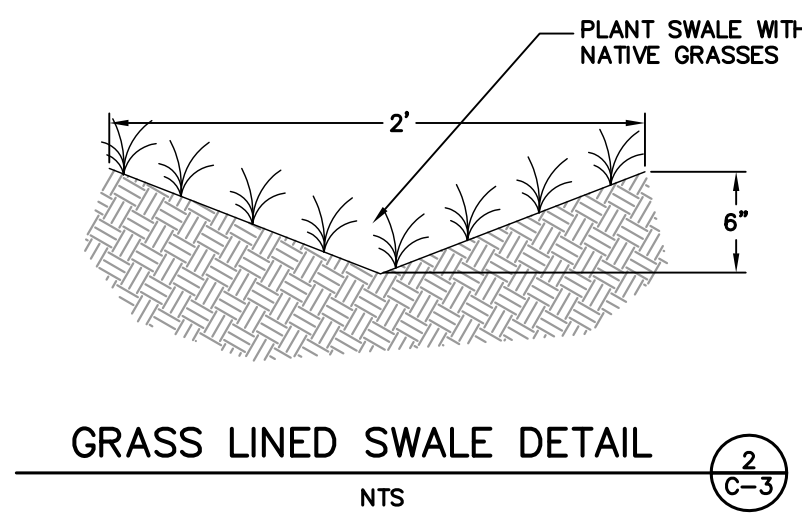
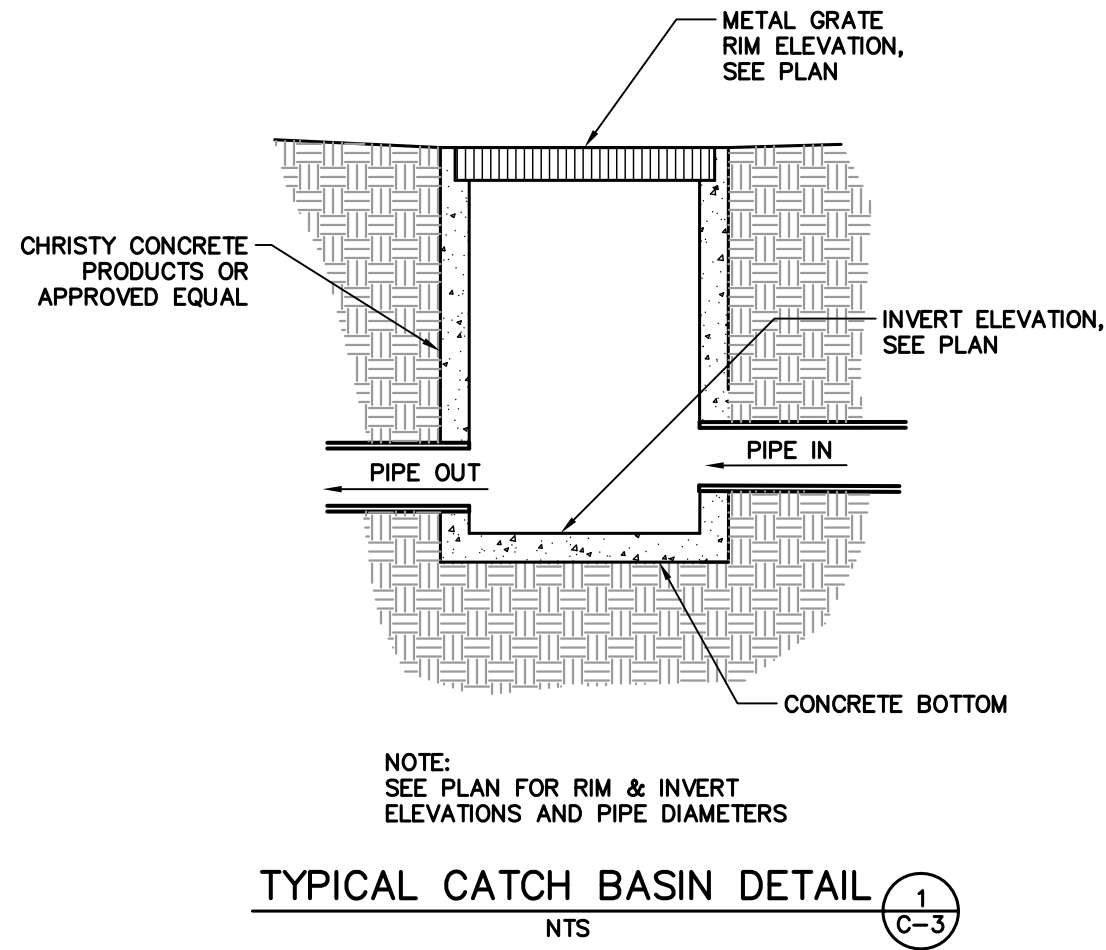
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303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.riengineering.com

NEW BARN
FOR
GORDON JOEL
604 OLIVE SPRINGS ROAD
SANTA CRUZ COUNTY, CA
APN 103-211-09

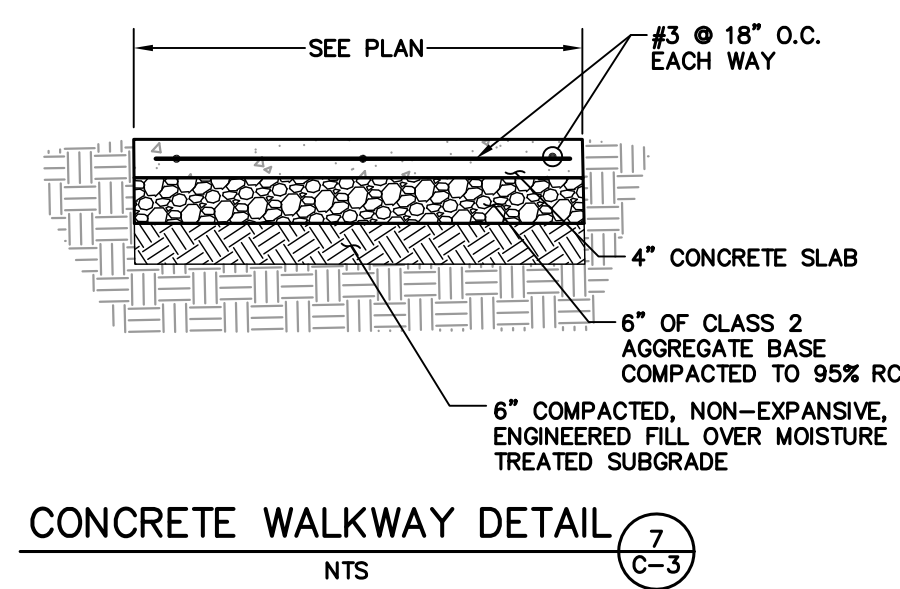
GRADING & DRAINAGE PLAN
project no.
19-035-1
date
JULY 2019
scale
AS SHOWN
dwg name
CIVIL2.DWG

C-2

BUILDING PERMIT SUBMITTAL

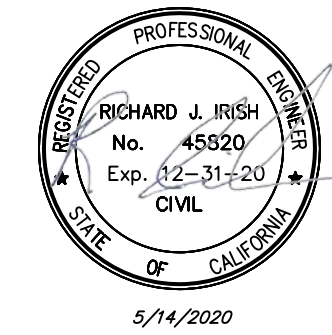


RETENTION TRENCH DETAIL NTS



POST CONSTRUCTION STORM DRAIN SYSTEM MAINTENANCE SCHEDULE

ITEM	INTERVAL	INSPECTION	REPAIR
CATCH BASINS	ANNUAL	1. SEDIMENT BUILD UP 2. TRASH & DEBRIS	1. REMOVE SEDIMENT 2. REMOVE TRASH & DEBRIS
SWALES & BROW DITCH	ANNUAL	1. WASHOUTS 2. MISPLACED ROCK 3. ACCUMULATION OF TRASH & DEBRIS	1. REPLACE TRANSPORTED ROCK 2. REMOVE TRASH & DEBRIS
RETENTION TRENCH	ANNUAL	1. DISPLACEMENT OF GRAVEL 2. SCOUR AROUND PERIMETER 3. ACCUMULATION OF TRASH & DEBRIS	1. REPLACE GRAVEL 2. REPAIR DAMAGED SLOPES & FABRIC. 3. REMOVE TRASH & LOOSE DEBRIS

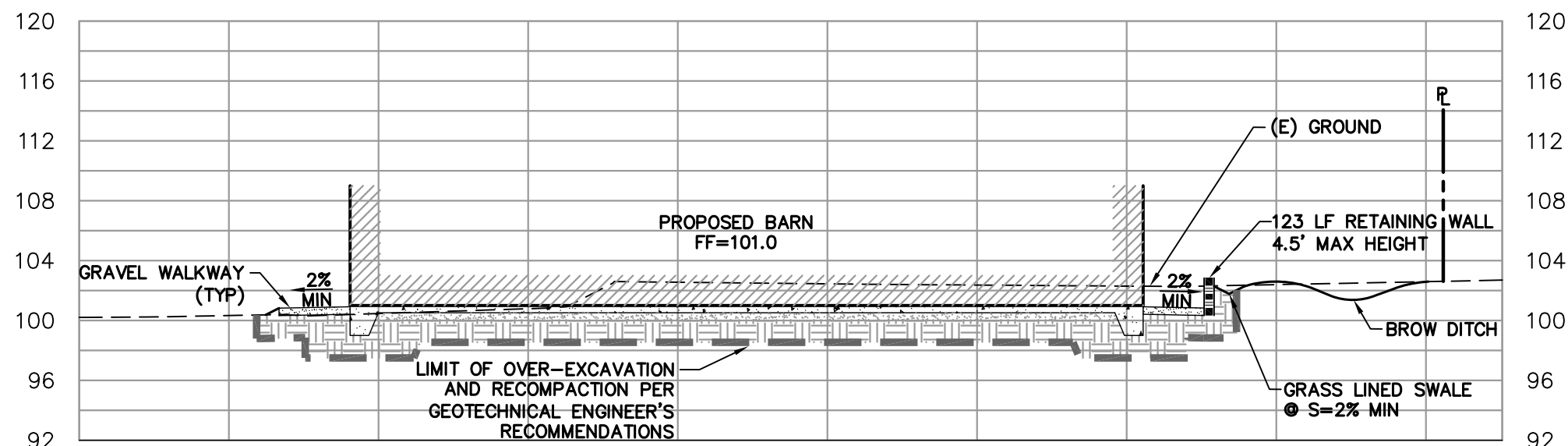


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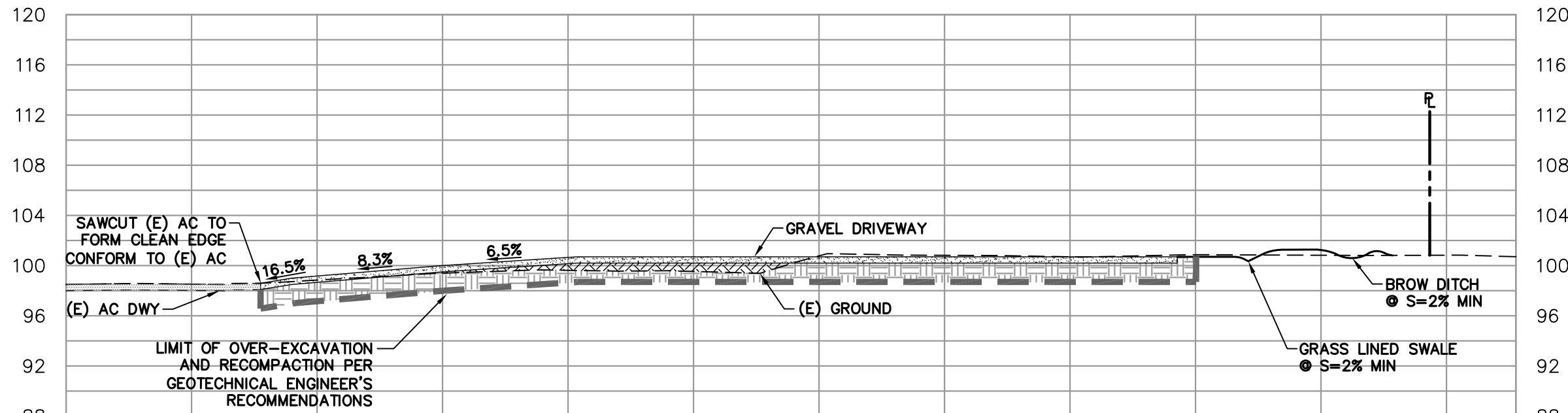
NEW BARN
FOR
GORDON JOEL
604 OLIVE SPRINGS ROAD
SANTA CRUZ COUNTY, CA
APN 103-5211-09

project no.
19-035-1
date
JULY 2019
scale
AS SHOWN
dwg name
CIVIL2.DWG

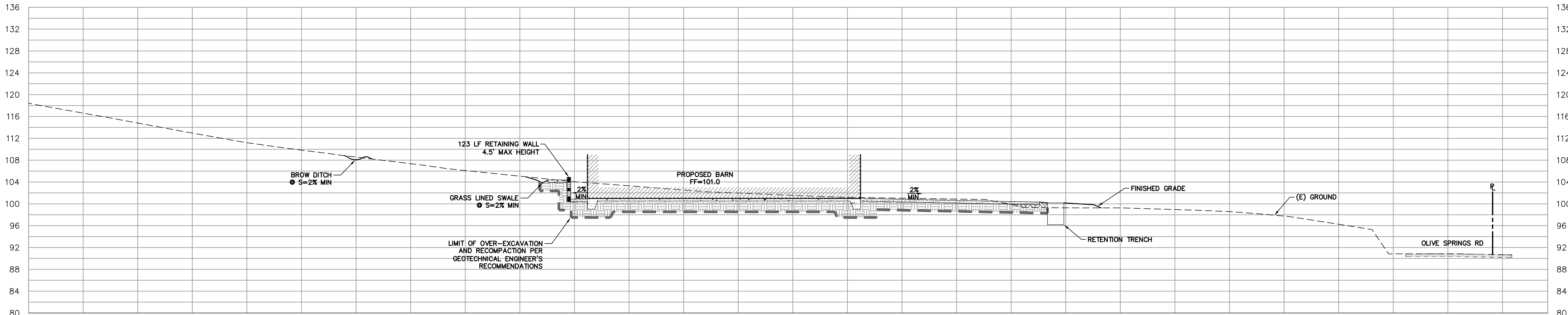
C-3



SECTION C-C
SCALE: 1"=10' HORIZONTAL, VERTICAL



SECTION B-B
SCALE: 1"=10' HORIZONTAL, VERTICAL



SECTION A-A
SCALE: 1"=10' HORIZONTAL, VERTICAL

EARTHWORK AND GRADING

1. WORK SHALL CONSIST OF ALL CLEARING, GRUBBING, STRIPPING, PREPARATION OF LAND TO BE FILLED, EXCAVATION, SPREADING, COMPACTION AND CONTROL OF FILL, AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADES, AND SLOPES, AS SHOWN ON THE APPROVED PLANS.
2. ALL GRADING OPERATIONS SHALL CONFORM TO SECTION 19 OF THE CALTRANS STANDARD SPECIFICATIONS, AND SHALL ALSO BE DONE IN CONFORMANCE WITH THE REQUIREMENTS OF THE COUNTY OF SANTA CRUZ. THE MOST STRINGENT GUIDELINE SHALL PREVAIL.
3. REFERENCE IS MADE TO THE GEOTECHNICAL INVESTIGATIONS BY ROCK SOLID ENGINEERING, INC., ENTITLED "GEOTECHNICAL INVESTIGATION-DESIGN PHASE," DATED MAY 30, 2019. THE CONTRACTOR SHALL MAKE A THOROUGH REVIEW OF THIS REPORT AND SHALL FOLLOW ALL RECOMMENDATIONS THEREIN. THE CONTRACTOR SHALL CONTACT ROCK SOLID ENGINEERING, INC. FOR ANY CLARIFICATIONS NECESSARY PRIOR TO PROCEEDING WITH THE WORK.
4. THE CONTRACTOR SHALL GRADE TO THE LINE AND ELEVATIONS SHOWN ON THE PLAN AND SHALL SECURE THE SERVICES OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER TO PROVIDE STAKES FOR LINE AND GRADE.
5. THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED AT LEAST FOUR (4) DAYS PRIOR TO ANY SITE CLEARING AND GRADING OPERATIONS.
6. STRIPPED AREAS SHOULD BE SCARIFIED TO A DEPTH OF ABOUT 6", WATER-CONDITIONED TO BRING THE SOILS WATER CONTENT TO ABOUT 2% ABOVE THE OPTIMUM, AND COMPACTED TO A DENSITY EQUIVALENT TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY OF THE SOIL ACCORDING TO ASTM D1557 (LATEST EDITION). SUBGRADES AND AGGREGATE BASE ROCK FOR PAVEMENTS SHOULD BE COMPACTED TO A MINIMUM OF 95%.
7. ENGINEERED FILL SHOULD BE PLACED IN THIN LIFTS NOT EXCEEDING 8" IN LOOSE THICKNESS, MOISTURE CONDITIONED, AND COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.
8. MATERIAL USED FOR ENGINEERED FILL SHALL MEET THE REQUIREMENTS OF THE FOREMENTIONED REPORTS BY ROCK SOLID ENGINEERING, INC.
9. IMPORTED FILL MATERIAL USED AS ENGINEERED FILL FOR THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOREMENTIONED GEOTECHNICAL INVESTIGATION.
10. ALL FILL MATERIAL SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO JOBSITE DELIVERY AND PLACEMENT. NO EARTHWORK OPERATIONS SHALL BE PERFORMED WITHOUT THE DIRECT OBSERVATION AND APPROVAL OF THE GEOTECHNICAL ENGINEER.
11. BARE GROUND WITHIN 10' OF FOUNDATIONS SHALL BE SLOPED AWAY @ 5% MINIMUM OR 2% MINIMUM FOR PAVED SURFACES.

GENERAL NOTES

1. THE CONTRACTOR SHALL MAKE A DETAILED AND THOROUGH STUDY OF THESE PLANS IN THEIR ENTIRETY PRIOR TO ANY WORK ON THE JOBSITE. THE CONTRACTOR IS TO VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND IS TO COORDINATE THESE DRAWINGS WITH ALL OTHER TRADE DISCIPLINES FOR THE COMPLETED WORK. THE CONTRACTOR IS ALSO TO UNDERSTAND THAT ANY FEATURE OF CONSTRUCTION NOT FULLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE AS SHOWN FOR SIMILAR CONDITIONS.
2. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCY OCCURRING ON THE DRAWINGS OR FOUND IN HIS COORDINATION WORK. NO CHANGES IN APPROVED PLANS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE PROJECT ENGINEER AND THE COUNTY OF SANTA CRUZ DEPARTMENT OF PUBLIC WORKS.
3. ANY REQUEST FOR ALTERATIONS OR SUBSTITUTIONS MUST BE PRESENTED DIRECTLY TO THE PROJECT ENGINEER, ACCOMPANIED BY A DETAILED SKETCH, FOR REVIEW. BEFORE ANY APPROVAL WILL BE GIVEN AND BEFORE PROCEEDING WITH THE WORK, ABSOLUTELY NO ALTERATIONS OF THESE DOCUMENTS OF ANY KIND WILL BE APPROVED ON ANY SHOP DRAWINGS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS (CALTRANS), LATEST EDITION, THE COUNTY OF SANTA CRUZ DESIGN CRITERIA AND ALL APPLICABLE CODES AND ORDINANCES.
5. THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THE PLANS WERE OBTAINED FROM RECORD DRAWINGS AND MAY NOT REPRESENT TRUE LOCATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF THESE UTILITIES PRIOR TO CONSTRUCTION, AND TO NOTIFY THE PROJECT ENGINEER IN CASE OF CONFLICT.
6. THE CONTRACTOR SHALL SECURE ALL REQUIRED CONSTRUCTION PERMITS FROM THE COUNTY OF SANTA CRUZ PRIOR TO THE START OF WORK.
7. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD PROJECT ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE PROJECT ENGINEER.
8. GRADING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATIONS AND THE REQUIREMENTS OF THE COUNTY OF SANTA CRUZ.
9. THE CONTRACTOR SHALL NOTIFY THE COUNTY GRADING INSPECTOR, GEOTECHNICAL ENGINEER, THE CIVIL ENGINEER, & THE COUNTY CONSTRUCTION ENGINEER AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
10. WORK SHALL BE LIMITED TO 8:00 A.M. TO 5:00 P.M. WEEKDAYS. NON-NOISE PRODUCING ACTIVITIES, SUCH AS INTERIOR PAINTING, SHALL NOT BE SUBJECT TO THIS RESTRICTION.
11. ALL FIGURE (FIG.) REFERENCES, UNLESS OTHERWISE SPECIFIED, REFER TO STANDARD DRAWINGS IN THE CURRENT EDITION OF THE "COUNTY OF SANTA CRUZ DESIGN CRITERIA."
12. NO LAND CLEARING, GRADING OR EXCAVATING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS THE PLANNING DIRECTOR APPROVES A SEPARATE WINTER EROSION CONTROL PLAN.
13. BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
14. THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT AIRBORNE DUST FROM LEAVING THE PROJECT SITE. ALL EXPOSED EARTH SHALL BE WATERED DOWN AT THE END OF THE WORK DAY.
15. WHILE IN TRANSIT TO AND FROM THE PROJECT SITE, ALL TRUCKS TRANSPORTING FILL SHALL BE EQUIPPED WITH TARPS.
16. PURSUANT TO SECTIONS 16.40.040 AND 16.42.100 OF THE COUNTY CODE, IF AT ANY TIME DURING SITE PREPARATION, EXCAVATION, OR OTHER GROUND DISTURBANCE ASSOCIATED WITH THIS DEVELOPMENT, ANY ARTIFACT OR OTHER EVIDENCE OF AN HISTORIC ARCHEOLOGICAL RESOURCE OR A NATIVE AMERICAN CULTURAL SITE IS DISCOVERED, THE RESPONSIBLE PERSONS SHALL IMMEDIATELY CEASE AND DESIST FROM ALL FURTHER SITE EXCAVATION AND NOTIFY THE SHERIFF-CORONER IF THE DISCOVERY CONTAINS HUMAN REMAINS, OR THE PLANNING DIRECTOR IF THE DISCOVERY CONTAINS NO HUMAN REMAINS. THE PROCEDURES ESTABLISHED IN SECTIONS 16.40.010 AND 16.42.100, SHALL BE OBSERVED.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF CONSTRUCTION QUANTITIES PRIOR TO BIDDING ON ANY ITEM. QUANTITY REFERENCES SHOWN ON THESE PLANS, OR ENGINEER'S ESTIMATES ARE FOR ESTIMATING PURPOSES ONLY AND SHALL NOT BE CONSIDERED AS A BASIS FOR CONTRACTOR PAYMENT. CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY FLUCTUATIONS IN SUCH QUANTITIES AND ESTIMATES.
18. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
19. UNDERGROUND UTILITY LOCATIONS SHOWN ARE COMPILED FROM INFORMATION SUPPLIED BY UTILITY AGENCIES, AND ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY LOCATIONS OF AFFECTED UTILITY LINES PRIOR TO ANY TRENCHING OR EXCAVATING AND POTHOLE THOSE AREAS WHERE POTENTIAL CONFLICTS EXIST OR WHERE DATA IS OTHERWISE INCOMPLETE. FOR LOCATION, CALL USA 1-800-624-1444.
20. ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE OWNER'S EXPENSE.



R.I. Engineering, Inc.

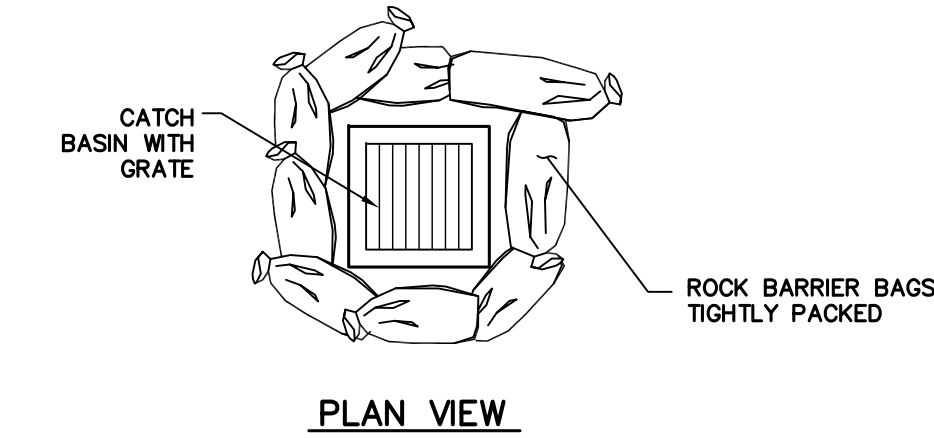
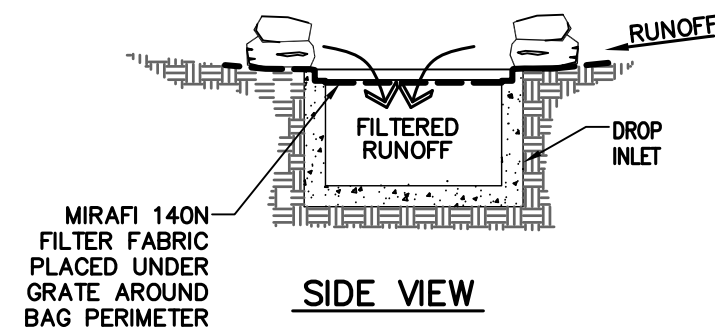
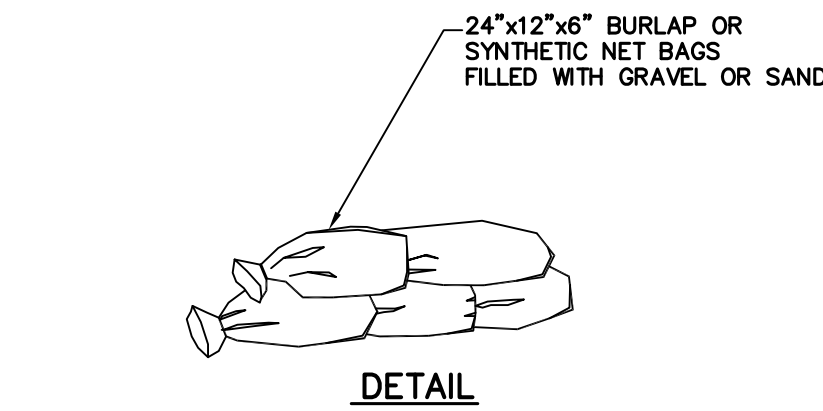
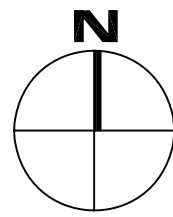
303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.riengineering.com

NEW BARN
FOR
GORDON JOEL
604 OLIVE SPRINGS ROAD
SANTA CRUZ COUNTY, CA
APN 103-5211-09

SECTIONS

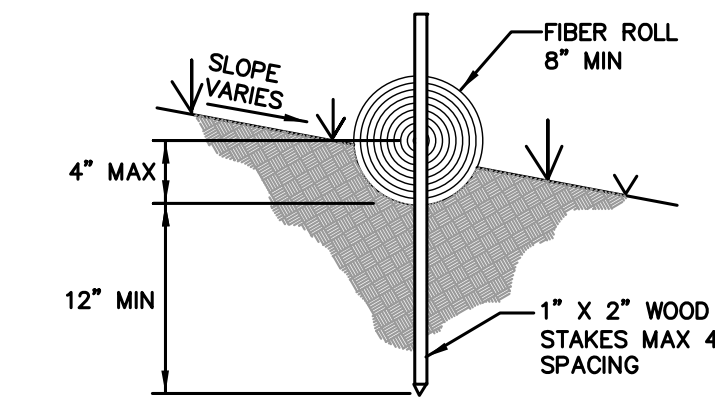
project no.
19-035-1
date
JULY 2019
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dwg name
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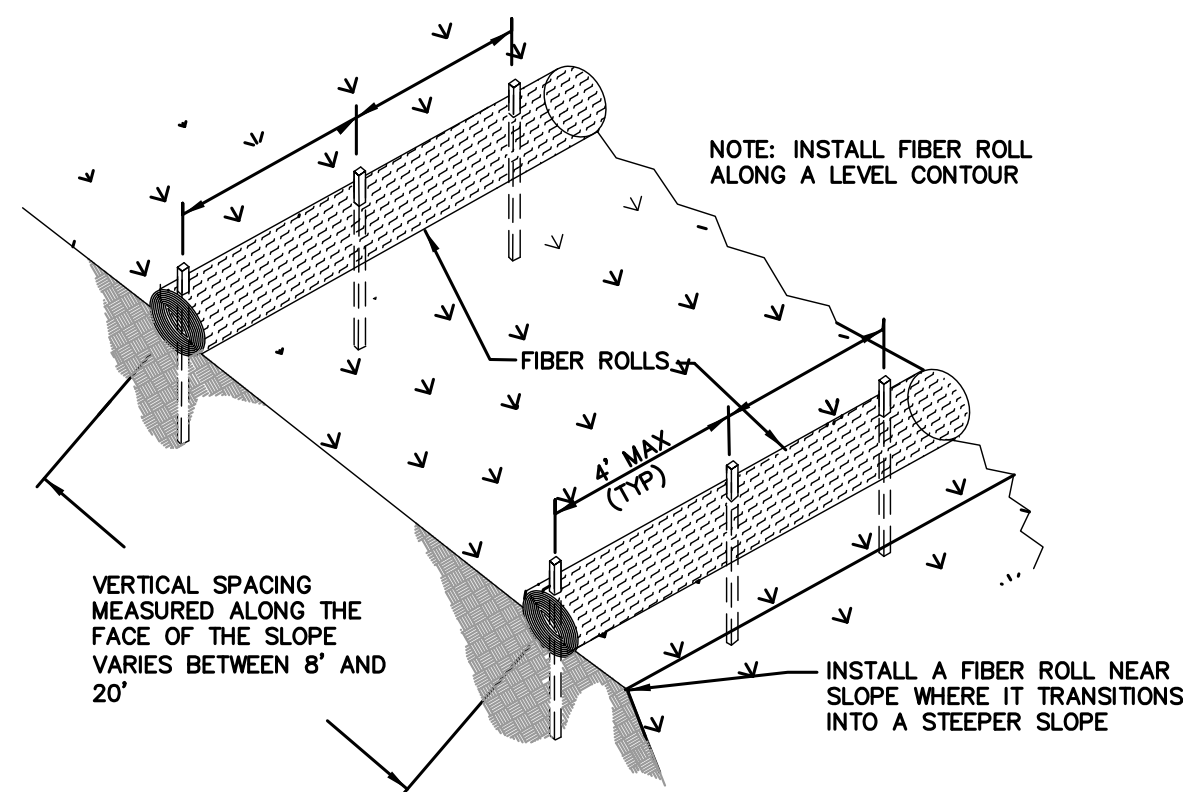
GRAVEL BAG CATCH BASIN PROTECTION

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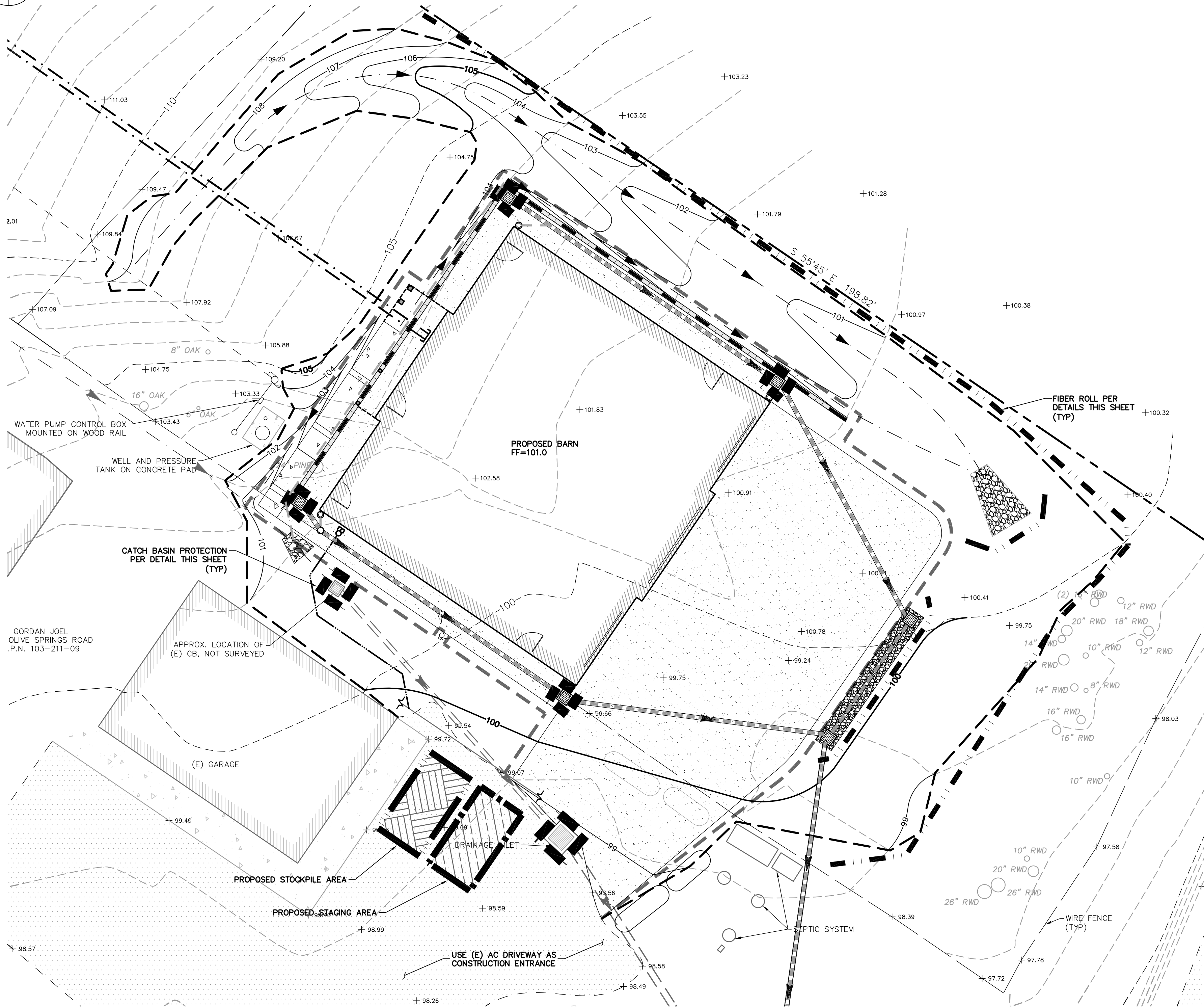
FIBER ROLL DETAIL IN SLOPE AREA

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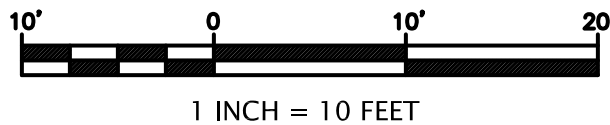


TYPICAL FIBER ROLL INSTALLATION

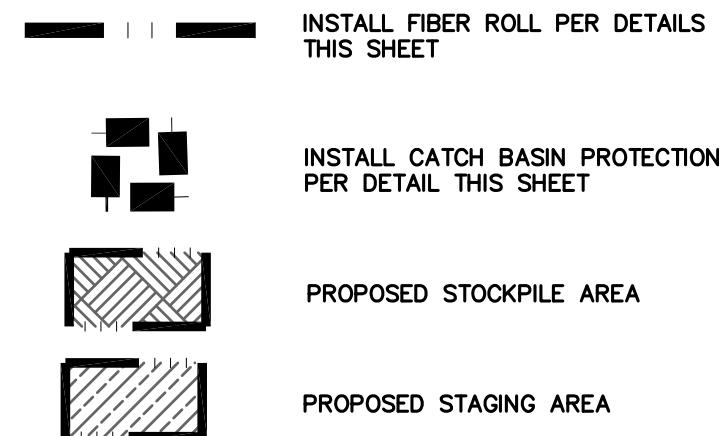
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PLAN



EROSION CONTROL LEGEND



TOTAL AREA OF DISTURBANCE = 10,200 SQ. FT

SITE HOUSEKEEPING REQUIREMENTS

CONSTRUCTION MATERIALS

1. ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
2. ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
3. EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
4. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

LANDSCAPE MATERIALS

1. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
2. CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
3. DISCONTINUE THE APPLICATION OF ANY ERODABLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIOD OF PRECIPITATION.
4. APPLY ERODABLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
5. STACK ERODABLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

VEHICLE STORAGE AND MAINTENANCE

1. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACES WATERS.
2. ALL EQUIPMENT OR VEHICLES, WHICH ARE THE BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP'S.
3. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

WASTE MANAGEMENT

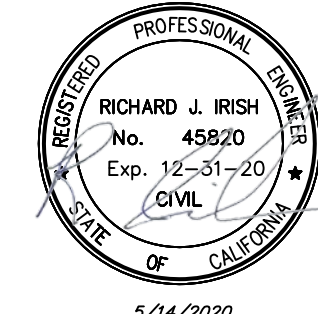
1. DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
2. SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
3. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
4. COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
5. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
6. STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
7. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
8. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY; AND
9. CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

EROSION CONTROL MEASURES

1. EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BY OCTOBER 15.
 2. UNLESS SPECIFIC MEASURES ARE SHOWN OR NOTED ON THIS PLAN, ALL COLLECTED RUNOFF SHALL BE CARRIED TO DRAINAGE COURSES IN LINED CONDUITS. DISCHARGE SHALL BE IN THE LOCATIONS SHOWN ON THE PLANS.
 3. THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. IF FAILED INSPECTIONS BY COUNTY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
 4. ALL DISTURBED AREAS NOT CURRENTLY BEING USED FOR CONSTRUCTION SHALL BE SEEDED WITH THE FOLLOWING SEED MIXTURE:
WINTER BARLEY 25#/ACRE
 5. AFTER SEEDING, STRAW MULCH WILL BE APPLIED IN 4" (AVG.) LAYERS.
 6. AMMONIUM PHOSPHATE FERTILIZER, 6-3-3, SHALL BE APPLIED AT A RATE OF 30 LBS. PER ACRE. ON SLOPES GREATER THAN 20% EROSION CONTROL BLANKET (NORTH AMERICAN GREEN) SHALL BE APPLIED.
 7. SILT BARRIERS SHALL BE PLACED END TO END AND STAKED DOWN ALONG THE BOTTOM OF ALL GRADED SLOPES.
- ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO SILT FENCES, FIBER ROLLS AND SLOPE PROTECTION SHALL BE IN PLACE BY OCTOBER 15TH. THE ENGINEER OF RECORD SHALL INSPECT ONCE EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

EXPOSED SLOPE MEASURES

1. COVER ALL EXPOSED SLOPES
2. STRAW 2 TONS/ACRE ON SLOPES \leq 20% WITH SOIL BINDER
3. USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES $>$ 20%.



R.I. Engineering, Inc.

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831-425-3901 www.riengineering.com

NEW BARN
FOR
GORDON JOEL
604 OLIVE SPRINGS ROAD
SANTA CRUZ COUNTY, CA
APN 103-211-09

STORMWATER POLLUTION
CONTROL PLAN

project no.
19-035-1
date
JULY 2019
scale
AS SHOWN
dwg name
CIVIL2.DWG

C-5

BUILDING PERMIT SUBMITTAL

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Basis of Elevation

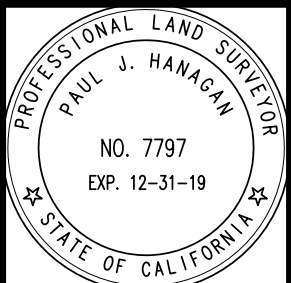
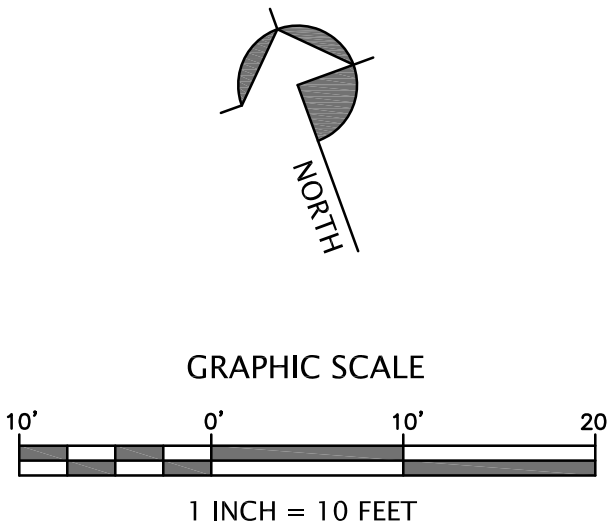
The basis of elevation for this map is based on the elevation of topographic features displayed on the Ward Surveying topographic map of this property that was published on 11-19-01.

The contour interval is 1 foot.

Basis of Bearings

The basis of bearing for this map is between found monuments on the western line of 604 Olive Springs Road per the deed filed under document number 5261-OR-439 in the Santa Cruz County Records.

Gordon Joel
604 Olive Springs Road
Soquel, CA, 95073
APN 103-211-09
Doc. No. 5261-OR-439



REVISION	APPROVED
Paul Hanagan LS 7797	

HANAGAN LAND SURVEYING
305-C SOQUEL AVE.
SANTA CRUZ, CA 95062
PHONE (831) 469-3428

Topographic & Boundary Map, The Lands Of:
Gordon Joel
604 Olive Springs Road, Santa Cruz, CA

Santa Cruz County A.P.N. 103-211-09	DESIGN	DRAWN J. Kaneg
DATE 3-6-2019	SCALE 1" = 10'	
SHEET SU-1	OF 1 SHEETS	JOB NO. 19014