

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATION NUMBER: 191334

APN: 028-224-01

SITUS: 22026 E. Cliff Dr., Santa Cruz 95062

Proposal to redesign a new two-story single-family dwelling to convert the underfloor into a basement. Requires an amendment to Coastal Development Permit 181620.

Property located on the south side of East Cliff Drive between 20th and 21st Avenue (22026 East Cliff Drive).

OWNER: Spinnaker Ventures LLC

APPLICANT: Dee Murray

SUPERVISORIAL DISTRICT: 1

PLANNER: Elizabeth Cramblet (831) 454-3027

EMAIL: Elizabeth.Cramblet@santacruzcounty.us

Public comments must be received by 5:00 p.m. 06/26/2020.

A decision will be made on or shortly after 06/29/2020.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. Planner will provide notification of decision to any requesting party.

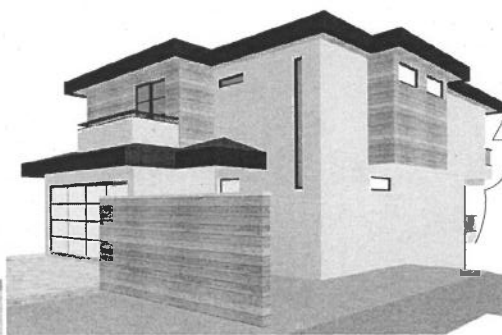
Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA GREEN BUILDING CODE, 2019 CALIFORNIA FIRE CODE, 2019 CALIFORNIA ENERGY CODE AND ALL CITY ORDINANCES. IN THE EVENT OF CONFLICT BETWEEN PERMITS CODES AND REGULATIONS AND THE REQUIREMENTS OF REFERENCED STANDARDS OF THESE NOTES, THE PROVISIONS OF THE ABOVE STANDARDS SHALL GOVERN.
2. THE CONTRACTOR SHALL VERIFY ALL THE INFORMATION IN THE DRAWINGS AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCY PRIOR TO BEGINNING ANY WORK. THE CONTRACTOR SHALL VERIFY THE SITE AND SHALL NOTIFY THE DESIGNER IF THERE ARE ANY OBSERVED DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS.
3. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, SUPPLYMENT AND SERVICES REQUIRED TO COMPLETE THE WORK EXCEPT THOSE ITEMS NOTED AS NOT TO BE PROVIDED. IF NECESSARY, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH ALL THE NECESSARY DOCUMENTS FROM THE INSPECTING ENTITY.
4. THE CONTRACTOR SHALL NOT ENCUMBER ANY PUBLIC OR PRIVATE PROPERTY OTHER THAN THE SITE WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF THE PROPERTY TO BE ENCUMBERED.
5. THE CONTRACTOR SHALL PROVIDE FENCING, BARRICADES, WARNING SIGNS, SIGNS OR OTHER PROTECTIVE MEASURES AS NEEDED TO PROVIDE FOR THE PUBLIC SAFETY.
6. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL INSPECTIONS AND AT THE END OF THE WORK PROVIDE THE OWNER WITH ALL THE NECESSARY DOCUMENTS FROM THE INSPECTING ENTITY.
7. TYPICAL DETAILS AND NOTES SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. DETAILS NOT SHOWN OR NOTED SHALL BE SHOWN AS NOTED FOR SIMILAR CONDITIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWINGS. SCALE DIMENSIONS TO DETERMINE DIMENSIONS IF NOT NOTED.
8. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DESIGN AND PROVIDE SHORING, BRACING, FORM WORK, ETC. AS REQUIRED TO PROTECT LIFE AND PROPERTY.
9. THE DESIGNER IS NOT RESPONSIBLE FOR THE SELECTION OF MATERIALS, MANUFACTURERS, FINISHES, CONTRACTORS OR SUBCONTRACTORS OTHER THAN THOSE SPECIFIED IN THESE PLANS AND SPECIFICATIONS. REVIEW FROM THE CONTRACTOR METHODS OR TYPES OF MATERIALS, MANUFACTURERS, FINISHES, CONTRACTORS OR SUBCONTRACTORS SPECIFIED IN THE ABOVE-MENTIONED PLANS AND SPECIFICATIONS SHALL VOID ANY DESIGNER'S WARRANTIES, WHETHER OR NOT WRITTEN. THE OWNER IS RESPONSIBLE FOR SELECTION OF ALL MATERIALS, MANUFACTURERS, FINISHES, CONTRACTORS OR SUBCONTRACTORS NOT SPECIFIED IN THE PLANS AND SPECIFICATIONS AND IS THEREFORE RESPONSIBLE FOR THE PERFORMANCE, COMPLETION AND SUCCESSFUL INTEGRATION OF THE MATERIALS AND FINISHES INTO THE PROJECT AS WELL AS THE QUALITY OF WORKMANSHIP ACHIEVED. OWNER SHALL SUPPLY A COMPLETE COPY OF THE PLANS AND SPECIFICATIONS TO THE GENERAL CONTRACTOR OR ALL SUBCONTRACTORS IF THE OWNER ASSIGNS THE RESPONSIBILITIES OF THE GENERAL CONTRACTOR.
10. CONTRACTOR TO PROTECT EXISTING AND NEW STRUCTURES FROM ALL POTENTIAL WEATHER-RELATED DAMAGE.
11. FIRE PROTECTION DETAIL NOTES:
 1. THESE PLANS ARE IN COMPLIANCE WITH THE CURRENTLY ADOPTED 2019 CALIFORNIA BUILDING AND FIRE CODES AND DISTRICT AMENDMENT AND SHALL BE APPROVED BY THE DISTRICT WITH JURISDICTION. REQUIREMENTS OF THIS SINGLE FAMILY DWELLING GUIDE SHALL BE MET.
 2. OCCUPANCY CLASSIFICATION: R-3U
 3. BUILDING CONSTRUCTION TYPE: FIRE RESISTANCE TYPE IIB
 4. IF REQUIRED, THE BUILDING SHALL BE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM, COMPLYING WITH THE CURRENTLY ADOPTED CALIFORNIA BUILDING AND FIRE CODES AND DISTRICT AMENDMENTS. THE AUTHORITY HAVING JURISDICTION UNDER A SEPARATE TENTATIVE ORDINANCE/ORDER SHALL DETERMINE THREE SETS OF PLANS AND CALCULATIONS FOR THE UNDERGROUND AND OVERHEAD RESIDENTIAL AUTOMATIC FIRE SPRINKLER SYSTEM TO THE APPROPRIATE AGENCY FOR APPROVAL. INSTALLATION SHALL FOLLOW THEIR GUIDE SHEET.
 5. BUILDING NUMBERS SHALL BE PROVIDED. NUMBERS SHALL BE A MINIMUM OF 4" IN HEIGHT ON A CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET.
 6. AN APPROVED SPRINKLER SYSTEM SHALL BE INSTALLED WITH FIRE ALARMS NOT TO EXCEED 17" SHALL BE INSTALLED. THE SIZE SHALL BE A MINIMUM OF 1/2" IN THE NET FIRE AREA OF CHIMNEY OUTLET. CHIMNEYS SHALL EXTEND AT LEAST 2' ABOVE THE HIGHEST ELEVATION OF ANY PART OF THE BUILDING VENTING TOP OF CHIMNEY. SECURE LAST SECTION OF METAL FLUE TO PREVENT LATERAL DISPLACEMENT.
 7. THE NEW ROOF COVERING AND SIDINGS SHALL BE A CLASS "A" RATED ROOF DRAIN.
 8. A 100 FOOT CLEARANCE SHALL BE MAINTAINED WITH NON-COMBUSTIBLE VEGETATION AROUND ALL STRUCTURES OR TO THE PROPERTY LINE. (WHICHEVER IS SHORTER DISTANCE) SHALL BE MAINTAINED. "TALL" CONSUMABLES, SHEDS OR SIMILAR PLANTS SUCH AS GROUND COVERS MAY BE USED PROVIDED THEY DO NOT FORM A MEANS OF RAPIDLY SPREADING FIRE FROM EXISTING STRUCTURES.
 9. NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER SUPPLIER SUPPLYING WATER TO THE HYDRANT AND FROM THE COUNTY HEALTH DEPARTMENT.
 10. THE JOB COPIES OF THE BUILDING AND FIRE SYSTEMS PLANS MUST BE ON-SITE DURING INSPECTIONS.
 11. ANY NEW FIRE HYDRANT REQUIRED SHALL BE PAINTED IN ACCORDANCE WITH THE STATE OF CALIFORNIA HEALTH AND SAFETY CODE.



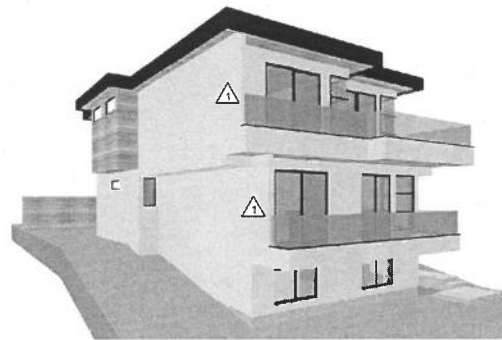
FRONT NORTH EAST 3D ELEVATION - NO SCALE



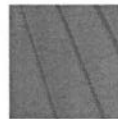
FRONT NORTH WEST 3D ELEVATION - NO SCALE



REAR / SOUTH EAST 3D ELEVATION - NO SCALE



REAR / SOUTH WEST 3D ELEVATION - NO SCALE



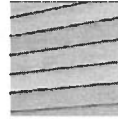
STANDING SEAM ROOF & FASCIA
DARK BLUE / BLACK



SLIDING GLASS DOORS & WINDOWS
DARK BRONZE ANODIZED



STUCCO
LIGHT BEIGE / CREAM



WOOD SIDING
RED CEDAR w/ SEMI-TRANSPARENT STAIN



VICTORY MAP - NO SCALE

OWNERS:
GLENN EBY
23526 EAST CLIFF DRIVE
SANTA CRUZ, CA 95062
(831) 750-0600

Handwritten signature: Doug Severin
DOUG SEVERIN, CHD
STY10026



STRUCTURAL ENGINEER:
BUCHANAN ENGINEERING
1515 CAPITOLA ROAD
SANTA CRUZ, CA 95062
(831) 470-3145

SOILS ENGINEER:
HARD, KASUNICH & ASSOCIATES, INC.
110 EAST LAKE AVENUE
WATSONVILLE, CA 95070
(831) 722-4175

TITLE 24:
STANLEY ENERGY SOLUTIONS
PO BOX 4672
EL MONTE, CA 91734
(626) 552-6000
stanleyenergy.com

PROJECT DESCRIPTION

ZONING: R-1-4
OCCUPANCY TYPE: R3U
TYPE OF CONSTRUCTION: 2 STORIES
SPRINKLED

CONSTRUCT NEW 2-STORY SFD, COVERED PORCH, CANTILEVERED DECKS AND ATTACHED GARAGE ON A 4,008 SQ. FT. LOT.
DEMOLISH EXISTING 1-STORY SFD.
COASTAL DEVELOPMENT PERMIT APPLICATION #181620 APPROVED.

AREA CALCULATIONS:

PARCEL AREA: 4,008 SQ. FT.
AREA OF RIGHT OF WAY: 8 SQ. FT.
NET PARCEL AREA: 4,008 SQ. FT.

LOT COVERAGE CALCULATION:

1ST FLOOR: 987 SQ. FT.
GARAGE: 400 SQ. FT.
COVERED PORCH: 30 SQ. FT.
DECK + 18" HIGH: 135 SQ. FT.
BUILDING CANTILEVERS: 172 SQ. FT.
LOT COVERAGE: 1,730 SQ. FT.
% PARCEL COVERAGE: 34.0%

FLOOR AREA RATIO CALCULATION:

1ST FLOOR HEATED: 987 SQ. FT.
2ND FLOOR HEATED: 1,308 SQ. FT.
GARAGE: 400 SQ. FT.
GARAGE CREDIT: -275 SQ. FT.
UNDER BUILDING PROJECTIONS: 28 SQ. FT.
COVERED PORCHES (> 140 SQ. FT.): 0 SQ. FT.
FAR TOTAL: 2,498 SQ. FT.
% FAR: 45.0%

IMPERVIOUS SURFACE AREA:

NET IMPERVIOUS AREA: 117 SQ. FT.
(SEE SHEET A2 FOR CALCULATIONS)

BASEMENT DETAIL:

PROPOSED BASEMENT AREA QUALIFIES PER 131.07.00-8.
(SEE SHEET A3 FOR DETAILS)

EARTHWORK ESTIMATE:

NET PROJECT TOTAL: -9 CU. YDS.
(SEE SHEET A3 FOR CALCULATIONS)

SHEET INDEX:

- A1 GENERAL NOTES, 3D ELEVATIONS & MATERIALS
- A2 PLOT PLAN & ROOF PLAN w/ BUILDING ELEVATIONS
- A3 FLOOR PLANS & NOTES
- A4 ELEVATIONS & NOTES
- A5 PROPOSED BASEMENT FLOOR PLAN & GRADING PLAN
- A6 SECTIONS & NOTES

BRV11 SURVEY AND RIGHT OF WAY PHOTOS

COASTAL DEVELOPMENT PERMIT APPLICATION #181620 - AMENDMENT

ELY RESIDENCE

22526 EAST CLIFF DRIVE
SANTA CRUZ, CA 95062
APN: 028-224-01

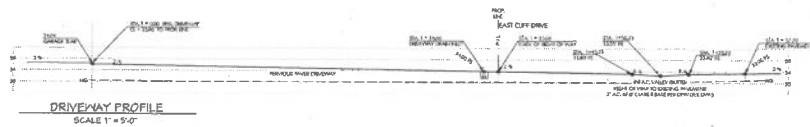
PLAN DATE: 11/23/2019
REVISION: 01/14/2020

PLOT PLAN & GENERAL NOTES

SCALE: AS NOTED
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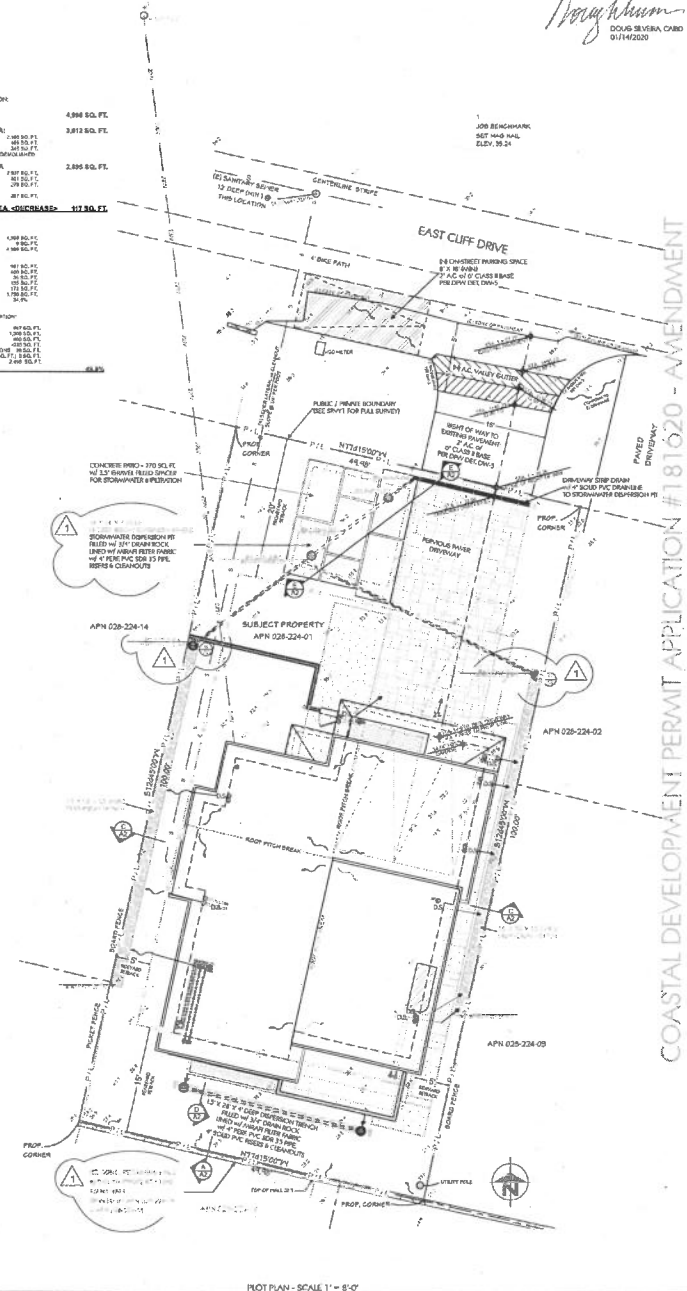
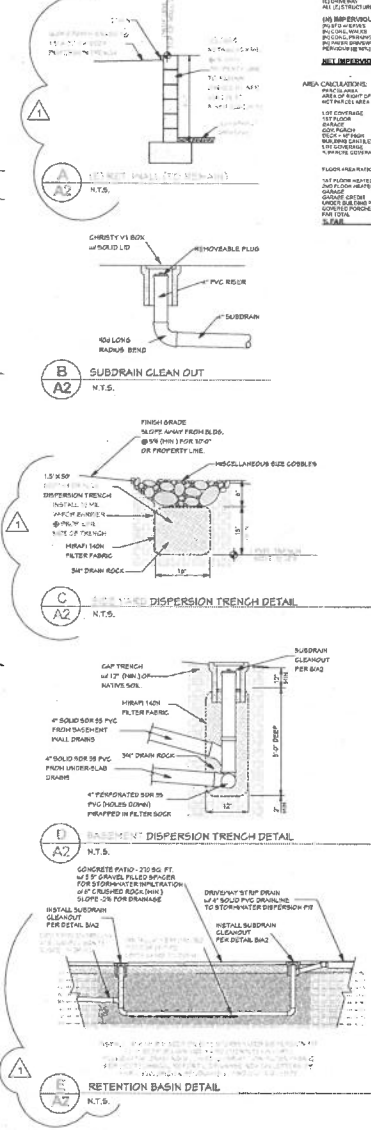
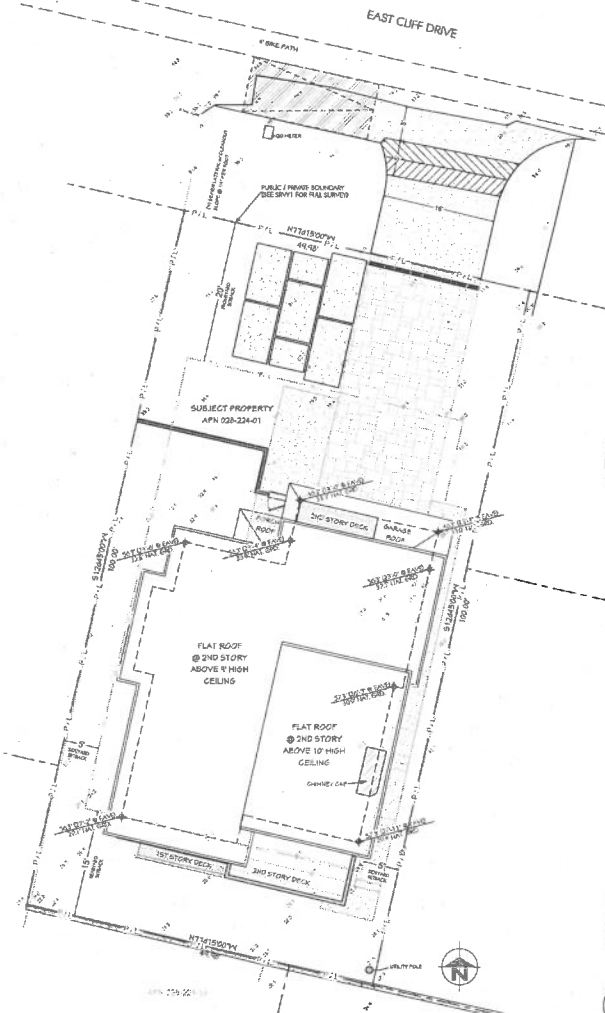
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AREA CALCULATIONS

LOT AREA	4,998 SQ. FT.
1ST FLOOR AREA	3,912 SQ. FT.
2ND FLOOR AREA	1,086 SQ. FT.
3RD FLOOR AREA	2,886 SQ. FT.
4TH FLOOR AREA	1,170 SQ. FT.
5TH FLOOR AREA	1,170 SQ. FT.
6TH FLOOR AREA	1,170 SQ. FT.
7TH FLOOR AREA	1,170 SQ. FT.
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98TH FLOOR AREA	1,170 SQ. FT.
99TH FLOOR AREA	1,170 SQ. FT.
100TH FLOOR AREA	1,170 SQ. FT.



ELY RESIDENCE

22026 EAST CLIFF DRIVE
SANTA CRUZ, CA 95062
APN. 028-224-01

PLAN DATE: 11/22/2010
REVISION: 01/17/2020

PLOT PLAN
ROOF PLAN w/
BUILDING ELEVATIONS

SCALE: AS NOTED
SHEET:

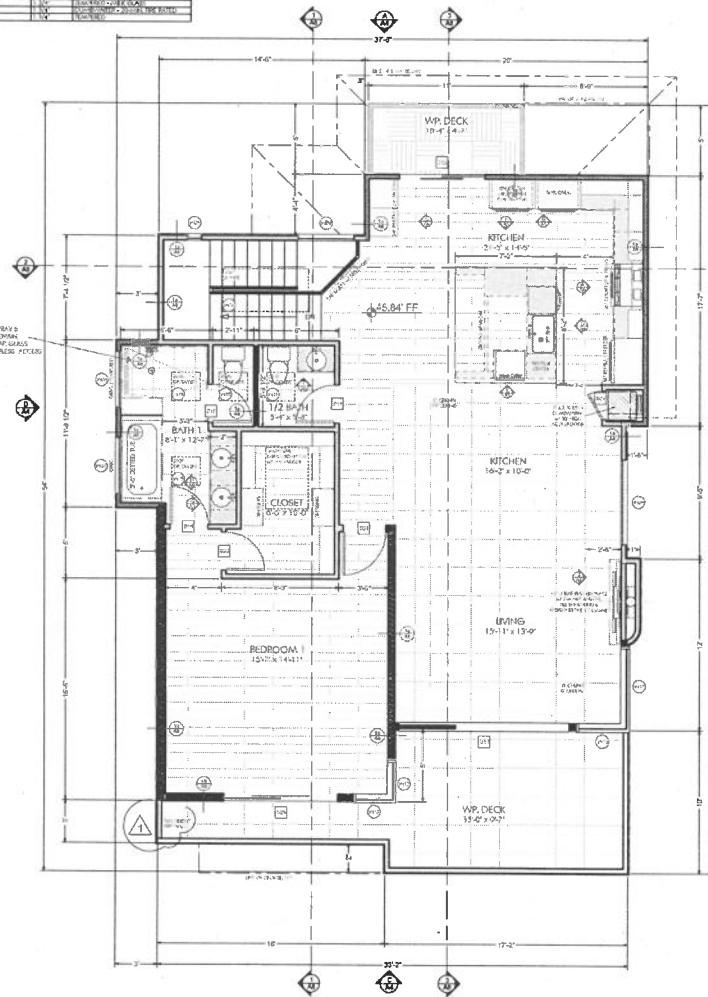
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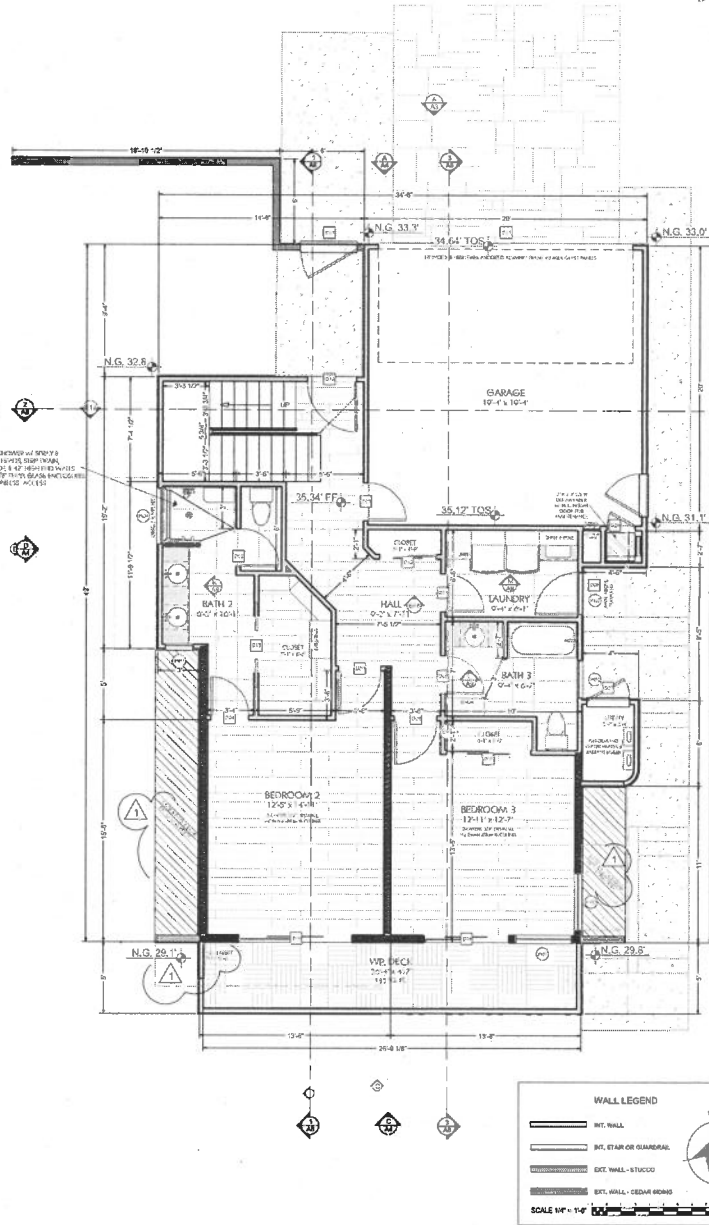
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ROOM	NO.	FINISH	NOTES
101	1	CEILING	CEILING
102	2	FLOOR	FLOOR
103	3	WALL	WALL
104	4	DOOR	DOOR
105	5	WINDOW	WINDOW
106	6	STAIR	STAIR
107	7	BATH	BATH
108	8	KITCHEN	KITCHEN
109	9	LIVING	LIVING
110	10	BEDROOM	BEDROOM
111	11	CLOSET	CLOSET
112	12	PORCH	PORCH
113	13	DECK	DECK
114	14	WALKWAY	WALKWAY
115	15	LANDSCAPE	LANDSCAPE
116	16	POOL	POOL
117	17	SPRING	SPRING
118	18	WATER	WATER
119	19	SEWER	SEWER
120	20	TELEPHONE	TELEPHONE
121	21	ELECTRIC	ELECTRIC
122	22	PLUMBING	PLUMBING
123	23	MECHANICAL	MECHANICAL
124	24	PAINT	PAINT
125	25	GLASS	GLASS
126	26	IRON	IRON
127	27	WAX	WAX
128	28	FINISH	FINISH
129	29	DETAIL	DETAIL
130	30	ASSEMBLY	ASSEMBLY

ROOM	NO.	FINISH	NOTES
101	1	CEILING	CEILING
102	2	FLOOR	FLOOR
103	3	WALL	WALL
104	4	DOOR	DOOR
105	5	WINDOW	WINDOW
106	6	STAIR	STAIR
107	7	BATH	BATH
108	8	KITCHEN	KITCHEN
109	9	LIVING	LIVING
110	10	BEDROOM	BEDROOM
111	11	CLOSET	CLOSET
112	12	PORCH	PORCH
113	13	DECK	DECK
114	14	WALKWAY	WALKWAY
115	15	LANDSCAPE	LANDSCAPE
116	16	POOL	POOL
117	17	SPRING	SPRING
118	18	WATER	WATER
119	19	SEWER	SEWER
120	20	TELEPHONE	TELEPHONE
121	21	ELECTRIC	ELECTRIC
122	22	PLUMBING	PLUMBING
123	23	MECHANICAL	MECHANICAL
124	24	PAINT	PAINT
125	25	GLASS	GLASS
126	26	IRON	IRON
127	27	WAX	WAX
128	28	FINISH	FINISH
129	29	DETAIL	DETAIL
130	30	ASSEMBLY	ASSEMBLY



2ND FLOOR PLAN - SCALE 1/4" = 1'-0"



1ST FLOOR PLAN - SCALE 1/4" = 1'-0"

WALL LEGEND

- INT. WALL
- INT. STAIR OR GUARDRAIL
- EXT. WALL - STUCCO
- EXT. WALL - CEDAR SHINGLES

SCALE 1/4" = 1'-0"

Doug Silveira
 DOUG SILVEIRA, CADD
 01/14/2020



COASTAL DEVELOPMENT PERMIT APPLICATION #181620 - AMENDMENT

ELY RESIDENCE

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 SANTA CRUZ, CA 95062
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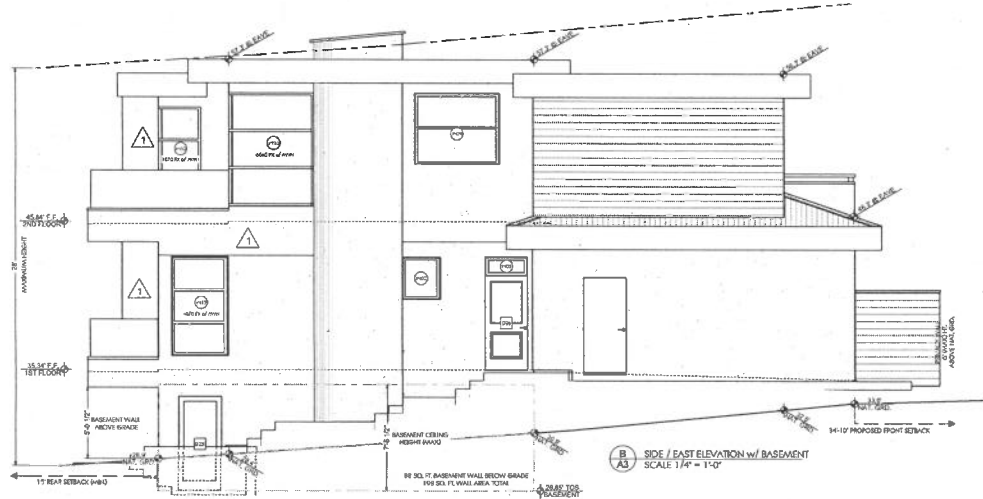
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FLOOR PLANS

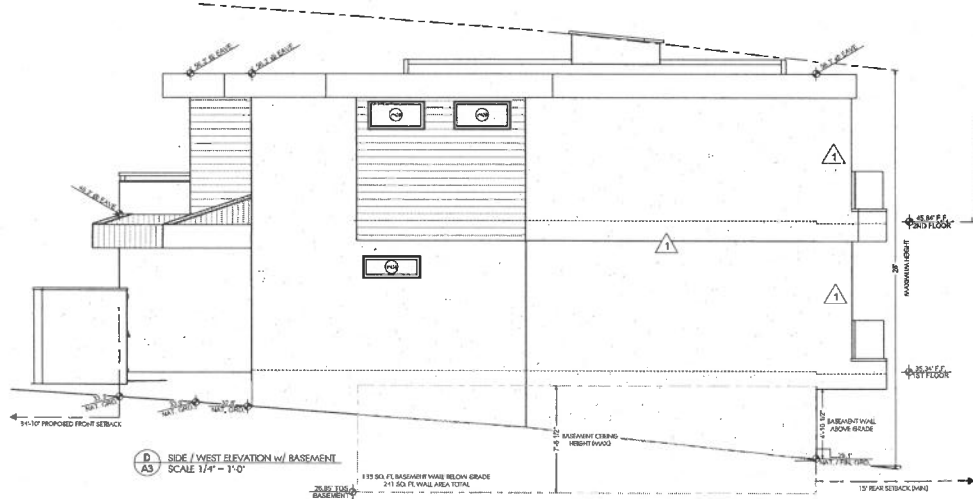
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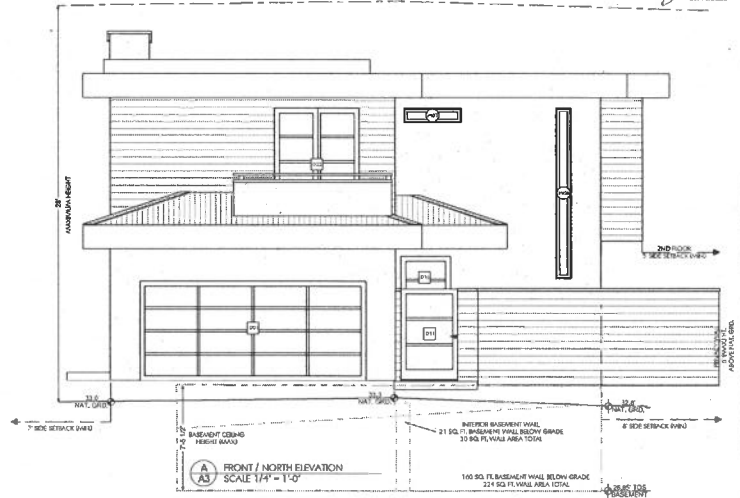
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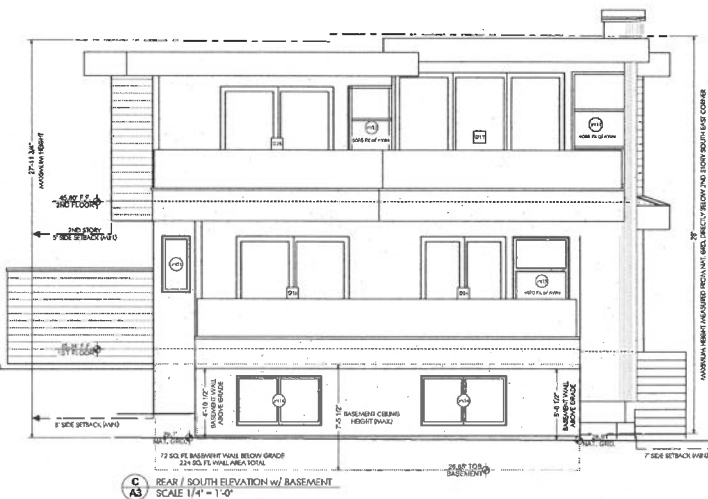
B A3 SIDE / EAST ELEVATION w/ BASEMENT
 SCALE 1/4" = 1'-0"



D A3 SIDE / WEST ELEVATION w/ BASEMENT
 SCALE 1/4" = 1'-0"



A A3 FRONT / NORTH ELEVATION
 SCALE 1/4" = 1'-0"



C A3 REAR / SOUTH ELEVATION w/ BASEMENT
 SCALE 1/4" = 1'-0"

Design
 DOLAN SILVERIA, CADD
 0117-1402020



COASTAL DEVELOPMENT PERMIT APPLICATION #181620 - AVENIMENT

ELY RESIDENCE

22026 EAST CLIFF DRIVE
 SANTA CRUZ, CA 95062
 APN. 028-224-01

PLAN DATE: 11/12/2019
 01/14/2020

ELEVATIONS

SCALE AS NOTED
 SHEET

A4

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ELY RESIDENCE

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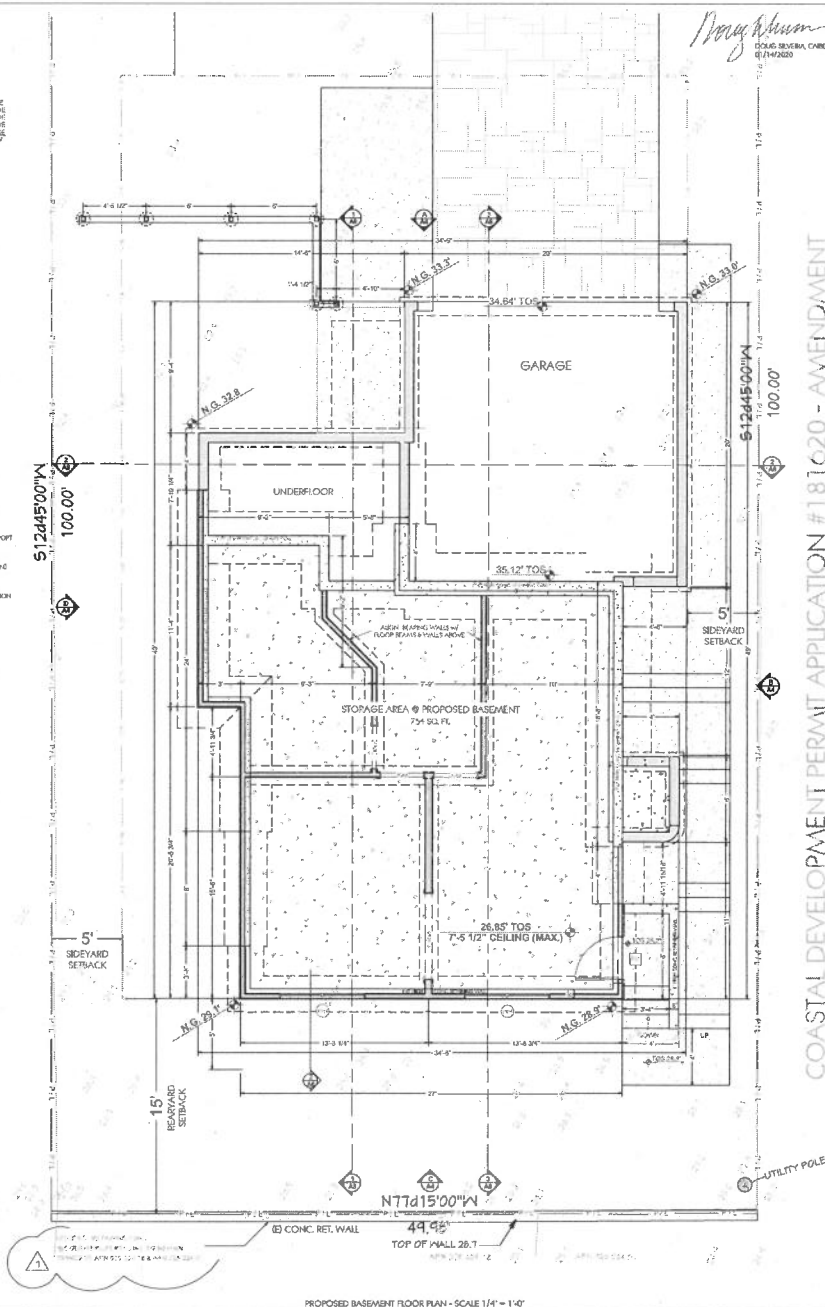
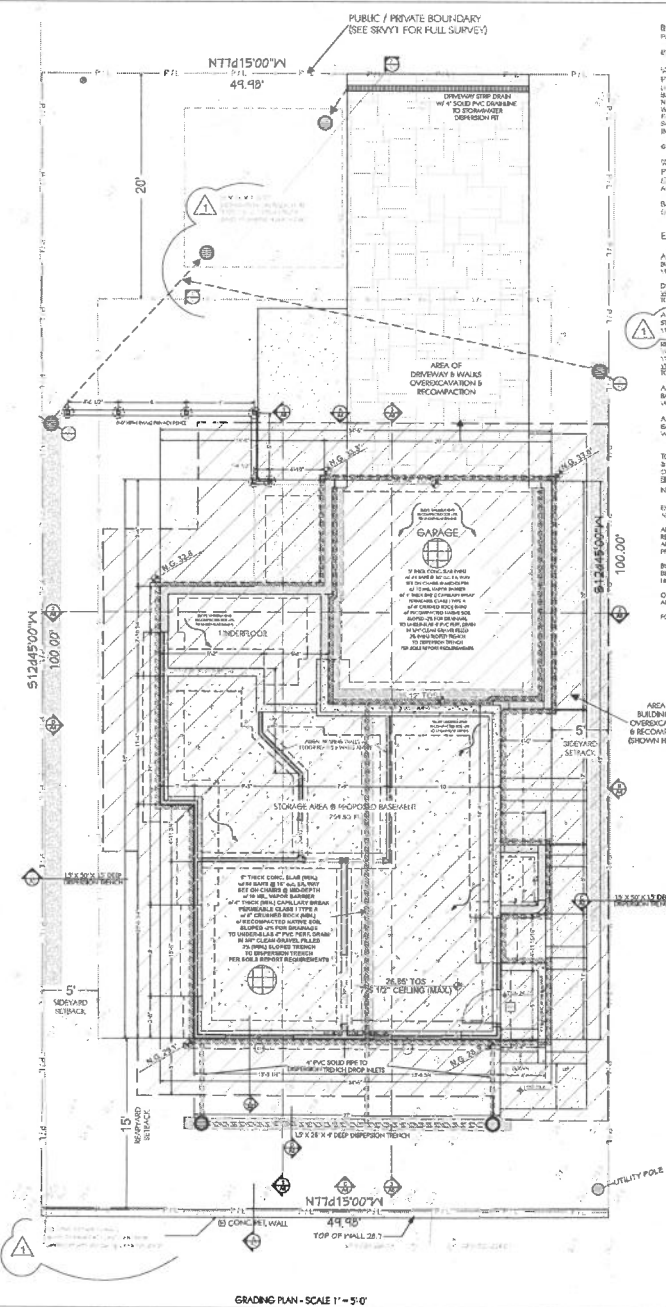
PLAN DATE: 11/22/2019
REVISION: 01/14/2020

PROPOSED BASEMENT
FLOOR PLAN &
GRADING PLAN

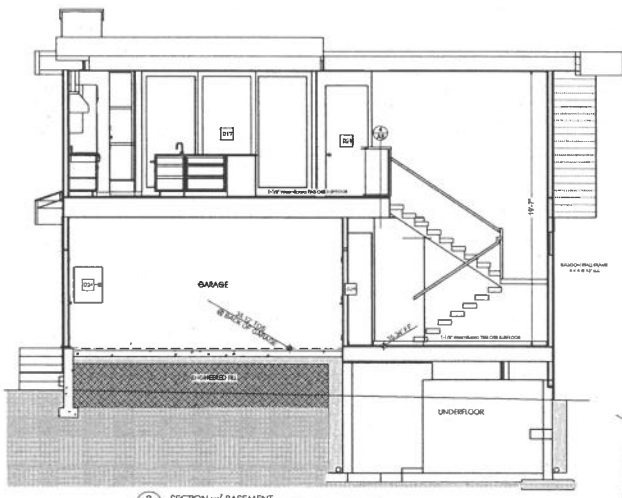
SCALE AS NOTED
SHEET

A5

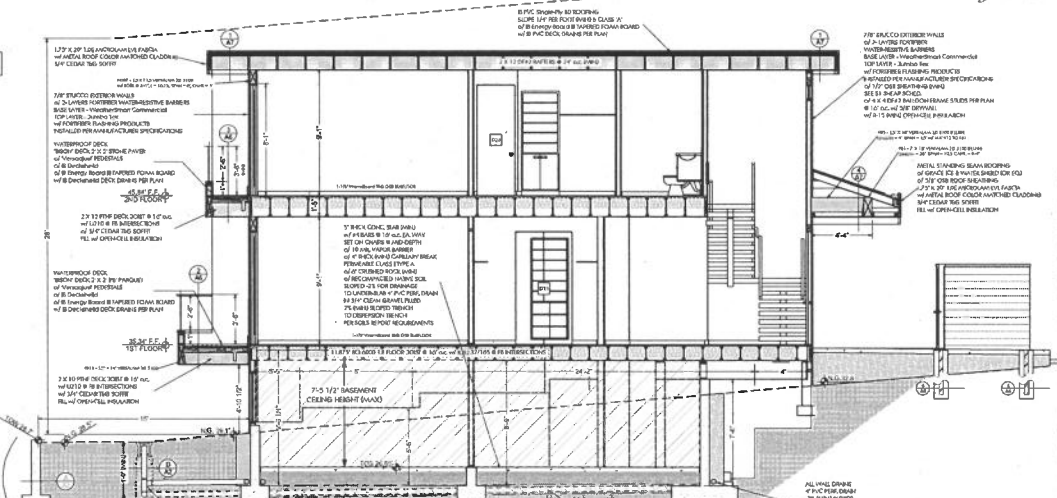
COASTAL DEVELOPMENT PERMIT APPLICATION #181620 - AMENDMENT



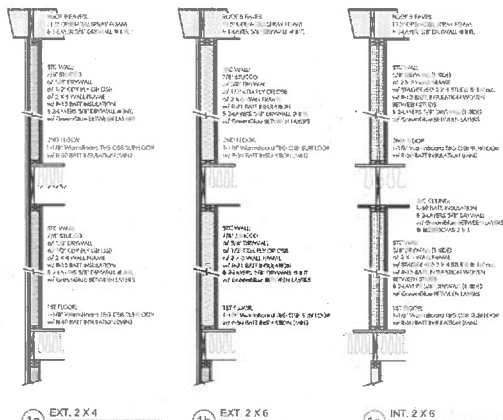
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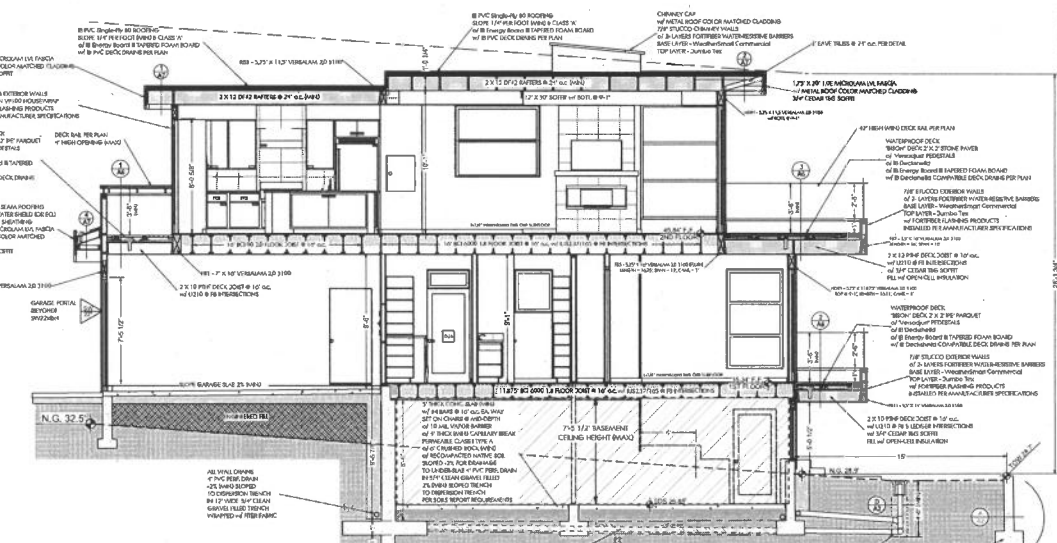
2 SECTION w/ BASEMENT
SCALE 1/4\"/>



1 SECTION w/ BASEMENT
SCALE 1/4\"/>



1A EXT. 2 X 4
1B EXT. 2 X 6
1C INT. 2 X 6
1 STC WALL DETAILS
SCALE 1/2\"/>



3 SECTION w/ BASEMENT
SCALE 1/4\"/>

Design
DOUG SEVERA CMB
01/14/2020



ELY RESIDENCE

22026 EAST CUFF DRIVE
SANTA CRUZ, CA 95062
APN: 028-224-01

COASTAL DEVELOPMENT PERMIT APPLICATION #181620 - AMENDMENT

PLAN DATE: 11/22/2019
REVISION: 01/14/2020

SECTIONS

SCALE AS NOTED
SHEET

A6

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East Cliff Drive



(A) RIGHT OF WAY LOOKING EAST

SITE SURVEY ADDITIONAL NOTES:

- 1- ITEMS SHOWN IN ARIAL BOLD FONT ARE ADDED TO SURVEY MAP BY SCHD (DERIVED FROM SITE OBSERVATIONS AND MEASUREMENTS FROM SURVEY SHOWN LANDMARKS)
- 2- NEAREST EXISTING SIDEWALK IS AT THE CORNER OF PORTOLA AVE. AND EAST CLIFF DRIVE

APR 8/20/2010
 SET AND NAD
 ELEV 39.24



(B) RIGHT OF WAY LOOKING WEST



(C) RIGHT OF WAY LOOKING WEST

East Cliff Drive

48" BIKE LANE

18" DIA. TREE

END OF (E) FENCE

PUBLIC / PRIVATE BOUNDARY

SUBJECT PROPERTY
 APN 028-224-01

(E) STREET SIGN

(E) MAIL BOXES

(E) FIRE HYDRANT

Scale 1" = 20'

ELY RESIDENCE

22026 EAST CLIFF DRIVE
 SANTA CRUZ, CA 95062
 APN. 028-224-01

PLAN DATE: 11/23/2010

REVISIONS

SURVEY

SCALE AS NOTED

SRVY1
 ADDITIONAL SHEET

LEGEND

- Survey control point (as noted)
- Survey control point (as noted)
- Property line, lands of Sprinkler Ventures LLC
- Other property line
- Structure line
- Fence
- Edge of pavement
- Record data

BASIS OF BEARING: T14 to pt. 10 = S 89° 16' 00" 00" E PL 283.23' (NEI)
 PL 300 to pt. 509 = S 89° 16' 00" 22" E PL 283.24' (record 12-1-11)

Elevations are based on NAVD83 datum as established from a network
 GPS measurement. Not confirmed to a local benchmark.

NOTE: This is not a boundary survey. Property lines are shown
 for orientation only and are based on recorded data. They may
 be discovered to be different, subject to the results of a complete boundary survey.



GLINN E. EDHUNDSON & ASSOCIATES
 LAND SURVEYING
 1512 SEABRIGHT AVENUE
 SANTA CRUZ, CA 95062
 PHONE (531) 425-1196
 FAX (531) 425-1196

SITE SURVEY MAP

OF ASSESSOR'S PARCEL NO. 028-224-01

Scale 1" = 20'	Santa Cruz County California	File 130712106
April 24, 2010	Prepared for Glenn Ely	FB 19654
	Job #13071	

COASTAL DEVELOPMENT PERMIT APPLICATION #181620 - AMENDMENT