

GENERAL NOTES:

- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS, ORDINANCES AND REGULATIONS APPLICABLE AS FOLLOWS:
 - 2019 CALIFORNIA BUILDING CODE
 - 2019 CALIFORNIA RESIDENTIAL CODE
 - 2019 CALIFORNIA MECHANICAL CODE
 - 2019 CALIFORNIA PLUMBING CODE
 - 2019 CALIFORNIA ELECTRICAL CODE
 - 2019 CALIFORNIA ENERGY CODE
 - 2019 CALIFORNIA GREEN BUILDING CODE
 - 2019 CALIFORNIA FIRE CODE AS ADOPTED BY THE STATE OF CALIFORNIA AND THE LOCAL FIRE PROTECTION DISTRICT
 - SANTA CRUZ COUNTY CODE AMENDMENTS
- NOTHING IN THE CONTRACT DOCUMENTS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES, LAWS, ORDINANCES AND REGULATIONS.
- ALL WORK LISTED, SHOWN, OR IMPLIED ON ANY CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE NOTED OTHERWISE THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE THE WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER'S REQUIREMENTS.
- CONTRACTOR SHALL FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCING WITH COST ESTIMATE.
 - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED ON PROJECT SITE BY THE CONTRACTOR AND EACH TRADE BEFORE WORK BEGIN. ERRORS, OMISSIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE CONSTRUCTION BEGINS.
- ALL ITEMS ARE NEW UNLESS SPECIFICALLY INDICATED OR NOTED AS EXISTING.
- ALL DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE OF COLUMN OR CENTERLINE OF DOOR OR OTHER SCHEDULED OPENING.
- COORDINATION:
 - THE CONTRACTOR SHALL COORDINATE LAYOUT DIMENSIONS INDICATED ON THE LANDSCAPE, STRUCTURAL, AND ELECTRICAL DRAWINGS WITH THOSE INDICATED ON THE ARCHITECTURAL DRAWINGS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - SEE ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS, ELEVATIONS, DEPRESSIONS IN SLAB, OPENINGS IN WALLS AND ROOF, ROOF SLOPE, CRICKETS, AND ROOF DRAINS.
 - IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE CONSTRUCTION DOCUMENTS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN.
 - THE CONTRACTOR SHALL VERIFY ALL ELECTRICAL, MECHANICAL, TELEPHONE AND SECURITY REQUIREMENTS BEFORE CONSTRUCTION BEGINS.
 - THE CONTRACTOR SHALL COORDINATE THE LOCATIONS OF LIGHTS, HVAC OUTLET AND INLET REGISTERS, AND SMOKE DETECTORS BEFORE CONSTRUCTION BEGINS.
- ON ALL CONTINUOUS SURFACES WHERE CONSTRUCTION INVOLVES MORE THAN ONE MATERIAL, FINISH OR MATERIAL THICKNESS, ALIGN FACE OF FINISH U.N.O.
- THE CONTRACTOR SHALL REPLACE OR REPAIR, AT CONTRACTOR'S EXPENSE, ALL DAMAGED, REMOVED OR OTHERWISE DISTURBED EXISTING UTILITIES, IMPROVEMENTS OR FEATURES OF WHATEVER NATURE, TO THEIR ORIGINAL CONDITION WHETHER SHOWN ON THE DRAWINGS OR NOT.
- VERIFY MOUNTING HEIGHTS OF BACKING PLATES AND SPECIAL STRUCTURAL SUPPORT REQUIREMENTS WITH EQUIPMENT MANUFACTURERS BEFORE INSTALLING BACKING PLATES AND SUPPORT.
- THE USE OF THE WORD "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED AND CONNECTED, WHERE SO REQUIRED, U.N.O.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES, AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.

PROJECT SCOPE

RESTORATION OF EXISTING LEGAL DWELLING INCLUDING UPGRADE OF FOUNDATION & ROOF, WIU UPGRADE FOR WINDOWS AND DOORS, MECHANICAL, ELECTRICAL, AND PLUMBING UPGRADES TO MEET CURRENT ENERGY & WATER EFFICIENCY CODE, SIDING UPGRADE TO CEMENT FIBER TO BRING TO FIRE-RESISTANCE CODE. DEMO OF FORMER UNPERMITTED & SUBSTANDARD "MUD ROOM"; DISINTEGRATED DURING CLEAN OUT AND WAS DISPOSED OF.

IMPERVIOUS AREAS

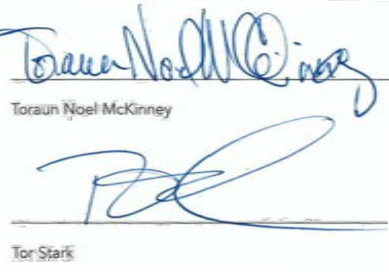
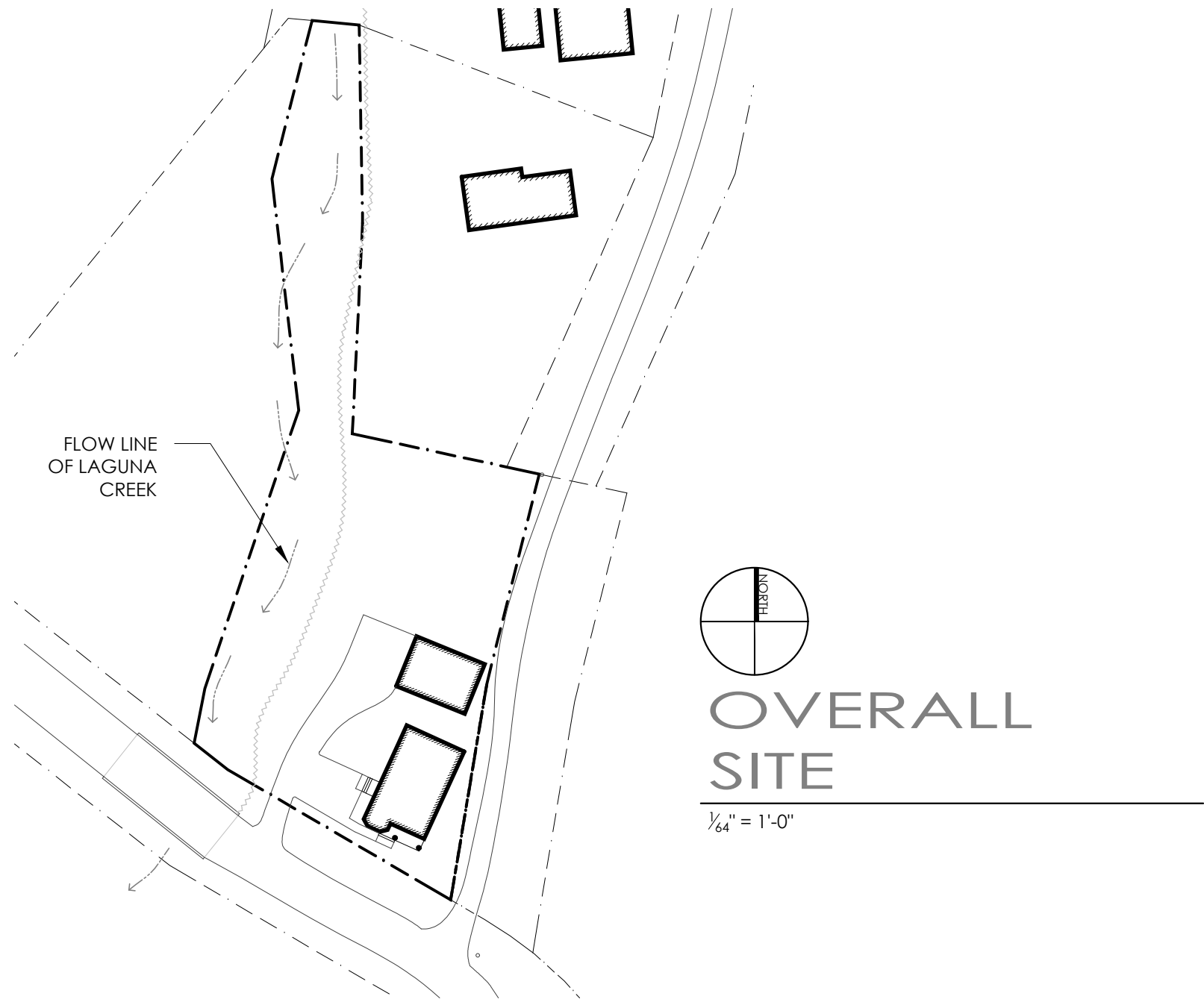
EXISTING:	
RESIDENCE:	
CONDITIONED:	1,345 SF
FRONT PORCH:	104 SF
BARN:	792 SF
TOTAL:	2,241 SF
PROPOSED:	
RESIDENCE:	
CONDITIONED:	1,252 SF
FRONT PORCH:	104 SF
STAIR LANDINGS:	43 SF
BARN:	792 SF
TOTAL:	2,191 SF

PROJECT DATA

APN:	059-111-01
ZONING:	RA
OCCUPANCY:	
RESIDENCE:	R3
BARN:	S
CONSTRUCTION TYPE:	VB
SPRINKLERED:	NO
STATE RESPONSE AREA:	SRA-MODERATE
MAXIMUM BUILDING HEIGHT:	28'
MAXIMUM NUMBER OF STORIES:	2

FLOOR AREAS	
RESIDENCE:	
EXISTING:	
CONDITIONED:	1,345 SF
FRONT PORCH:	104 SF
TOTAL:	1,449 SF
PROPOSED:	
CONDITIONED:	1,252 SF
FRONT PORCH:	104 SF
TOTAL:	1,356 SF
BARN:	792 SF
FLOOR AREA RATIO:	N/A

LOT COVERAGE	
LOT SIZE	25,439 SF (0.584 ACRE)
MAX. LOT COVERAGE:	10 % (2,544 SF)
(E) LOT COVERAGE:	8.8 % (2,241 SF)
PROPOSED LOT COVERAGE:	8.4% (2,148 SF)



6005 LAGUNA ROAD
RESIDENTIAL REMODEL
6005 LAGUNA ROAD
SANTA CRUZ, CA 95060
APN: 059-111-01

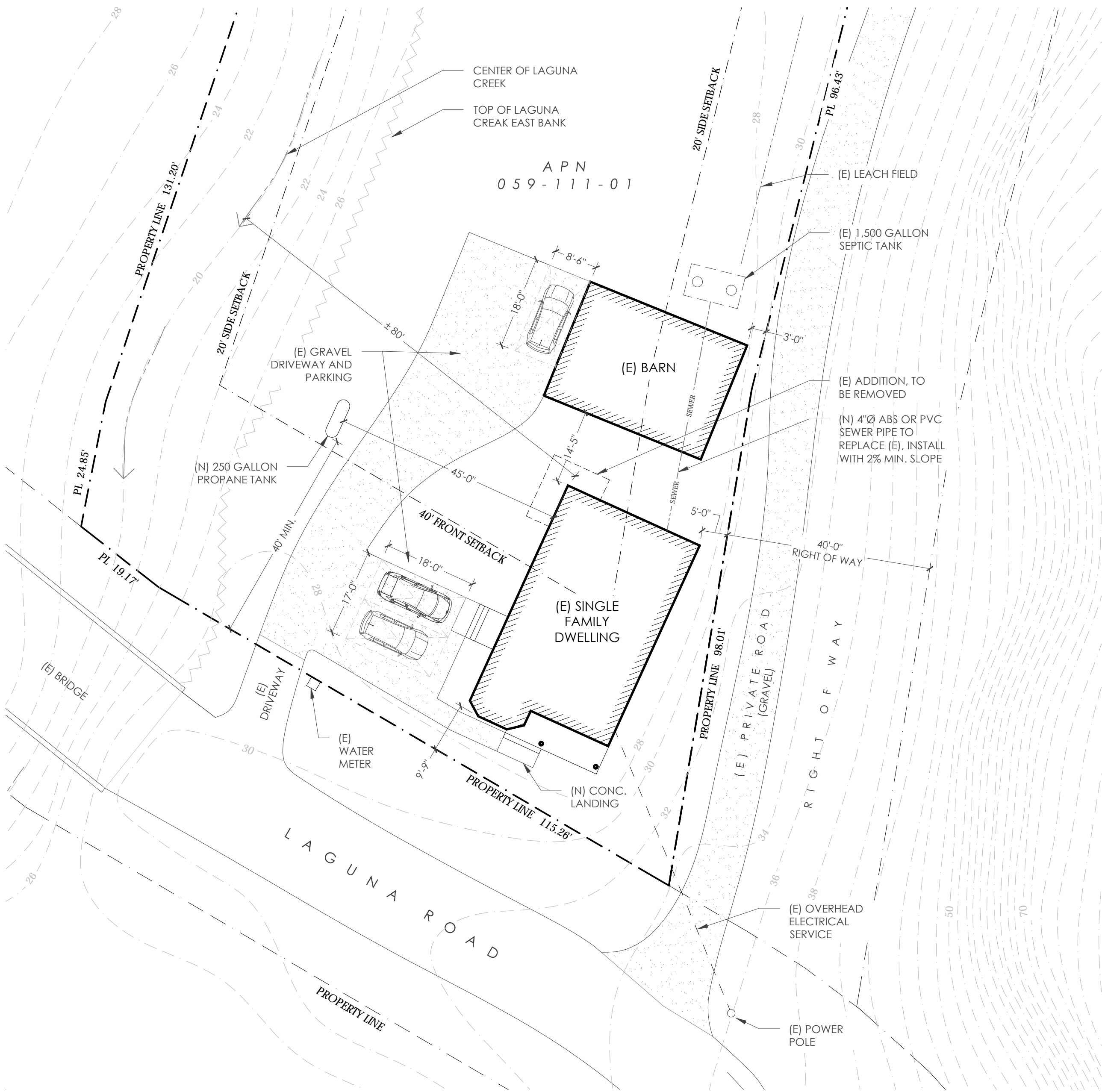
CONTACTS

OWNER / DESIGNER IN RESPONSIBLE CHARGE
TOR STARK AND TORAUIN MCKINNEY
6005 LAGUNA ROAD
SANTA CRUZ / CA 95060
VOICE: (831) 234-5337
(530) 412-0375
(831) 430-6446
toraun@gmail.com
tssurf@aol.com

PLAN SET PREPARATION
MAXIMILIAN BRANDT
3401 WINKLE AVE
SANTA CRUZ / CA 95065
VOICE: (831) 466-9078
maximilianbrandt72@gmail.com

SHEET INDEX

A1	VICINITY MAP, PROJECT SCOPE, SITE PLAN, SHEET INDEX, GENERAL NOTES
A2.1	EXISTING FLOOR PLAN
A2.2	EXISTING SECTIONS
A2.3	EXISTING ELEVATIONS
A3	FLOOR PLAN & ROOF PLAN
A4	SECTIONS
A5	ELEVATIONS
A6.1	WEST-EAST SECTION DETAILS
A6.2	NORTH-SOUTH SECTION DETAILS
A6.3	VARIOUS DETAILS
	COLOR BOARD



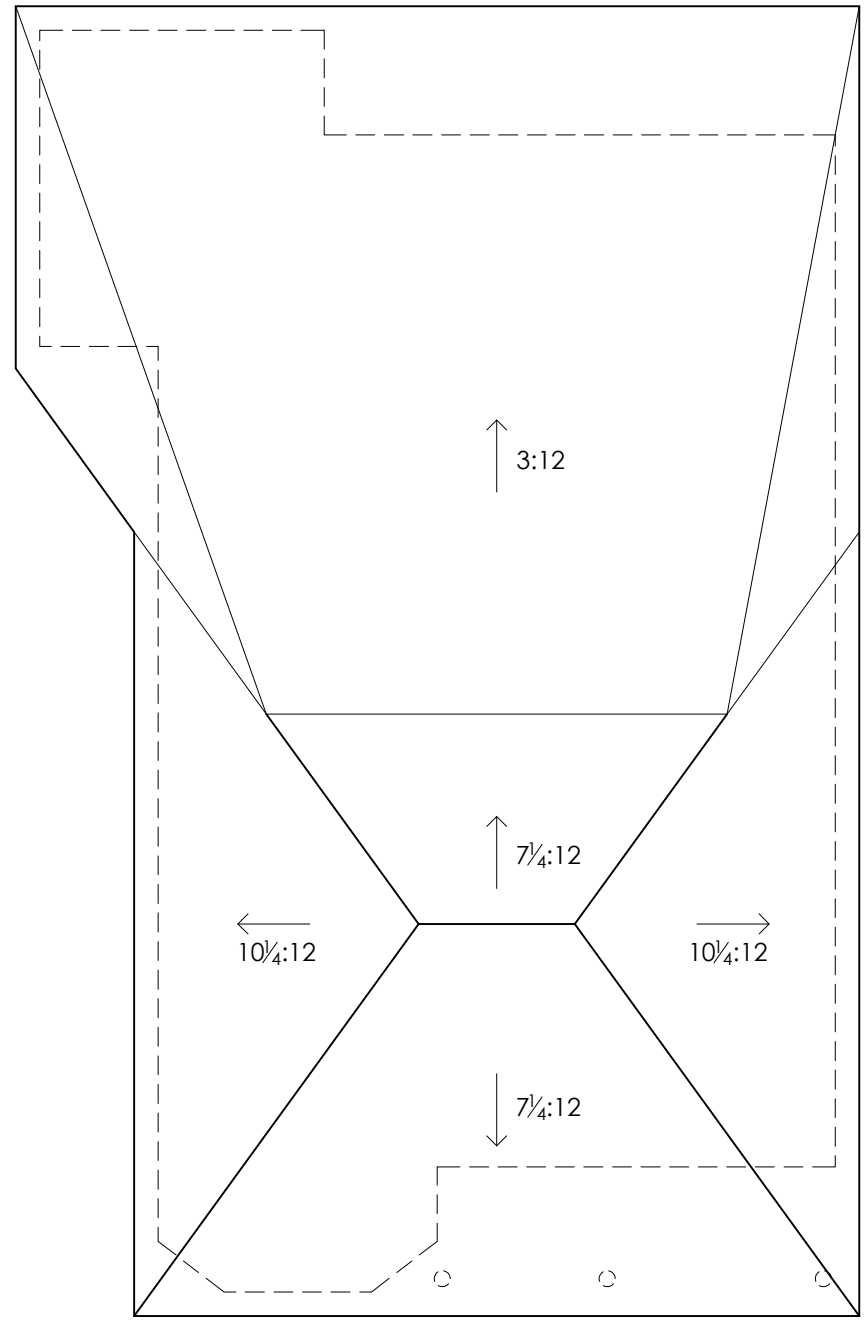
VICINITY MAP,
PROJECT SCOPE,
SITE PLAN,
SHEET INDEX,
GENERAL NOTES

SCALE AS NOTED
DATE 12. NOV. 2020

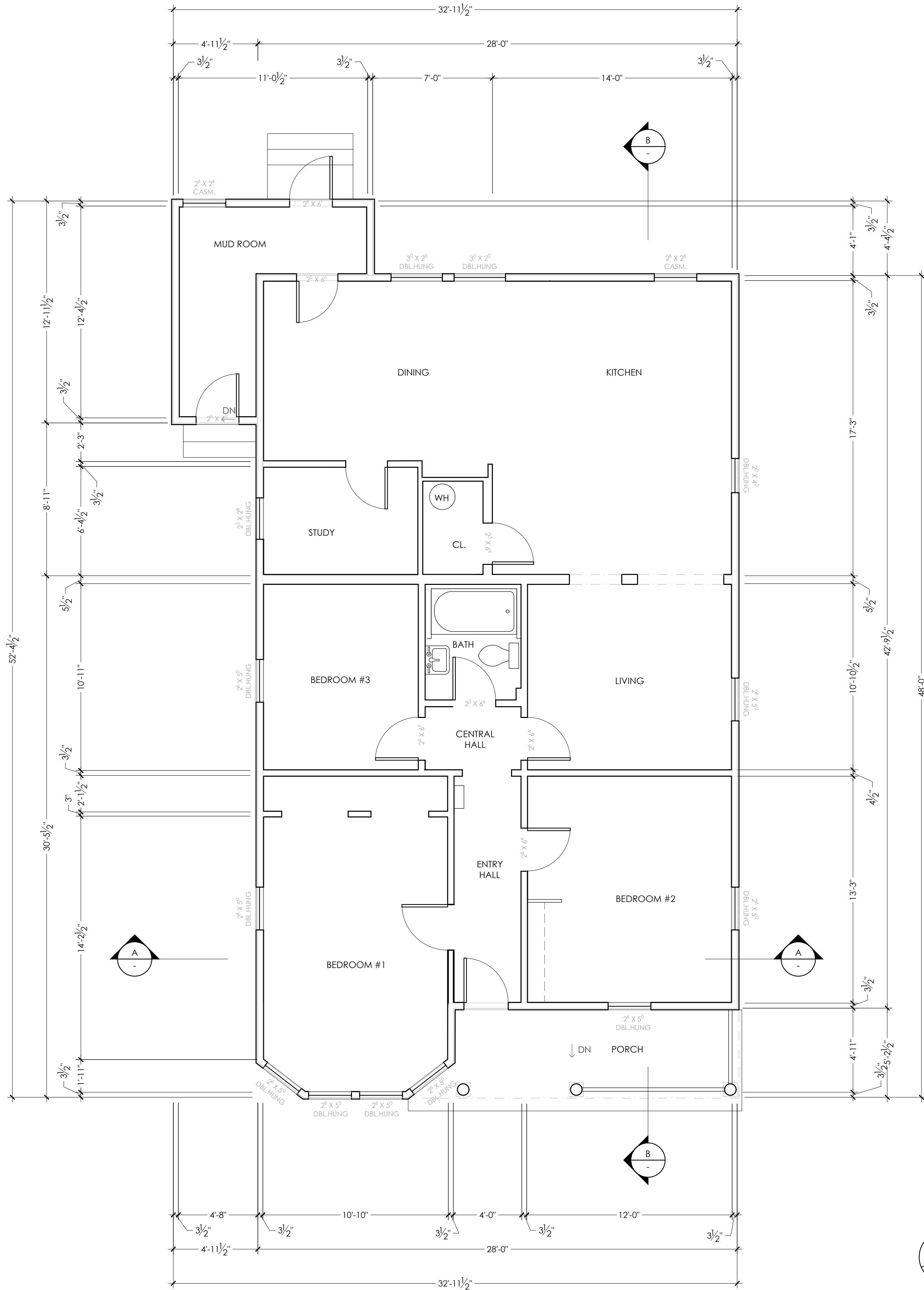
REVISIONS

COASTAL REVIEW

A1



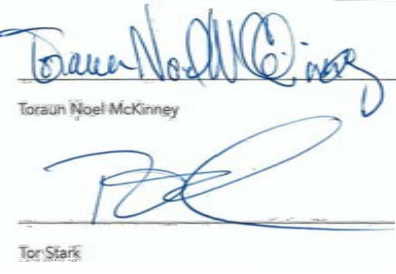
 **EXISTING ROOFPLAN**
SCALE: 1/8" = 1'-0"



WALL LEGEND

- (E) 2x4 WALL
- DROP DOWN BEAM IN CEILING

 **EXISTING FLOORPLAN**
SCALE: 1/4" = 1'-0"

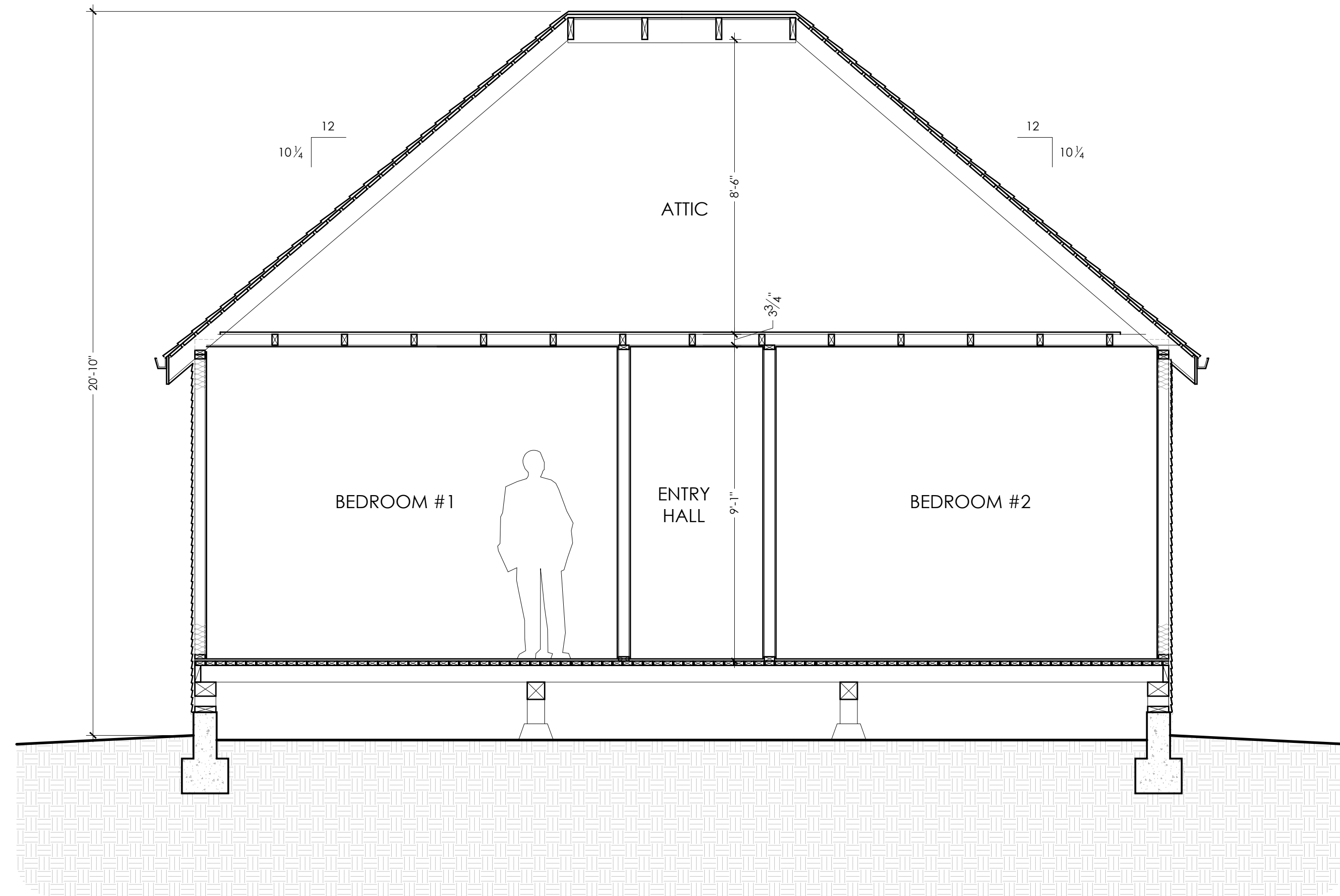


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EXISTING FLOORPLAN & ROOFPLAN

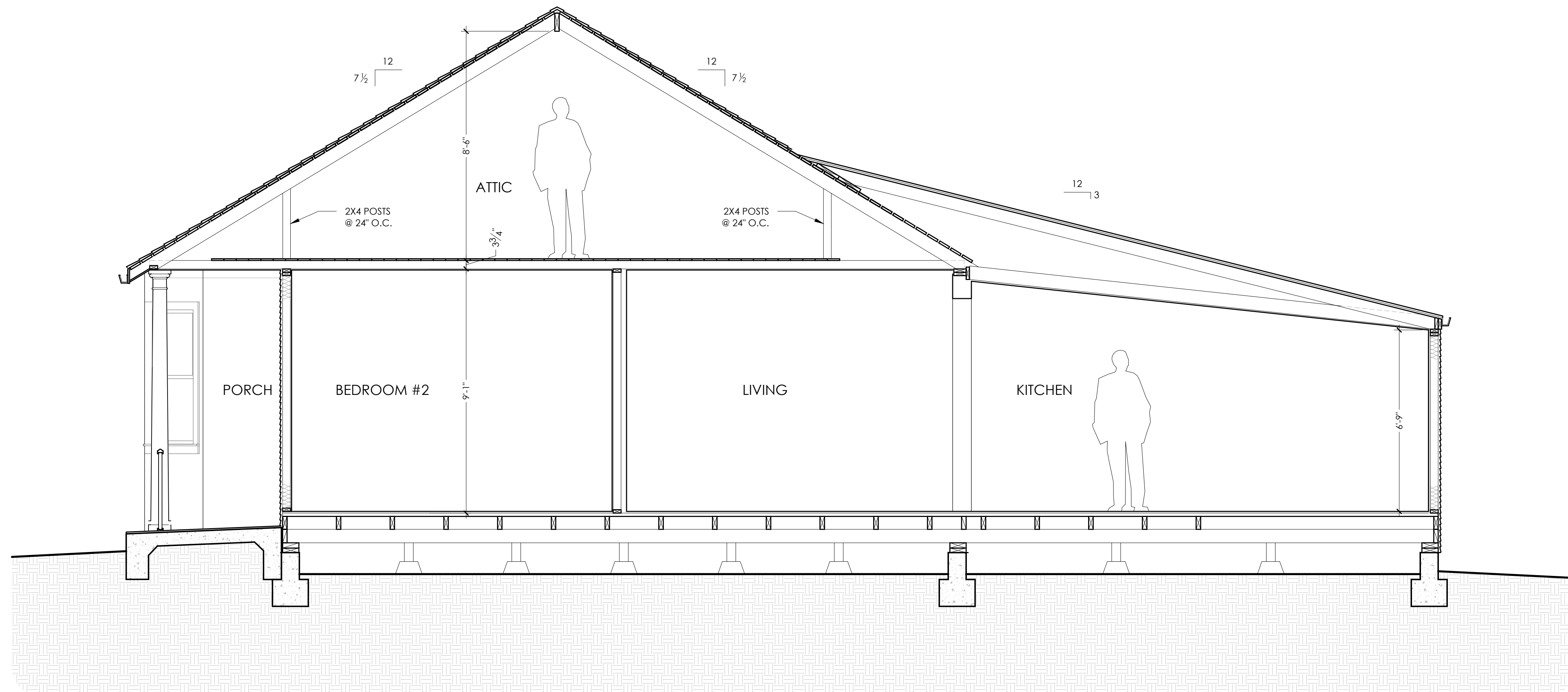
SCALE AS NOTED
DATE 11. NOV. 2020

REVISIONS



EXISTING
SECTION A

SCALE: $\frac{3}{8}'' = 1'-0''$



EXISTING
SECTION B

SCALE: $\frac{3}{8}'' = 1'-0''$

SECTIONS
EXISTING

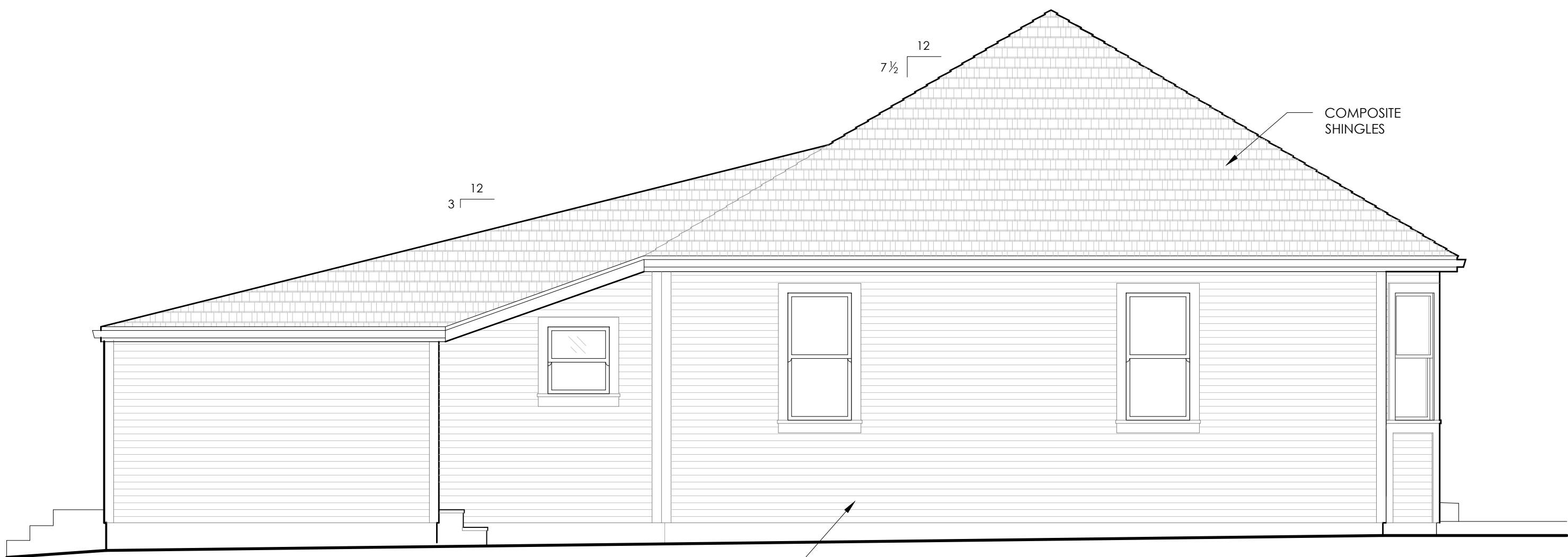
SCALE $\frac{3}{8}'' = 1'-0''$
DATE 11. NOV. 2020

REVISIONS



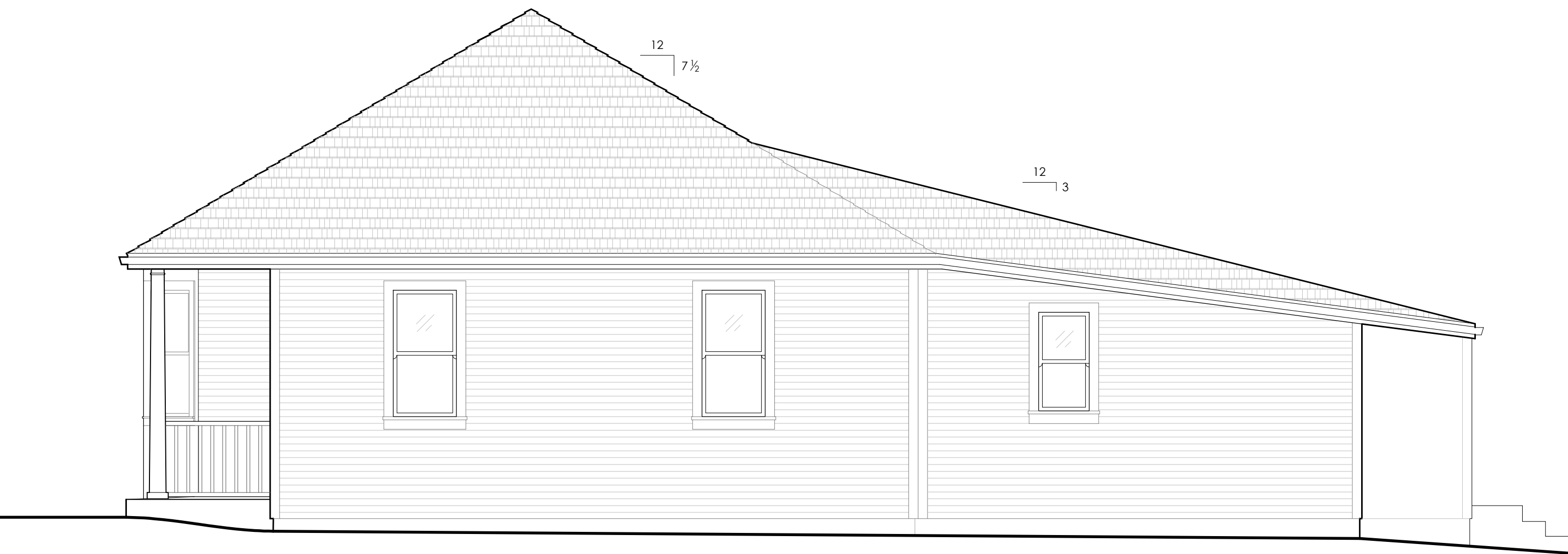
SOUTH

SCALE: 1/4" = 1'-0"



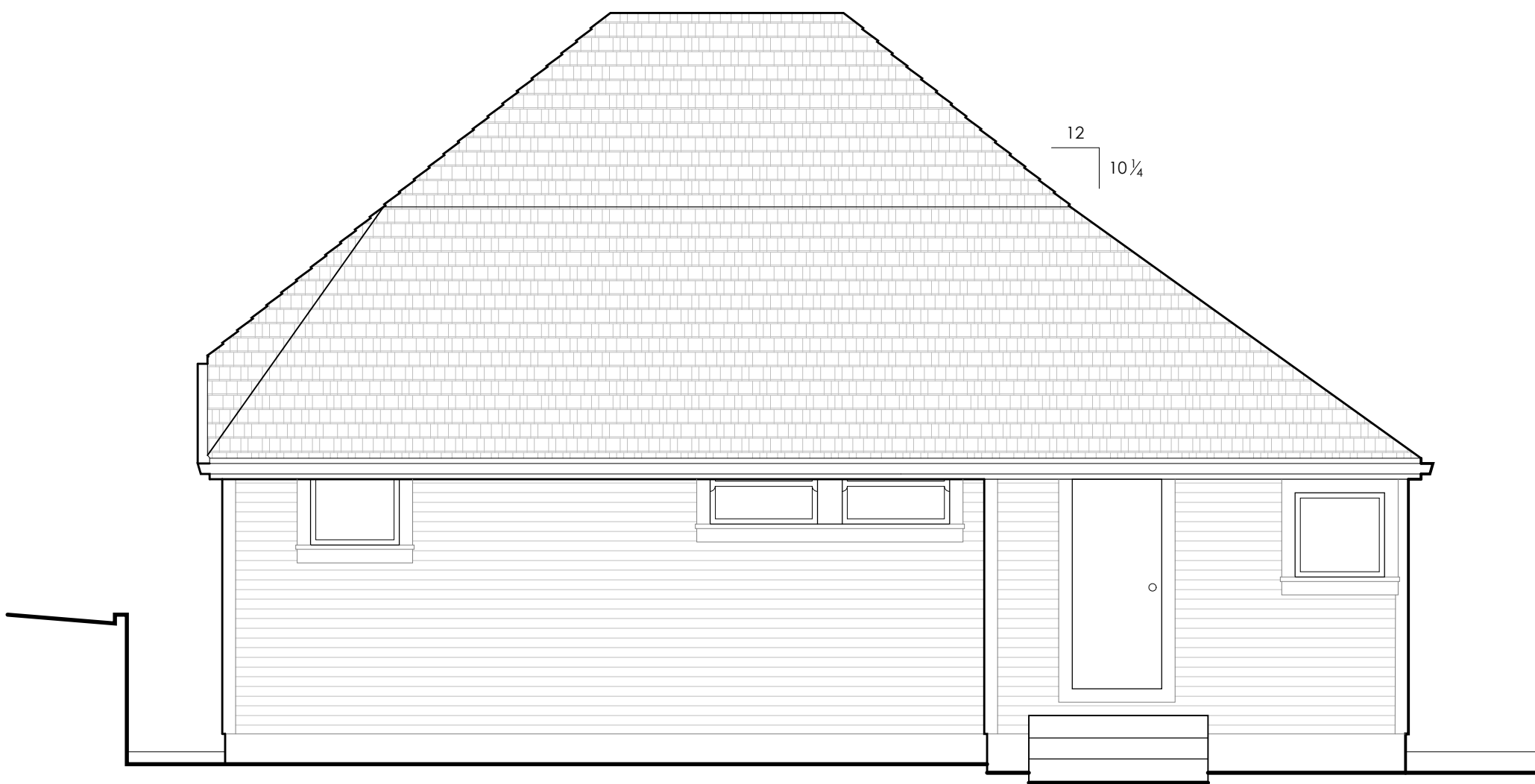
WEST

SCALE: 1/4" = 1'-0"



EAST

SCALE: 1/4" = 1'-0"



NORTH

SCALE: 1/4" = 1'-0"

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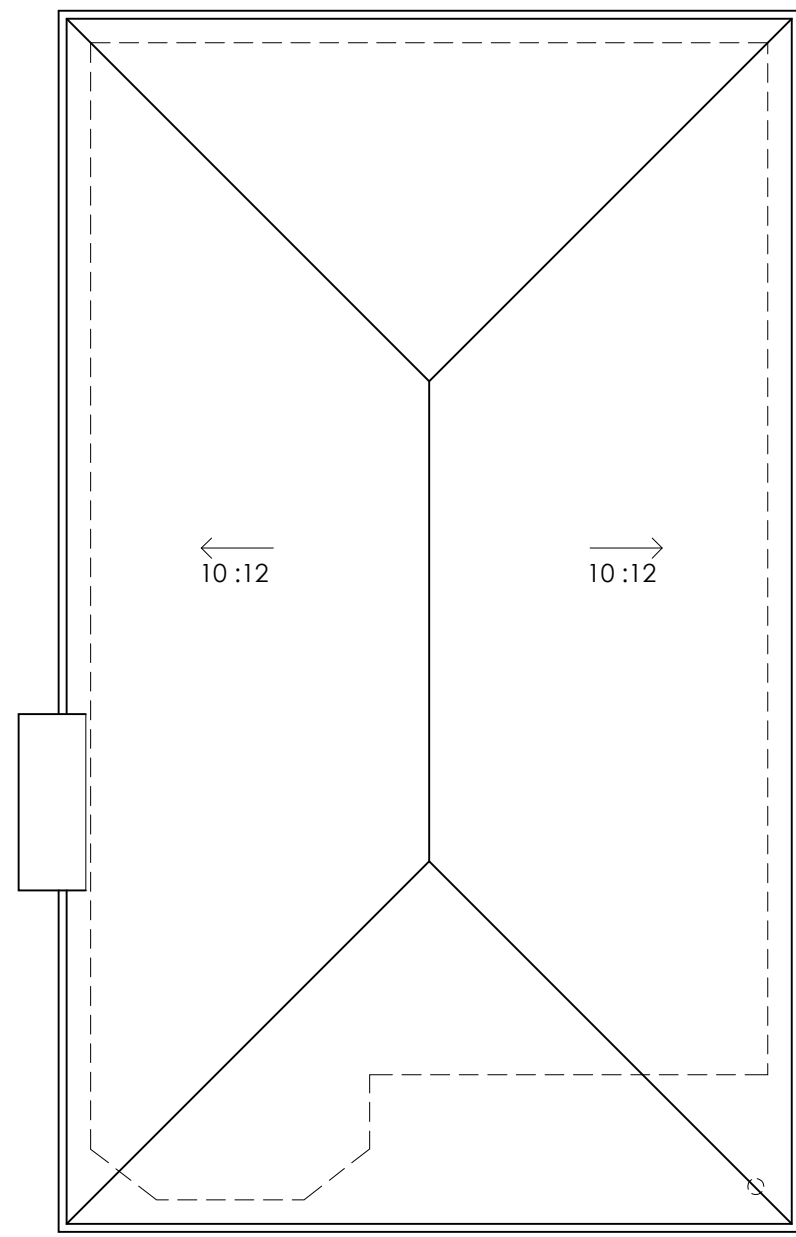
EXISTING
ELEVATIONS

SCALE: 1/4" = 1'-0"
DATE: 11. NOV. 2020

REVISIONS

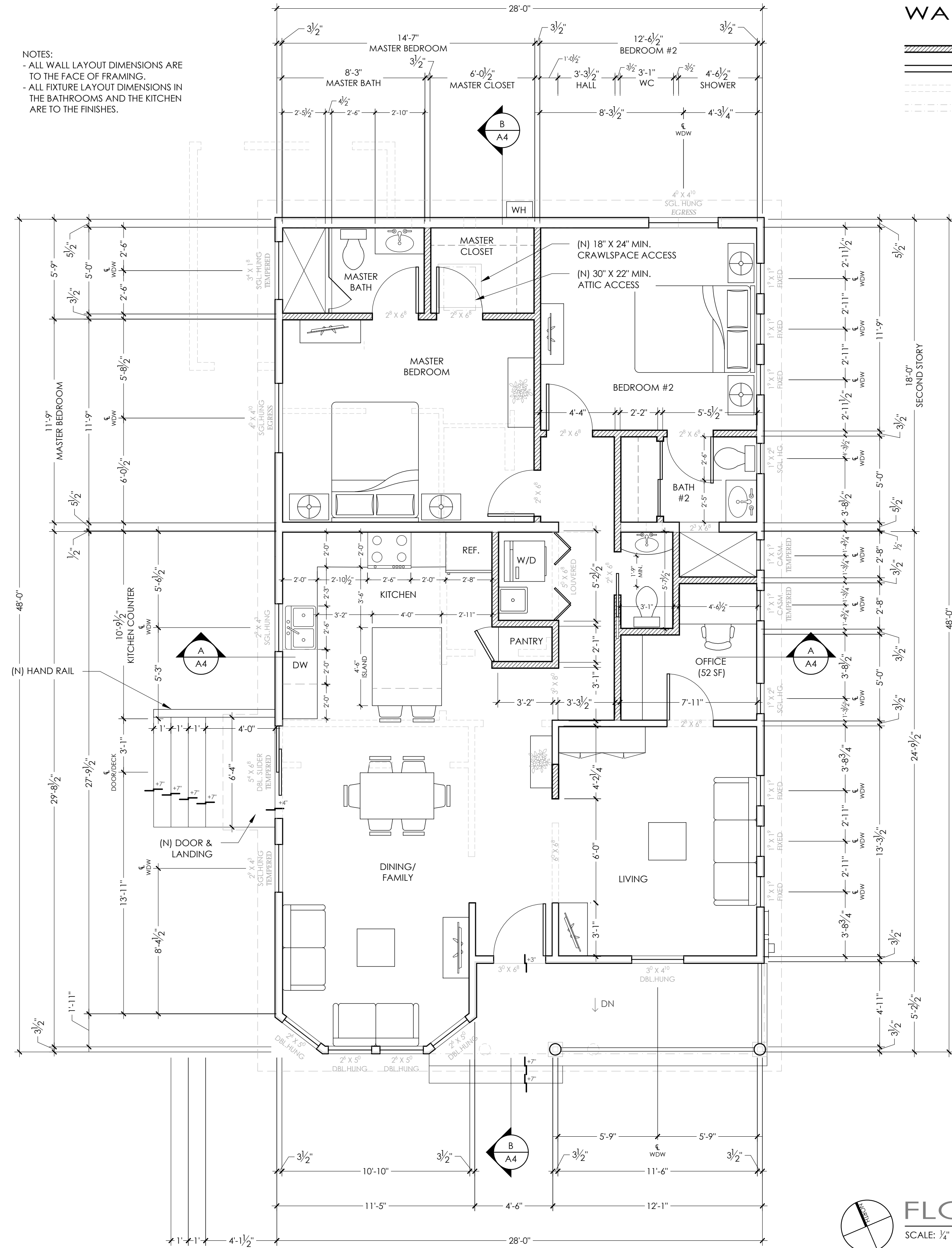
COASTAL REVIEW

A2.3



ROOF
SCALE: 1/8" = 1'-0"

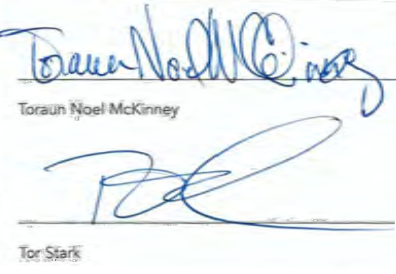
NOTES:
- ALL WALL LAYOUT DIMENSIONS ARE TO THE FACE OF FRAMING.
- ALL FIXTURE LAYOUT DIMENSIONS IN THE BATHROOMS AND THE KITCHEN ARE TO THE FINISHES.



WALL LEGEND

- (N) 2x4 @ 16" O.C. WALL
- (E) 2x4 WALL
- WALL TO BE REMOVED
- DROP DOWN BEAM IN CEILING

FLOOR PLAN
SCALE: 1/4" = 1'-0"



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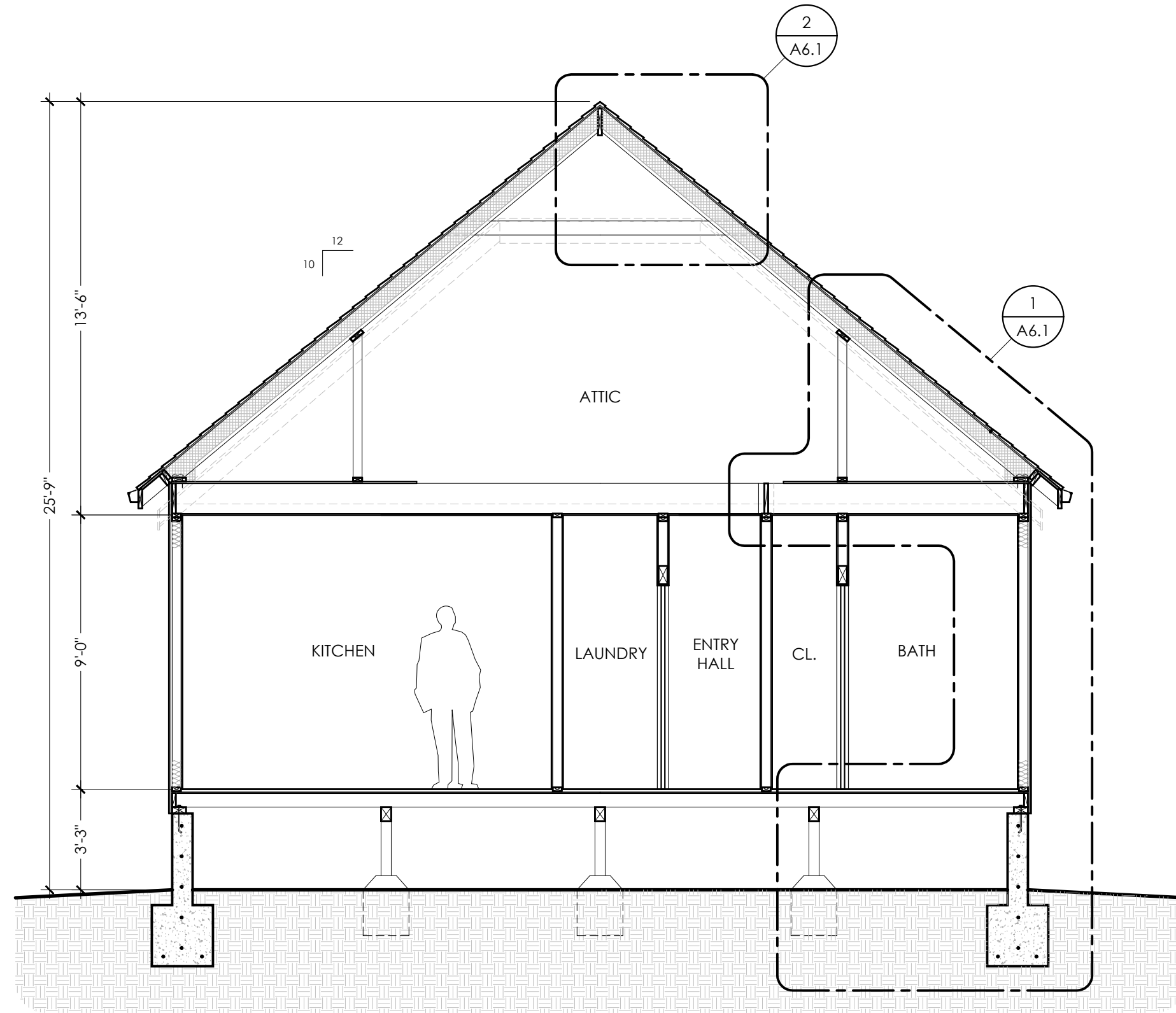
**PROPOSED
FLOOR PLAN &
ROOF PLAN**

SCALE AS NOTED
DATE 11. NOV. 2020

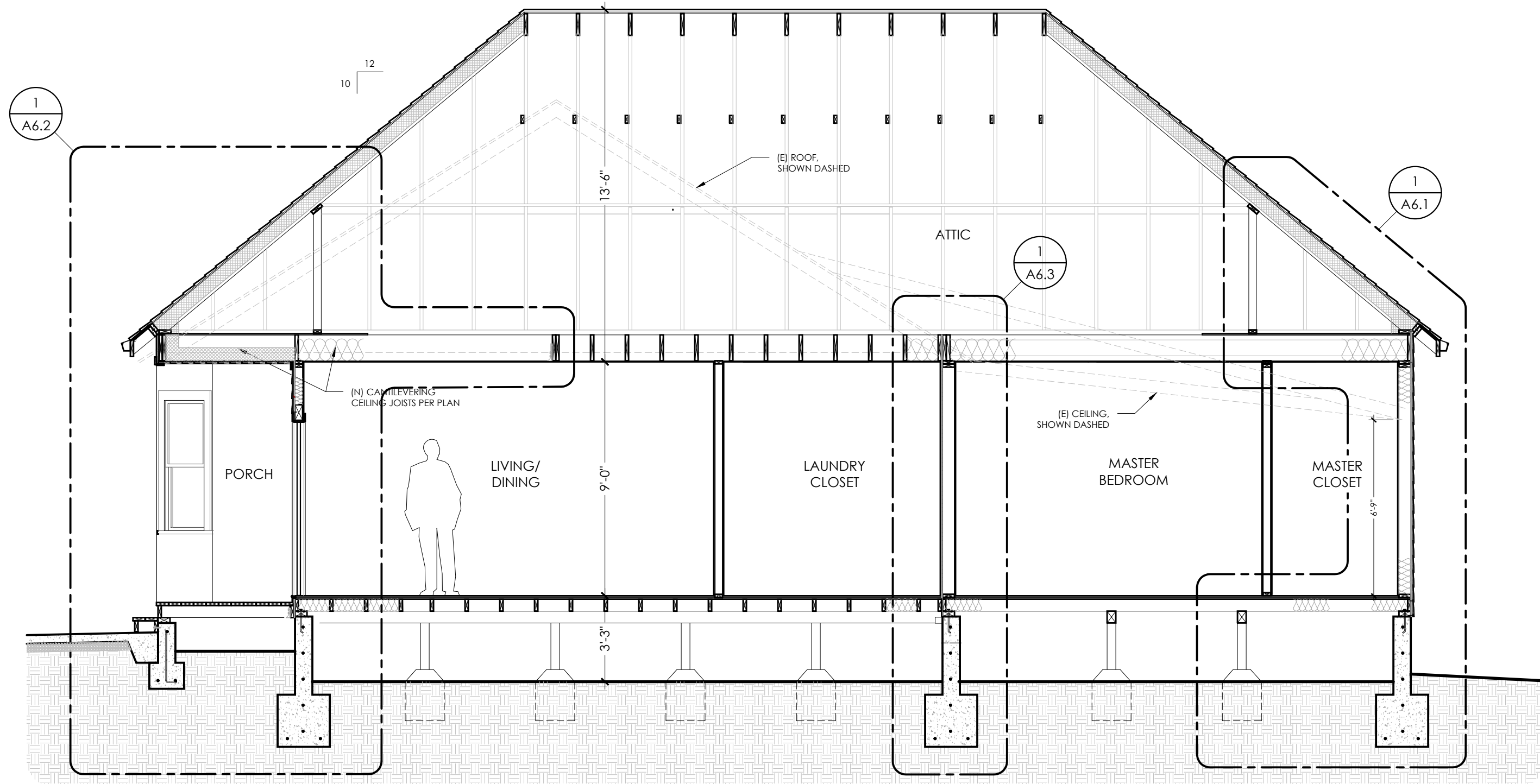
REVISIONS

COASTAL REVIEW

A3



SECTION A
SCALE: 1/4" = 1'-0"



SECTION B
SCALE: 1/4" = 1'-0"

SECTIONS
PROPOSED

SCALE 1/4" = 1'-0"
DATE 11. NOV. 2020

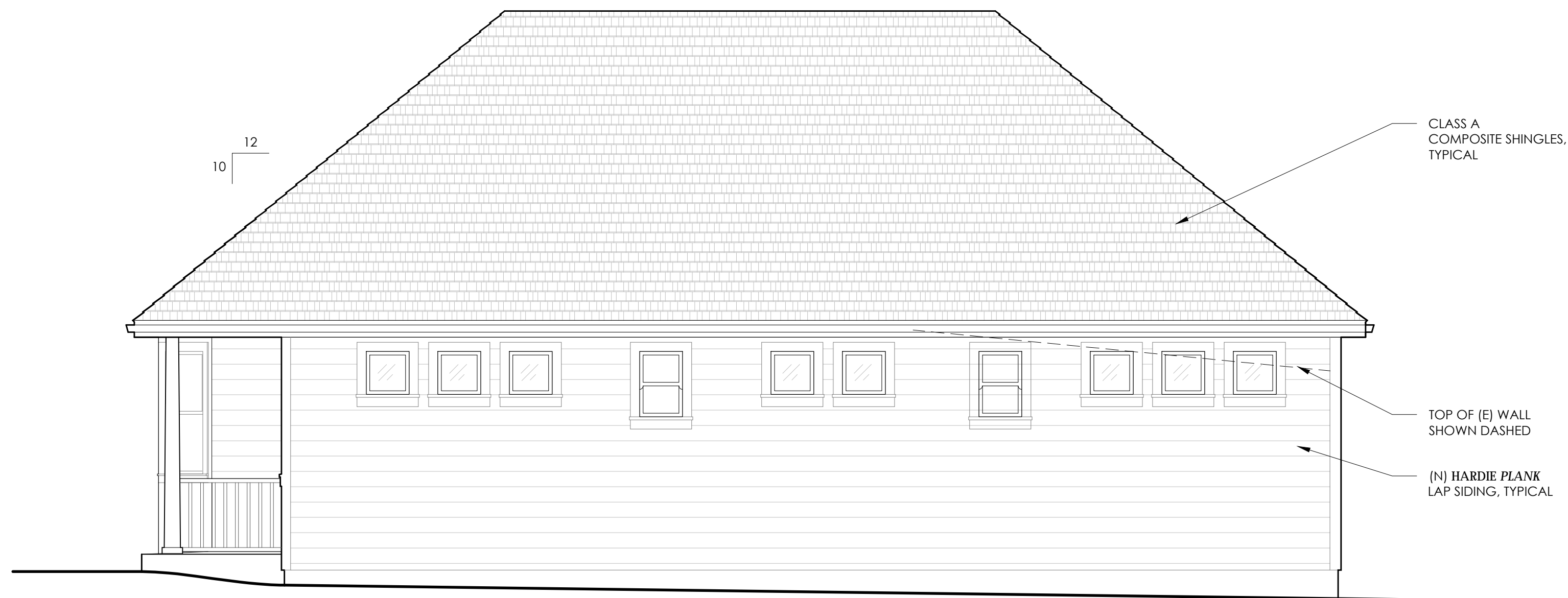
REVISIONS



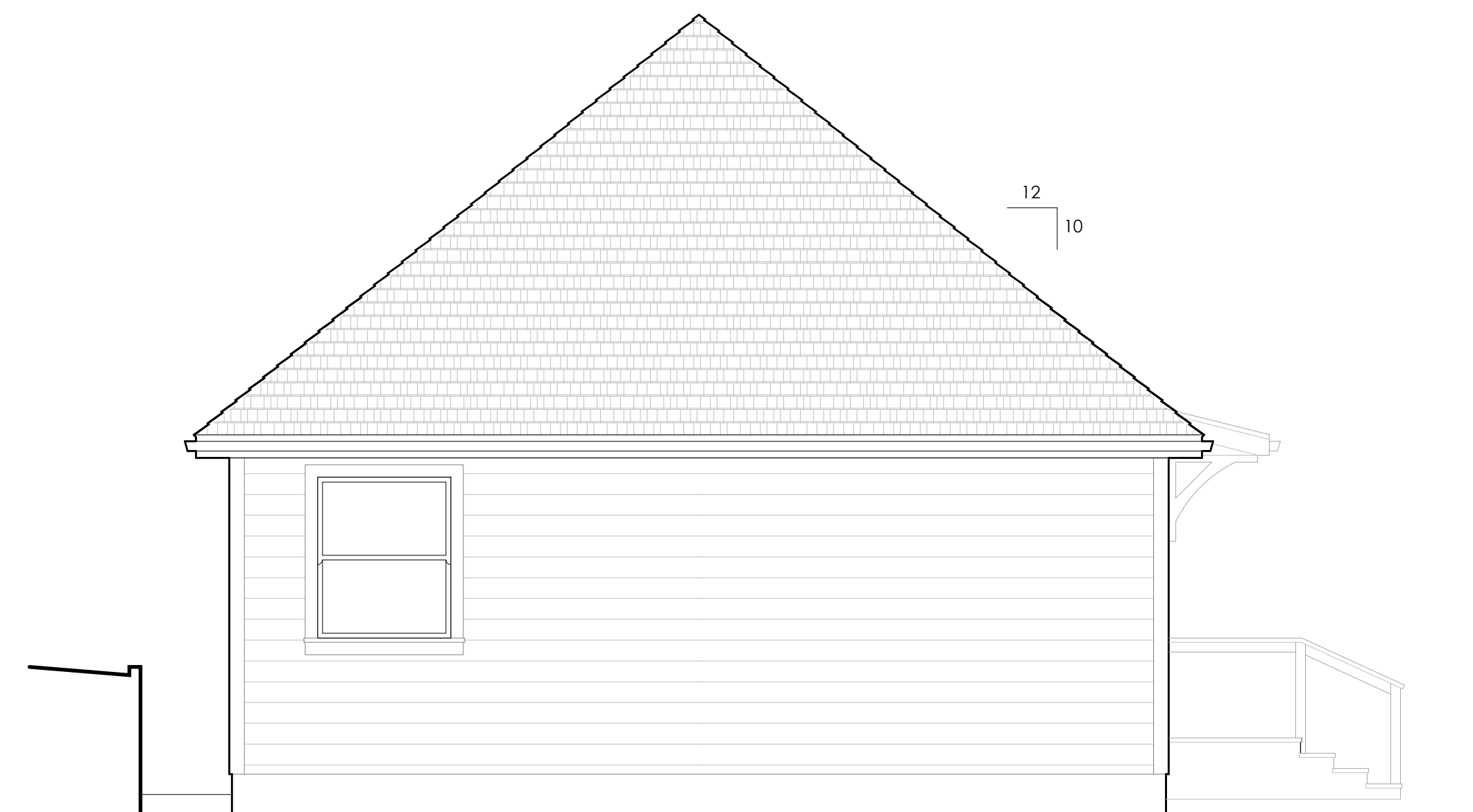
SOUTH
SCALE: 1/4" = 1'-0"



WEST
SCALE: 1/4" = 1'-0"



EAST
SCALE: 1/4" = 1'-0"

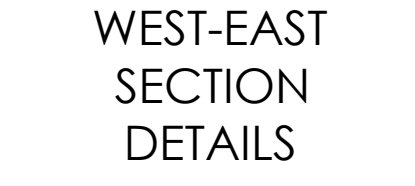


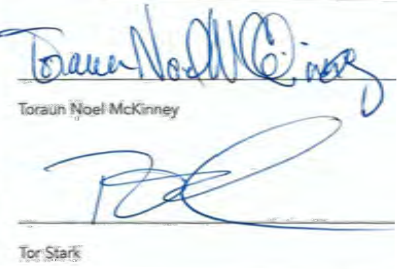
NORTH
SCALE: 1/4" = 1'-0"

**PROPOSED
ELEVATIONS**

SCALE 1/4" = 1'-0"
DATE 11. NOV. 2020

REVISIONS





6005 LAGUNA ROAD

RESIDENTIAL REMODEL

6005 LAGUNA ROAD
SANTA CRUZ, CA 95060
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NORTH-SOUTH
SECTION DETAILS

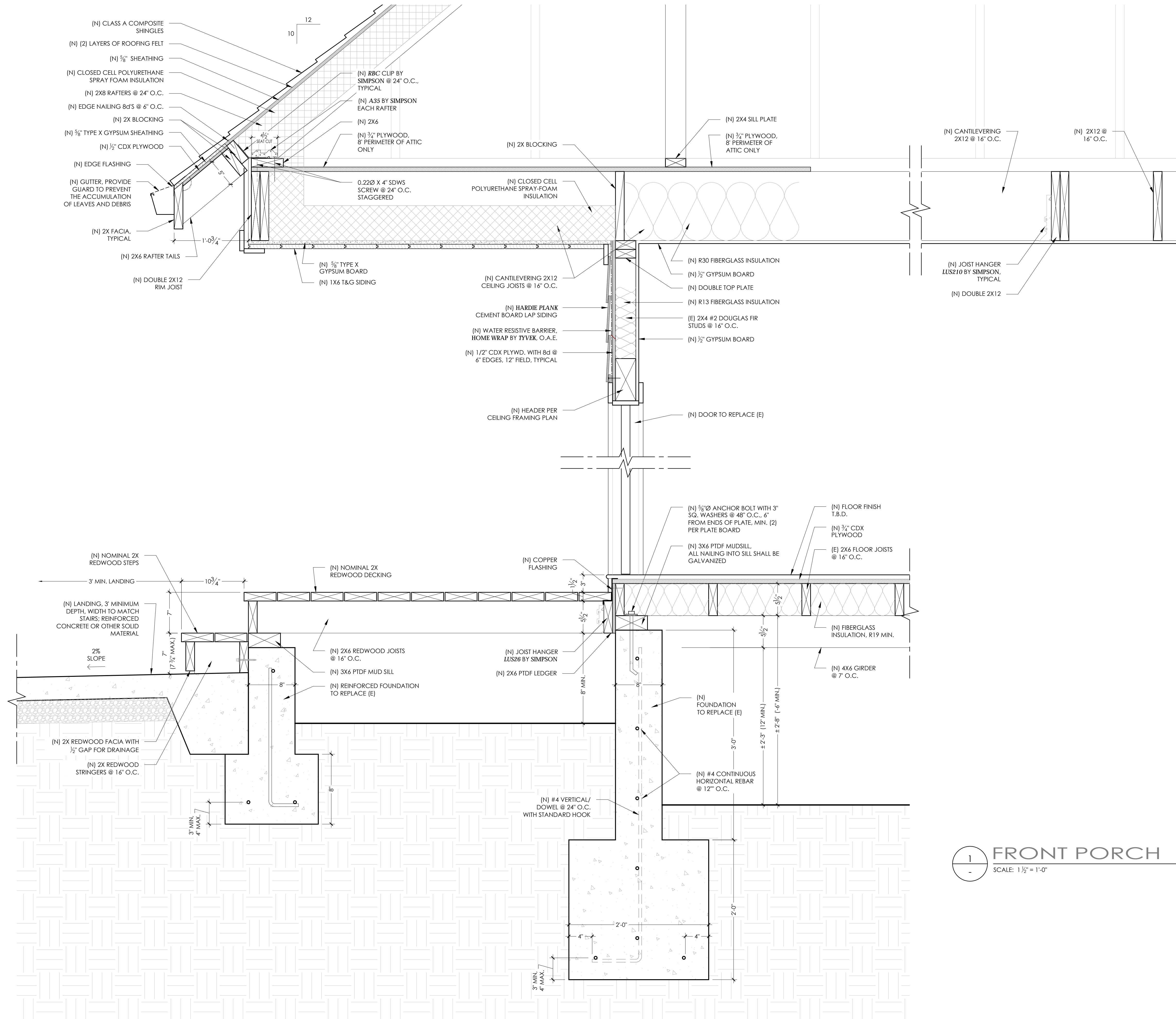
FRONT
PORCH

SCALE AS NOTED
DATE 11. NOV. 2020

REVISIONS

COASTAL REVIEW

A6.2



1 FRONT PORCH
SCALE: 1 1/2" = 1'-0"

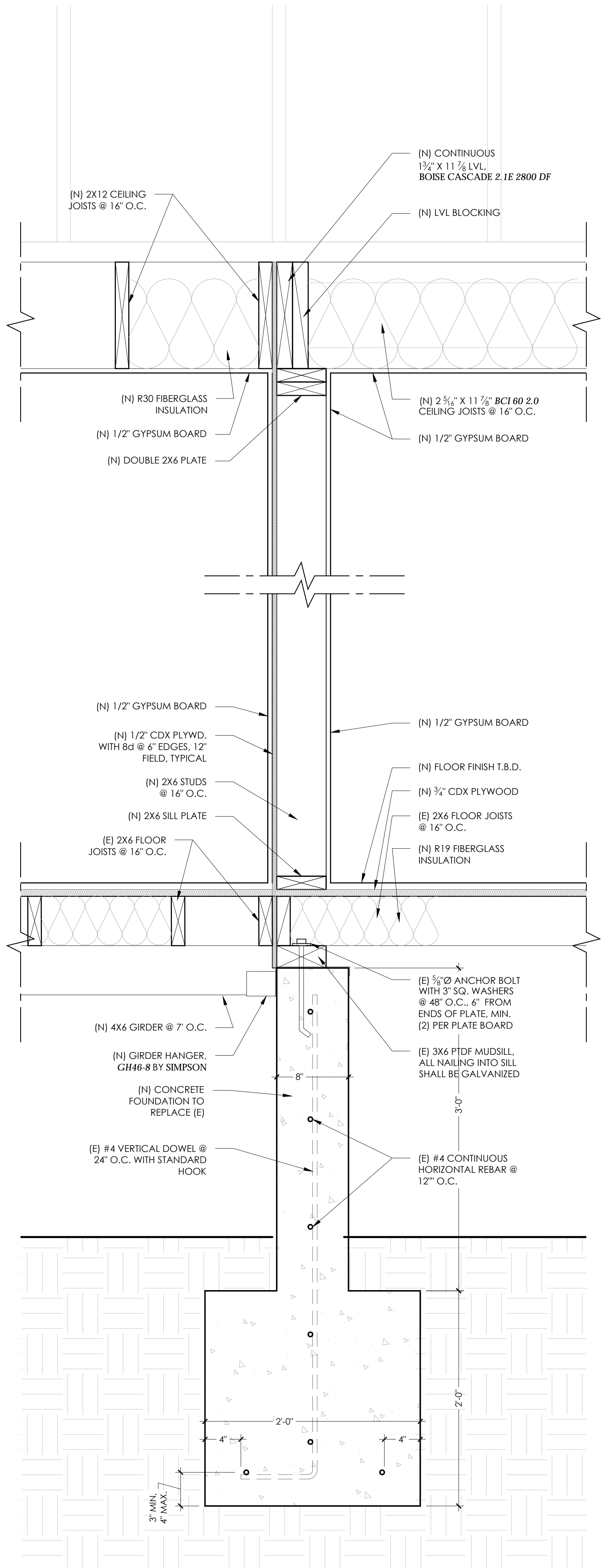
INTERIOR
SHEARWALL
DETAILS

SCALE AS NOTED
DATE 11. NOV. 2020

REVISIONS

COASTAL REVIEW

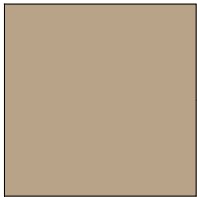
A6.3



1
-
INTERIOR
SHEAR WALL
SCALE: 1 1/2\"/>



GAF COMPOSITION SHINGLES
COLOR: WEATHERED WOOD



VINYL WINDOWS
COLOR: ALMOND



HARDIE BOARD LAP SIDING
SMOOTH COLLECTION,
COLOR: MONTEREY TAUPE



TRIM
COLOR TO MATCH SIDING



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COLOR
BOARD

SCALE $\frac{1}{4}" = 1'-0"$
DATE 12. NOV. 2020

COASTAL REVIEW

COLOR
BOARD