

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER:211428

APN: 054-191-25

SITUS ADDRESS: 805 Via Gaviota, Aptos

Proposal to enclose approximately 77 square feet of an existing porch to create a breakfast nook. Requires a Coastal Development Permit.

Property located on the north side of Via Gaviota, approximately 475 feet northwest of the intersection of Via Gaviota and Club House Drive.

OWNER: Mike and Dinasha Cellura

APPLICANT: DeMattei Construction

SUPERVISORIAL DISTRICT: 2

PLANNER: Evan Ditmars

EMAIL: evan.ditmars@santacruzcounty.us

Public comments must be received by 5:00 p.m. February 28, 2022

A decision will be made on or shortly after March 1, 2022.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.

If you would like to request a public hearing be held for this item, please contact the project planner listed on this notice.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

For more information, contact the project planner identified above.

- * Exterior lighting shall be kept to a minimum, and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
- * A Tree Removal Permit shall be obtained for any trees to be removed, prior to the issuance of a building or grading permit.
- * All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
- * Protective tree fencing and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans. **NO TRESS TO PROTECT**



- Contain stockpiled materials such as mulches and topsoil when they are not actively being used.
- Contain fertilizers and other landscape materials when they are not actively being used.
- Discontinue the application of any erodible landscape material within 2 days before a forecasted rain event or during periods of precipitation.
- Apply erodible landscape material at quantities and application rates according to manufacture recommendations or based on written specifications by knowledgeable and experienced field personnel.
- Stack erodible landscape material on pallets and covering or storing such materials when not being used or applied.

- 2019 California Building Code
- 2019 California Residential Code
- 2019 California Plumbing Code
- 2019 California Mechanical Code
- 2019 California Electrical Code
- 2019 Energy Code
- 2019 CalGreen Building Code
- 2019 California Fire Code
- 2019 California Reference Standards Code



PERMIT SET 9/20/2021

NO.	DESCRIPTION	BY	DATE

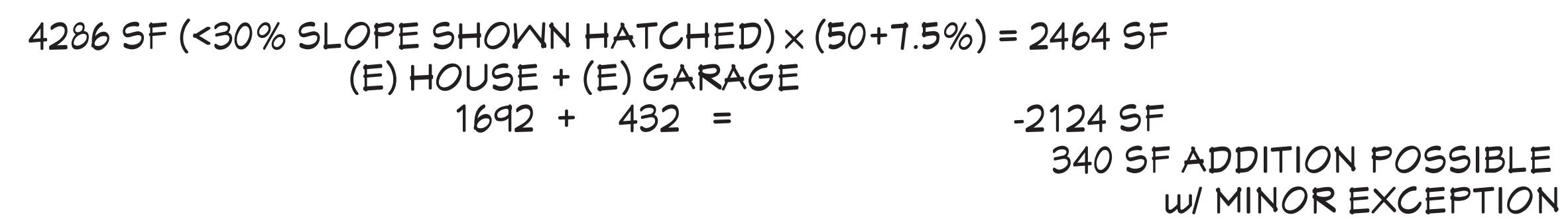
SHEET TITLE:
TITLE SHEET

PROJECT DESCRIPTION:
CELLURA RESIDENCE
805 VIA GAVIOTA
APTOS, CALIFORNIA

DRAWINGS PROVIDED BY:
DeMattei Construction, Inc.
1794 The Alameda, San Jose, CA. 95126
P: (408) 295-7516
F: (408) 286-6589
LIC.# B-478455

DATE:
9/20/2021
SCALE:
DRAWN BY:
<i>Steven C. R. [Signature]</i>
SHEET:
T1

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POR. APTOS RANCHO
SEC. 20, T.11S., R.1E., M.D.B. & M.

Tax Area Code
69-267

54-19

TR. 483 SEASCAPE BEACH ESTATES UNIT ONE
48M43 12/22/67

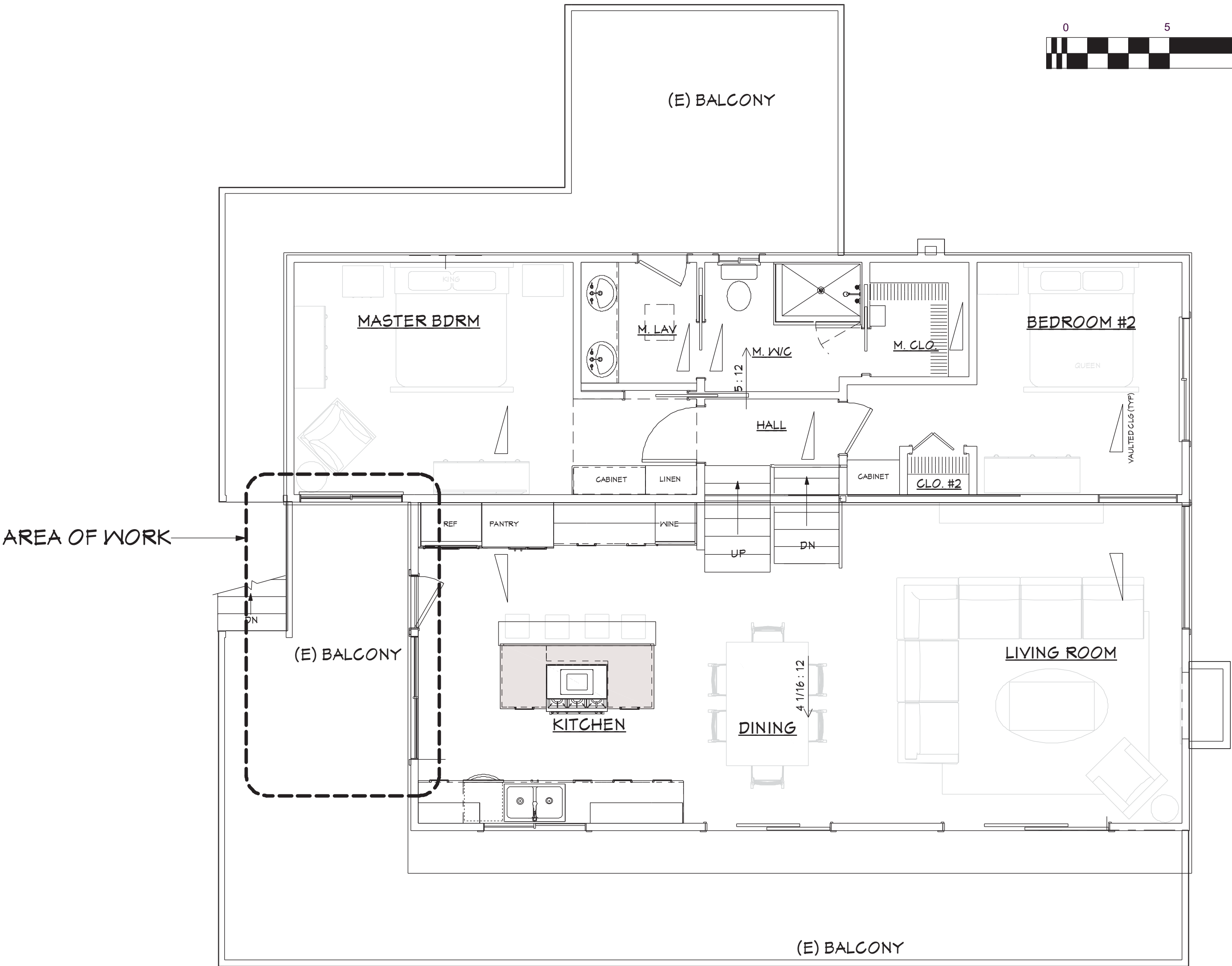
The map displays a grid of land parcels, each identified by a circled number from 1 to 80. The parcels are outlined in red or green. Several streets are shown: VIA CONCHA runs diagonally across the middle; VIA GAVIOTA runs parallel to it on the right; CLUB HOUSE DR is at the top; and Walkway A and Walkway B are smaller paths. To the bottom left, there is a sewer easement labeled '20' Sewer Easement'. To the bottom right, a portion of the Monterey Bay National Marine Sanctuary is indicated. A north arrow points towards the top right corner, accompanied by a scale bar indicating 1 inch equals 100 feet. Specific areas are labeled with codes and dates: TR. 483 Seascape Beach Estates Unit One (48M43, 12/22/67) and 47PM24 (10/14/86). Parcel 1 is centrally located and enclosed in a thick black border.

Note - Assessor's Parcel & Block Numbers are Shown in Circles

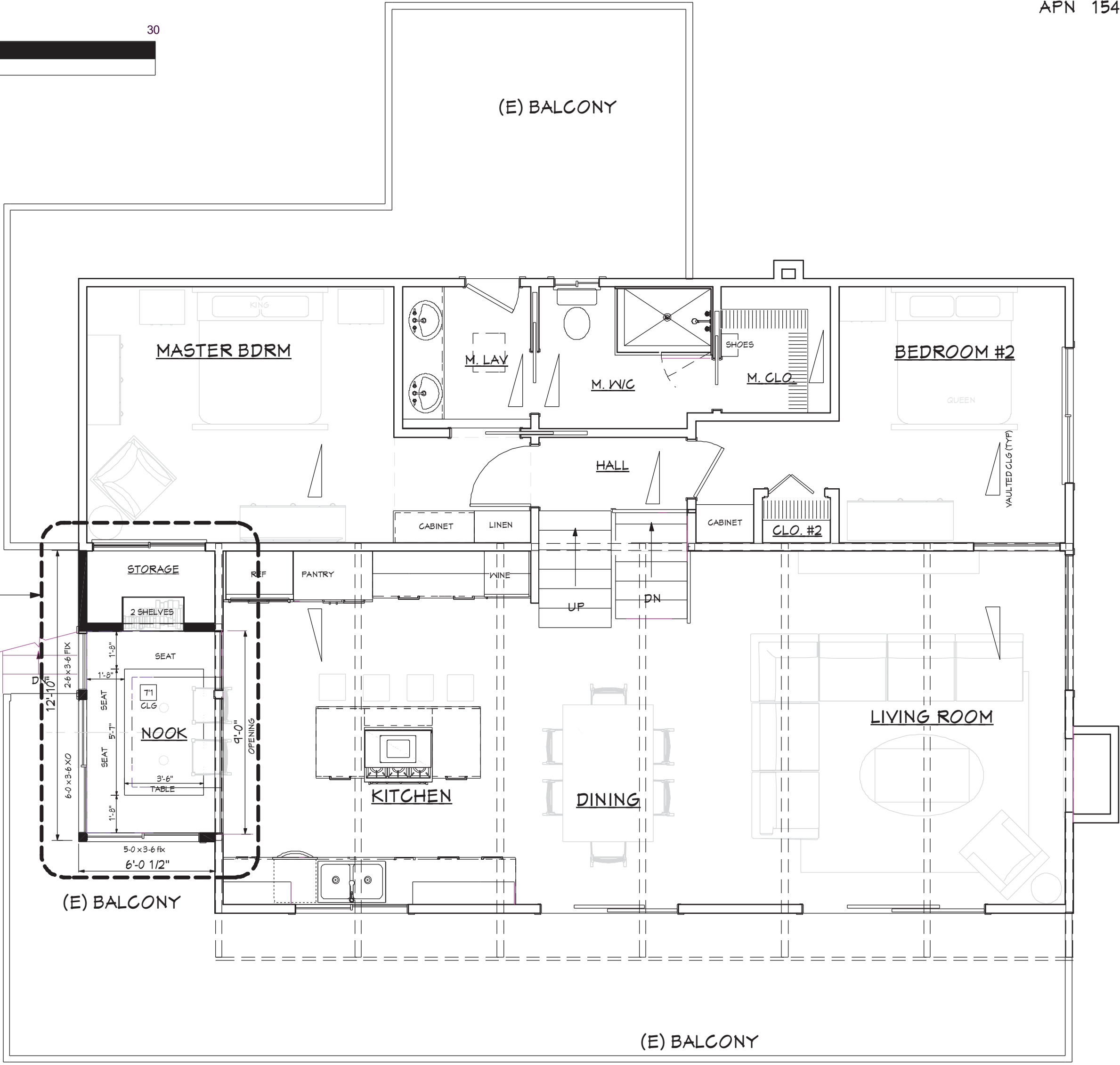
Assessor's Map No. 54-19
County of Santa Cruz, Calif.

Revised July 1999, Addendum #1 (to page 1)
Rev. 10/2000 NSR (Port to Pg. 12)
Rev. 6/2000 C&G (One page add.)
Rev. 6/2000 C&G (One page add.)
Rev. 6/2001 9-A (port to page 23)

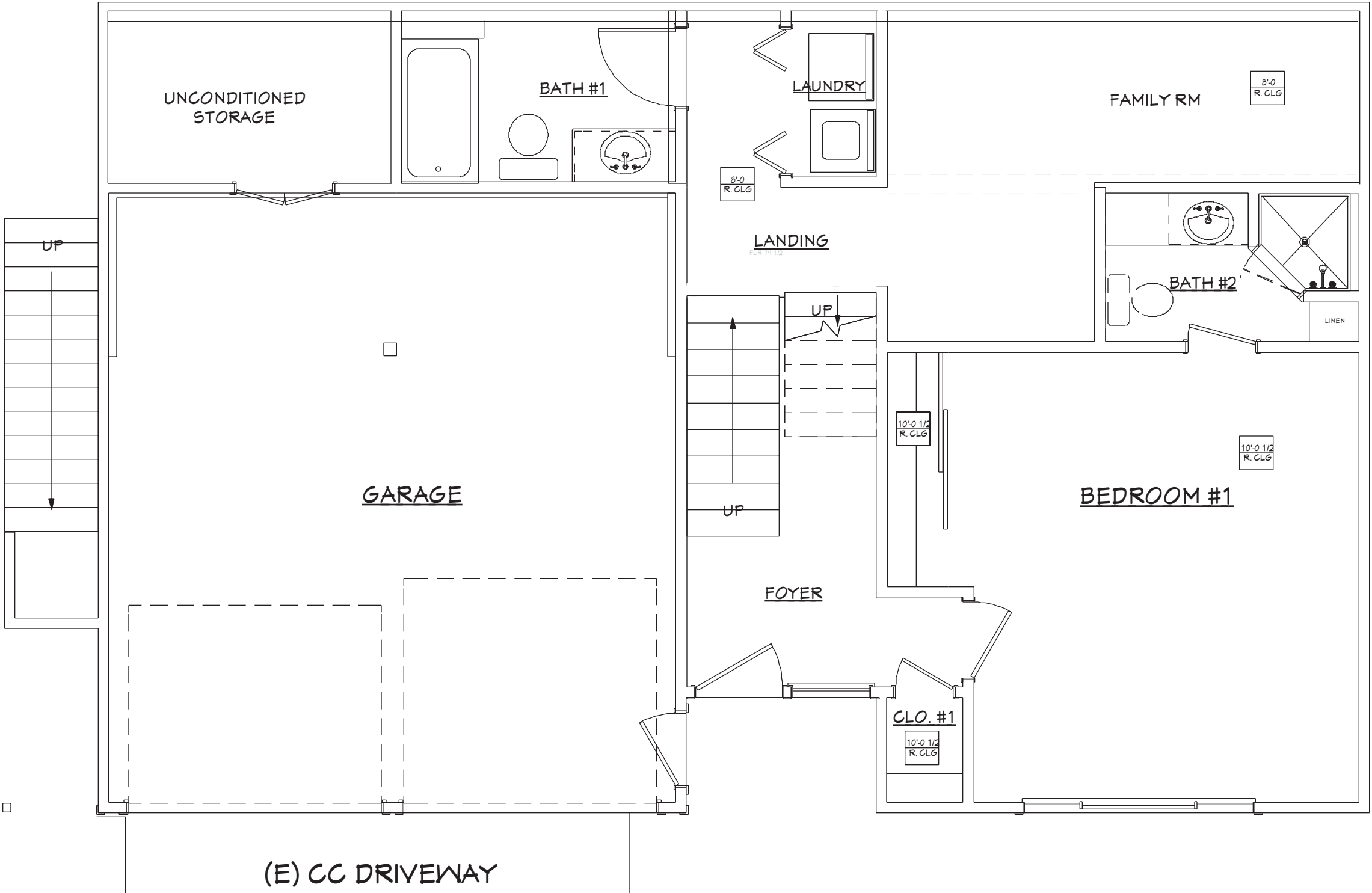
Assessor's Map No. 54-19
County of Santa Cruz, Calif.



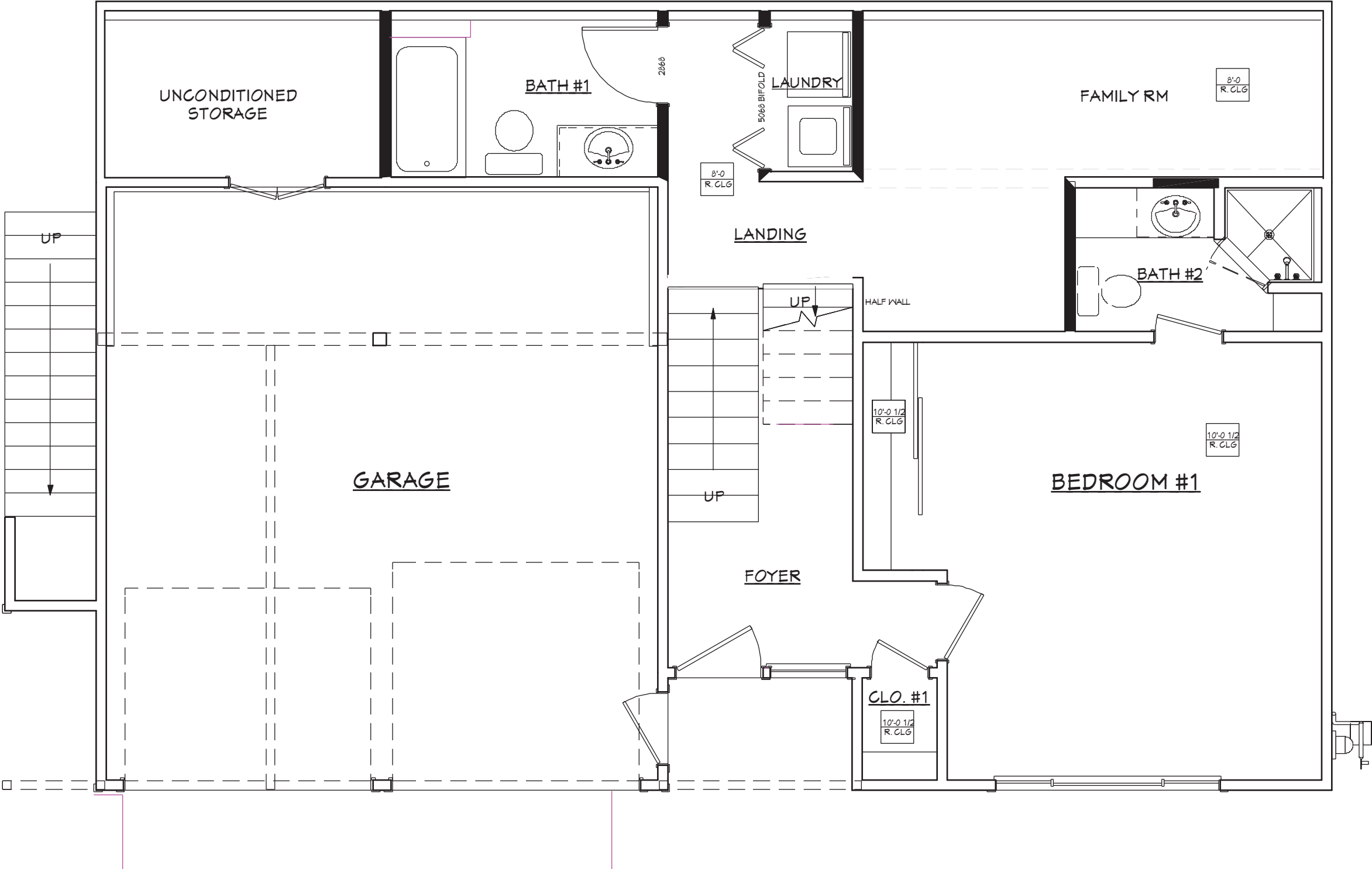
EXISTING UPPER LEVELS
Scale: 1/4"=1'-0"



PROPOSED UPPER LEVELS
Scale: 1/4"=1'-0"



EXISTING LOWER LEVELS
Scale: 1/4"=1'-0"



LOWER LEVELS (NO CHANGE)
Scale: 1/4"=1'-0"

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NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
FLOOR PLANS

PROJECT DESCRIPTION:
CELLURA RESIDENCE
805 VIA GAYVOTA
APTOS, CALIFORNIA

DRAWINGS PROVIDED BY:
DeMattei Construction, Inc.
1794 The Alameda, San Jose, CA. 95126
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LIC.# B-478455

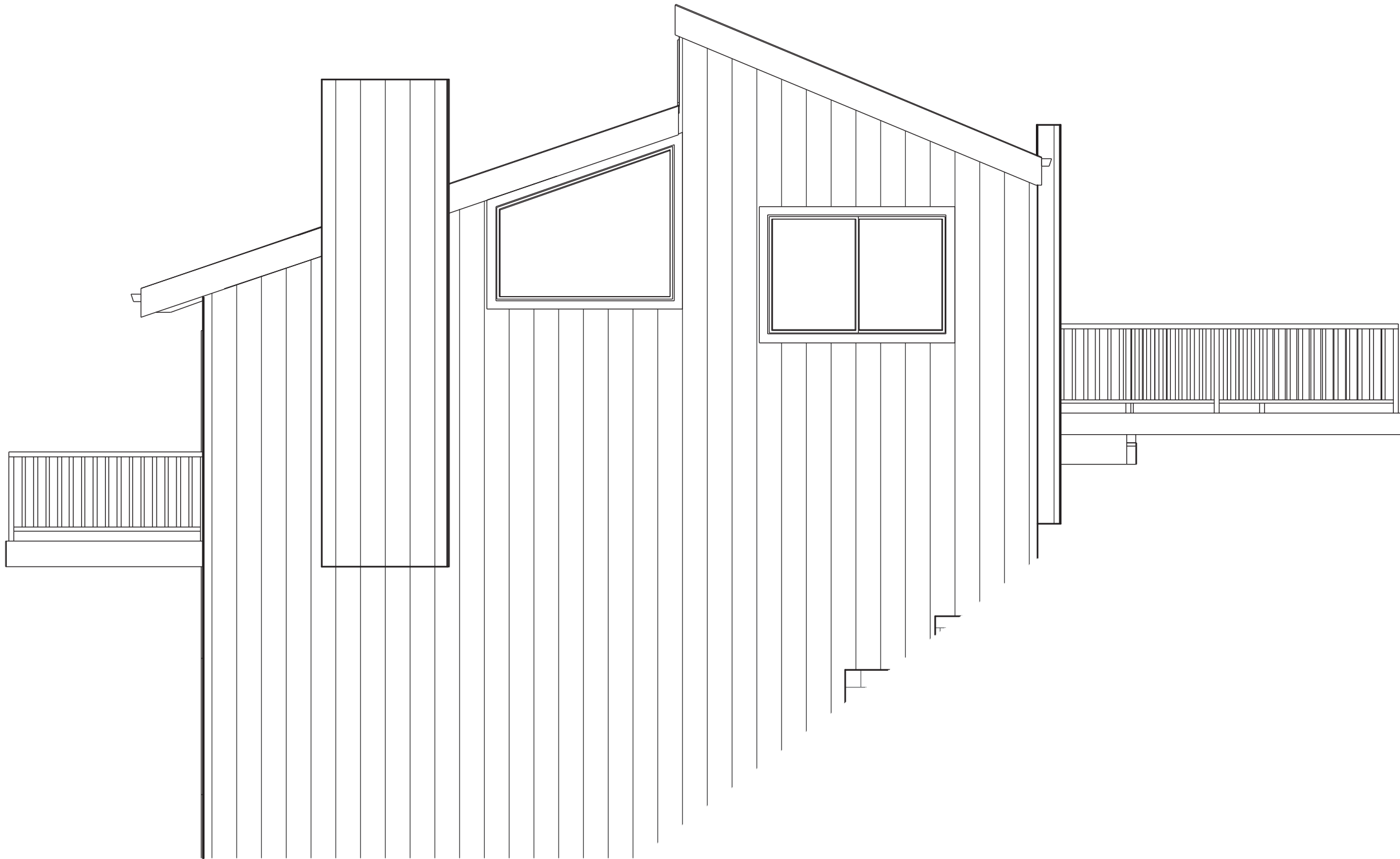
DATE:
9/20/2021

SCALE:

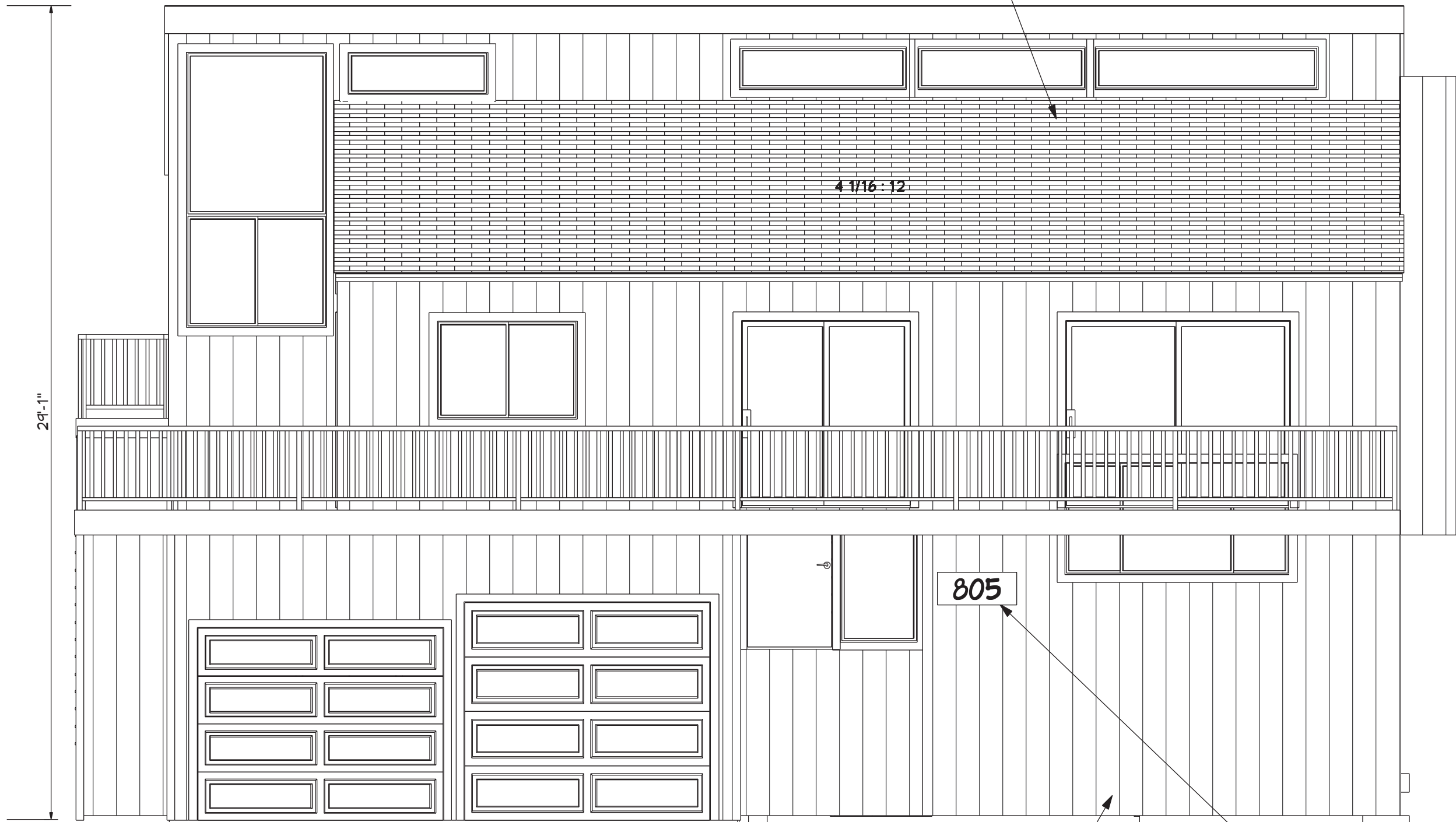
DRAWN BY:
Sharon C. [Signature]

SHEET:

A2



RIGHT ELEVATION (NORTHWEST)



(E) PLYWOOD SIDING

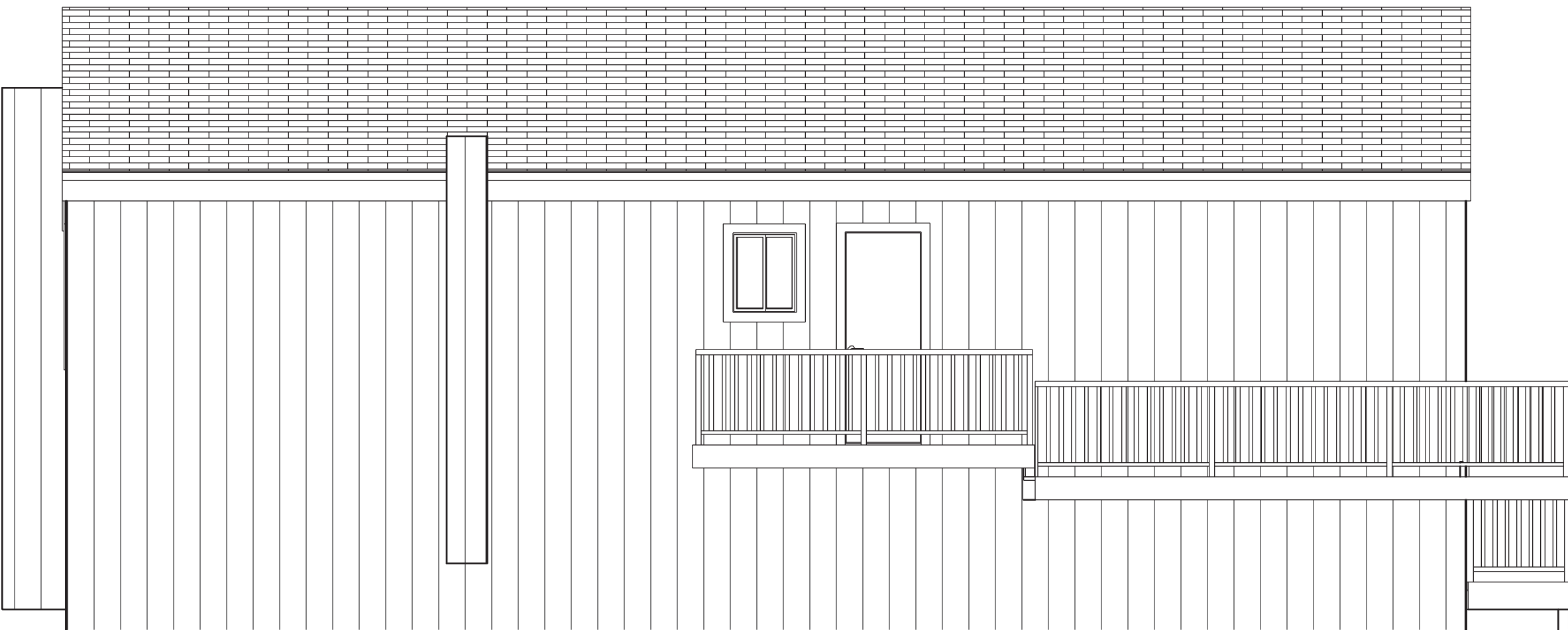
FRONT ELEVATION (NORTHEAST)

Scale: 1/4"=1'-0"

2. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 m m). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1



LEFT ELEVATION (SOUTHEAST)



REAR ELEVATION (SOUTHWEST)

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NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
(E) ELEVATIONS

PROJECT DESCRIPTION:
CELLURA RESIDENCE
805 VIA GAVIOTA
APTOS, CALIFORNIA

DRAWINGS PROVIDED BY:
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1794 The Alameda, San Jose, CA. 95126
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LIC.# B-478435

DATE:
9/20/2021

SCALE:

DRAWN BY:
Shane W. [Signature]

SHEET:

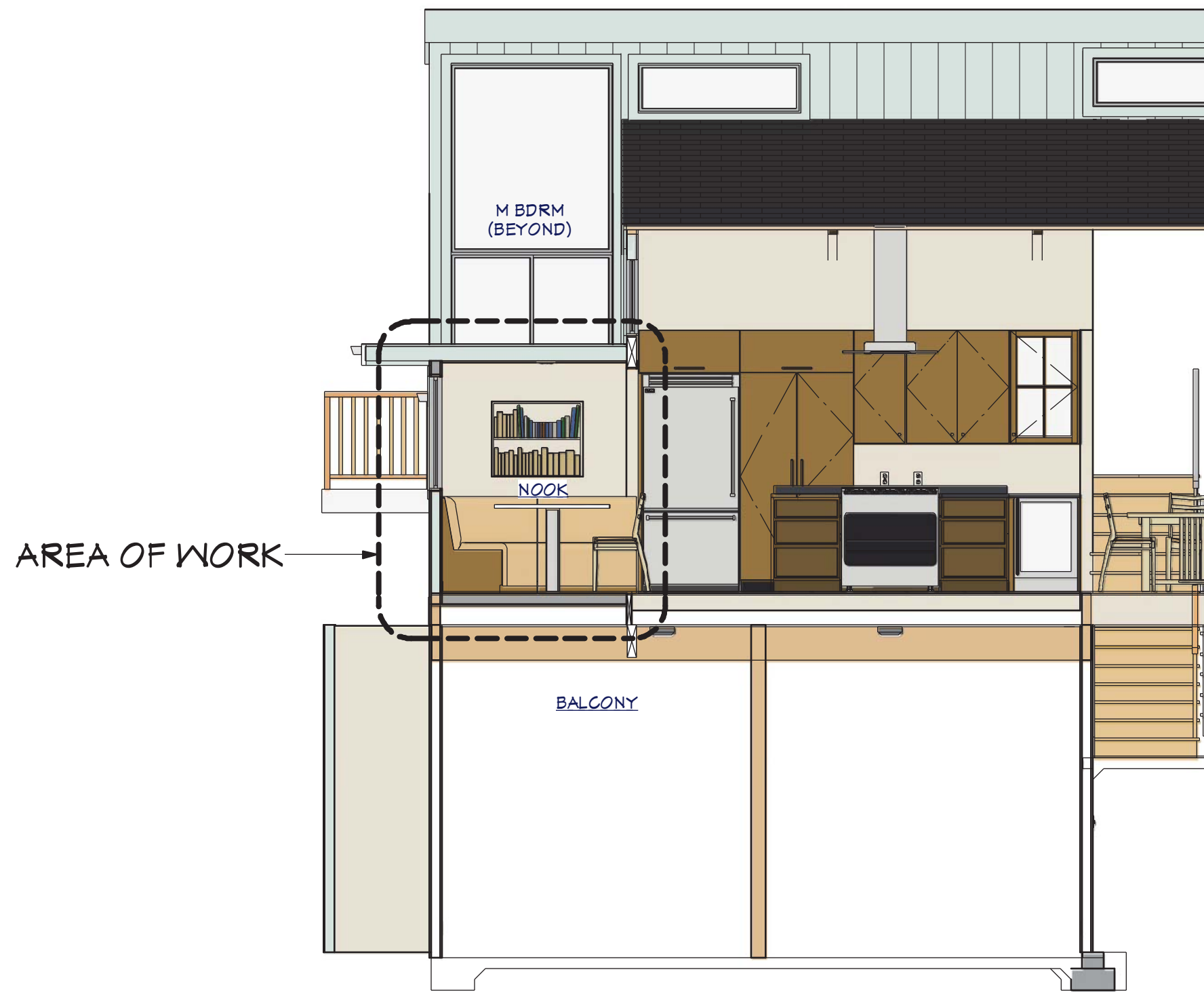
A2.1



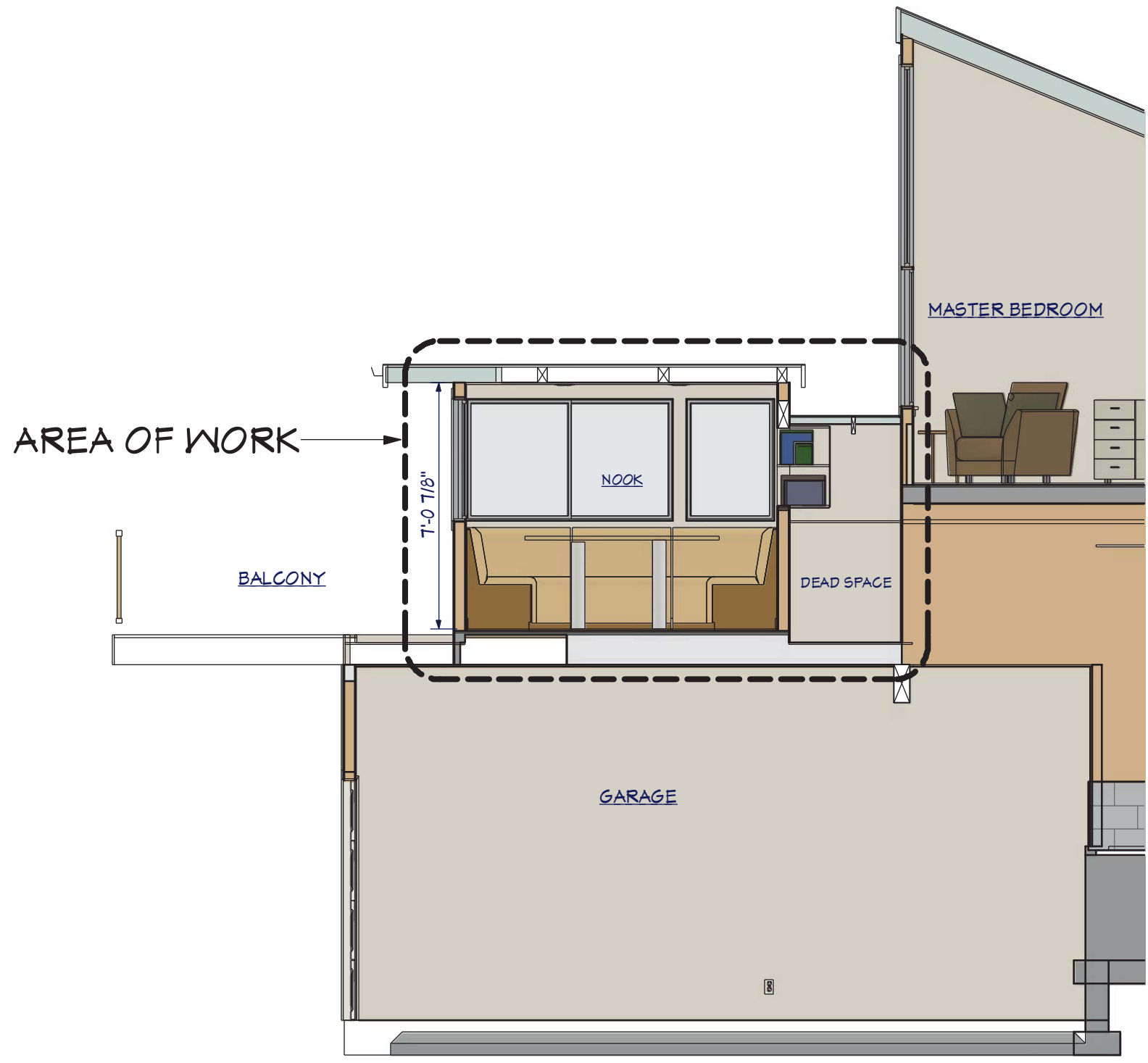
PICTURE OF (E) HOUSE AT
LOCATION OF PROP'D ADDITION



RENDER LOOKING INTO NOOK
(island hidden for clarity)

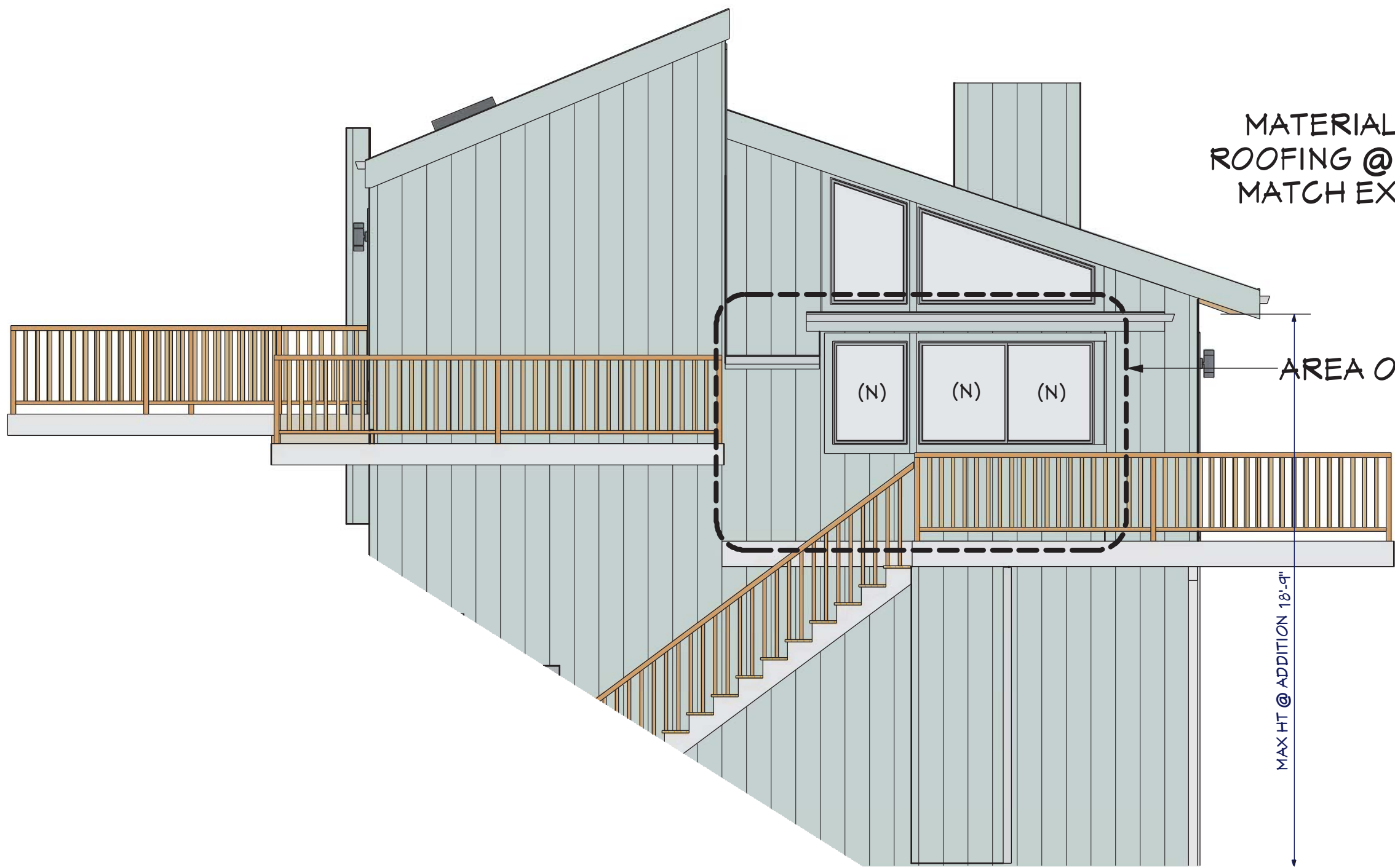


SECTION SIDE TO SIDE
LOOKING BACK
@ NOOK



SECTION FRONT TO
BACK LOOKING LEFT
@ NOOK

Scale: 1/4"=1'-0"



PROP'D PARTIAL LEFT ELEVATION
(SOUTHEAST)



PARTIAL PROP'D FRONT ELEVATION
(NORTHEAST)

Scale: 1/4"=1'-0"

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FROM THE ARCHITECT.

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
(N) ELEVATIONS &
SECTIONS

PROJECT DESCRIPTION:
CELLURA RESIDENCE
805 VIA GAYIOTA
APTOS, CALIFORNIA

DRAWINGS PROVIDED BY:
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1794 The Alameda, San Jose, CA. 95126
P: (408) 295-7576
F: (408) 286-6589
LIC.# B-478435

DATE:
9/20/2021

SCALE:

DRAWN BY:
Shane Kelly

SHEET:

A2.2