



SCHWEITZER RESIDENCE

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MAXIMUM & PROPOSED LOT COVERAGE & FAR CALCULATIONS:

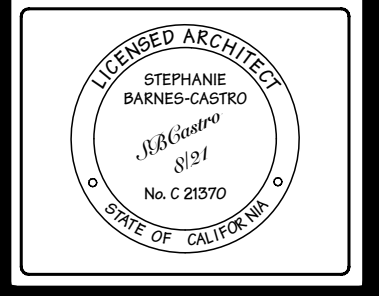
<u>MAXIMUM ALLOWABLE LOT COVERAGE:</u>	LOT AREA X 40% = 7,200 SF X 40% =	2,880 SF
<u>PROPOSED LOT COVERAGE:</u>		
PROPOSED LOWER LEVEL FOOTPRINT (INCL. GARAGE)		2,200 SF
<u>MAXIMUM ALLOWABLE F.A.R.:</u>	LOT AREA X 50% = 7,200 SF X 50%	3,600 SF
<u>PROPOSED F.A.R.:</u> (* INDICATES COUNTING TOWARDS F.A.R.)		3,576 SF
LOWER LEVEL:		1,640* SF
UPPER LEVEL:		1,586* SF
TOTAL CONDITIONED AREA:		3,226 SF
UNCONDITIONED AREAS (GARAGE & MECHANICAL):		575 SF
UNCONDITIONED AREAS OVER 225 SF (575 - 225):		350* SF
TOTAL F.A.R.:		3,576 SF
<u>IMPERVIOUS AREAS:</u>		
REFER TO IMPERVIOUS AREA CALCULATIONS ON SHEET C1 BY LUKE BEAUTZ, C.E.		

PROJECT CONTACTS

OWNER:	WESTON & SHELBY SCHWEITZER 43657 Winthrop Court Ashburn, Virginia 20147 sjsoladar@gmail.com (818) 337-9808
ARCHITECT:	STEPHANIE BARNES- CASTRO 424 Laurent Street Santa Cruz, CA 95060 sbc@sbcaarch.com (831) 239-0603
PLANNING CONSULTANT/AGENT:	DEIDRE HAMILTON deidre@hamiltonlandplanning.com (831) 423-9992
CIVIL ENGINEER:	LUKE BEAUTZ, C.E., L.S. 608 Cabrillo Avenue Santa Cruz, CA 95065 lbeautz@sbcbglobal.net (831) 475-8695
GEOTECHNICAL ENGINEER:	ROCK SOLID ENGINEERING, INC. 1100 Main Street, Ste. A Watsonville, CA 95076 yvette@rocksolidengineering.com (831) 724-5868

PROJECT DATA

APN:	028-211-18
SITE ADDRESS:	16th AVENUE SANTA CRUZ, CA 95062
ZONE:	R-1-6
OCCUPANCY:	R-3/U
TYPE OF CONSTRUCTION:	VB, SPRINKLERED
GENERAL PLAN:	R-UL
WATER DISTRICT:	CITY OF SANTA CRUZ
SEWER DISTRICT:	SANTA CRUZ SANITATION
FIRE DISTRICT:	CENTRAL FIRE
PROJECT DESCRIPTION:	CONSTRUCTION OF A NEW 3,069 SQ. FT. 4 BEDROOM, 4 1/2 BATH 2-STORY SINGLE FAMILY RESIDENCE WITH AN ATTACHED 157 SQ. FT. HABITABLE ACCESSORY STRUCTURE (GYM) AND A 575 SQ. FT. 2 CAR GARAGE. TWO EXISTING SHEDS TO BE DEMOLISHED ON OTHERWISE EMPTY LOT.
TOTAL PARCEL AREA:	7,200 SQ. FT.
PARKING REQUIRED:	3 SPACES
PARKING PROVIDED:	4 SPACES



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BARNES - CASTRO
ARCHITECT

SB

PROJECT DATA
SHEET INDEX

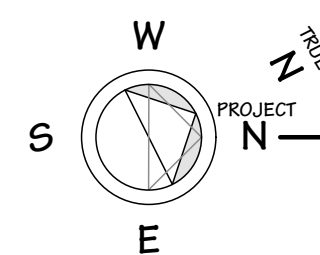
SCHWEITZER RESIDENCE

16th Avenue
Santa Cruz , CA 95062
APN# 028-211-18

SUBMITTAL DATE		
Δ	DATE	REVISION
	11/17/20	CDP APPL
SHEET A1 OF SHEETS		



2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA ELECTRIC CODE, 2019 CALIFORNIA ENERGY CODE, 2019 CALIFORNIA GREEN BUILDING CODE, 2019 CALIFORNIA RESIDENTIAL CODE, 2019 CALIFORNIA FIRE CODE, 2019 CALIFORNIA ENERGY STANDARDS



NOTE: FOR EXISTING SITE PLAN, SEE SHEET C2



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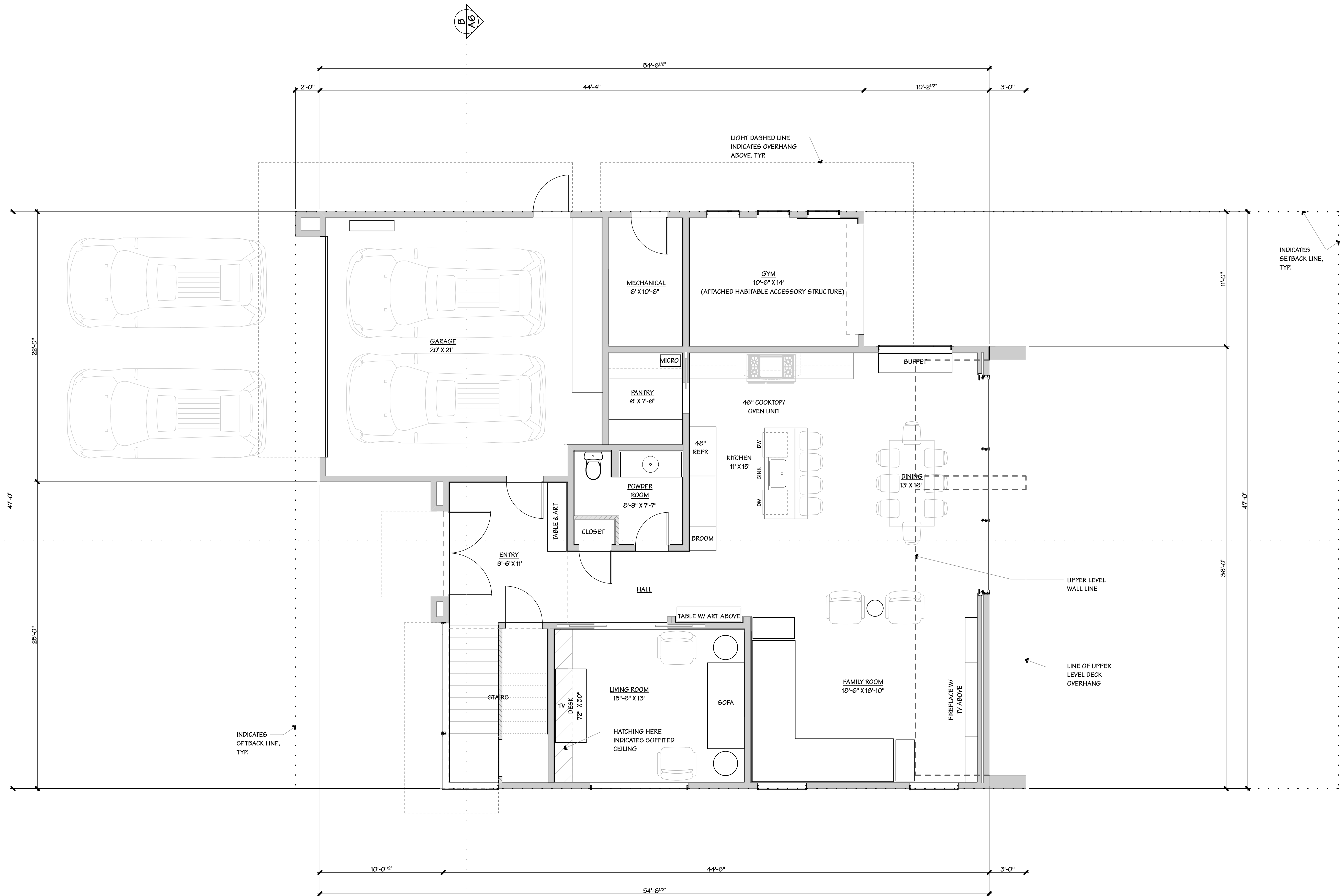
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SITE PLAN
VICINITY MAP
SHADOW PLANS

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SHEET
A2

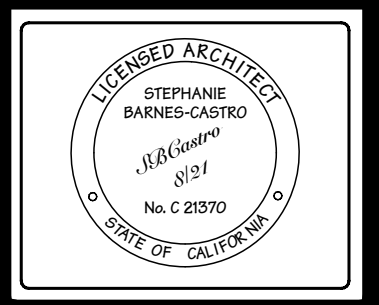
OF
SHEETS



LOWER LEVEL FLOOR PLAN

WALL LEGEND

- 2 X 4 STUDS
- 2 X 6 STUDS



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LOWER LEVEL
FLOOR PLAN

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SHEET
A3
OF SHEETS



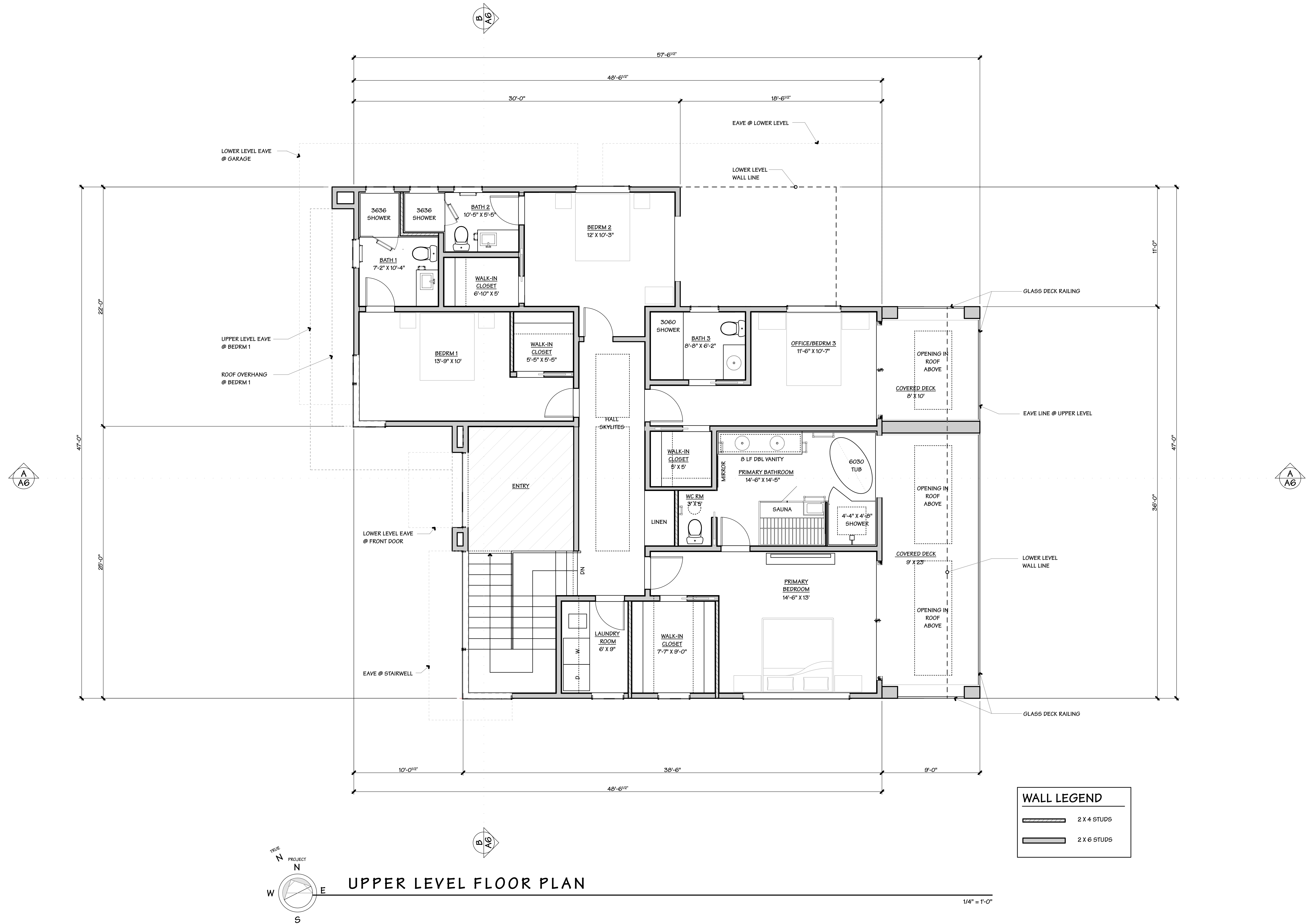
STEPHANIE
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A R C H I T E C T

UPPER LEVEL
FLOOR PLAN

SCHWEITZER RESIDENCE
16th Avenue
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APN# 028-211-1B

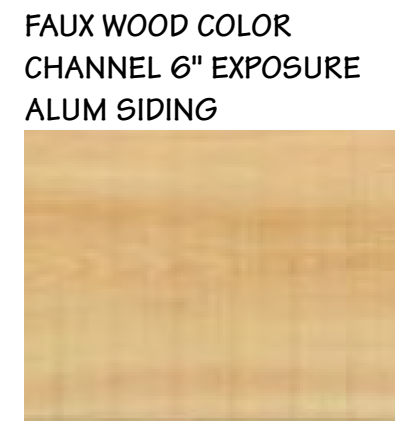
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SHEET
A4
OF SHEETS



Stephanie Barnes-Castro Architect
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EXTERIOR BUILDING MATERIALS



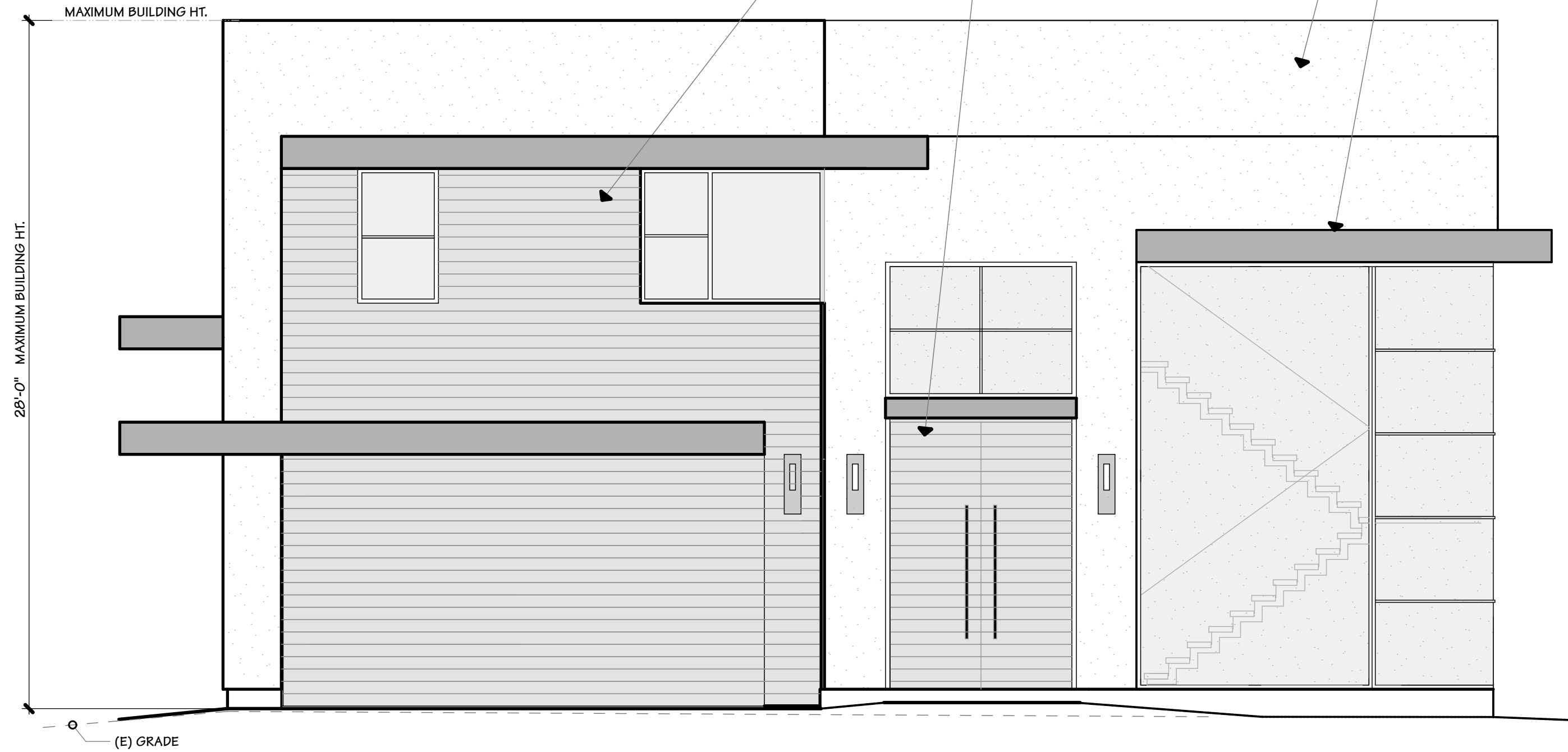
WHITE STUCCO
SIDING

METAL CLAD OR
PAINTED FASCIAS



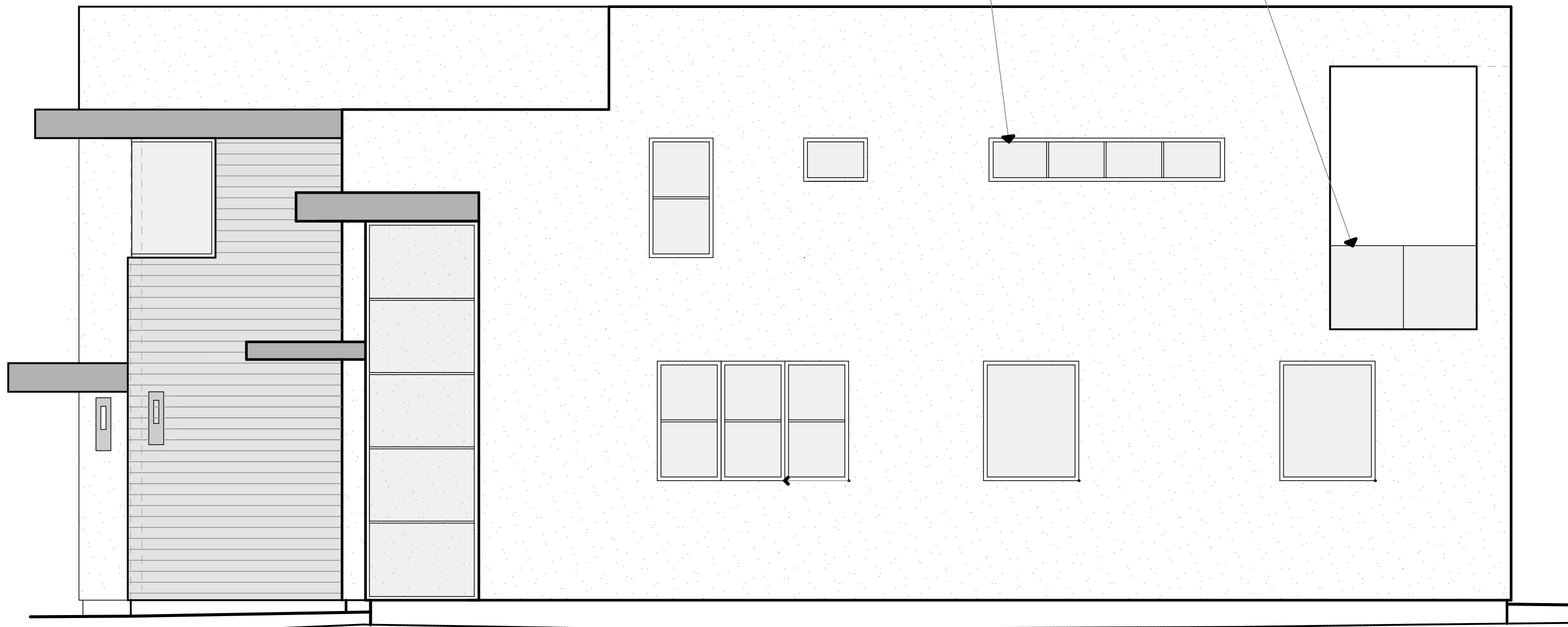
GLASS RAILING
@ DECKS

BLACK ALUMINUM
WINDOWS



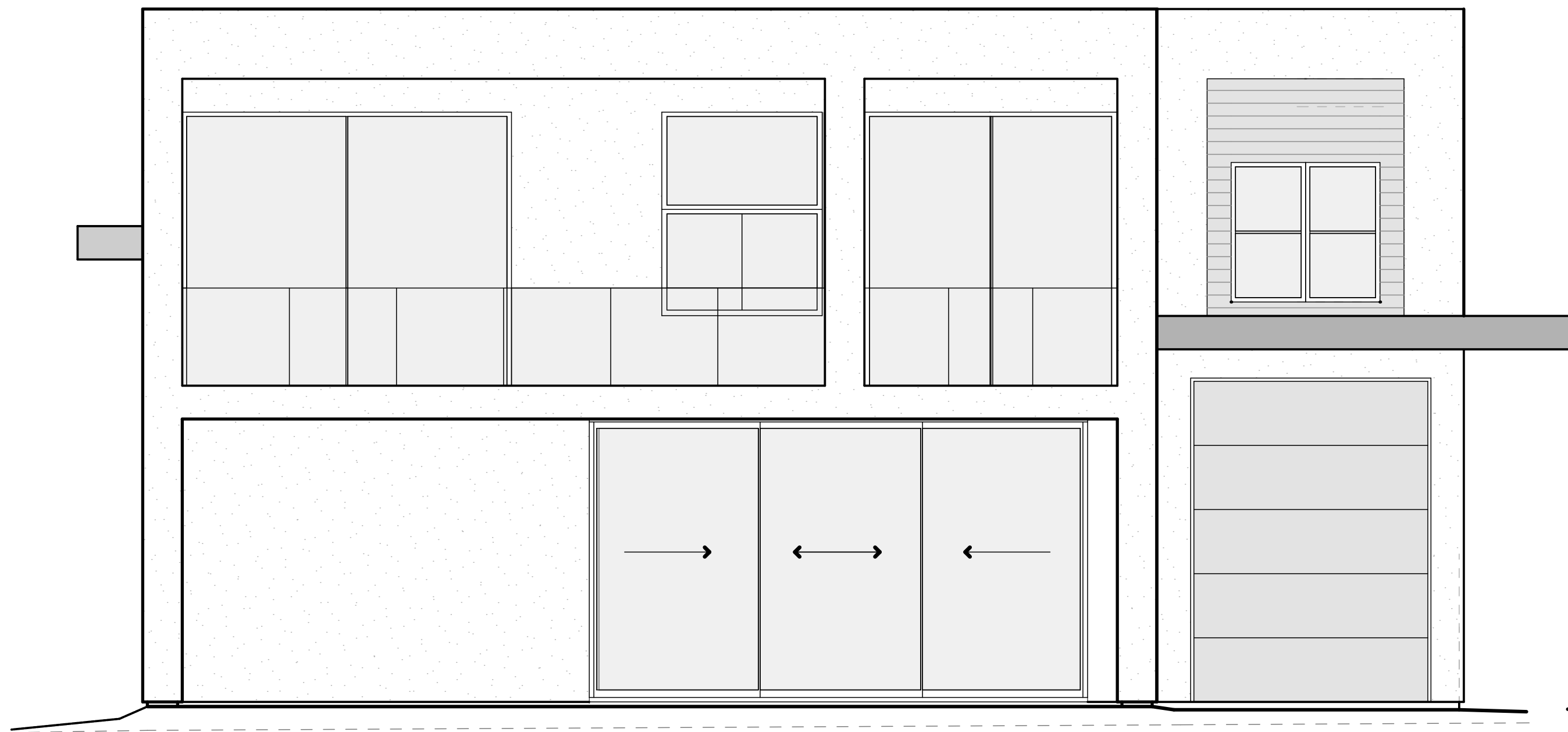
WEST ELEVATION - STREET ELEVATION

1/4" = 1' - 0"



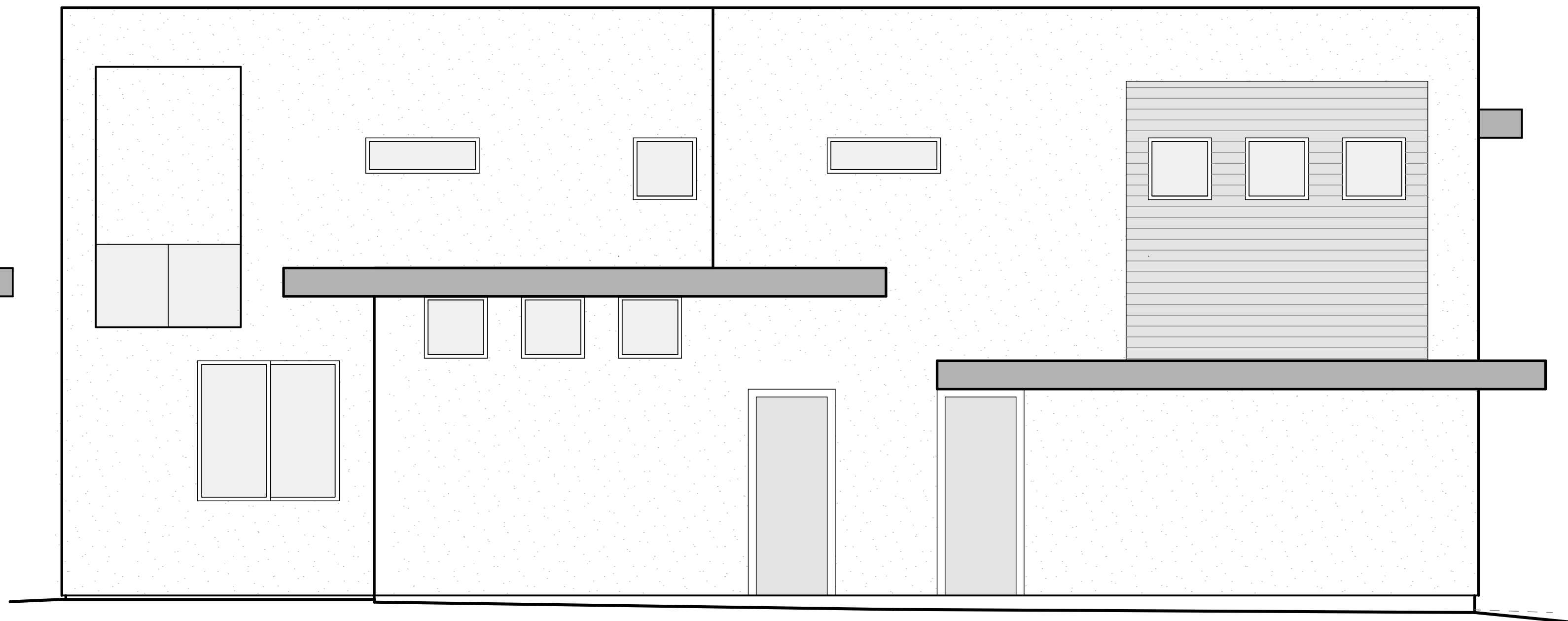
SOUTH ELEVATION - SIDE ELEVATION

1/4" = 1' - 0"



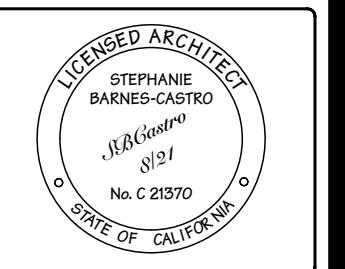
EAST ELEVATION - REAR ELEVATION

1/4" = 1' - 0"



NORTH ELEVATION - SIDE ELEVATION

1/4" = 1' - 0"



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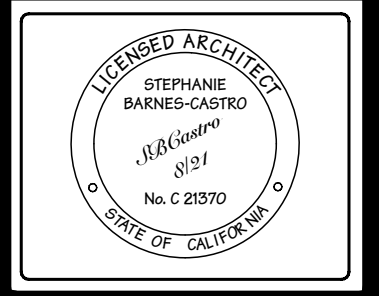
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EXTERIOR
ELEVATIONS

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SHEET
A5
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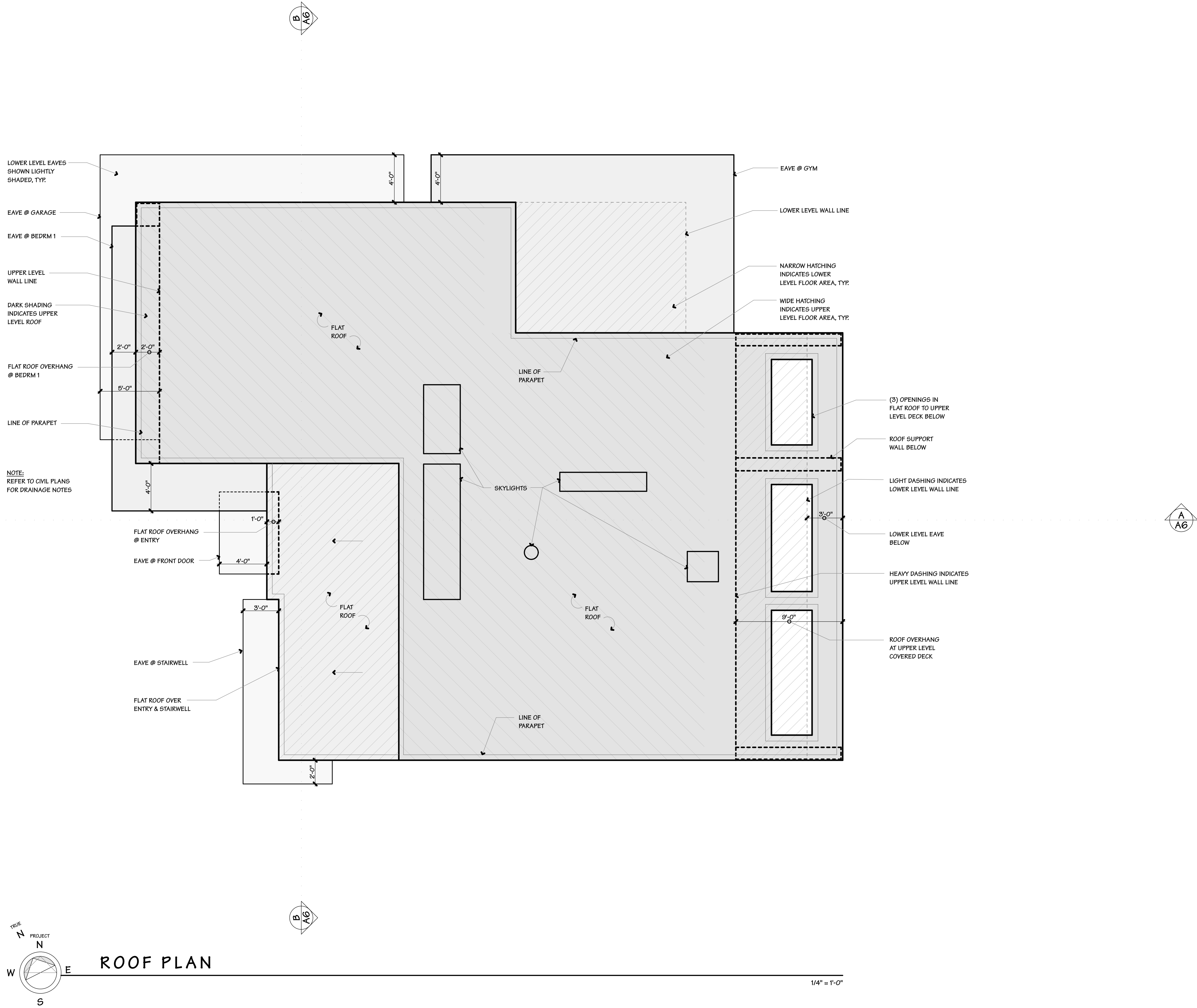
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ROOF PLAN

SCHWEITZER RESIDENCE

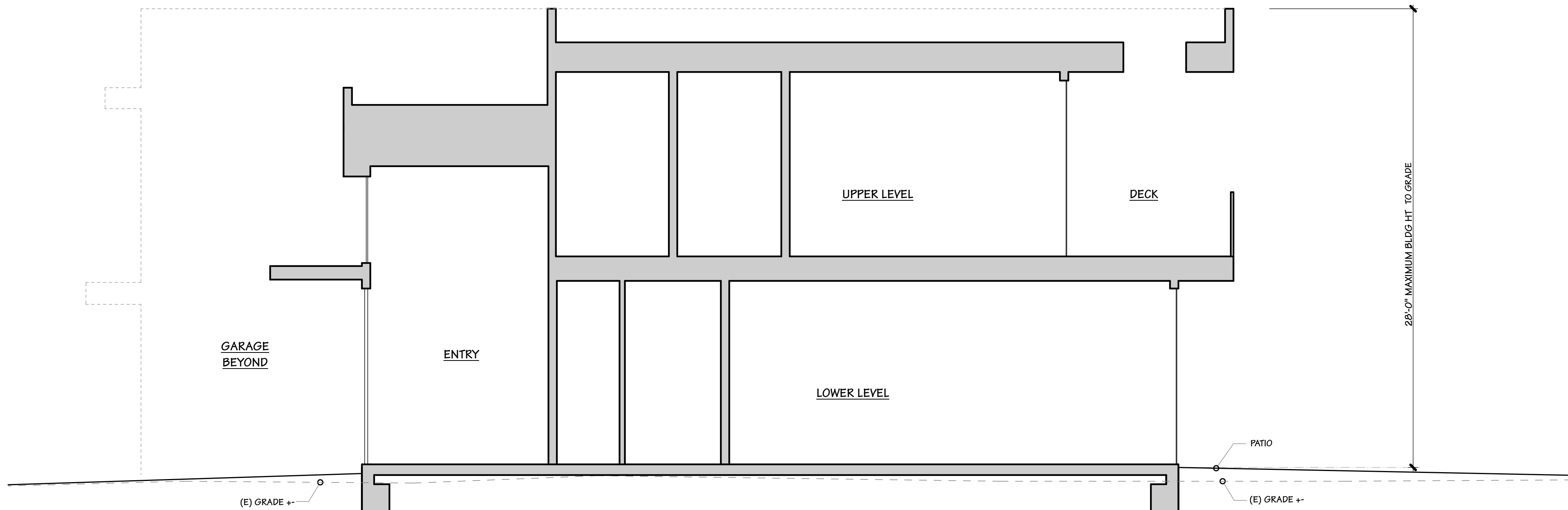
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SHEET		
A6		
OF	SHEETS	



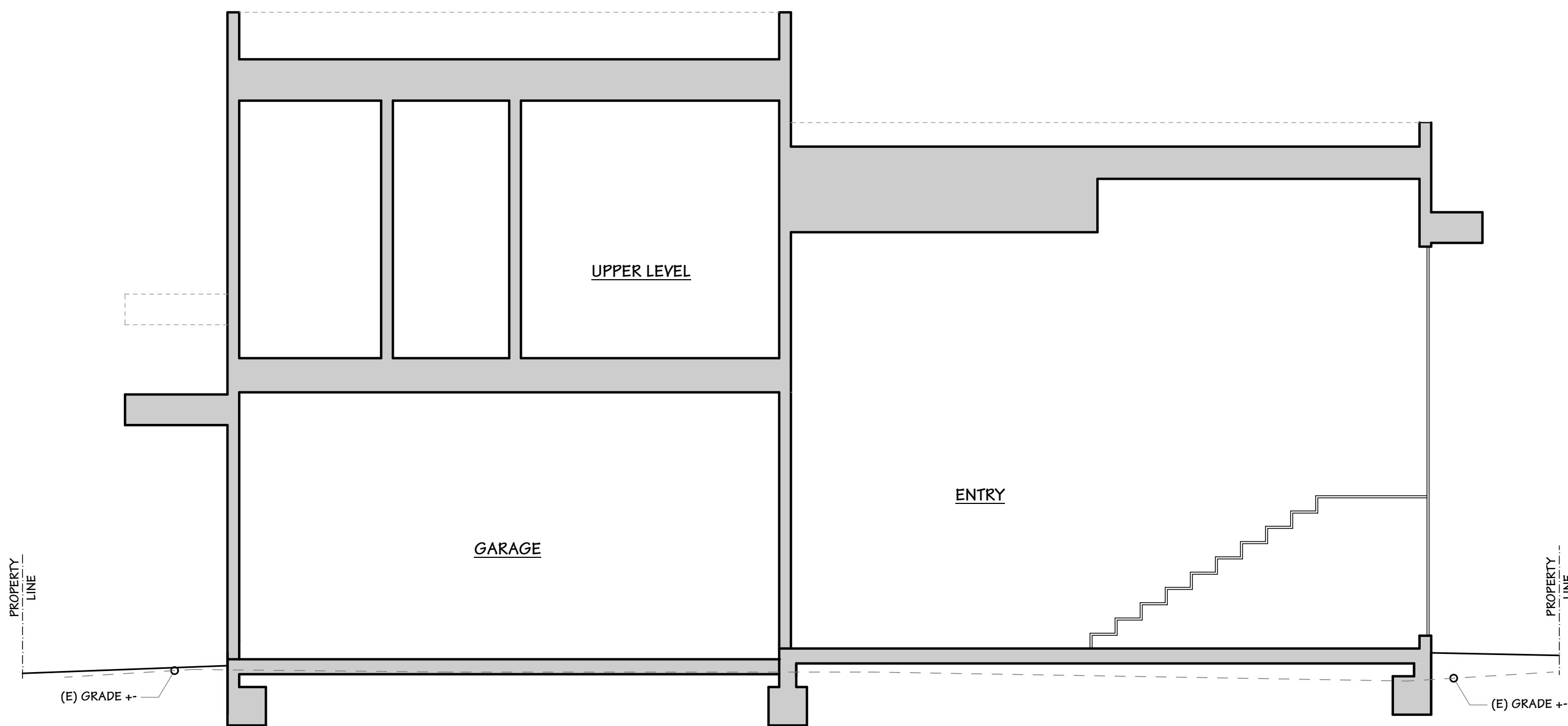
ROOF PLAN

1/4" = 1'-0"



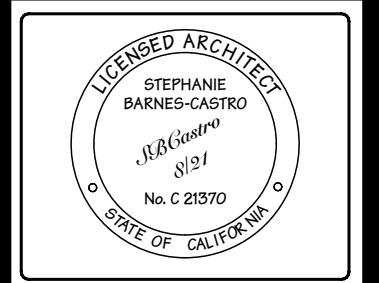
SECTION A-A

1/4"= 1'-0"



SECTION B-B

1/4"= 1'-0"



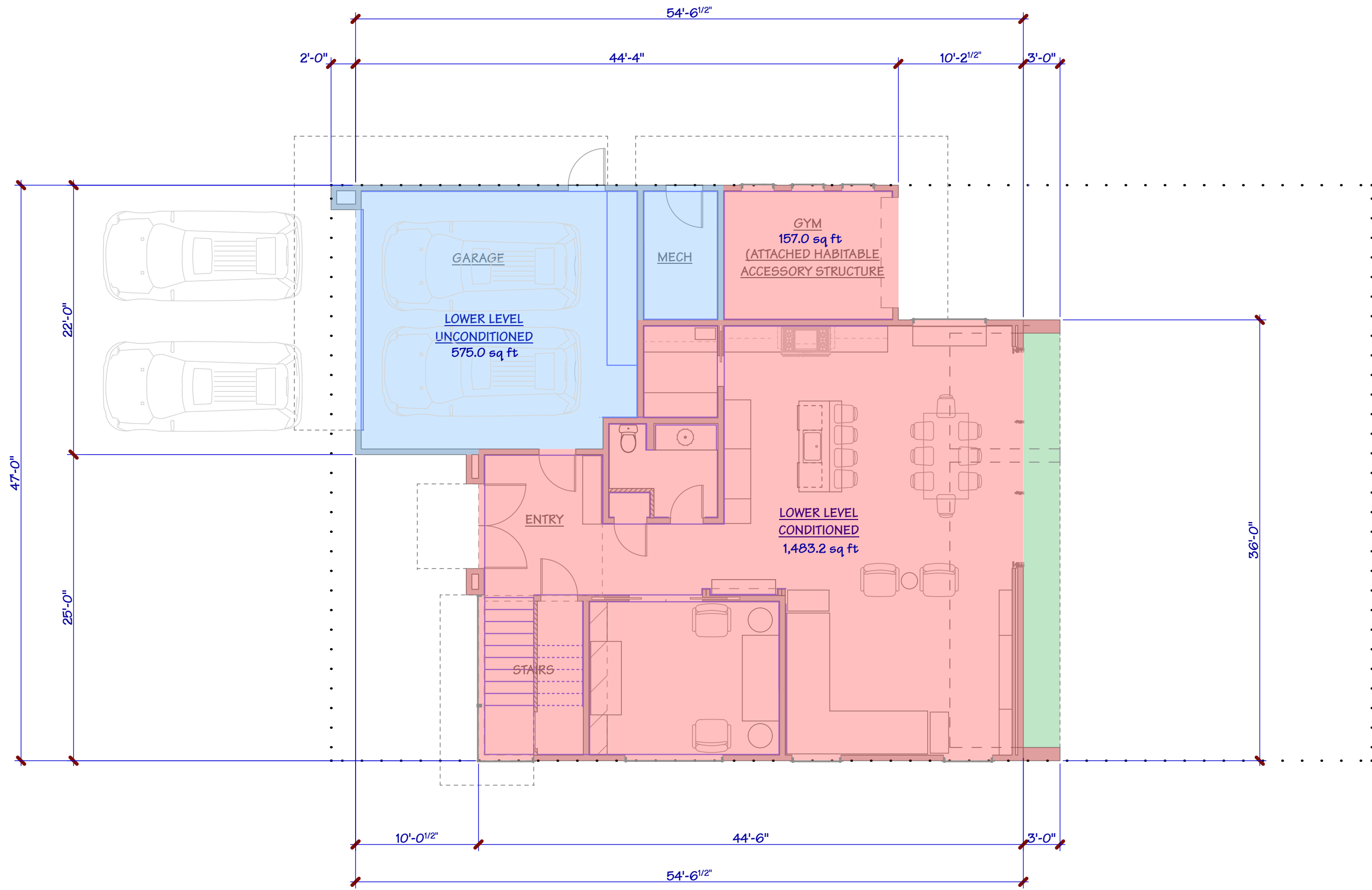
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PRELIMINARY
SECTIONS

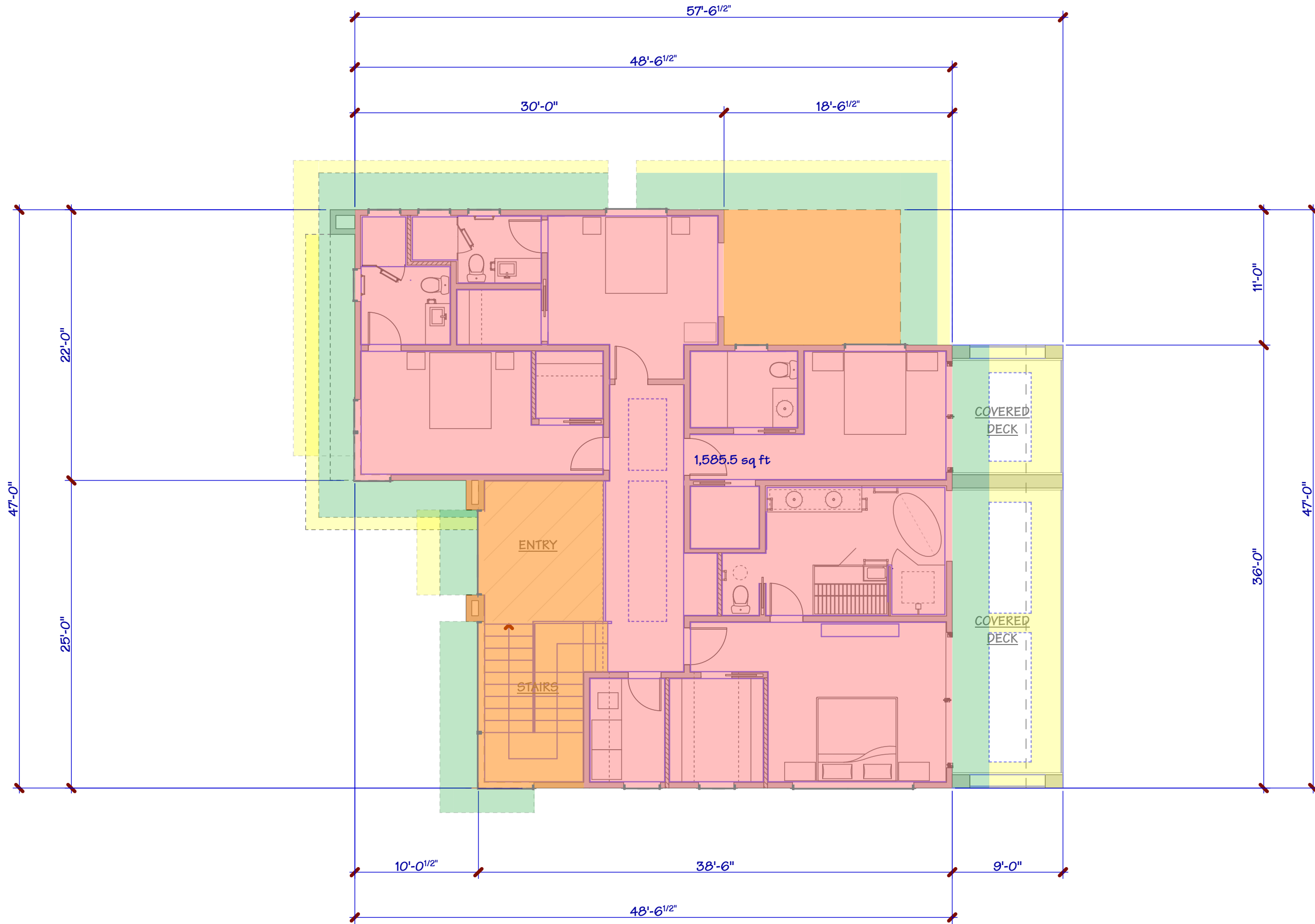
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DATE	REVISION	
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SHEET		
A7		
OF		SHEETS



LOWER LEVEL FAR & LOT COVERAGE

1/8" = 1' - 0"

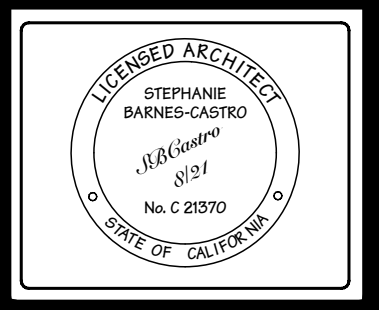


UPPER LEVEL FAR & LOT COVERAGE

1/8" = 1' - 0"

LEGEND

- CONDITIONED SPACE
COUNTS TOWARDS FAR
- UNCONDITIONED SPACE
(UP TO 225 SQ. FT. DOES NOT COUNT
TOWARDS FAR BUT DOES COUNT
TOWARDS LOT COVERAGE)
- EAVES LESS THAN OR EQUAL TO 3 FEET
DO NOT COUNT TOWARDS FAR
- STAIRWAY AND AREAS LESS THAN
OR EQUAL TO 16' CEILING HEIGHT
ONLY COUNT ONCE TOWARDS FAR
- COVERED AREAS LESS THAN
140 SQ.FT. EACH SIDE
DO NOT COUNT TOWARDS FAR



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FAR &
LOT COVERAGE
DIAGRAMS

SCHWEITZER RESIDENCE

16th Avenue
Santa Cruz, CA 95062
APN# 028-211-18

SUBMITTAL DATE

DATE	REVISION
11/17/20	CDP APPL

SHEET
OF
A8
SHEETS

GENERAL NOTES

- All construction shall comply with applicable requirements in the current edition of the Santa Cruz County Design Criteria.
- All figure (Fig.) references, unless otherwise specified, refer to Standard Drawings in the current edition of the Santa Cruz County Design Criteria.
- No changes in the approved plans shall be made without prior approval by the Santa Cruz County Planning Department and Public Works Department.
- The Director of Planning, or his authorized representative, shall have the authority to stop work if the work is not being done in accordance with the approved Improvement Plans.
- The contractor shall notify the Santa Cruz County Planning Department (454-2580 or 454-2077) at least 24 hours prior to the start of construction.
- All drainage inlets are to be precast concrete Christy boxes, model as indicated on plan, or equivalent, with concrete bottoms.
- All storm drain material to be SDR 35 PVC
- All construction shall be in accordance with the recommendations of the Geotechnical Investigation prepared for the site by Haro, Rock Solid Engineering, Inc., Project No. 20027.

ABBREVIATIONS

AC	ASHPALT CONCRETE	RC	RELATIVE COMPACTION
AGG	AGGREGATE	S	SLOPE
BOT	BOTTOM	SD	STORM DRAIN
CL	CENTERLINE	SS	SANITARY SEWER
(E)	EXISTING	SSMH	SANITARY SEWER MANHOLE
EG	EXISTING GROUND	TF	TOP OF FOOTING
FG	FINISHED GRADE	TG	TOP OF GRATE
FL	FLOWLINE	TSW	TOP OF STEMWALL
FS	FINISHED SURFACE	TW	TOP OF WALL
INV	INVERT	TYP	TYPICAL
LF	LINEAR FEET	W	WATER
LP	LOW POINT	WM	WATER METER

EARTHWORK ESTIMATE

REMOVAL AND RECOMPACTION OF TOP 18" OF NATIVE MATERIAL BELOW NEW FOUNDATION PER PROJECT GEOTECHNICAL REPORT.
VOLUME = ±160 CUBIC YARDS

GENERAL GRADING (INCLUDES DRIVEWAY, BUILDING SLAB, AND FLATWORK STRUCTURAL SECTIONS)
CUT = 65 CUBIC YARDS
FILL = 20 CUBIC YARDS
PROJECT TOTAL = 45 CUBIC YARDS EXPORT
EXCESS CUT MATERIAL TO BE TAKEN TO THE COUNTY LANDFILL.

EROSION CONTROL NOTES

- Stockpile disturbed topsoil and redistribute around the finished site as seed base.
- Disturb only those areas under construction. Do not leave soil unprotected.
- Exposed soil shall be protected at all times as follows:
Seed and Straw Mulch

Seed and straw mulch is to be used for soil disturbed areas as a means for temporary protection until permanent stabilization is established. It may be used on slopes up to 3:1 H:V (33%).

Seed and straw mulch shall consist of spreading seed (a minimum of 5 lbs/1000 sq. ft.) over disturbed areas and then placing a uniform layer of straw (2-3 bales/1000 sq. ft.) incorporating it into the soil with a studded roller or anchoring it with a tackifier stabilizing emulsion.

Note:
In areas that are not sensitive habitat, the seed shall be annual winter barley and the straw shall be derived from rice, barley, or wheat. In areas that are sensitive habitat, the seed mix and straw shall be as recommended by the project biologist, be indicated on the plans, and approved by the Planning Department.

SEDIMENT CONTROL NOTES

Silt Fence
Silt fences shall be used for perimeter control. They shall be placed below areas where sheet flows discharge from the site. They should also be used as interior controls below disturbed areas where runoff may occur in the form of sheet and rill erosion.

Silt fences shall not be used in streams, channels, drain inlets, or any place where flow is concentrated.

Silt fences shall not be used in locations where ponded water may cause flooding.

Silt fences shall not be used on a slope, or across any contour line. If not installed at the same elevation throughout, silt fences will create erosion.

The maximum length of slope draining to any point along the silt fence should be 200 feet or less.

The ends of the silt fence shall be turned uphill to prevent stormwater from flowing around the fence.

CONSTRUCTION WASTE CONTROL MEASURES

- IF SPOILS ARE TO BE STORED ON SITE, PLACE SPOILS PILE ON A FLAT PORTION OF THE SITE AND SURROUND IT WITH A SILT FENCE PER DETAIL C1-C.
- THE SOIL STOCKPILE AREA SHALL BE SURROUNDED WITH A SILT FENCE PER DETAIL C1-C. WHEN ACTIVE WORK IS NOT BEING DONE ON THE STOCKPILE, IT SHALL BE COVERED WITH PLASTIC AND THE PLASTIC SHALL BE SECURED IN PLACE WITH ROPES AND SANDBAGS.

SITE HOUSEKEEPING REQUIREMENTS

CONSTRUCTION MATERIALS

- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (i.e. SOIL, SPOILS, AGGREGATE, FLY ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
- ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
- EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (i.e. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.)
- BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

WASTE MANAGEMENT

- DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
- SANITATION FACILITIES SHALL BE CONTAINED (e.g., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
- SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
- COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
- DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
- STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
- PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
- EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE. SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY.
- CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE TO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

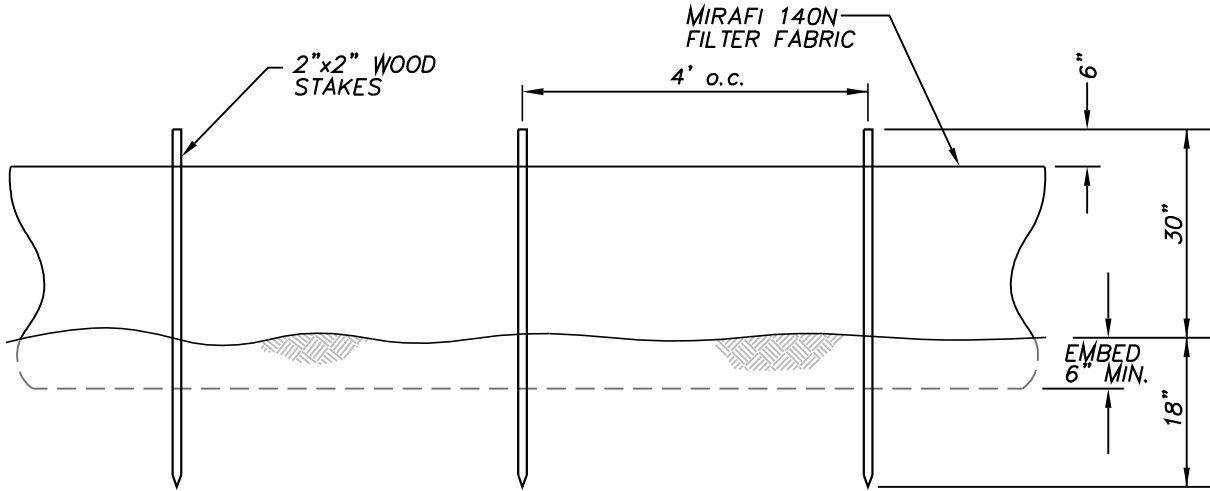
VEHICLE STORAGE AND MAINTENANCE

- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS, OR SURFACE WATERS.
- ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED, AND STORED ON SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
- LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

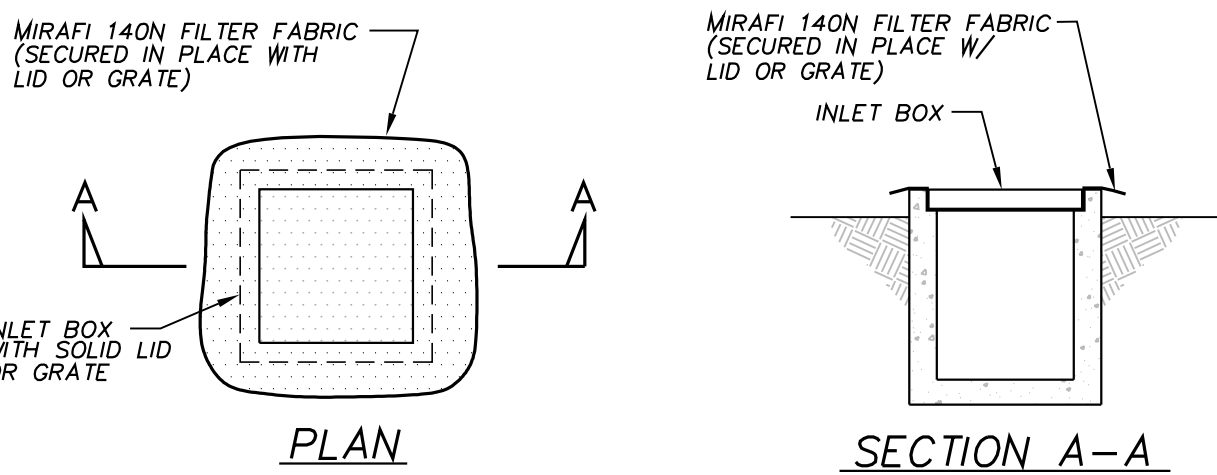
LANDSCAPE MATERIALS

- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
- CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
- DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
- APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
- STACK ERODIBLE LANDSCAPE MATERIALS ON PALLETS AND COVER, OR STORE SUCH MATERIALS WHEN NOT ACTIVELY BEING USED.

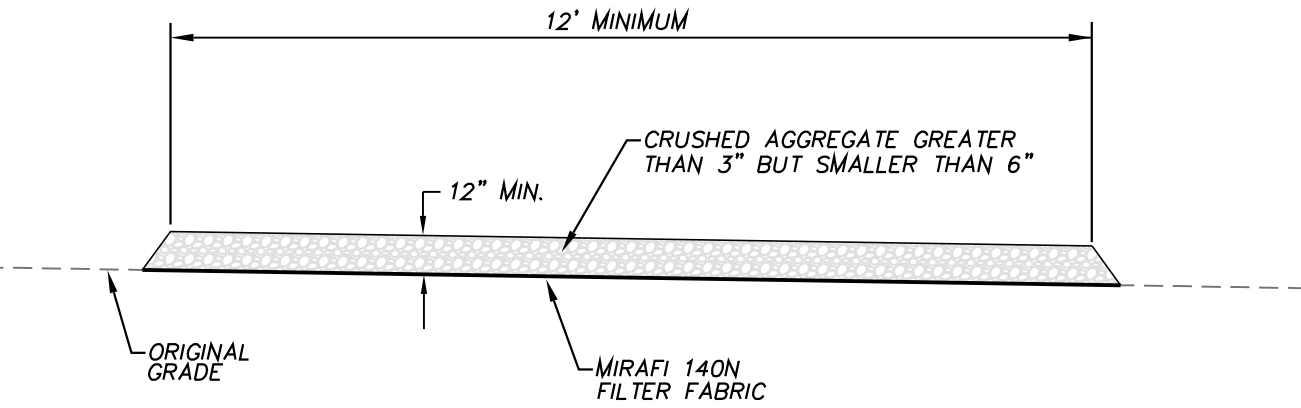
NOTE:
FOR ADDITIONAL SILT FENCE DETAILS, REFER TO FIGURE SC-2 OF THE "COUNTY OF SANTA CRUZ CONSTRUCTION SITE STORMWATER POLLUTION CONTROL BMP MANUAL" AVAILABLE THROUGH THE SANTA CRUZ COUNTY PLANNING DEPARTMENT'S WEBSITE.



DETAIL C1-C
TYPICAL SILT FENCE
N.T.S.



DETAIL C1-D
STORM DRAIN INLET SEDIMENT BARRIER
N.T.S.



DETAIL C1-E
ROCKED CONSTRUCTION ENTRANCE
N.T.S.

DRAINAGE ANALYSIS

PRE-DEVELOPMENT CONDITIONS

EXISTING IMPERVIOUS AREA TO BE REMOVED AS SHOWN ON SHEET C2 = 590 S.F.

POST-DEVELOPMENT CONDITIONS

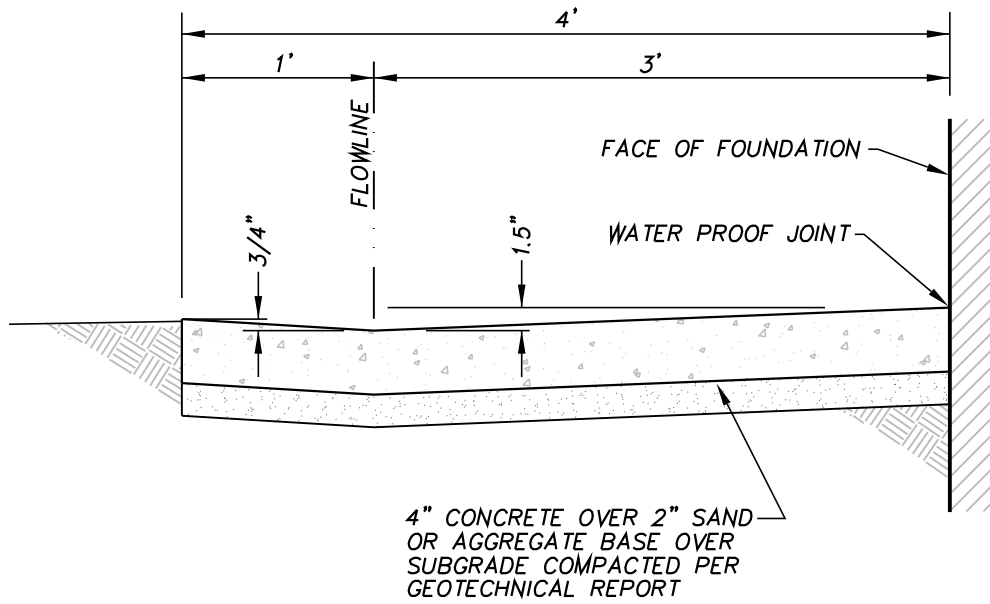
IMPERVIOUS AREA OF NEW HOUSE = 2,210 S.F.
IMPERVIOUS AREA OF NEW CONCRETE WALK ALONG NORTH SIDE OF HOUSE = 230 S.F.
IMPERVIOUS AREA OF NEW CONCRETE STEPPERS = 200 S.F.
IMPERVIOUS AREA OF NEW ASPHALT DRIVEWAY CONFORM = 280 S.F.
SEMI IMPERVIOUS AREA OF NEW PAVER BLOCK DRIVEWAY = 480 S.F.
SEMI IMPERVIOUS AREA OF NEW PAVER BLOCK PATIO = 1,590 S.F.

EQUIVALENT NEW IMPERVIOUS AREA = 2,210 + 230 + 200 + 280 + 480/2 + 1,590/2 = 3,955 S.F.

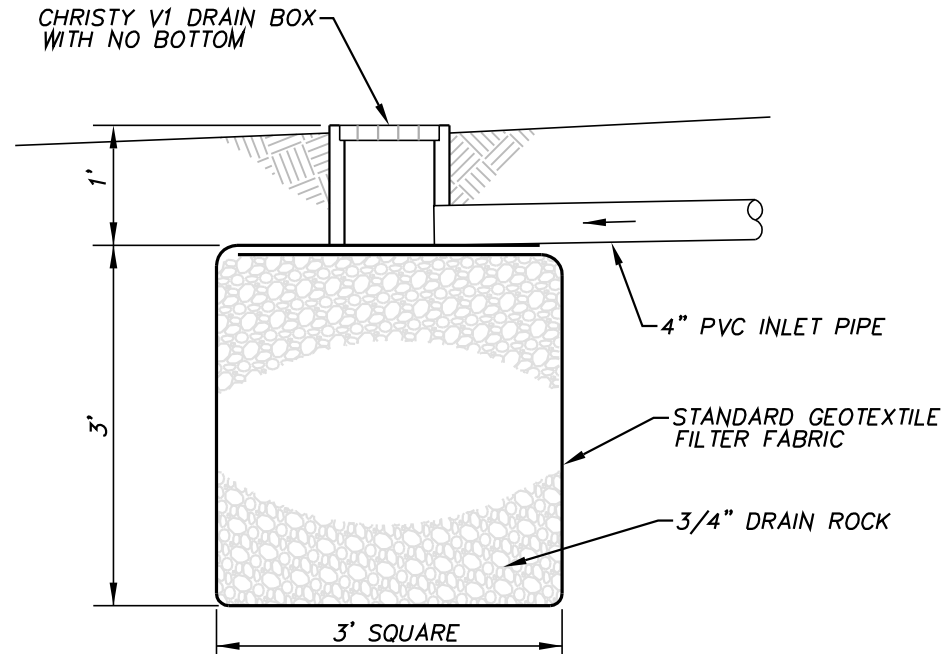
THE PROPOSED DEVELOPMENT RESULTS IN A NET INCREASE IN IMPERVIOUS AREA OF 3,365 S.F.

MITIGATION MEASURES

- PERMEABLE PAVERS WILL BE USED FOR THE NEW DRIVEWAY & REAR PATIO AREAS IN ORDER TO LIMIT NEW IMPERVIOUS AREA AND PROMOTE PERCOLATION OF RUNOFF INTO THE GROUND.
- RUNOFF FROM THE CONCRETE WALKWAY WITH SWALE ALONG THE NORTH SIDE OF THE HOUSE WILL FLOW INTO THE LANDSCAPE AREA AT THE NORTHWEST CORNER OF THE PROPERTY.
- RUNOFF FROM THE CONCRETE STEPPERS WILL FLOW INTO THE GAPS BETWEEN THE STEPPERS.
- RUNOFF ASSOCIATED WITH DOWNSPOUTS ALONG THE NORTH SIDE OF THE HOUSE WILL OUTLET ONTO THE CONCRETE WALKWAY WITH SWALE AND THEN FLOW WESTERLY IN THE SWALE INTO THE LANDSCAPE AREA AT THE NORTHWEST CORNER OF THE PROPERTY.
- RUNOFF ASSOCIATED WITH DOWNSPOUTS ALONG THE EAST SIDE OF THE HOUSE WILL OUTLET ONTO THE PERMEABLE PAVER BLOCK PATIO.
- RUNOFF ASSOCIATED WITH DOWNSPOUTS ALONG THE SOUTH SIDE OF THE HOUSE WILL OUTLET ONTO CONCRETE SPLASH BLOCKS AND THEN FLOW WESTERLY IN AN EARTH SWALE TO A NEW INLET. IT WILL THEN BE PIPED TO A NEW PERCOLATION PIT PER DETAIL C1-B.

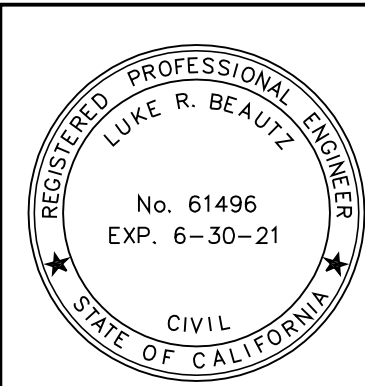


DETAIL C1-A
CONCRETE WALKWAY WITH SWALE
N.T.S.



DETAIL C1-B
TYPICAL PERCOLATION PIT
N.T.S.

C1



Luke Beautz

IMPROVEMENT PLAN
SHOWING PRELIMINARY GRADING AND DRAINAGE
FOR A NEW RESIDENCE ON
LOT 39 TRACT NO 57 28-M-48
"SANTA MARIA CLIFFS"
SANTA CRUZ COUNTY, CALIFORNIA
SCALE: NONE NOVEMBER 2020
FOR: WESTON & SHELBY SCHWEITZER, OWNERS
BY: LUKE R. BEAUTZ, C.E., L.S.
A.P.N. 028-211-18 SHEET C1



BASIS OF BEARINGS: N 25°10' E
ESTABLISHED BETWEEN MONUMENTS FOUND AS NOTED AT POINTS "A" AND "B" AND AS SAID BEARING AND MONUMENTS ARE SHOWN ON 28-M-48.

N 25°10' E, 616.32' RECORD PER 28-M-48
N 25°10' E, 616.40' MEASURED

ELEVATION BENCH MARK
IS SANTA CRUZ COUNTY BENCH MARK No. 7A, A STANDARD BRASS CAP SET IN THE SOUTHWESTERN CONCRETE MEDIAN AT THE INTERSECTION OF EAST CLIFF DRIVE, PORTOLA DRIVE, & 17th AVENUE, AND LOCATED APPROXIMATELY 25' WEST FROM THE CENTERLINE OF 17th AVENUE AND 40' SOUTH FROM THE CENTERLINE OF EAST CLIFF DRIVE.
ELEVATION = 46.88' NAVD 88

LEGEND

- Indicates survey monument found as noted hereon.
- Indicates survey point set as noted hereon.
- Indicates nothing found or set.
- * Indicates spot elevation of existing ground or surface.
- () Indicates record data based on 28-M-48.
- ▨ Indicates existing impervious area to be removed. Total = 590 s.f.

ABBREVIATIONS

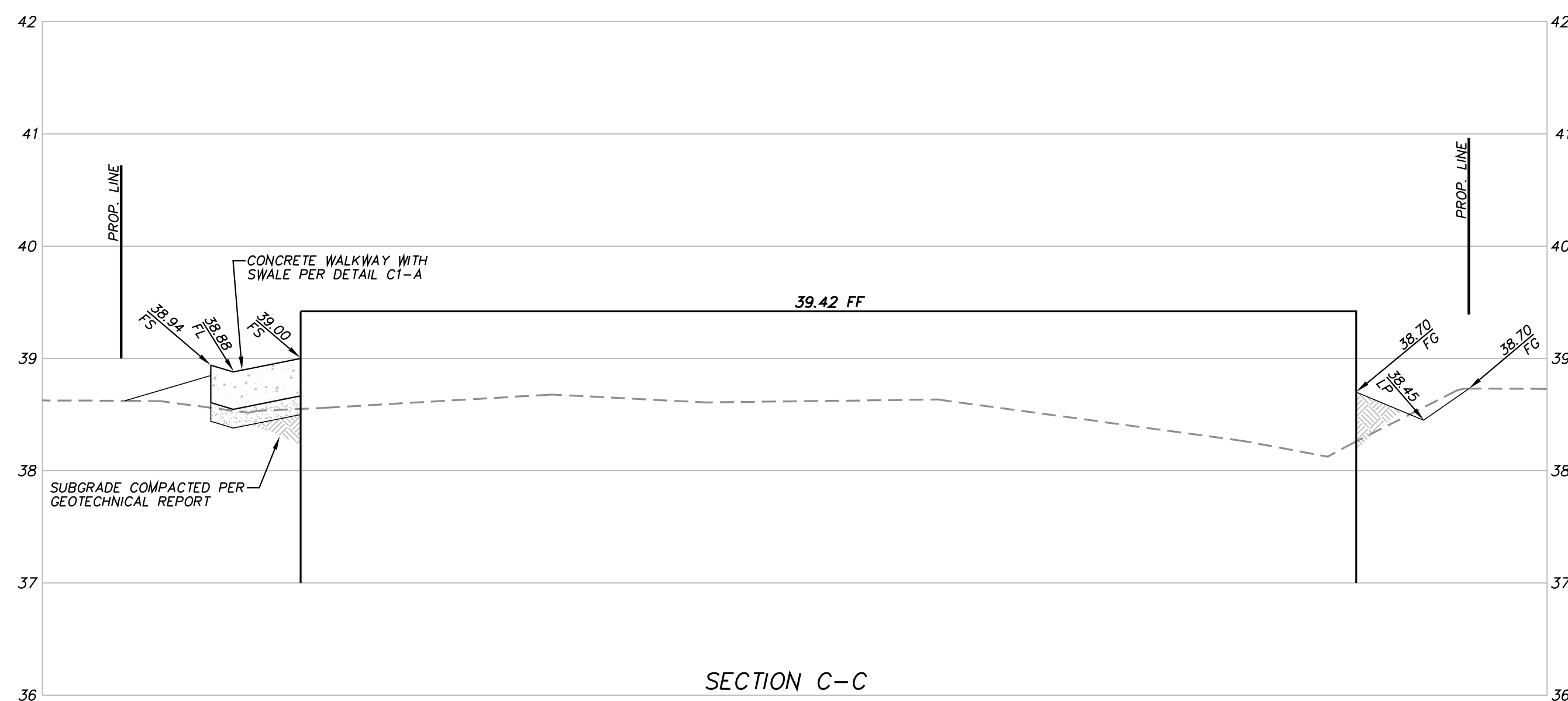
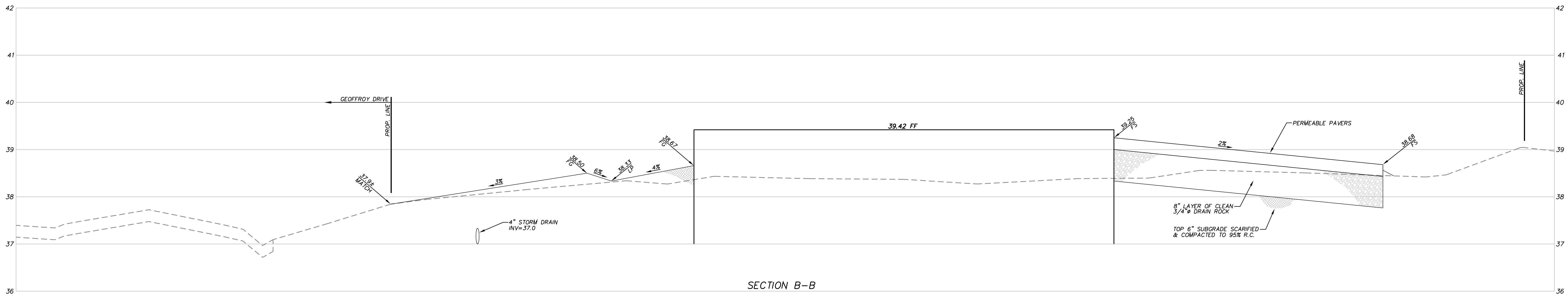
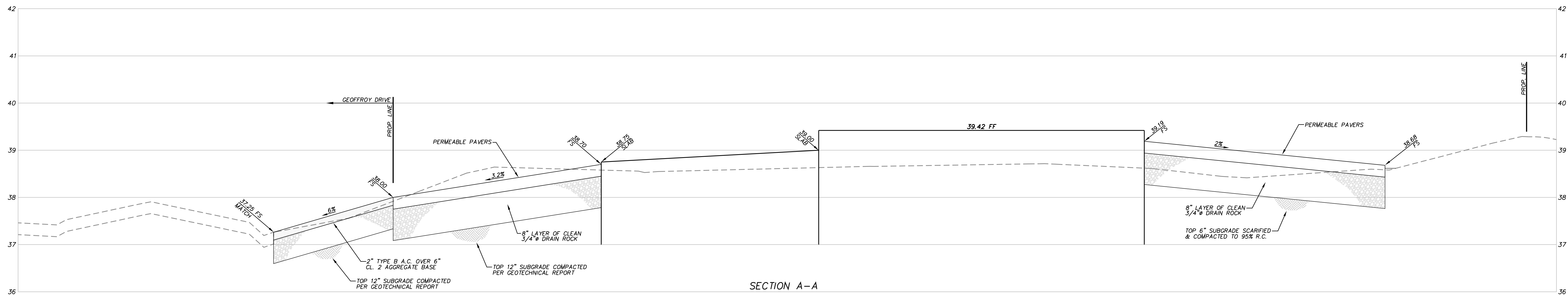
BFP	BACKFLOW PREVENTER	PROP	PROPERTY
ELEV	ELEVATION	SS	SANITARY SEWER
FD	FOUND	SYC	SYCAMORE
G	GAS	W	WATER
IP	IRON PIPE	WV	WATER VALVE

DEMOLITION NOTES

- 1 REMOVE EXISTING CONCRETE PARKING PAD AND CURB.
- 2 REMOVE EXISTING SHED.
- 3 REMOVE EXISTING WELL SHED AND ABANDON EXISTING WELL PER COUNTY REQUIREMENTS.
- 4 REMOVE EXISTING BACK FLOW PREVENTER.

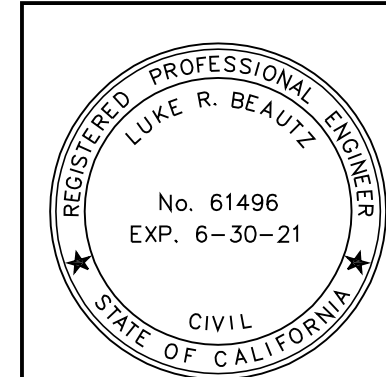
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LOT 39 **28-M-48**
TRACT NO 57
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SCALE: 1" = 5' NOVEMBER 2020
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EXISTING SITE SURVEY & DEMOLITION PLAN



PRELIMINARY SITE CROSS SECTIONS

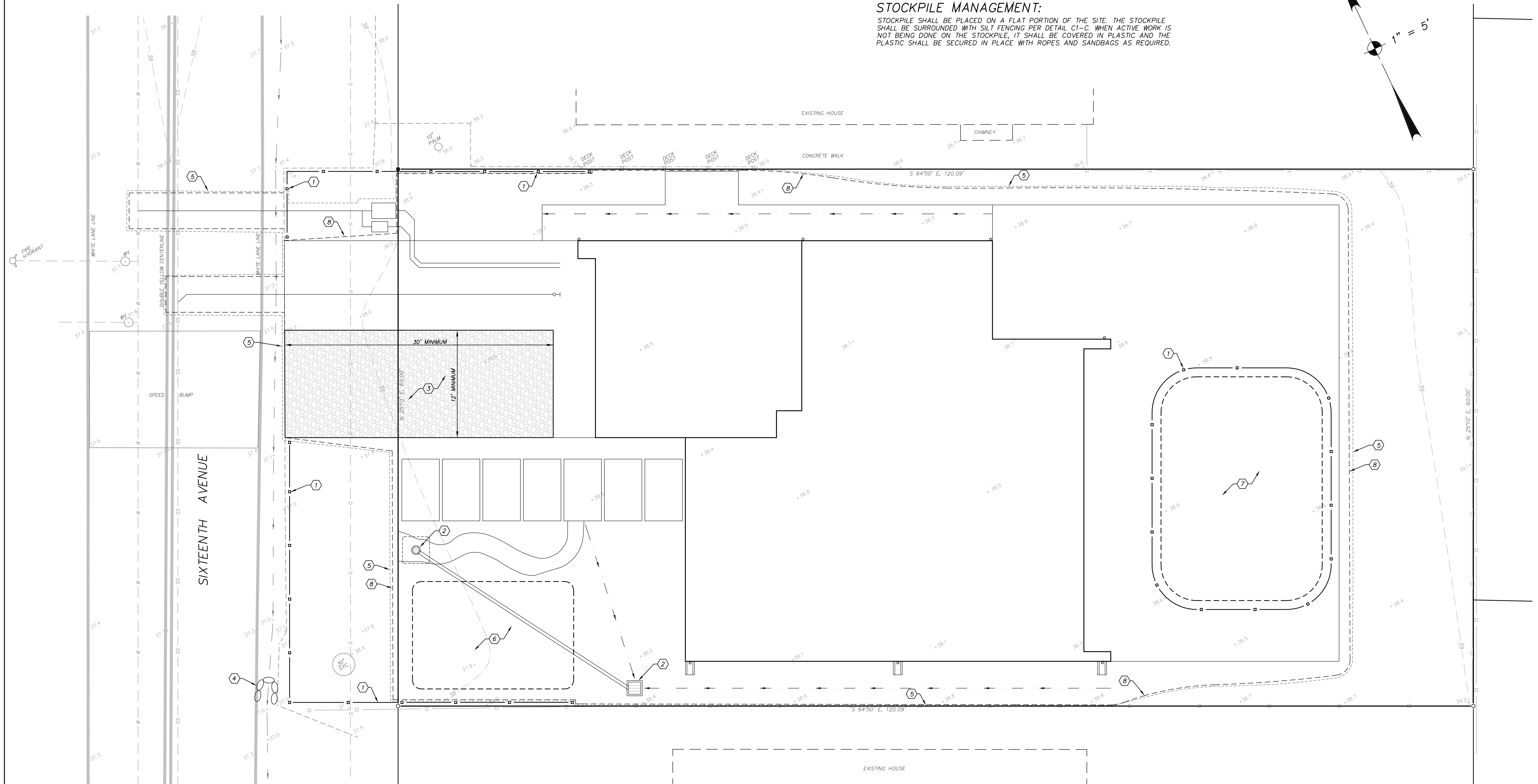
1" = 5' HORIZONTAL
1" = 1' VERTICAL



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STOCKPILE SHALL BE PLACED ON A FLAT PORTION OF THE SITE. THE STOCKPILE SHALL BE SURROUNDED WITH SILT FENCING PER DETAIL C1-C. WHEN ACTIVE WORK IS NOT BEING DONE ON THE STOCKPILE, IT SHALL BE COVERED IN PLASTIC AND THE PLASTIC SHALL BE SECURED IN PLACE WITH ROPES AND SANDBAGS AS REQUIRED.



- 1 CONSTRUCT SILT FENCE PER DETAIL C1-C.
- 2 INSTALL DROP INLET SEDIMENT BARRIER PER DETAIL C1-D.
- 3 CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE PER DETAIL C1-E.
- 4 PLACE GRAVEL BAGS ON EXISTING PAVEMENT IN ORDER TO FILTER RUNOFF.
- 5 LIMITS OF DISTURBANCE - AREA = 6,700 S.F.
- 6 EQUIPMENT STORAGE AND STAGING AREA.
- 7 SOIL STOCKPILE AREA.
- 8 LIMITS OF GRADING. MATCH EXISTING.

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