COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 211272 APN: 061-041-15
SITUS: 557 Crescent Lane, Paradise Park 95060

Proposal to rebuild a 270 square foot legal, non-conforming guest cabin with one full bath. Requires an Administrative Site Development Permit.

Property is located at the end of Crescent Lane in Paradise Park (557 Crescent Lane).

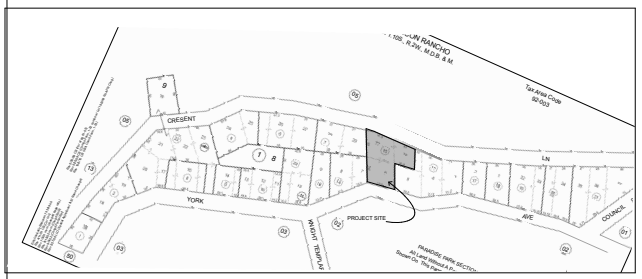
OWNER: Paradise Park Masonic Club
APPLICANT: Brad Bissell
SUPERVISORIAL DISTRICT: **5**
PLANNER: Elizabeth Cramblet, (831) 454-3027
EMAIL: Elizabeth.Cramblet@santacruzcounty.us

Public comments must be received by 5:00 p.m. December 14, 2021.

A decision will be made on or shortly after December 15, 2021.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. Planner will provide notification of decision to any requesting party.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.



PARCEL MAP
NTS

FIRE NOTES

These Plans are in compliance with California Residential Fire Codes (2019) as amended by the authority having jurisdiction.

Building numbers shall be a minimum of 4 inches in height on a contrasting background and visible from the street, additional numbers shall be installed on a directional sign at the property driveway and street.

Any new roof shall be no less than Class "B" rated roof.

Submitted plans shall be in compliance with California Building and Fire Codes (2016 edition) and SANTA CRUZ COUNTY Fire District Amendments.

REQUIRED and AVAILABLE FIRE FLOW: Fire flow requirements for this project are 1,000 gallons per minute. The available fire flow information can be obtained from the water company. The minimum fire-flow requirements for one- and two-family dwellings having a fire-flow calculation area which does not exceed 3,600 square feet (344.5 m2) shall be 1,000 gallons per minute (3785.4 L/min). Fire-flow and flow duration for dwellings having a fire-flow calculation area in excess of 3,600 square feet (344.5m2) shall not be less than that specified in Appendix Table B105.1 of the California Fire Code".

FIRE HYDRANT: *Public fire hydrant located*

Smoke alarms and CO detectors shall be be installed according to the following locations and approved by this agency as a minimum requirement. One alarm adjacent to each sleeping area and on each floor (hall, foyer, balcony, or etc.)

MINIMUM OF 48 HOURS NOTICE to the fire department is required prior to inspection.

Job copies of the building and fire systems plans and permits must be on-site during inspections.

As a condition of submittal of these plans, the submitter, designer and installer certify that these plans and details comply with applicable Specifications, Standards, Codes and Ordinances, agree that they are solely responsible for compliance with applicable Specifications, Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by this review, subsequent review, inspection or other source, and, to hold harmless and

PROJECT TEAM

OWNER'S MAILING ADDRESS:
BRAD BISSELL
1802 WOODLAND STREET
NASHVILLE, TN 37206
TEL: 615-688-4837
EMAIL: brad.bissell@cas.com

DRAFTING AND ENERGY:
LINDA BUTLER
124 OTIS STREET
SANTA CRUZ, CA 95060
TEL: 831-345-1028
E-MAIL: lbutler0853@gmail.com

STRUCTURAL ENGINEER:
TBD

LOT COVERAGE:

PARCEL AREA: 4,094 SQ FT
COVERAGE BY STRUCTURES OVER 18" HEIGHT:
1,714 SQ FT/4,800*100=25%

HABITABLE SPACE:

EXISTING RESIDENCE:	865 SQ FT
EXISTING CABIN:	270 SQ FT
PROPOSED:	
REBUILD CABIN:	270 SQ FT

TOTAL COVERAGE:
NO CHANGE IN COVERAGE

DRAWING INDEX:

A1-SITE PLAN, ROOF PLAN, PROJECT DATA
A1.1-STORM WATER PLAN
G-GREEN BUILDING MEASURES
A2-EXISTING AND PROPOSED FLOOR PLANS & ELEVATIONS
E1-ELECTRICAL PLAN

PROJECT DATA:

AREA OF WORK:
PROPOSED PROJECT INCLUDES DEMO OF EXISTING CABIN AND REBUILD WITH SLIGHT CHANGE TO FLOOR PLAN. THE EXISTING CABIN IN NON-CONFIRMING. ALL WORK TO BE IN ACCORDANCE WITH 2019 CALIFORNIA RESIDENTIAL CODE, 2019 MECHANICAL CODE, 2019 PLUMBING CODE, 2019 NATIONAL ELECTRICAL CODE, 2019 CEC ENERGY CODE, 2019 GREEN BUILDING CODES AND SCMC CHAPTER 18.

TYPE OF CONSTRUCTION: V-B,
NON-SPRINKLERED
OCCUPANNCY: R3/U
ZONING: R-1-4

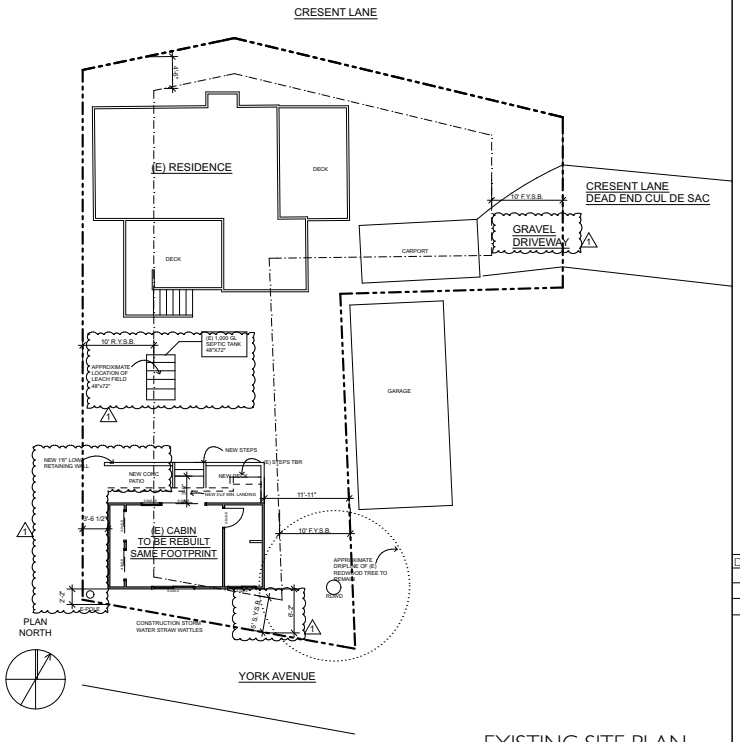
PARKING:
1 COVERED PARKING SPOTS, 1 UNCOVERED, NO CHANGE IN BEDROOMS

CONSTRUCTION WASTE PLAN

1. WORKSHEETS SHALL BE VERIFIED BY CONTRACTOR ONCE JOB CONTRACT HAS BEEN AWARDED
2. CONSTRUCTION AND DEMOLITION WASTE WILL BE SORTED ON-SITE AND TAKEN TO SANTA CRUZ COUNTY GREENWASTE RECOVERY OR THE NEAREST LANDFILL
3. THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH. DIVERSION RATE MUST BE 65%
4. THE CONTRACTOR SHALL FOLLOW THE GUIDELINES NOTED ON THE CWM PLAN BELOW TO IDENTIFY CONSTRUCTION METHODS FOR REDUCING THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE TO BE GENERATED.
5. ALL SUBCONTRACTOR FOREMEN SHALL SIGN THE CWM PLAN ACKNOWLEDGMENT SHEET.
6. THIS PROJECT SHALL GENERATE THE LEAST AMOUNT OF WASTE POSSIBLE BY PLANNING AND ORDERING CAREFULLY, FOLLOWING ALL PROPER STORAGE AND HANDLING PROCEDURES TO REDUCE BROKEN AND DAMAGED MATERIALS, AND REUSING MATERIALS WHENEVER POSSIBLE. THE MAJORITY OF THE WASTE THAT IS GENERATED ON THIS JOBSITE WILL BE DIVERTED FROM THE LANDFILL AND RECYCLED FOR OTHER USE.
7. SALVAGE: EXCESS MATERIALS THAT CANNOT BE USED IN THE PROJECT, NOR RETURNED TO THE VENDOR, WILL BE OFFERED TO SITE WORKERS, THE OWNER, OR DONATED TO CHARITY IF FEASIBLE.
8. GENRAL CONTRACTOR WILL TRACK AND CALCULATE THE QUANTITY (IN TONS) OF ALL WASTE LEAVING THE PROJECT ADRESS AND CALCULATE THE WASTE DIVERSION RATE FOR THE PROJECT. GENERAL CONTRACOR WILL PROVIDE BUILDING INSPECTOR WITH DOCUMENTATION UPON REQUEST. GEBRAL CONTRACTOR TO KEEP MONTHLY RECORDS OF WASTE LEAVING THE PROJECT ADDRESS.
9. IN THE EVENT THAT SUBCONTRACTORS FURNISH THEIR OWN DEBRIS BOXES AS PART OF THEIR SCOPE OF WORK, SUCH SUBCONTRACTORS SHALL NOT BE EXCLUDED FROM COMPLYING WITH THE CWM PLAN AND WILL PROVIDE GENERAL CONTRACTOR WEIGHT AND WASTE DIVERSION DATA FOR THEIR DEBRIS BOXES.
10. IN THE EVENT THAT SITE USE CONSTRAINTS (SUCH AS LIMITED SPACE) RESTRICT THE NUMBER OF DEBRIS BOXES THAT CAN BE USED FOR COLLECTION OF DESIGNATED WASTE THE PROJECT SUPERINTENDENT WILL AS DEEMED APPROPRIATE, ALLOCATE SPECIFIC AREAS ONSITE WHERE INDIVIDUAL MATERIAL TYPES ARE TO BE CONSOLIDATED. THESE COLLECTION POINTS ARE NOT TO BE CONTAMINATED WITH NON-DESIGNATED WASTE TYPES.

GENERAL NOTES:

1. All work shall be performed in accordance with all applicable codes, regulations and ordinances having jurisdiction.
2. Designer assumes no responsibility for the completeness of plans for bid purposes prior to issuance of the building permit. The general contractor and all subcontractors shall verify all dimensions and conditions on the job site prior to beginning of construction.
3. Contractor is responsible for examining all contract documents, field conditions, and confirming that work is buildable as shown before proceeding with construction. If there are any questions regarding these or other coordination items, the contractor is responsible for obtaining a clarification from the designer or owner before proceeding with work in question or related work.
4. Prior to the issuance of a building permit, the applicant shall have evidence of current Workman's Compensation insurance coverage on file, in compliance with section 3800 of the California Labor Code.
5. Dimensions on drawings are shown to faces of walls and partitions or finished face of existing walls unless noted otherwise.
6. Contractor shall verify and be responsible for all dimensions and conditions on the job and shall notify the designer of any discrepancies immediately before commencing any work.
7. Contractor shall check and verify size and location of duct openings and plumbing runs with mechanical contractor before framing walls, floors, etc.
8. Install all manufactured items, materials and equipment in strict accordance with the manufacturer's specifications.
9. "Typical" or "Typ" as used in these documents shall mean that the condition is the same or representative for all similar conditions throughout, unless noted otherwise.
10. Details are usually keyed and noted "typical" only once, when they first occur and are representative of all similar conditions throughout, unless noted otherwise.
11. Contractor shall be responsible for the general cleaning of a job after its completion. Cleaning shall include the interior of the building and the path of travel to the job site and shall include the parking lot and yard.
12. **OPERATION AND MAINTENANCE MANUAL: Contractor to provide operation and maintenance manual and provide a disk to the building owner at the completion of the project.**



EXISTING SITE PLAN
Scale: 1/8"=1'-0"

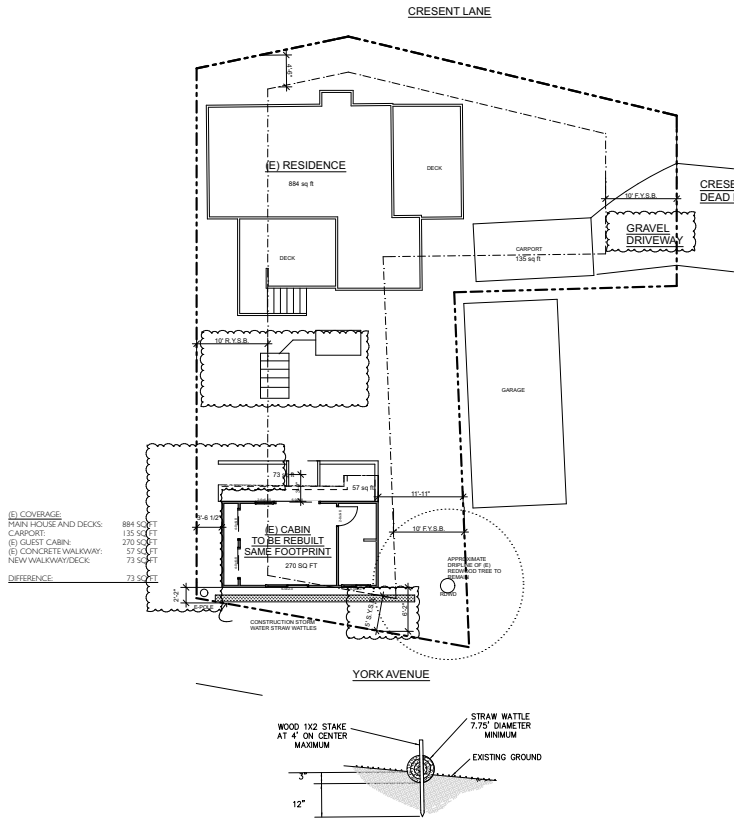
INTELLIGENT HOUSE DESIGN
LINDA BUTLER
124 OTIS STREET
SANTA CRUZ, CA 95060
PHONE: 831-345-1028
E-Mail: lbutler0853@gmail.com

OWNER:
BISSELL CABIN REBUILD
557 CRESENT LANE
SANTA CRUZ, CA
APN# 061-041-15

SITE PLAN
PROJECT DATA

DISCRETIONARY PERMIT
6/28/21
1 9/28/21

A1



SECTION

STRAW WATTLE DETAIL

NO SCALE

TEMPORARY WATER POLLUTION CONTROL DETAILS (TEMPORARY DRAINAGE INLET PROTECTION)

EROSION CONTROL REQUIREMENTS

THE FOLLOWING EROSION CONTROL AND HOUSE KEEPING MEASURES ARE INTENDED TO CONTROL THE RELEASE OF SILT, DUST, GARBAGE AND ANY OTHER POLLUTANTS FROM THE SITE OR INTO THE ATMOSPHERE AND SOIL DURING CONSTRUCTION. THESE MEASURES ARE INTNEDED TO COMPLY WITH FEDERAL, STATE AND LOCAL REQUIREMENTS THROUGH THE USE OF BEST MANAGEMENT PRACTICES (BMP's)LISTED BELOW.

1. COVER OF BARE SOIL: ONE OF THE FOLLOWING MEASURES SHALL BE USED TO COVER BARE SOIL DURING THE WINTER SEASON (OCTOBER 15TH TO APRIL 15TH);

   SEED AND STRAW MULCH
   SEED AND STRAW MULCH SHALL BE USED IN DISURBED AREAS AS A MEANS FOR TEMPORARY EROSION CONTROL UNTIL PERMANENT STABILIZATION IS ESTABLISHED. IT MAY BE USED ON SLOPES UPTO 3:1 H:V (33%).

   SEED AND STRAW MULCH SHALL CONSIST OF SPREADING SEED (A MINIMUM OF 5 LBS/1000 SQ FT) OVER DISTURBED AREAS AND THEN PLACING A UNIFORM LAYER OF STRAW (2-3 BALES/1000 SQ FT) AND INCORPORATING IT INTO THE SOIL WITH A STUDDED ROLLER OR ANCHORING IT WITH A TACKIFIER STABILIZING EMULSION.

   SEED SHALL BE ANNUAL WINTER BARLEY AND THE STRAW SHALL BE DERIVED FROM RICE BARLY OR WHEAT.

   EROSION CONTROL BLANKETS (GEOTEXTILE OR EROSION MATS)
   EROSION CONTROL BLANKETS ARE REQUIRED ON SLOPES STEEPER THAN 3:1, HOWEVER THEY MAY BE USED ON GROUND SURFACES FLATTER THAN 3:1 IN LIEU OF SEED AND STRAW MULCH. SEEDING MUST BE PLACED ON THE DISTURBED GROUND PRIOR TO PLACEMENT OF THE EROSION CONTOL BLANKET AND DESCRIBED IN THE SEED AND STRAW MULCH SECTION ABOVE.

2. SEDIMENT CONTROL:

   FIBER ROLLS (WATTLES) SHALL BE PLACED AT THE DOWN SLOPE PERIMETER OF DISTURBANCE LIMITS TO PREVENT OR LIMIT SEDIMENT FROM LEAVING THE SITE. IN URBAN AREAS OR SITES DIRECTLY ADJACENT TO STREETS, FIBER ROLES SHALL BE PLACED AT THE BACK OF SIDEWALK OR CURB TO LIMIT SEDIMENT FROM ENTERING THE STREET.

   STORM DRAIN INLET PROTECTION:
   ALL STORM DRAIN INLETS ON THE SITE (NEW AND EXISTING) AND EXISTING DOWNSTREAM OFFSITE INLETS SHALL RECIEVED STORM DRAIN INLET PROTECTION AS SHOWN ON THE STORM DRAIN INLET PROTECT DETAIL ON THIS PLAN.

3. STABILIZED CONSTRUCTION EXIT:
   THIS DESIGNER DOES NOT BELIEVE THAT A STABILIZED CONSTRUCTION EXIT WOULD BE EFFECTIVE FOR THIS PROJECT. CONTRACTROR SHALL EFFECTIVELY LIMIT OFF SITE TRACKING BY SWEEPING THE STREET DAILIY IF NECESSARY AND BY OTHER MEANS AS DEVISED BY THE CONTRACTOR OR DIRECTED BY THE COUNTY INSPECTOR.

4. ROCKED ACCESS AREAS:
   CONTRACTOR SHALL PROVIDE A ROCKED ACCESS AREA WERE CONSTRUCTION VEHICLES PARK, TRAVEL AND WORK. ROCKED ACCESS AREAS SHALL CONSIST OF 6" OF COMPACETED BASE ROCK OR DRAIN ROCK. ROCKED ACCESS AREAS ARE INTENDED TO KEEP CONSTRUCTION VEHICLES OFF OF BARE SOIL.

5. HOUSE KEEPING REQUIREMENTS:

   DUST CONTROL/WIND EROSION CONTROL:
   CONTRACTOR SHALL EFFECTIVELY LIMIT DUST AND WIND EROSION BY WATERING THE SITE AS NEEDED AND KEEPING ALL MATERIAL STOCK PILES COVERED WHEN NOT IN USE.

   CONSTRUCTION MATERIALS:
   ALL LOOSE OF STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL SPOILS, AGGREGATE FLY ASH, STUCCO, HYDRATED LIME, ETC) SHALL BE COVERED AND BERMED.
   ALL CHEMICALS SHALL BE STORED IN WATERTGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED, COMPLETELY ENCLOSED.
   EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE THOSE MATERIALS AND EQUIPMENT THTA ARE INTENDED TO BE OUTSIDE.
   BEST MANAGEMENT PRACTICES TO LIMIT AND PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION MATERIALS SHALL BE IMPLEMENTED.

   WASTE MANAGEMENT:
   DISPOSAL OF ANY RINSE OR WASH WATER OR MATERIALS ON IMPERVIOUS OR PERVIOUS SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
   SANITATION FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS. PORTABLE TOILETS SHALL BE LOCATED A MINIMUM OF 20' FROM DRAIN INLETS, STREETS, DRIVEWAYS, DRAINAGE FACILITIES, STREAMS OR OTHER RIPARIAN AREAS.
   SANITATION FACILITIES SHALL BE INSECTED REGULARLY AND CLEANED AND REPLACED AS NECESSARY.
   COVER WASTE AND DISPOSAL CONTAINERS AT THE END OF EACH WORK DAY AND DURING EACH RAIN EVENT.
   DISCHARGES FROM WASTE DISPSOAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM SHALL BE PREVENTED.
   STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
   PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
   EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE SO THAT SPILLS AND LEAKS CAN AND SHALL BE CLEANED IMMEDIATLEY AND DISPOSED OF PROPERLY.
   CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT CONTAIN POSSIBLE POLLUTANTS SHALL BE CONSTRUCTED TO EFFIECTIVELY CONTAIN POLLUTANTS SO THAT THERE IS NO DISCHARGE INTO THE SOIL OR SURROUNDING AREA.

6. VEHICLE STORAGE & MAINTENANCE:
   MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE OR FUEL FROM LEAKING ONTO THE GROUND OR INTO STORM DRAINS OR SURFACE WATERS.
   ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED , MAINTAINED AND STORED ON SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP's.
   LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

7. LANDSCAPE MATERIALS:
   CONTAIN STOCKPILED AND STORED MATERIALS SUCH AS MULCHES, TOPSOIL, FERTILIZERS AND OTHER LANDSCAPE MATERILS WHEN THEY ARE NOT BEING ACTIVELY USED.
   DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCPAE MATERIALS WITHIN 2 DAYS BEFORE A FORECAST RAIN EVENT OR DURING PERIODS OF RAIN.
   APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MAUFACTURES' RECOMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED PERSONNEL.

INTELLIGENT HOUSE DESIGN
LINDA BUTLER
124 OTIS STREET
SANTA CRUZ, CA 95060
PHONE: 831-345-1028
E-Mail: lbutler0853@gmail.com

OWNER:
BISSELL CABIN REBUILD
557 CRESENT LANE
SANTA CRUZ, CA
APN# 061-041-15

STORM WATER PLAN

DISCRETIONARY PERMIT
6/28/21

A1.1

4.504 POLLUTANT CONTROL

4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.
2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of *California Code of Regulations*, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(a)(1) and (f)(1) of *California Code of Regulations*, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

1. Manufacturer's product specification.
2. Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMIT[1,2]

(Less Water and Less Exempt Compounds in Grams per Liter)

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SEALANT VOC LIMIT

(Less Water and Less Exempt Compounds in Grams per Liter)

SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS[1,3]

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS[2]	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS[1]

MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD[2]	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the testing and product requirements of at least one of the following:

1. Carpet and Rug Institute's Green Label Plus Program.
2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1, February 2010 (also known as Specification 01350).
3. NSF/ANSI 140 at the Gold level.
4. Scientific Certifications Systems Indoor Advantage™ Gold.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed , at least 80% of floor area receiving resilient flooring shall comply with one or more of the following:

1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers", Version 1.1, February 2010 (also known as Specification 01350).

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the *California Building Standards Code*.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter.Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
   a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
   b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

Notes:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the *California Energy Code*.

4.507 ENVIRONMENTAL COMFORT

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the *California Plumbing Code*, and shall meet the applicable standards referenced in Table 1701.1 of the *California Plumbing Code*.

NOTE:
THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE

4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

NOTES:

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the *California Code Regulations*, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.

Exceptions:

1. Excavated soil and land-clearing debris.
2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).
3. Identify diversion facilities where the construction and demolition waste material collected will be taken.
4. Identify construction methods employed to reduce the amount of construction and demolition waste generated.
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2. Items 1 through 5, Section 4.408.3 or Section 4.408.4.

Notes:

1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.
2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
2. Operation and maintenance instructions for the following:
   a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
   b. Roof and yard drainage, including gutters and downspouts.
   c. Space conditioning systems, including condensers and air filters.
   d. Landscape irrigation systems.
   e. Water reuse systems.
3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
4. Public transportation and/or carpool options available in the area.
5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
6. Information about water-conserving landscape and irrigation design and controllers which conserve water.
7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
9. Information about state solar energy and incentive programs available.
10. A copy of all special inspections verifications required by the enforcing agency or this code.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.

DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL

4.501.1 Scope

The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS

5.102.1 DEFINITIONS

The following terms are defined in Chapter 2 *(and are included here for reference)*

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

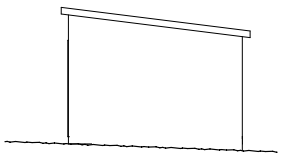
INTELLIGENT HOUSE DESIGN
LINDA BUTLER
124 OTIS STREET
SANTA CRUZ, CA 95060
PHONE: 831-345-1028
E-Mail: lbutler0853@gmail.com

OWNER:
BISSELL CABIN REBUILD
557 CRESENT LANE
SANTA CRUZ, CA
APN# 061-041-15

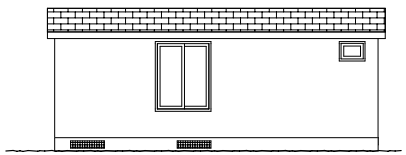
GREEN BUILDING MANDATORY MEASURES

DISCRETIONARY PERMIT
6/28/21

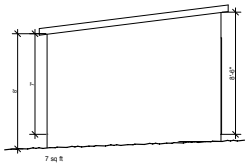
G



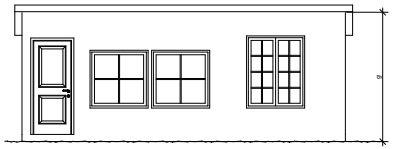
EXISTING WEST ELEVATION
Scale: 1/4"=1'-0"



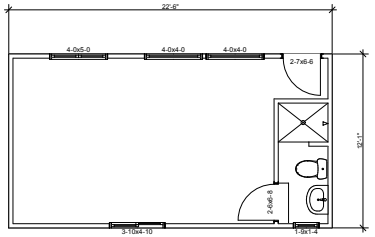
EXISTING SOUTH ELEVATION
Scale: 1/4"=1'-0"



EXISTING EAST ELEVATION
Scale: 1/4"=1'-0"



EXISTING NORTH ELEVATION
Scale: 1/4"=1'-0"



EXISTING FLOOR PLAN
Scale: 1/4"=1'-0"

NATURAL "RUST" 7/8" CORRUGATED SIDING AND ROOF

be the best available option.Weathering steels, such as ASTM A588, A242, A606 and Corten exhibit superior corrosion resistance over regular carbon steel as a result of the development of a protective oxide film on the metals surface which slows down further corrosion. We also sell bare cold rolled metal roofing. Bare cold rolled steel will give you a very similar look at a lower price, but will have a lesser lifespan.

PRODUCTS

7/8" CORRUGATED

7/8" corrugated metal roofing has deep wavy corrugations that look stunning on your metal roof. Structurally strong, incredibly impact resistant. Our most popular panel.

WINDOW SCHEDULE MILGARD OR EQUAL (SEE T-24 REPORT FOR U-FACTOR

#	SIZE	TYPE	COUNT	NOTES
1	6'-0"X6'-8"	HORIZONTAL SLIDING DOOR	1	TEMPERED
2	2'-6"X6'-8"	VERTICAL SLIDER	1	TEMPERED
3	4'-0"X2'-0"	HORIZONTAL SLIDER	1	TEMPERED
4	6'-0"X2'-0"	HORIZONTAL SLIDER	1	TEMPERED

DOOR SCHEDULE

#	SIZE	TYPE	COUNT	NOTES
1	2'-8"X6'-8"	WOOD INTERIOR DOOR	1	
2	4'-0'-0"X6'-8"	WOOD INTERIOR DOOR	2	

WINDOW NOTES:
WINDOWS 18" OR LESS FROM FINISH FLOOR TO BE TEMPERED

EGRESS WINDOW SILL SHALL BE NO MORE THAN 44" OFF THE GROUND, MINIMUM NET CLEAR OPENING OF 5.7 SQ FT, MINIMUM 24" HIGH BY 20" WIDE.
GLAZING WITHIN A 24" ARCH OF A DOORS VERTICAL EDGE AND LESS THAN 60" ABOVE WALKING SURFACE SHALL BE TEMPERED. GLAZING IN WALLS ENCLOSING A SHOWER OR BATHTUB WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60" ABOVE STANDING SURFACE AND DRAIN INLET SHALL BE TEMPERED.

FINISHES

1. VERIFY ALL FINISHES WITH THE OWNER
2. ALL CLOSET SHELVING AND BASEBOARDS SHALL MATCH ADJACENT ROOM
3. MOISTURE CONTENT OF BUILDING MATERIALS
   CONTROL AND VOC LEVELS ON A2
4. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE AIR RESOURCES BOARD ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT, OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.35, AND 4.37, THE 2007 CALIFORNIA AIR RESOURCES BOARD SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT, OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL APPLY.

MOISTURE CONTROL NOTES:
MOISTURE CONTENT OF BUILDING MATERIALS
WOOD FRAMING INSTALLED WITH A MOISTURE CONTENT OF 19% OR LESS AT THE TIME OF ENCLOSURE SHALL NOT BE REQUIRED TO BE DRIED BEFORE ENCLOSURE. WOOD FRAMING MEMBERS THAT EXCEED 19% MOISTURE CONTENT SHALL BE ALLOWED TO BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19-PERCENT MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:
1. MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL BE DONE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
2. MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET (610 MM) TO 4 FEET (1219 MM) FROM THE GRADE STAMPED END OF EACH PIECE TO BE VERIFIED.
3. AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE BEEN WETTED DURING CONSTRUCTION SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURERS' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

ANNULAR SPACES
ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS.

NOTES

A. WATER CLOSET SHALL BE NO CLOSER THAN 15" FROM IT'S CENTER TO ANY SIDE WALL OR OBSTRUCTION. THE CLEAR SPACE IN FRONT OF WATER CLOSET SHALL BE NO LESS THAN 24". WATER CLOSET TO BE1.28 GAL PER FLUSH

B. LAVATORY FAUCET SHALL BE MAX. 1.5 GPM @ 60 PSI
KITCHEN FAUCET SHALL BE MAX. 1.8 @ 60 PSI
SHOWER HEAD SHALL BE MAX. 1.8 GPM @ 80 PSI

C. USE FIBER CEMENT BACK BOARD FOR SHOWER ENCLOSURE, R702.4.2. SHOWER WALLS SHALL BE FINISHED WITH A HARD, NON ABSORBANT SURFACE TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE DRAIN INLET. SHOWER DOOR SHALL BE SAFETY GLAZED. SHOWER HEAD SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS OR BE OTHERWISE ARRANGED SO THAT THE SHOWER HEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE ON THE COMPARTMENTS AND THE BATHER CAN ADJUST VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY. MINIMUM SHOWER COMPARTMENTS AREA TO BE 1024 SQ INCHES CAPABLY OF ENCOMPASSING A 30" CIRCLE.

D. SHOWER/TUB COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE THERMOSTATIC MIXING OR PRESSURE BALANCE TYPE. CPC SECTION 408.3

E. EXTERIOR OUT SWINGING DOORS SHALL HAVE A 36" MIN LANDING IN THE DIRECTION OF TRAVEL. OUT SWINGING DOORS SHALL HAVE A THRESHOLD NO GREATER THAN 1 1/2". EGRESS DOORS SHALL HAVE A NET CLEAR OPENING NO LESS THAN 32" WIDE AND 78" HIGH.

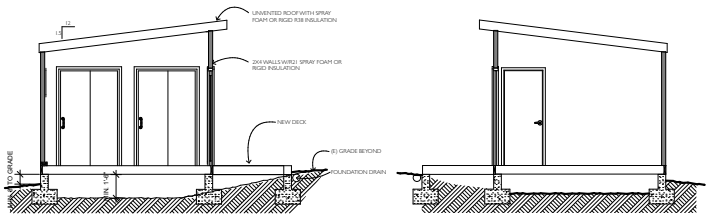
F. EGRESS WINDOW SILL SHALL BE NO MORE THAN 44" OFF THE GROUND, MINIMUM NET CLEAR OPENING OF 5.7 SQ FT, MINIMUM 24" HIGH BY 20" WIDE

G. FOR FINISH MATERIAL, PAINTS, SEALANTS AND CAULKS SEE VOC NOTES

H. STEPS AND STAIRS: MAXIMUM RISER HEIGHT SHALL BE 7 3/4" BETWEEN LEADING EDGES. TREAD DEPTH SHALL BE NOT LESS THAN 10" MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT THREADS AT A RIGHT ANGLE TO THE TREADS LEADING EDGE. THREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". HEADROOM SHALL NOT BE LESS THAN 6'-8". LANDINGS TO BE MIN. 36" MEASURED IN THE DIRECTION OF TRAVEL. LANDINGS SHALL NOT BE MORE THAN 1.5" LOWER THEN TOP OF THRESHOLD WITH OURSWINGING DOOR. 7.75" IF DOOR IS NOT OUTSWINGING.

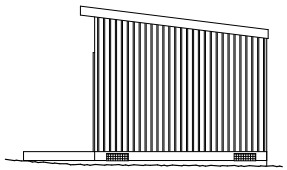
I. ADDRESS NUMBERS SHALL BE CLEARLY VISIBLE FROM THE STREET AND A MINIMUM OF 4" HIGH WITH A MINIMUM OF 1/2" STROKE PER R319.1

J. ENVIRONMENTAL DUCT EXHAUST SUCH AS KITCHEN RANGE EXHAUST, BATHROOM EXHAUST AND CLOTHES DRYER EXHAUST SHALL TERMINATE 3' FROM PROPERTY LINE AND 3' FROM ANY OPENINGS. ALL EXHAUST FANS MUST HAVE BACK DRAFT DAMPERS.

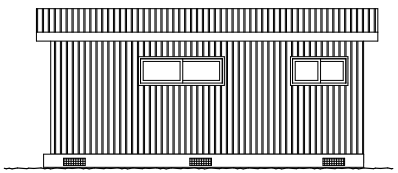


SECTION 1/A2
Scale: 1/4"=1'-0"

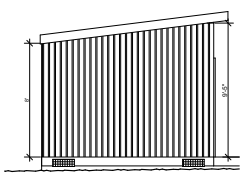
SECTION 2/A2
Scale: 1/4"=1'-0"



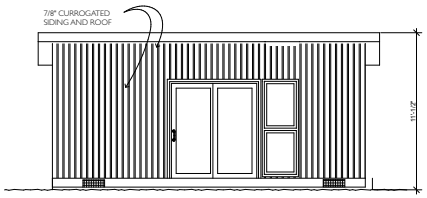
PROPOSED WEST ELEVATION
Scale: 1/4"=1'-0"



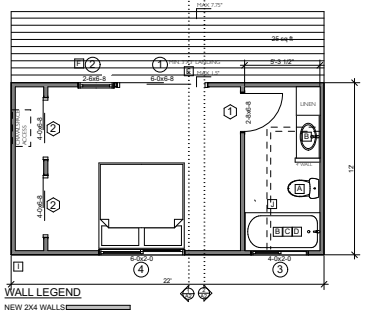
PROPOSED SOUTH ELEVATION
Scale: 1/4"=1'-0"



PROPOSED EAST ELEVATION
Scale: 1/4"=1'-0"



PROPOSED NORTH ELEVATION
Scale: 1/4"=1'-0"



PROPOSED FLOOR PLAN
Scale: 1/4"=1'-0"

INTELLIGENT HOUSE DESIGN
LINDA BUTLER
124 OTIS STREET
SANTA CRUZ, CA 95060
PHONE: 831-345-1028
E-Mail: lbutler0853@gmail.com

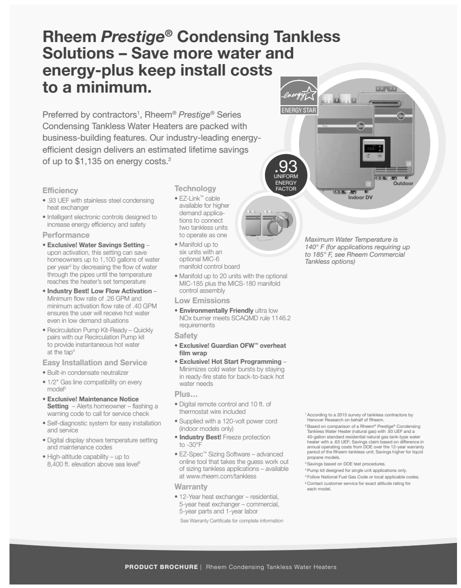
OWNER:
BISSELL CABIN REBUILD
557 CRESENT LANE
SANTA CRUZ, CA
APN# 061-041-15

EXISTING AND PROPOSED FLOOR PLANS,
PROPOSED ELEVATIONS AND SECTIONS

DISCRETIONARY PERMIT
6/28/21

A2


Indoor units designed to provide a more comfortable environment.
A wide range of indoor unit types and tonnages mean the right solution for every application.
Wall-Mounted, Non-Ducted Indoor Unit
• 9,000—30,000 Btuh
• 115V and 208-230V options
• Three-speed fan
• 3 refrigerant outlet access points
Ceiling-Cassette, Non-Ducted Indoor Unit
• 9,000—48,000 Btuh
• 208-230V
• 360° airflow panel
• Four-speed fan
• Built-in condensate pump
Medium Static, Ducted Indoor Unit
• 9,000—48,000 Btuh
• 208-230V
• Slim, compact design
• Three-speed fan
• Built-in condensate pump
• Multiple return-air opening options
Ceiling/Floor, Non-Ducted Indoor Unit
• 24,000—48,000 Btuh
• 208-230V
• Three-speed fan
• Two installation orientations
• Multiple refrigerant line access points
A number of automation and comfort-focused features mean occupants can work in their ideal environment without a second thought.
Whisper-Low Sound Levels Operates with sound levels as low as 29dBA.
LED Readout Panel with Infrared Receiver Displays operation status and codes for maintenance and servicing.
24-Hour Timer Allows users to automatically turn the unit on or off on a desired schedule.
Washable Filter Preserves indoor air quality and reduces waste.
Flare Connections Equipped with flare fitting for quick and secure piping.
Preheat Function Prevents operation during heating mode until the indoor coil has sufficiently warmed.
Self-Cleaning Wall-mounted units self-clean to prevent mold and bacteria growth.
Auto Restart Restores operation automatically following a power failure.
Controls


Rheem Prestige® Condensing Tankless Solutions – Save more water and energy-plus keep install costs to a minimum.
Preferred by contractors¹, Rheem® Prestige® Series Condensing Tankless Water Heaters are packed with business-building features. Our industry-leading energy-efficient design delivers an estimated lifetime savings of up to $1,135 on energy costs.²
ENERGY STAR
.93 UNIFORM ENERGY FACTOR
Indoor DV
Outdoor
Efficiency
• .93 UEF with stainless steel condensing heat exchanger
• Intelligent electronic controls designed to increase energy efficiency and safety
Performance
• Exclusive! Water Savings Setting – upon activation, this setting can save homeowners up to 1,100 gallons of water per year³ by decreasing the flow of water through the pipes until the temperature reaches the heater's set temperature
• Industry Best! Low Flow Activation – Minimum flow rate of .26 GPM and minimum activation flow rate of .40 GPM ensures the user will receive hot water even in low demand situations
• Recirculation Pump Kit-Ready – Quickly pairs with our Recirculation Pump kit to provide instantaneous hot water at the tap⁴
Easy Installation and Service
• Built-in condensate neutralizer
• 1/2" Gas line compatibility on every model⁵
• Exclusive! Maintenance Notice Setting – Alerts homeowner – flashing a warning code to call for service check
• Self-diagnostic system for easy installation and service
• Digital display shows temperature setting and maintenance codes
• High-altitude capability – up to 8,400 ft. elevation above sea level⁶
Technology
• EZ-Link™ cable available for higher demand applications to connect two tankless units to operate as one
• Manifold up to six units with an optional MIC-6 manifold control board
• Manifold up to 20 units with the optional MIC-185 plus the MICS-180 manifold control assembly
Low Emissions
• Environmentally Friendly ultra low NOx burner meets SCAQMD rule 1146.2 requirements
Safety
• Exclusive! Guardian OFW™ overheat film wrap
• Exclusive! Hot Start Programming – Minimizes cold water bursts by staying in ready-fire state for back-to-back hot water needs
Plus...
• Digital remote control and 10 ft. of thermostat wire included
• Supplied with a 120-volt power cord (indoor models only)
• Industry Best! Freeze protection to -30°F
• EZ-Spec™ Sizing Software – advanced online tool that takes the guess work out of sizing tankless applications – available at www.rheem.com/tankless
Warranty
• 12-Year heat exchanger – residential, 5-year heat exchanger – commercial, 5-year parts and 1-year labor
See Warranty Certificate for complete information
Maximum Water Temperature is 140° F (for applications requiring up to 185° F, see Rheem Commercial Tankless options)
¹ According to a 2015 survey of tankless contractors by Hanover Research on behalf of Rheem.
² Based on comparison of a Rheem® Prestige® Condensing Tankless Water Heater (natural gas) with .93 UEF and a 40-gallon standard residential natural gas tank-type water heater with a .63 UEF; Savings claim based on difference in annual operating costs from DOE over the 12-year warranty period of the Rheem tankless unit; Savings higher for liquid propane models.
³ Savings based on DOE test procedures.
⁴ Pump kit designed for single unit applications only.
⁵ Follow National Fuel Gas Code or local applicable codes.
⁶ Contact customer service for exact altitude rating for each model.
PRODUCT BROCHURE | Rheem Condensing Tankless Water Heaters

LUMINAIRES IN CLOSETS

Luminaires in Clothes Closets. (PER CEC 410.16)

A. Only luminaires of the following types shall be permitted in a closet:
   (1) Surface-mounted or recessed LED luminaires with a completely enclosed light sources
   (2) Surface-mounted or recessed fluorescent luminaires
   (3) Surface-mounted fluorescent or LED luminaires identified as suitable for installation within the closet storage space.

B. Location. The minimum clearance between luminaires installed in clothes closets and the nearest point of a closet storage space shall be as follows:
   (1) 300 mm (12 in.) for surface-mounted LED luminaires with a completely enclosed light source on the wall above the door or on the ceiling
   (2) 150 mm (6 in.) for surface-mounted fluorescent luminaires installed on the wall above the door or on the ceiling
   (3) 150 mm (6 in.) for recessed LED luminaires with a completely enclosed light source installed in the wall or the ceiling
   (4) 150 mm (6 in.) for recessed fluorescent luminaires installed in the wall or the ceiling (5) Surface-mounted fluorescent or LED luminaires shall be permitted to be installed within the closet storage space where identified for this use.

LIGHTING HI-EFFICACY NOTES AND JA8 NOTES:

1. ALL LIGHTING IS REQUIRED TO BE HI-EFFICACY
2. ALL LIGHTING/LUMINAIRES SHALL BE HIGH EFFICACY AND SHALL BE CONTROLLED BY A VACANCY SENSOR IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS. CEnC 150.0(k)
3. ALL HI-EFFICACY LIGHT FIXTURES CERTIFIED TO JA8 MUST BE CONTROLLED BY A DIMMER OR VACANCY SENSOR. EXCEPTIONS ARE PROVIDED FOR CLOSETS SMALLER THAN 70 SQ. FT. IN FLOOR AREA AND LIGHT FIXTURES FOR HALLWAYS CEnC 150.0(k)2K
4. JA8 MARKING IS REQUIRED FOR THE FOLLOWING:
   (A) ALL LIGHT SOURCES IN CEILING RECESSED DOWNLIGHT LUMINAIRES. NOTE THAT CEILING RECESSED DOWNLIGHT LUMINAIRES SHALL NOT HAVE SCREW BASES REGARDLESS OF LAMP TYPE AS DESCRIBED IN SECTION 150.0(k)1C
   (B) GU-24 SOCKETS CONTAINING LED LIGHT SOURCES. A GU-24 LAMP FITTING IS A TWO-PIN CONNECTOR
5. OUTDOOR LIGHTING TO BE HIGH-EFFICACY, CONTROLLED BY A MANUAL ON/OFF SWITCH, AND ONE OF THE FOLLOWING:
   - PHOTOCONTROL AND MOTION SENSOR
   - PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL
   - ASTRONOMICAL TIME SWITCH CONTROL
   - ENERGY MANAGEMENT CONTROL SYSTEM PER CEnC 150.0(k)3
6. RECESSED LUMINAIRES ARE REQUIRED TO BE LABELED FOR ZERO CLEARANCE INSULATION COVERAGE (IC) & SHALL BE LABELED AIR TIGHT (AT)

ELECTRICAL CIRCUIT NOTES:

1. 2 SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED FOR THE KITCHEN AND ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS FOR THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM OR SIMILAR AREAS. NOTE: THESE CIRCUITS CANNOT SERVE OUTSIDE PLUGS, RANGE HOOD, DISPOSALS, DISHWASHERS, OR MICROWAVES - ONLY THE REQUIRED COUNTERTOP/WALL OUTLETS INCLUDING THE REFRIG. (CEC 210-11(c)(1) & 210-52(b)).
2. A DEDICATED 30-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET. (CEC 210-11(c)(2) & 210-52(f)).
3. A DEDICATED 20-AMP CIRCUIT IS REQ. TO SERVE THE REQ. BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION- WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED.) (CEC 210-11(c)(3) & 210-52).
4. A GROUNDING ELECTRODE SYSTEM INCLUDING BONDING OF GAS AND WATER LINES IS REQUIRED BY CEC 250-50.
5. PROVIDE FOUR CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND A FOUR-PRONG OUTLET FOR DRYERS AND COOKING UNITS.
6. LIGHT FIXTURES IN CLOSETS TO BE MINIMUM 12" FROM FACE OF SHELF IF INCANDESCENT, 6" IF FLUORESCENT OR RECESSED. CEC 410-8
7. LUMINAIRES INSTALLED IN WET OR DAMP LOCATIONS SHALL BE INSTALLED SO THAT WATER CANNOT ENTER OR ACCUMULATE IN WIRING COMPARTMENTS LAMPHOLDERS, OR OTHER ELECTRICAL PARTS. ALL LUMINAIRES SHALL BE MARKED: SUITABLE FOR WET LOCATIONS, OR SUITABLE FOR DAMP LOCATIONS CEC 410.4 (A).
8. ALL EXTERIOR RECEPTACLE OUTLETS TO BE WATERPROOFING PROTECTED.
9. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15 AND 20 AMP OUTLETS (LIGHTING & RECEPTACLES) INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI). PER CEC 210.12(B).
10. ARC-FAULT CIRCUIT-INTERRUPTOR: THE MAXIMUM LENGHT OF THE BRANCH CIRCUIT TO THE AFCI IS 50 FEET FOR 14 AWG CONDUCTORS OR 70 FEET FOR 12 AWG CONDUCTOR
11. All 125-volt, 15 and 20 ampere receptacle outlets shall be listed tamper-resistant receptacles. PER CEC 406.11

§ 150.0(o)1G: Kitchen Range Hoods. Kitchen range hoods must be rated for sound in accordance with Section 7.2 of ASHRAE 62.2.

§ 150.0(o)2: Field Verification and Diagnostic Testing. Dwelling unit ventilation airflow must be verified in accordance with Reference Residential Appendix RA3.7. A kitchen range hood must be verified in accordance with Reference Residential Appendix RA3.7.4.3 to confirm it is rated by HVI to comply with the airflow rates and sound requirements as specified in Section 5 and 7.2 of ASHRAE 62.2.

§ 150.0(o)2: Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements § 110.9: of § 110.9.*
§ 150.0(k)1A: Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A.

§ 150.0(k)1B: Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or § 150.0(k)1B: other device must be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensor control, or fan speed control.

§ 150.0(k)1C: Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must meet all of the requirements for: insulation contact (IC) labeling; air leakage; sealing; maintenance; and socket and light source as described in § 150.0(k)1C.

§ 150.0(k)1D: Electronic Ballasts for Fluorescent Lamps. Ballasts for fluorescent lamps rated 13 watts or greater must be electronic and must have an output frequency no less than 20 kHz.

§ 150.0(k)1E: Night Lights, Step Lights, and Path Lights. Night lights, step lights and path lights are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided they are rated to consume no more than 5 watts of power and emit no more than 150 lumens.

§ 150.0(k)1F: Lighting Integral to Exhaust Fans. Lighting integral*to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods)

§ 150.0(k)1G: Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8.*

§ 150.0(k)1H: Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.

§ 150.0(k)1I: Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required to § 150.0(k)1I: comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.

§ 150.0(k)2A: Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.

§ 150.0(k)2B: Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems.*

§ 150.0(k)2C: Interior Switches and Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned ON and OFF.*

§ 150.0(k)2D: Interior Switches and Controls. Controls and equipment must be installed in accordance with manufacturer's instructions.

§ 150.0(k)2E: Interior Switches and Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the control is installed to comply with § 150.0(k).

§ 150.0(k)2F: Interior Switches and Controls. Lighting controls must comply with the applicable requirements of § 110.9.

§ 150.0(k)2G: Interior Switches and Controls. An energy management control system (EMCS) may be used to comply with control requirements if it: § 150.0(k)2G: provides functionality of the specified control according to § 110.9; meets the Installation Certificate requirements of § 130.4; meets the EMCS requirements of § 130.0(e); and meets all other requirements in § 150.0(k)2.

§ 150.0(k)2H: Interior Switches and Controls. A multiscene programmable controller may be used to comply with dimmer requirements in § 150.0(k) if it provides the functionality of a dimmer according to § 110.9, and complies with all other applicable requirements in § 150.0(k)2.

§ 150.0(k)2I: Interior Switches and Controls. In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by an occupant sensor or a vacancy sensor providing automatic-off functionality. If an occupant sensor is installed, it must be initially configured to manual-on operation using the manual control required under Section 150.0(k)2C.

§ 150.0(k)2J: Interior Switches and Controls. Luminaires that are or contain light sources that meet Reference Joint Appendix JA8 requirements for dimming, and that are not controlled by occupancy or vacancy sensors, must have dimming controls.*

§ 150.0(k)2K: Interior Switches and Controls. Under cabinet lighting must be controlled separately from ceiling-installed lighting systems.

§ 150.0(k)3A: Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other § 150.0(k)3A: buildings on the same lot, must meet the requirement in item § 150.0(k)3Ai (ON and OFF switch) and the requirements in either

§ 150.0(k)3Aii (photocell and either a motion sensor or automatic time switch control) or § 150.0(k)3Aiii (astronomical time clock), or an EMCS.

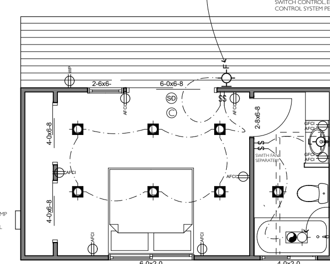
§ 150.0(k)4: Internally illuminated address signs. Internally illuminated address signs must comply with § 140.8; or must consume no more than 5 watts of power as determined according to § 130.0(c).

ELECTRICAL LEGEND

Symbol	Description
$	SWITCH COUPLED — NOTE: BATHROOM SWITCHES W/FANS MUST HAVE ENERGY STAR HUMIDIFIERS AND VACANCY SENSORS, SWITCHED SEPERATELY
3 $	SWITCH 3 WAY
F	WALL MOUNTED FLUORESCENT, WET RATED FOR OUTDOOR
L	WALL MOUNTED INCANDESCENT
	FAN/LIGHT COMBO, FLUORESCENT LIGHT MIN. EXHAUST CFM 50- 4" DUCT, SWITCH SEPARATELY FROM LIGHTING, SUPPLIED W/ ENERGY STAR HUMIDIFIER
AFCI	RECEPTACLE DUPLEX OUTLET, AFCI, TAMPER PROOF
GFCI AFCI	GROUND FAULT CIRCUIT INTERRUPTOR - IN BATHROOM, KITCHEN AND GARAGE
220	220 RECEPTACLE DUPLEX OUTLET
F	26 WATT FLUORESCENT CAN LIGHTS IC RATED, AIR TIGHT, CEC CERTIFIED
L	12 WATT LED CAN LIGHTS IC RATED, AIR TIGHT CERTIFICATION, HALO ML56, CEC CERTIFIED
F	CEILING MOUNTED FLUORESCENT
	12 WATT LED CEILING MOUNTED
SD	SMOKE DETECTOR
C	CARBON MONOXIDE ALARM
WP	GROUND FAULT CIRCUIT INTERRUPTOR AND WEATHER PROTECED COVER
	18 WATT UNDER CABINET LIGHT
G	GAS HOOK UP

ALL OUTDOOR LIGHTING TO BE HIGH-EFFICACY, CONTROLLED BY A MANUAL ON/OFF SWITCH, AND ONE OF THE FOLLOWING: PHOTOCONTROL AND MOTION SENSOR, PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL, ASTRONOMICAL TIME SWITCH CONTROL, ENERGY MANAGEMENT CONTROL SYSTEM PER CEnC 150.0(k)3

125 AMP SUB PANEL



ON DEMAND GAS WATER HEATER

IAQ FAN
USE COMBO EXHAUST FAN IN BATHROOM.
MIN. EXHAUST CFM 30- 4" DUCT, ENERGY STAR, USE AS CONTINUOUS WHOLE HOUSE FAN, MAX. 1 SONE, SEE VENTILATION NOTE

INTELLIGENT HOUSE DESIGN
LINDA BUTLER
124 OTIS STREET
SANTA CRUZ, CA 95060
PHONE: 831-345-1028
E-Mail: lbutler0853@gmail.com

OWNER:
BISSELL CABIN REBUILD
557 CRESENT LANE
SANTA CRUZ, CA
APN# 061-041-15

PROPOSED ELECTRICAL PLAN

DISCRETIONARY PERMIT
6/28/21

A3