

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
701 Ocean Street, 4<sup>th</sup> Floor  
Santa Cruz, CA 95060  
(831) 454-2580

**NOTICE OF PENDING ACTION**

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

**APPLICATION NUMBER: 201288** **APN: 100-131-03**  
**SITUS: 280 N Pippin Ln, Santa Cruz, CA 95065**

Proposal to construct a 1,2000 square foot accessory dwelling unit (ADU) on a CA (Commercial Agricultural) zoned parcel. Requires a Site Development Permit with public notice.

Property located on the northwest side of Happy Valley Road, approximately 1.1 mile north of the intersection of Branciforte Drive and Happy Valley Road.

**OWNER: Agricultural Lands Conservancy LLC**  
**APPLICANT: Richard Emigh**  
**SUPERVISORIAL DISTRICT: 1**  
**PLANNER: Evan Ditmars, (831) 454-3227**  
**EMAIL: [Evan.Ditmars@santacruzcounty.us](mailto:Evan.Ditmars@santacruzcounty.us)**

**Public comments must be received by 5:00 p.m. November 5, 2020.**

**A decision will be made on or shortly after November 6, 2020.**

**Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. Planner will provide notification of decision to any requesting party.**

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

## SITE & BUILDING DATA

PARCEL NUMBER 100-131-03  
SITE ADDRESS 280 N. Pippin Ln  
Santa Cruz, CA 95065

CONSTRUCTION TYPE R-3  
FIRE RATING TYPE V-B  
SPRINKLERED  
PROJECT IS SUBJECT TO THE WILDLAND  
INTERFACE CONSTRUCTION REQUIREMENTS.

## PROJECT DIRECTORY

OWNER: MARJORIE CARTER

PRINCIPAL DESIGNER: RICHARD EMIGH  
413 CAPITOLA AVE.  
CAPITOLA, CA 95010  
831-479-1452 PH  
831-479-1476 FAX

DRAFTER: DONNA FLOOR  
413 CAPITOLA AVE.  
CAPITOLA, CA 95010  
831-331-7377 PH

## GENERAL NOTES

- IT IS THE INTENT OF THE DRAWINGS TO DESCRIBE THE EXTENT AND THE RELATIONSHIPS, DIMENSIONAL AND POSITIONAL, OF THE MATERIALS, PRODUCTS AND COMPONENTS FOR THIS PROJECT.
- THESE DRAWINGS ARE DIAGRAMMATIC. THEY DO NOT REPRESENT TO SHOW OR INCLUDE EVERY SPECIFIC ITEM WHICH MAY BE NECESSARY AND PROPER FOR A COMPLETE INSTALLATION. IT IS THE INTENT OF THESE DOCUMENTS TO SUFFICIENTLY DESCRIBE THE PROJECT, EITHER SPECIFICALLY, BY REFERENCE, OR BY IMPLICATION, TO CAUSE A COMPLETE AND OPERATIONAL BUILT PRODUCT.
- DO NOT SCALE DRAWINGS. CONSULT DESIGNER FOR ANY DESIRED CLARIFICATIONS REGARDING DIMENSIONS.
- BRING ANY DISCREPANCIES, ERRORS, OMISSIONS, OR NEW FINDINGS TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
- SHEET NOTES AND LEGENDS APPLY ONLY TO THE SPECIFIC SHEET OF THE DRAWINGS ON WHICH THEY OCCUR, UNLESS OTHERWISE NOTED.
- INFORMATION REFERENCED FROM ONE PART OF THESE DOCUMENTS TO ANOTHER, BY SYMBOLIC REPRESENTATION OR NOTATION, SHALL BE AS IF INCLUDED COMPLETE AT THE INDICATED POSITION IN THE DOCUMENTS.
- CONFLICTS BETWEEN ONE PART OF THESE DOCUMENTS TO ANOTHER, OR BETWEEN THE DOCUMENTS AND THE DISCOVERED EXISTING CONDITIONS SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY FOR CLARIFICATION.
- CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS IN ACCORDANCE WITH ALL STATE AND LOCAL CODES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SUB-TRADES TO INSURE EXPEDITIOUS COMPLETION OF THE JOB.
- CONTRACTOR SHALL OBTAIN ALL PERMITS AND LICENSES REQUIRED BY THE LOCAL GOVERNING AUTHORITIES AND SHALL INCLUDE THE COST OF SUCH PERMITS IN THE BID.
- CONSTRUCTION CONTRACTOR AND HIS SUB CONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS. AND CONSTRUCTION CONTRACTORS AND HIS SUB-CONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTION LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

## PROJECT DESCRIPTION

NEW MANUFACTURED HOME A.D.U.

ALL WORK SHALL CONFORM TO THE 2016 CALIFORNIA BUILDING CODE, 2016 CALIFORNIA FIRE CODE AND 2016 CALIFORNIA PLUMBING CODE, 2016 CALIFORNIA MECHANICAL CODE, 2016 CALIFORNIA ELECTRICAL CODE, 2016 CALIFORNIA ENERGY STANDARDS, 2016 CALIFORNIA GREEN BUILDING CODE AND THE 2016 CALIFORNIA RESIDENTIAL CODES. SCMC CHAPTER 18 THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES 2016 EDITION. AND THE SCOTT'S VALLEY FIRE PROTECTION DISTRICT AMENDMENTS.

HERS CERTIFICATION IS REQUIRED FOR IAQ AND DUCT SEALING.

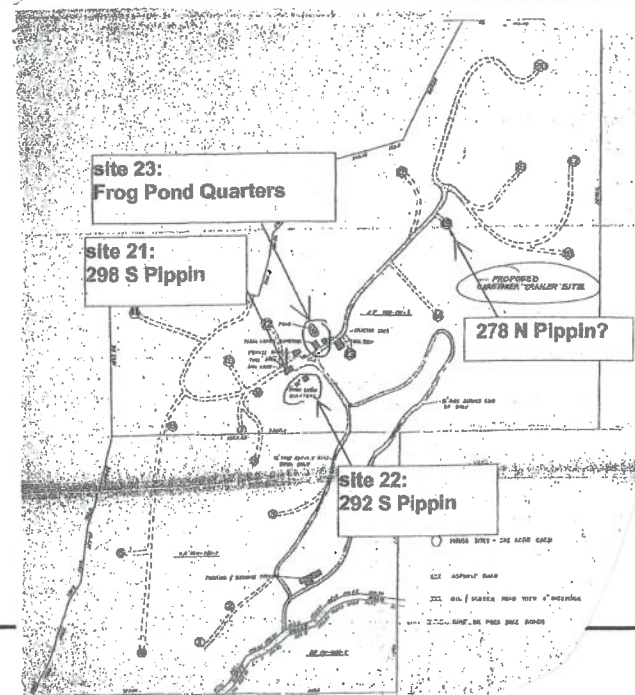
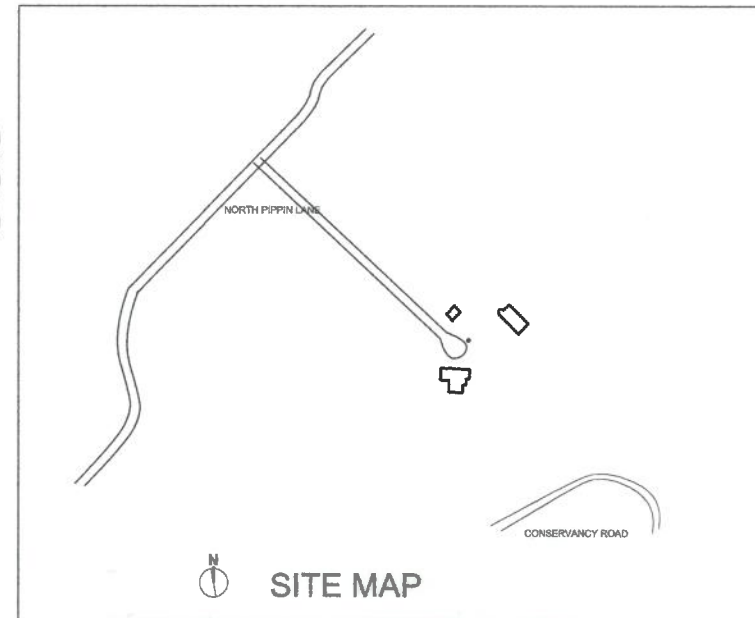
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## REVISION RECORD

FOR BUILDING PERMIT

DATE:	SYM:	DESCRIPTION
1 04/11/2020		



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DRAFTING, DESIGNING & LAND USE ANALYSIS  
413 Capitola Avenue Capitola, CA 95010  
Phone: 831-479-1452 Fax: 831-479-1476

SITE PLAN  
BUILDING INFO

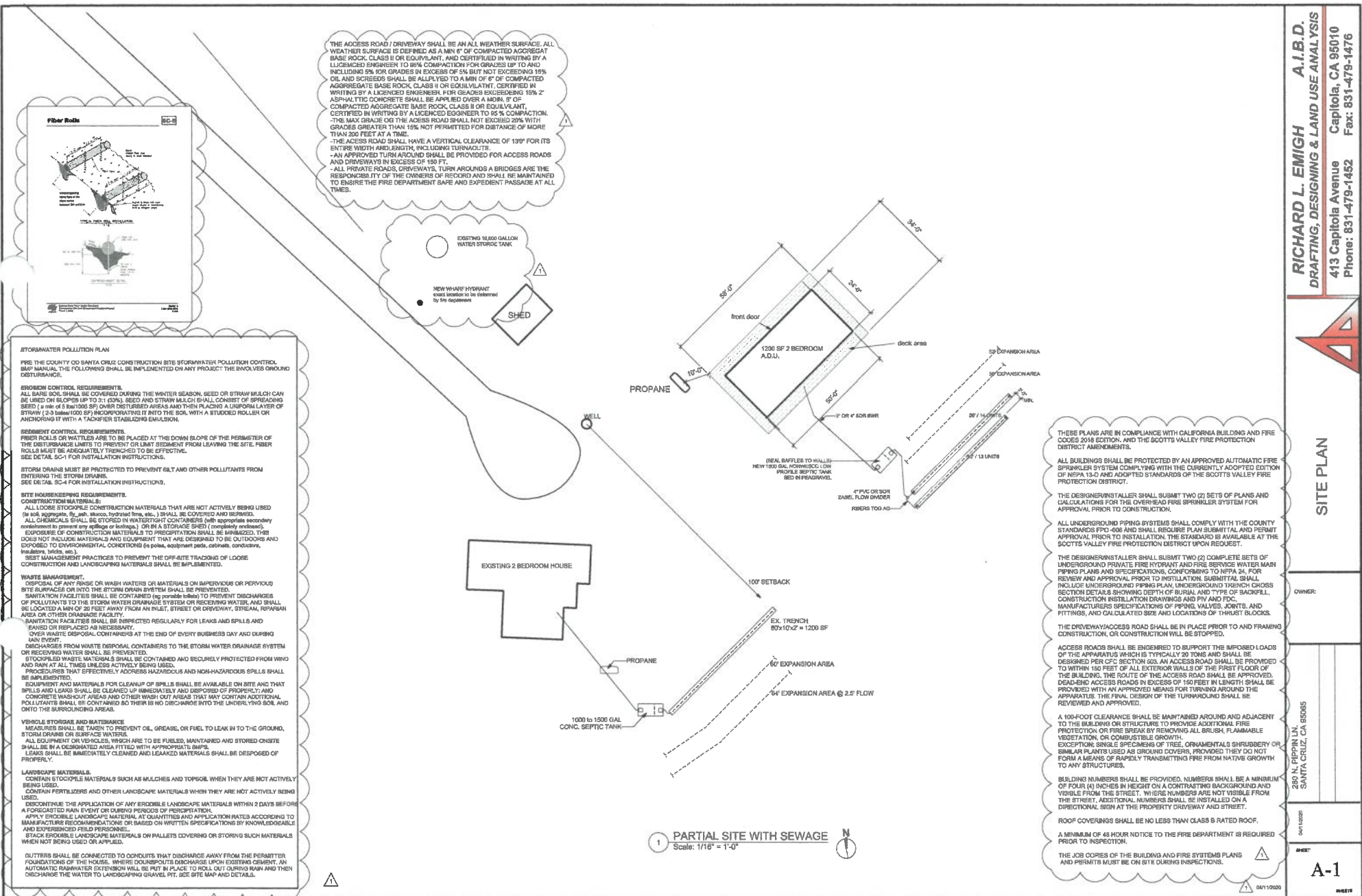
OWNER:

280 N. PIPPIN LN  
SANTA CRUZ, CA 95065

DRAWN BY

SHEET:

C-1



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**SITE PLAN**

OWNER:

280 N. PIPER LN.  
SANTA CRUZ, CA 95055

DATE:

SHEET

**A-1**

THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES 2019 EDITION, AND THE SCOTT'S VALLEY FIRE PROTECTION DISTRICT AMENDMENTS.

ALL BUILDINGS SHALL BE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM COMPLYING WITH THE CURRENTLY ADOPTED EDITION OF NFPA 13-D AND ADOPTED STANDARDS OF THE SCOTT'S VALLEY FIRE PROTECTION DISTRICT.

THE DESIGNER/INSTALLER SHALL SUBMIT TWO (2) SETS OF PLANS AND CALCULATIONS FOR THE OVERHEAD FIRE SPRINKLER SYSTEM FOR APPROVAL PRIOR TO CONSTRUCTION.

ALL UNDERGROUND PIPING SYSTEMS SHALL COMPLY WITH THE COUNTY STANDARDS FPO-408 AND SHALL REQUIRE PLAN SUBMITTAL AND PERMIT APPROVAL PRIOR TO INSTALLATION. THE STANDARD IS AVAILABLE AT THE SCOTT'S VALLEY FIRE PROTECTION DISTRICT UPON REQUEST.

THE DESIGNER/INSTALLER SHALL SUBMIT TWO (2) COMPLETE SETS OF UNDERGROUND PRIVATE FIRE HYDRANT AND FIRE SERVICE WATER MAIN PIPING PLANS AND SPECIFICATIONS, CONFORMING TO NFPA 84, FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. SUBMITTAL SHALL INCLUDE UNDERGROUND PIPING PLAN, UNDERGROUND TRENCH CROSS SECTION DETAILS SHOWING DEPTH OF BURIAL AND TYPE OF BACKFILL, CONSTRUCTION INSTALLATION DRAWINGS AND PIV AND FSC, MANUFACTURERS SPECIFICATIONS OF PIPING, VALVES, JOINTS, AND FITTINGS, AND CALCULATED SIZE AND LOCATIONS OF THRUST BLOCKS.

THE DRIVEWAY/ACCESS ROAD SHALL BE IN PLACE PRIOR TO AND FRAMING CONSTRUCTION, OR CONSTRUCTION WILL BE STOPPED.

ACCESS ROADS SHALL BE ENGINEERED TO SUPPORT THE IMPOSED LOADS OF THE APPARATUS WHICH IS TYPICALLY 30 TONS AND SHALL BE DESIGNED PER CFC SECTION 603. AN ACCESS ROAD SHALL BE PROVIDED TO WITHIN 150 FEET OF ALL EXTERIOR WALLS OF THE FIRST FLOOR OF THE BUILDING. THE ROUTE OF THE ACCESS ROAD SHALL BE APPROVED. DEAD-END ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED MEANS FOR TURNING AROUND THE APPARATUS. THE FINAL DESIGN OF THE TURNAROUND SHALL BE REVIEWED AND APPROVED.

A 100-FOOT CLEARANCE SHALL BE MAINTAINED AROUND AND ADJACENT TO THE BUILDING OR STRUCTURE TO PROVIDE ADDITIONAL FIRE PROTECTION OR FIRE BREAK BY REMOVING ALL BRUSH, FLAMMABLE VEGETATION, OR COMBUSTIBLE GROWTH.  
 EXCEPTION: SINGLE SPECIMENS OF TREE, ORNAMENTAL'S SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVERS, PROVIDED THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM NATIVE GROWTH TO ANY STRUCTURES.

BUILDING NUMBERS SHALL BE PROVIDED. NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES IN HEIGHT ON A CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET. WHERE NUMBERS ARE NOT VISIBLE FROM THE STREET, ADDITIONAL NUMBERS SHALL BE INSTALLED ON A DIRECTIONAL SIGN AT THE PROPERTY DRIVEWAY AND STREET.

ROOF COVERINGS SHALL BE NO LESS THAN CLASS B RATED ROOF.

A MINIMUM OF 48 HOUR NOTICE TO THE FIRE DEPARTMENT IS REQUIRED PRIOR TO INSPECTION.

THE JOB COPIES OF THE BUILDING AND FIRE SYSTEMS PLANS AND PERMITS MUST BE ON SITE DURING INSPECTIONS.

DOOR SCHEDULE			
SYM.	SIZE	#	NOTES
(A)	3' x 6'8"	1	Solid core paint Grade swing
(B)	3' x 6'8"	4	Interior paint Grade swing
(C)	7' x 6'8"	2	Exterior paint Grade BI Fold
(D)	6' x 6'8"	4	Exterior Sliding w/ glazing
(E)	3' x 6'8"	2	Interior paint Grade pocket

This is a detailed floor plan of a house, showing various rooms and their dimensions. The overall dimensions are 58'-0" wide by 32'-0" deep. The plan includes a front deck, a living area with a fireplace, a dining area with a table, a kitchen with a sink and stove, a pantry, a coat closet, an entry, a laundry and pantry area, a master bedroom with a walk-in closet, a bathroom, and a deck. The plan also shows a heater, a pool, and a window seat. Dimensions are provided for various sections, such as 14'-3", 5'-0", 5'-0", 20'-0", 4'-0", 32'-0", 24'-0", 4'-0", 5'-7", 5'-5", and 4'-0". Annotations include "heater pool h2o", "hah 100 cfm kitchen exhaust fan", "SD", "BC", "DECK", "LIVING AREA", "DINING AREA", "KITCHEN", "PANTRY", "COAT", "ENTRY", "LAUNDRY and PANTRY", "WALK IN CLOSET", "MASTER BEDROOM", "BATH", "BATH", "DECK", "4' deck shown", and "SECTION A".

**PLUMBING NOTES**


All building under supply systems in which quick-curing valves (curing machine, adhesives, etc.) are installed, shall be provided with devices to avoid high pressure resulting from the quick curing of these valves.

SHOWERS AND TUB SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SOUND AND EFFECTIVE SHOCK PROTECTION.

Gas, and Water lines to be bonded.

The plumbing barrier between the wet and the dry side of the shower shall be constructed in accordance with the following under floor reinforcement details:

Kitchen Floor	1.5 gpi	60 psi
Bathroom Floor	1.5 gpi	60 psi
Water closets	1.25 gpi	60 psi
Leaky Faucets	1.2 gpi	60 psi



### PLUMBING NOTES

All building water supply systems in existing buildings requiring a venting system, downspouts, etc., are transferable, shall be provided with drains to building sewer or municipal sewer. The minimum height of these vents shall be 10 feet.

Buildings and roof drains shall not be below the finished grade surface to a height of 12 feet (3.7m) above the lower per cent 300.2.

Pressure valves or pneumatic relief valves at tabbock (20' max.) Vary as rough plumbing transaction.

All building water supply systems in which quick-closing valves (valving machines, differential valves, etc.) are used, shall be provided with check valves to store high pressure resulting from the quick closing of valves.

NFPA 800 shall not be attached to the building until after breakdown inspection is completed.

All power compartments, regardless of their use, shall have a main of the order of 100 ft. in diameter and shall be capable of maintaining a 30' draft. The rate, required area and dimensions shall be measured by the area of the top of the tank and so on a part located to be the core fire.

The hot water vapor line heating source in California is required to be connected to the main vented with a vent pipe.


**VENTILATION REQUIREMENTS:**

Interscan has also added 25 cfm according to the energy code EN 1, code of the following table will reflect the required ventilation requirements.

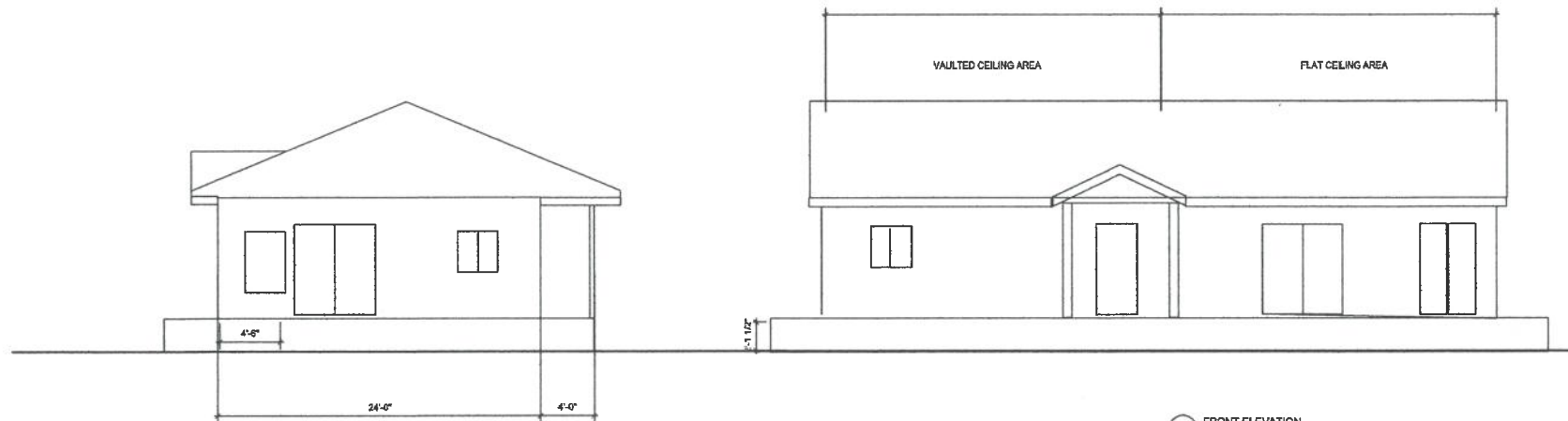
A space exists continuously. It may be controlled by a tabulated system. The amount shall be related to the function. No specific opening is mandated, but the opening must be able to clear what is covered by the fan and the inspection of adjacent system. For example: "never on whenever the house is occupied".

It must meet the amount requirement of 1 zone or less.

If combined with a light, the fan must be separately switched.

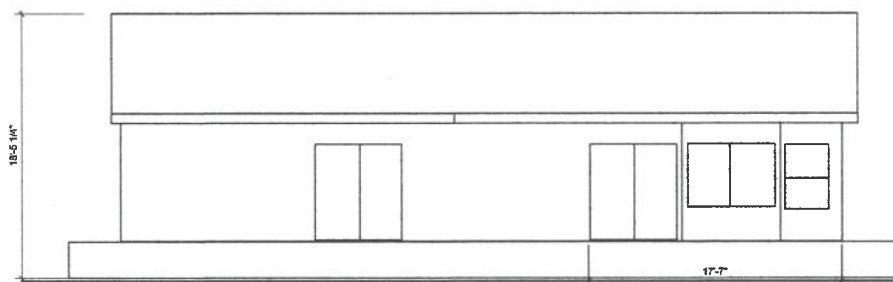




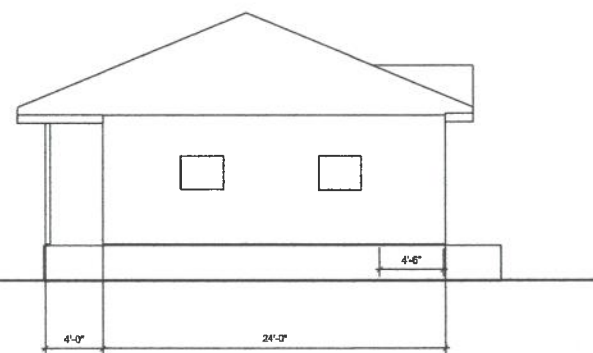


LEFT SIDE ELEVATION  
Scale: 1/4" = 1'-0"

FRONT ELEVATION  
Scale: 1/4" = 1'-0"



REAR ELEVATION  
Scale: 1/4" = 1'-0"



RIGHT SIDE ELEVATION  
Scale: 1/4" = 1'-0"

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NEW  
ELEVATIONS

OWNER:

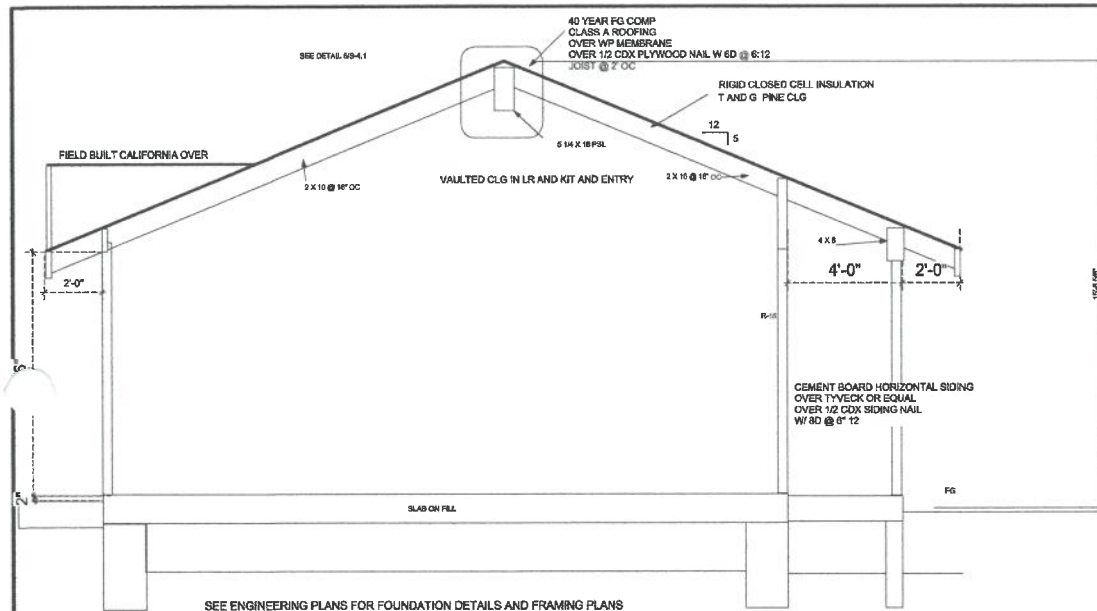
280 N. PIPPIN LN.  
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DATE:

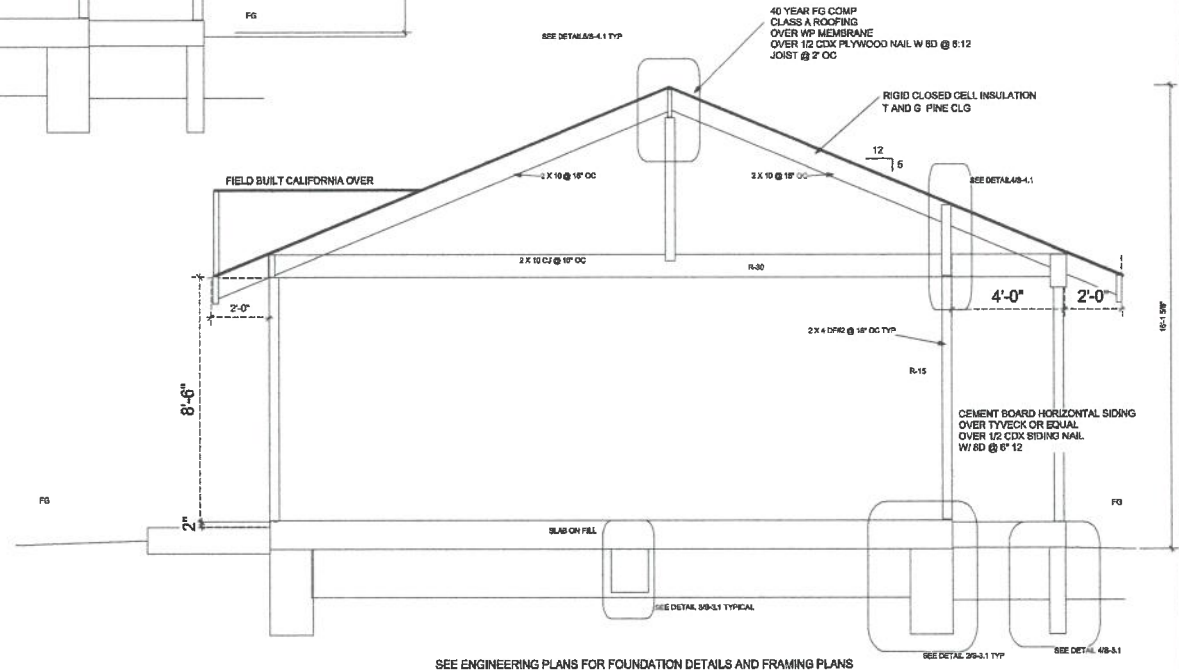
SHEET:

**A-3**

04/27/20



1 SECTION B  
Scale: 1/2" = 1'-0"



1 SECTION A  
Scale: 1/2" = 1'-0"

The Cal Green Requirements are on Sheet GB.1

04/11/2020

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**SECTION A & B**

OWNER:

280 N. PIPPIN LN.  
SANTA CRUZ, CA 95065

04/11/2020

SHEET:

**A-4**

04/11/2020