

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATION NUMBER: 221099 **APN: 061-341-12**
SITUS: 113 La Canada Way, Santa Cruz 95060

Proposal to construct a 488 square foot second story master suite addition above the garage and to remodel the existing living room for a new stairway. Requires a Minor Exception to encroach up to one foot two inches into the 10-foot side yard setback.

Property located on the west side of La Canada Way approximately 465 feet south of the intersection with Meyer Drive (113 La Canada Way).

OWNER: Dustin & Renee Katz
APPLICANT: Dustin & Renee Katz
SUPERVISORIAL DISTRICT: 5
PLANNER: Jonathan DiSalvo, (831) 454-3157
EMAIL: Jonathan.DiSalvo@santacruzcounty.us

Public comments must be received by 5:00 p.m. June 29, 2022.

A decision will be made on or shortly after June 30, 2022.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. Planner will provide notification of decision to any requesting party.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

[illegible]

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scott@scottdesign.com

SECOND STORY ADDITION & REMODEL
KATZ RESIDENCE
113 LA CANADA WAY
SANTA CRUZ, CA 95060
(650) 400-9825

INDEX

SCOPE OF WORK

DRAWN SCOTT
CHECKED
DATE 02/01/22
SCALE NTS
JOB # 21/02
SHEET
COVER
NUMBER IN SET _____

INDEX

[illegible]

OCCUPANCY

OCCUPANCY GROUP	R-3 / U
TYPE OF CONSTRUCTION	VB
NUMBER OF STORIES	2
SCOPE OF WORK:	
ADD SECOND STORY MASTER BEDROOM SUITE	
OVER EXISTING GARAGE. REMODEL EXISTING	
SINGLE STORY, SINGLE FAMILY RESIDENCE LIVING	
ROOM TO ALLOW NEW STAIRS HEADROOM.	

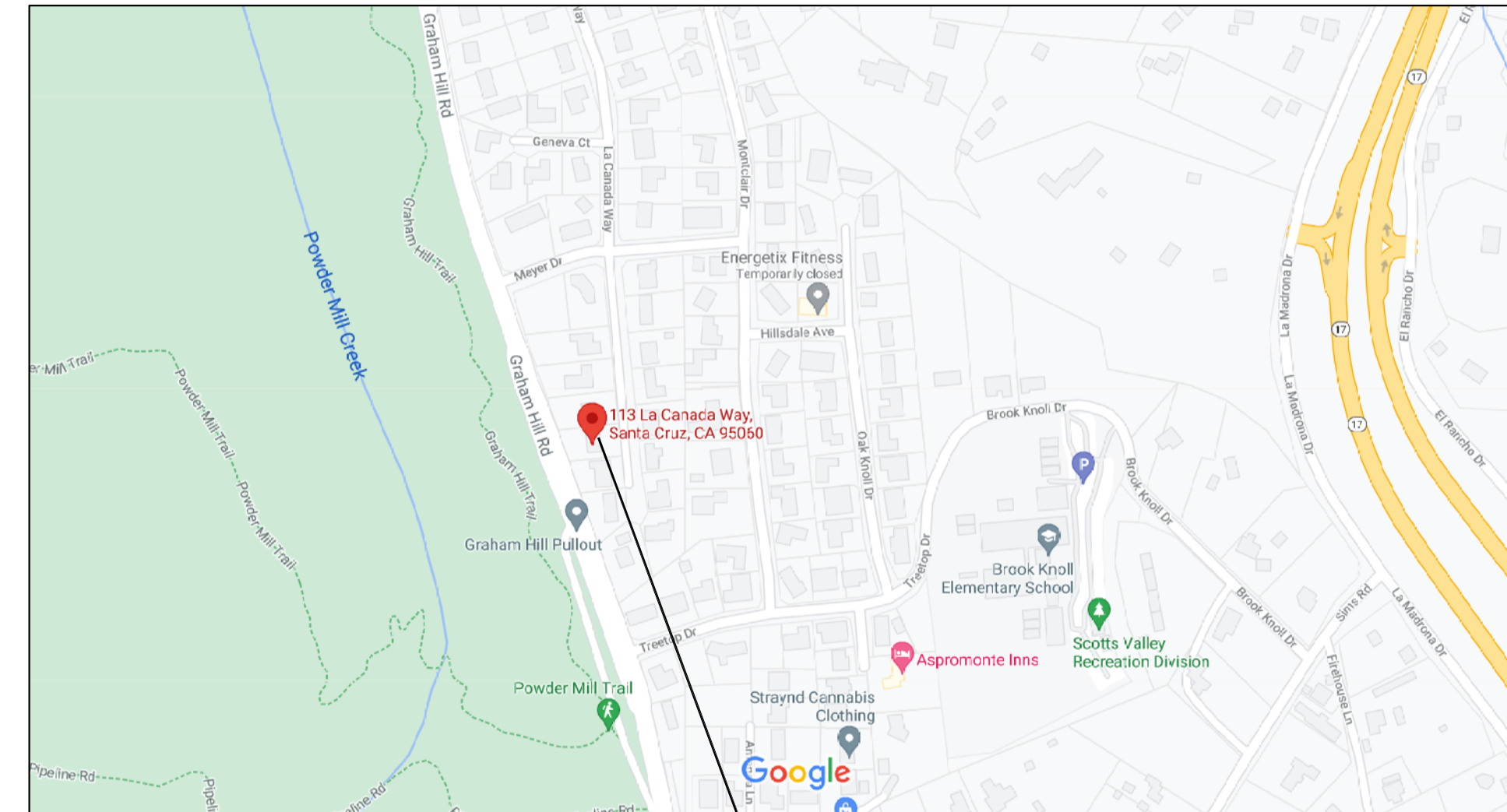
NO FIRE SPRINKLERS

APPLICABLE CODES: PROJECT SHALL COMPLY WITH

2019 California Residential Building Code & California Building Code
2019 California Reference Standards Code
2019 California Plumbing Code
2019 California Mechanical Code
2019 California Electrical Code
2019 California Energy Code
2019 California Fire Code
2019 California Green Building Code
2019 California Historical Building Code
2019 International Code for Property Maintenance, as published by ICC
2019 International Existing Building Code, Chapters 9, 14 and Appendices A2, A3, A4 & A5, as published by ICC

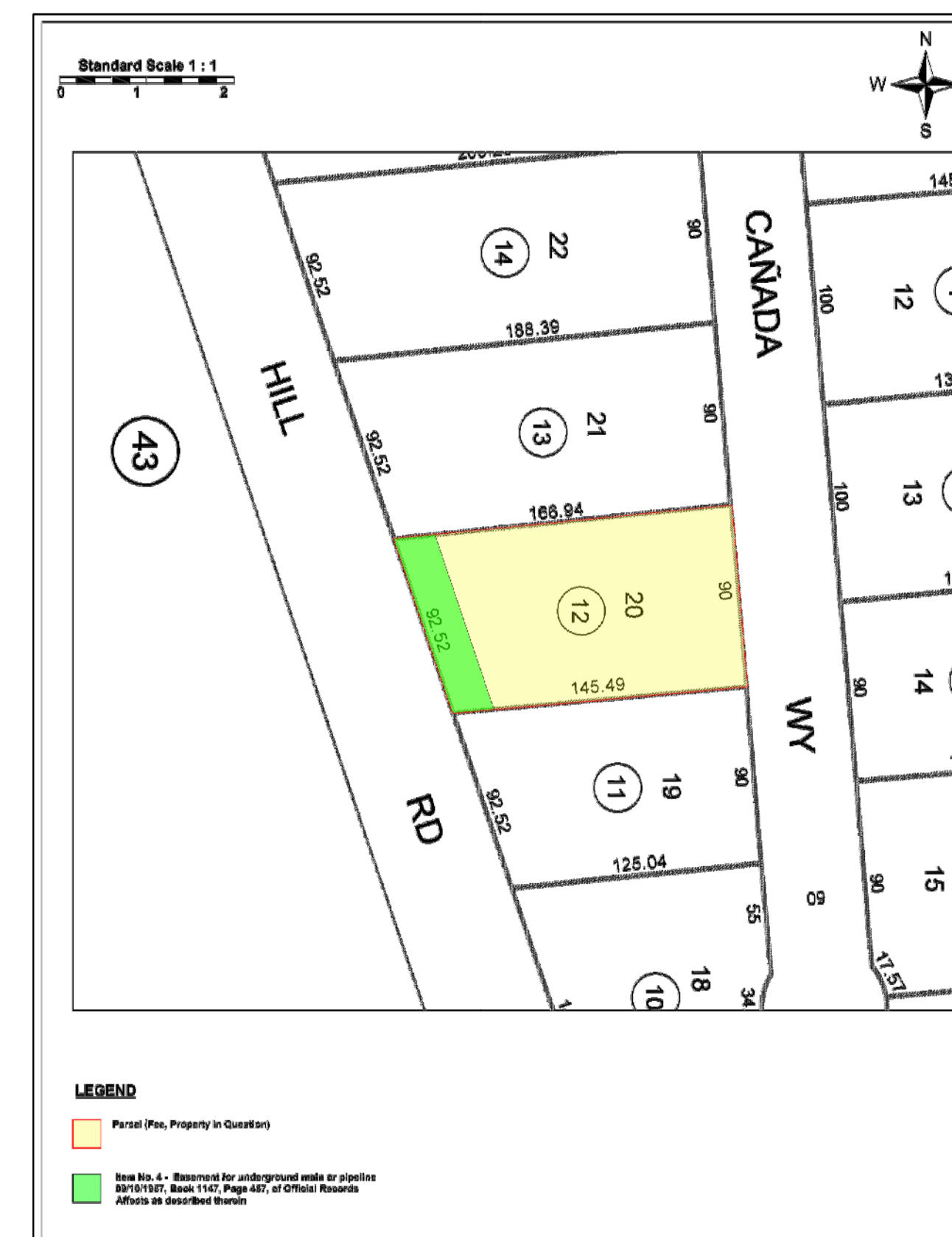
WATER CONSERVATION MEASURES

ALL SINK FAUCETS, SHOWER HEADS, TOILETS AND URINALS SHALL COMPLY WITH CALIFORNIA CIVIL CODE SECTION 1101.1 THROUGH 1101.8. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALS/MIN., LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALS/MIN., SHOWER HEADS SHALL NOT EXCEED 1.8 GALS/MIN., TOILETS SHALL NOT EXCEED 1.28 GALS/FLUSH AND URINALS SHALL NOT EXCEED 0.5 GALS/FLUSH

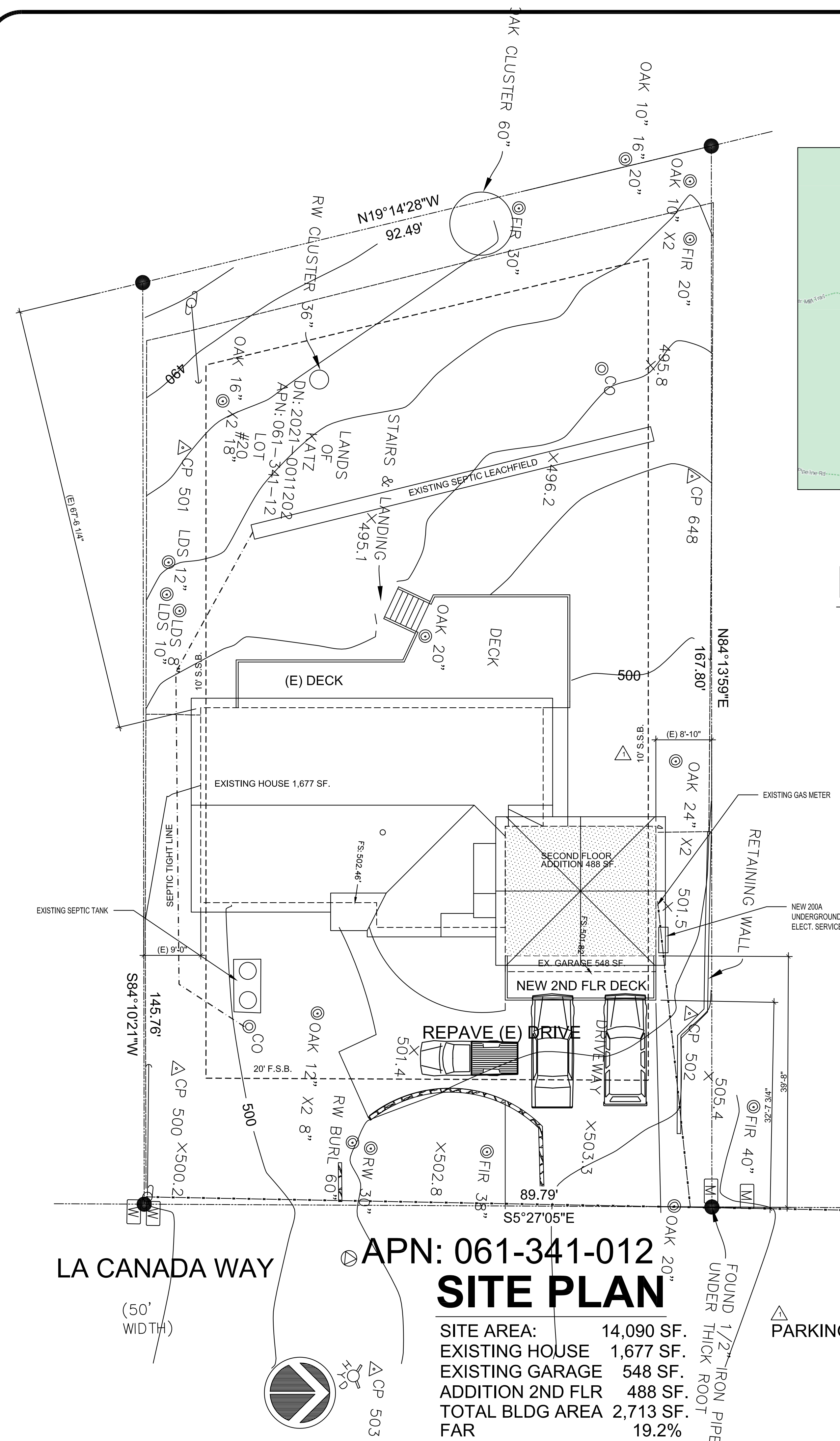


SITE

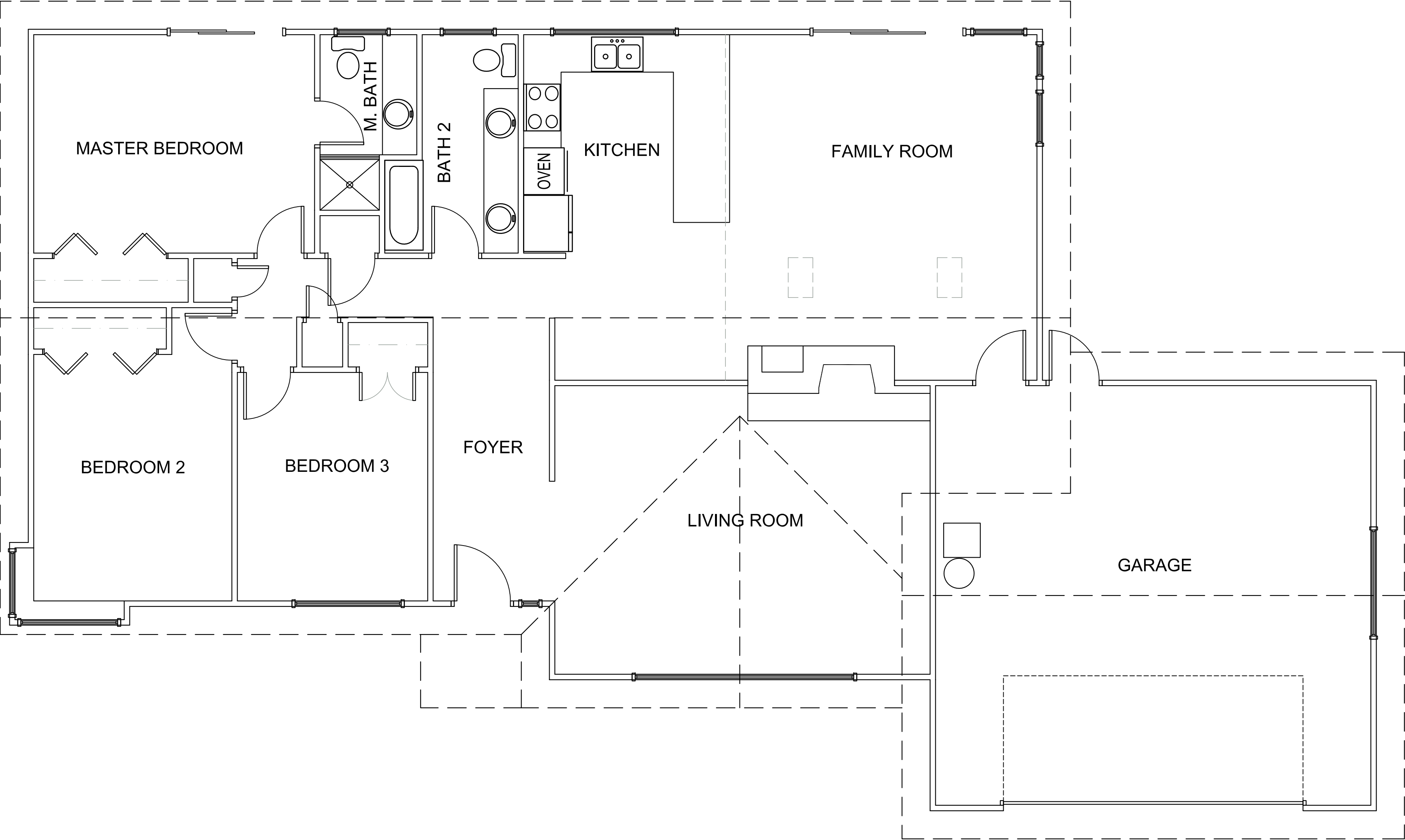
LOCATION MAP



ASSESSOR PARCEL MAP

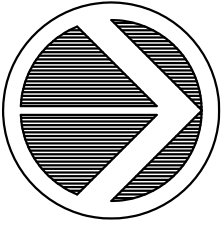


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EXISTING FLOOR PLAN

LIVING AREA 1,677 SF.
GARAGE 548 SF.



REVISIONS	BY

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EXISTING FLOOR PLAN

DRAWN SCOTT
CHECKED
DATE 02/19/21
SCALE 1/4" = 1'-0"
JOB # 21/03
SHEET A0.2
NUMBER IN SET ____

The property owner hereby authorizes Scott Design Associates to proceed with Design Services on this project (Signature) _____ (Date) _____

ALL FLOORS SHALL BE SHEATHED WITH 3/4" CDX T&G PLYWOOD AND NAIL W/ 10d @ 6" o.c., 12" o.c. IN FIELD.

AT LOCATIONS WHERE NEW SHEAR WALLS ARE NOTED AT EXISTING FOUNDATIONS:
VERIFY/PROVIDE 3/8" THREADED RODS IN EPOXY FILLED HOLES AND SPACED AS SPECIFIED IN THE SHEAR WALL SCHEDULE ON SHEET SD3.

SPECIAL INSPECTION OF RETROFIT EPOXIED ANCHOR BOLTS INTO EXISTING CONCRETE SHALL BE PERFORMED BY THE ENGINEER OF RECORD. A LETTER VERIFYING SUCH INSPECTIONS WERE PERFORMED SHALL BE ON THE SITE FOR THE CITY FIELD INSPECTOR AT TIME OF SHEAR WALL INSPECTION. NOTIFY ENGINEER 48 HOURS PRIOR TO INSTALLATION OF EPOXIED ANCHORS.

TRUSS NOTES:
1) TRUSS MEMBERS CANNOT BE CUT, NOTCHED, DRILLED, SPLICED OR OTHERWISE ALTERED IN ANY WAY WITHOUT THE APPROVAL OF A REGISTERED DESIGN PROFESSIONAL (CRC R802.10.4)
2) SEE ATTACHED TRUSS DESIGN SUBMITTAL FOR LAYOUT OF FLOOR TRUSSES.

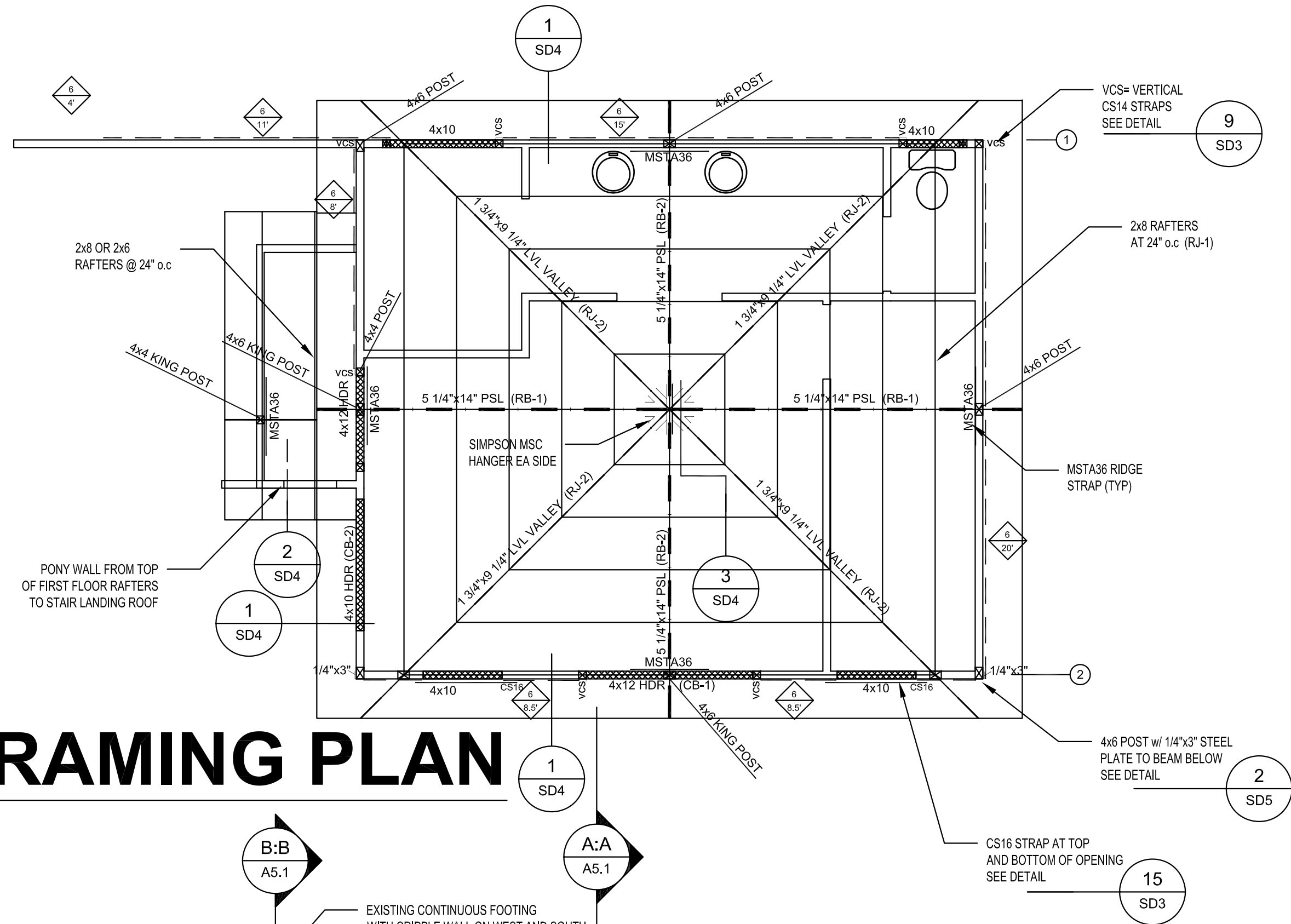
ROOFS SHALL BE SHEATHED WITH 15/32" CDX PLYWOOD AND NAIL W/ 8d @ 8" o.c., 12" o.c. IN FIELD. UNSUPPORTED EDGES NEED NOT BE BLOCKED.

CONTRACTOR TO VERIFY WITH TITLE 24 REPORT IF RADIANT BARRIER PLYWOOD IS REQUIRED.

ALL NEW EXTERIOR WALLS SHALL BE SHEATHED WITH 1/2" CDX PLYWOOD, OR OSB SHEATHING AND NAIL PER TYPE 6 AS DEFINED IN SHEARWALL SCHEDULE, UNLESS OTHERWISE NOTED.

SPECIAL INSPECTION OF SHEAR WALLS NOTED AS TYPE "4" INCLUDING NAILING AND ALL MECHANICAL CONNECTORS SHALL BE PERFORMED BY THE ENGINEER OF RECORD. A LETTER VERIFYING SUCH INSPECTIONS WERE PERFORMED SHALL BE ON THE SITE FOR THE CITY FIELD INSPECTOR AT TIME OF SHEAR WALL INSPECTION. NOTIFY ENGINEER 48 HOURS PRIOR TO THE CITY'S INSPECTION.

SECOND FLOOR ROOF FRAMING PLAN



CONTRACTOR TO VERIFY OR PROVIDE 15/32" PLYWOOD ON ALL 2x4 STUD CRIPPLE WALLS w/ 8d @ 6" o.c. ALL EDGES & 12" o.c. IN FIELD

EXISTING UNDERFLOOR ACCESS HATCH

EXISTING 4x6 GIRDERS WITH 2x6 T&G SUBFLOOR AND PIERS w/ 4x4 POSTS

ADD 4x BLOCKING AT BASE OF STAIRS

24" SQ. x 18" DEEP FTG. w/ (4) #4 BARS EA. WAY AT BOTTOM

24" SQ. UNDERMINED FOOTING w/ (4) #4 BARS EA. WAY @ BOTT OF FTG.

24" SQ. UNDERMINED FOOTING w/ (4) #4 BARS EA. WAY @ BOTT OF FTG.

24" SQ. UNDERMINED FOOTING w/ (4) #4 BARS EA. WAY @ BOTT OF FTG.

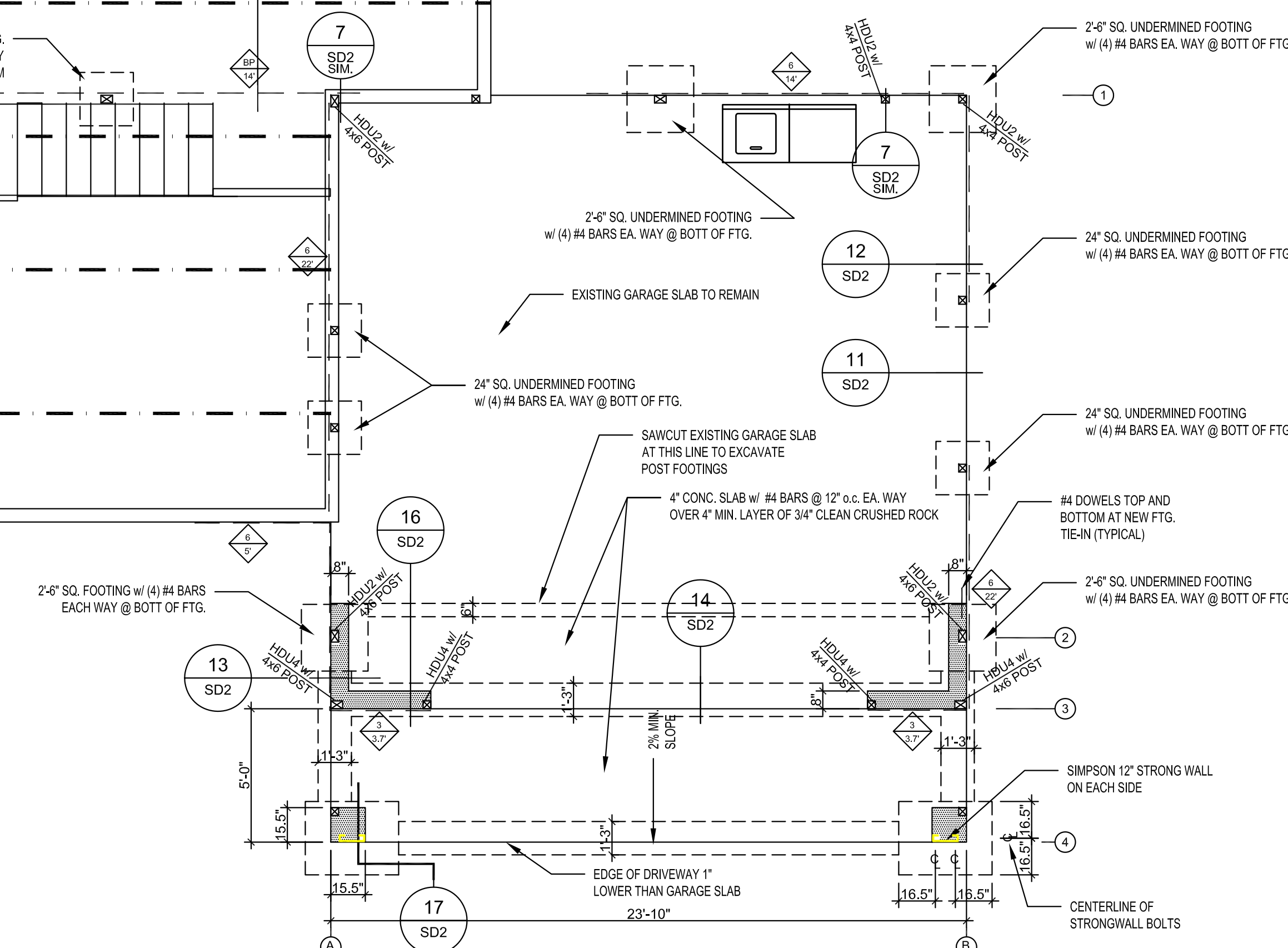
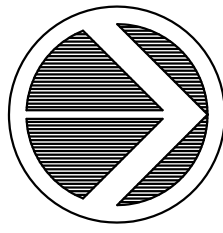
24" SQ. UNDERMINED FOOTING w/ (4) #4 BARS EA. WAY @ BOTT OF FTG.

24" SQ. UNDERMINED FOOTING w/ (4) #4 BARS EA. WAY @ BOTT OF FTG.

24" SQ. UNDERMINED FOOTING w/ (4) #4 BARS EA. WAY @ BOTT OF FTG.

24" SQ. UNDERMINED FOOTING w/ (4) #4 BARS EA. WAY @ BOTT OF FTG.

FOUNDATION PLAN



REVISIONS	BY

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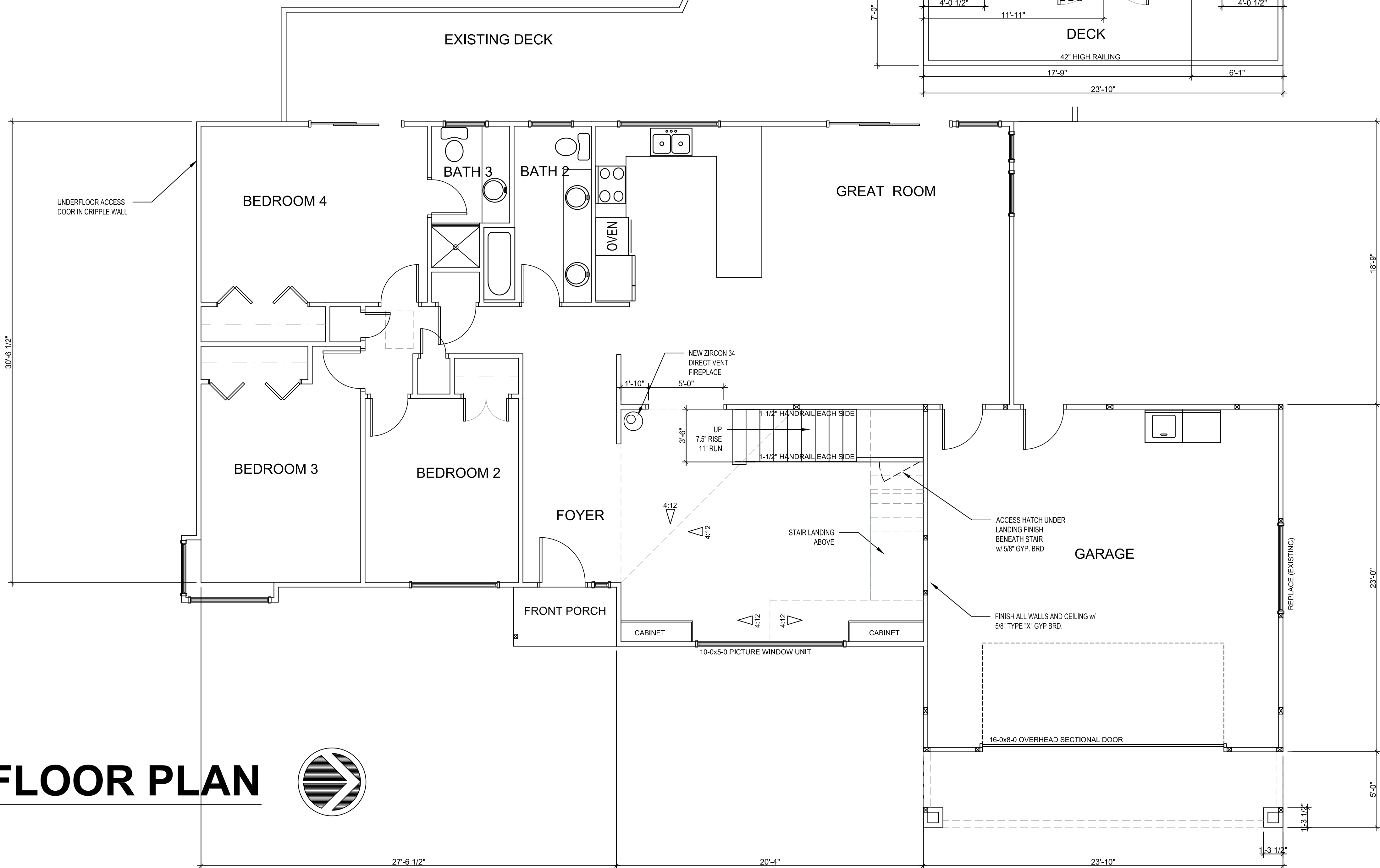
SECOND STORY ADDITION & REMODEL
KATZ RESIDENCE
113 LA CANADA WAY
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FOUNDATION PLAN
SECOND FLOOR ROOF FRAMING PLAN

DRAWN
SCOTT
CHECKED
DATE
01/25/22
SCALE
1/4" = 1'-0"
JOB #
21/03
SHEET
A1.1
NUMBER IN SET

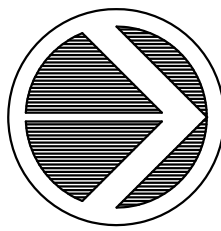
SECOND FLOOR PLAN

488 SF. ADDITION



LOWER FLOOR PLAN

EXISTING FLOOR AREA



REVISIONS	BY
PLANNING MODS 01/13/22	SC

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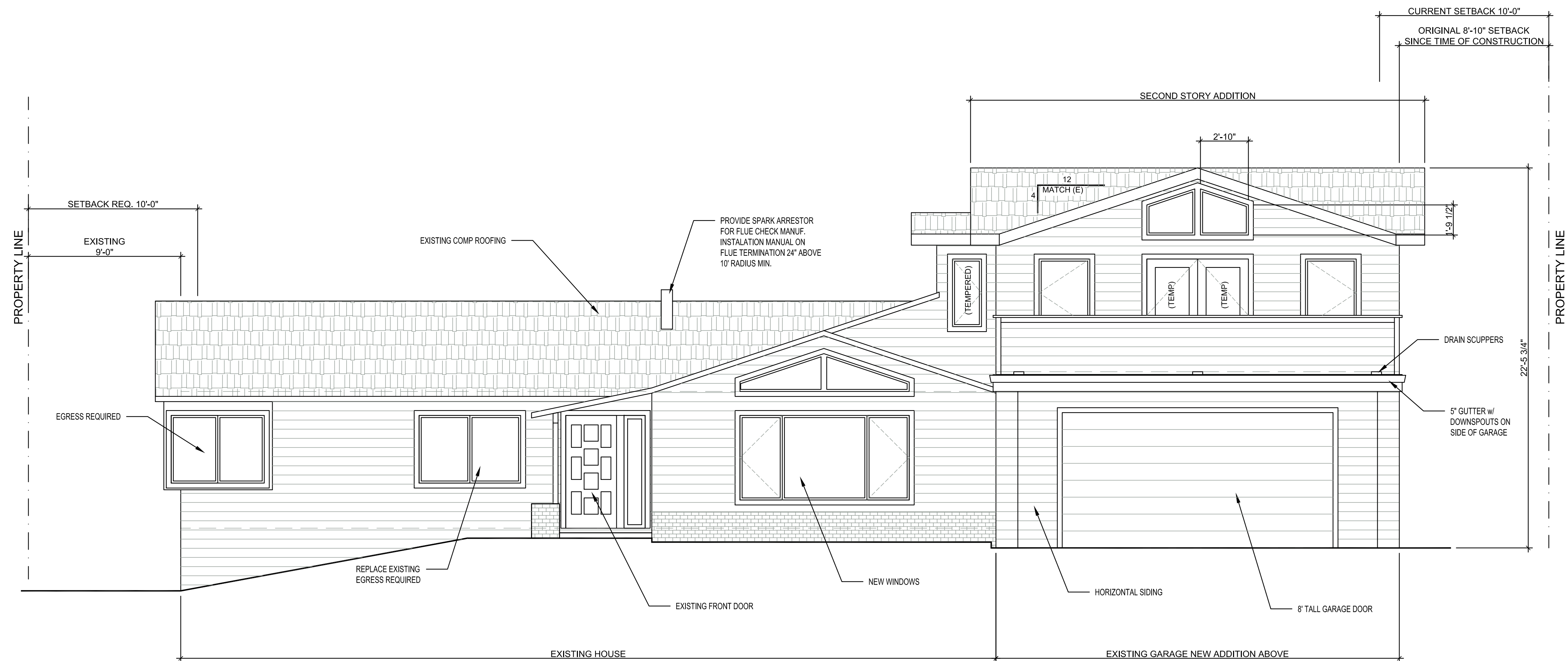
SECOND STORY ADDITION & REMODEL
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FLOOR PLANS

DRAWN SCOTT
CHECKED
DATE 12/17/21
SCALE 1/4" = 1'-0"
JOB # 21/03
SHEET

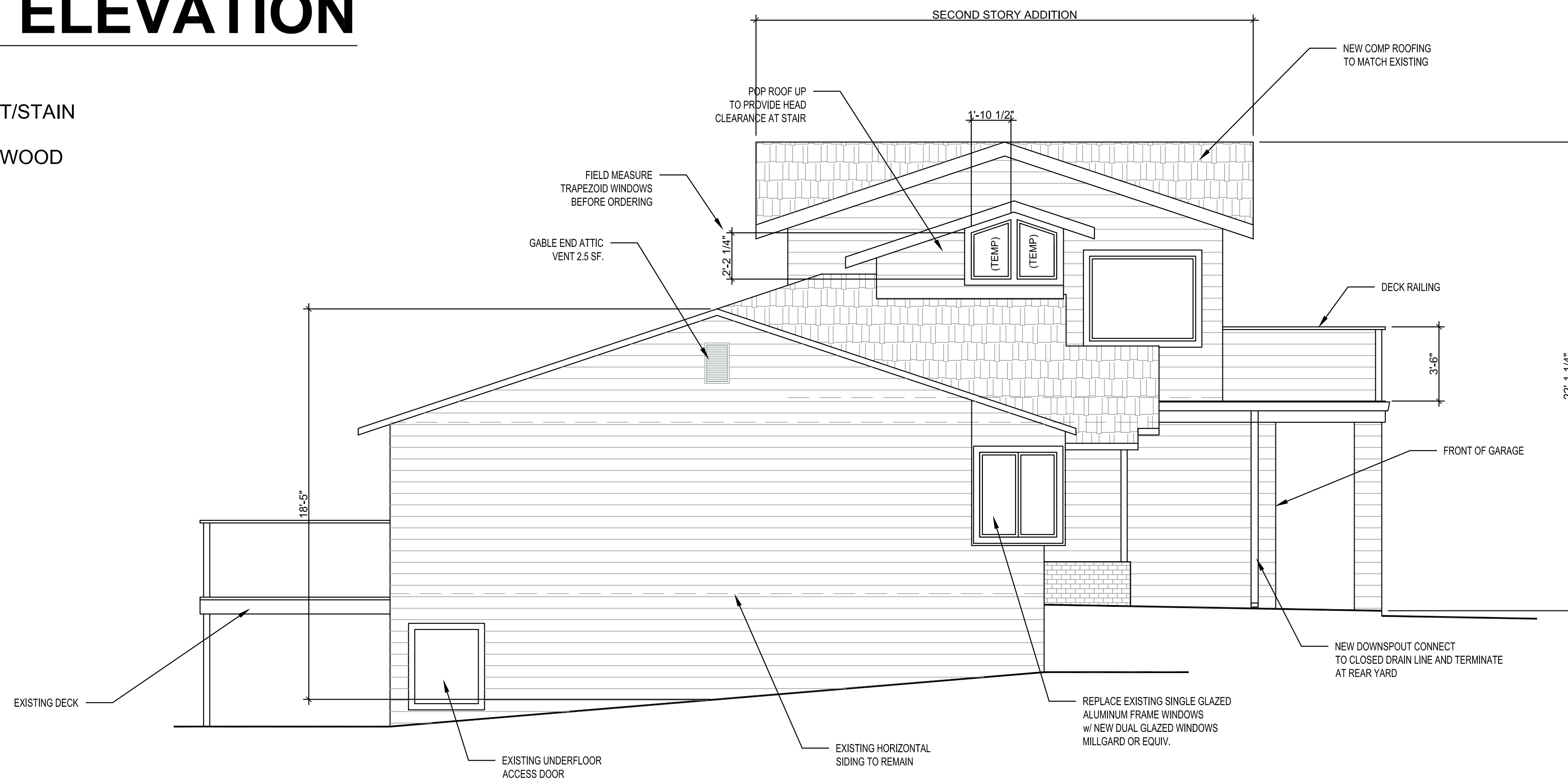
A2.1

NUMBER IN SET ____



FRONT ELEVATION

COLORS:
SIDING CEDAR PAINT/STAIN
TRIM CHARCOAL
ROOF WEATHERED WOOD



SOUTH SIDE ELEVATION

REVISIONS	BY

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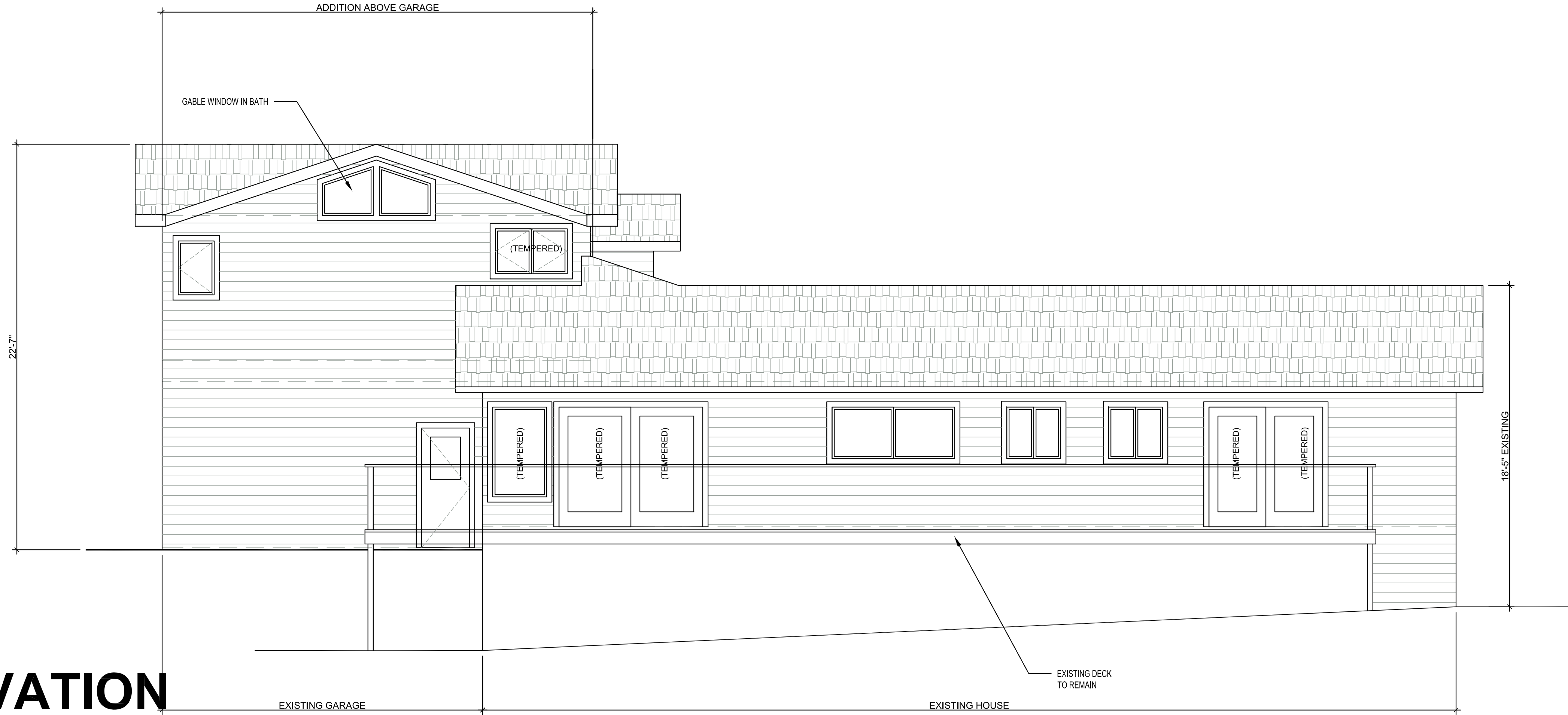
SECOND STORY ADDITION & REMODEL
KATZ RESIDENCE
113 LA CANADA WAY
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EXTERIOR ELEVATIONS

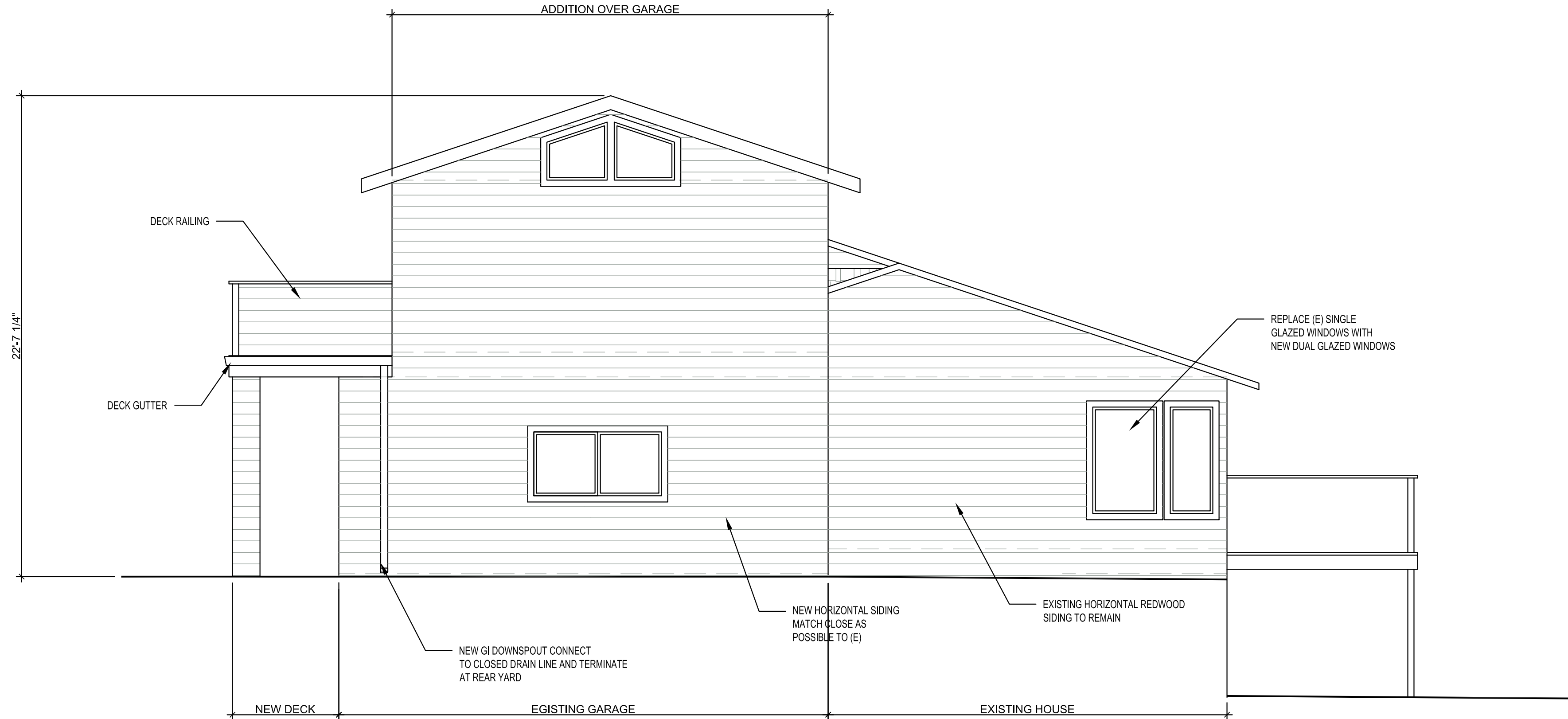
DRAWN
SCOTT
CHECKED
DATE
12/29/21
SCALE
1/4" = 1'-0"
JOB #
21/03
SHEET

A3.1
NUMBER IN SET

REAR ELEVATION



NORTH SIDE ELEVATION



REVISIONS	BY

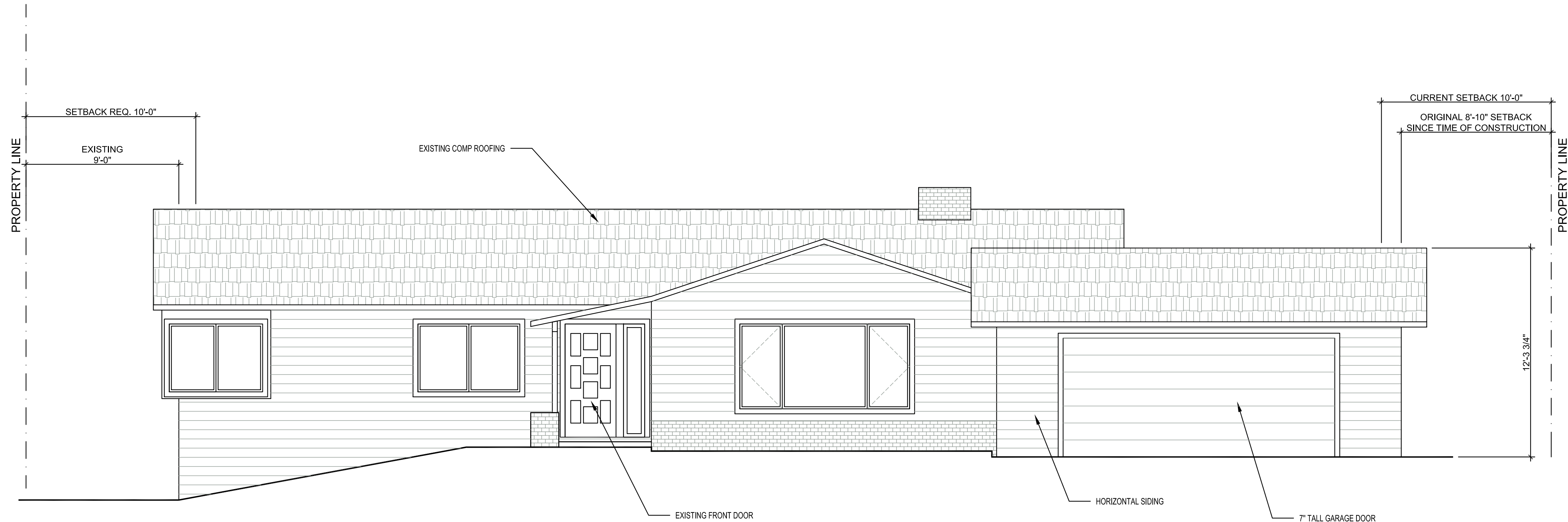
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EXTERIOR ELEVATIONS

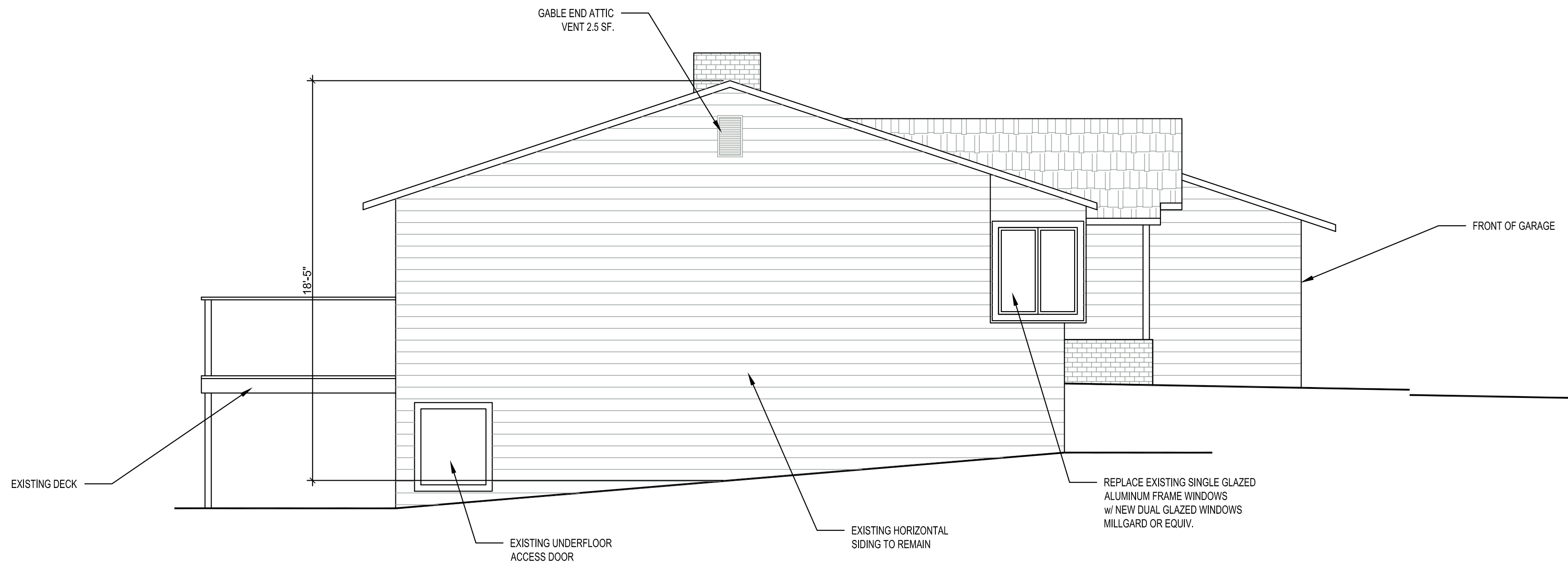
DRAWN SCOTT
CHECKED
DATE 12/29/21
SCALE 1/4" = 1'-0"
JOB # 21/03
SHEET

A3.2
NUMBER IN SET ____



EXISTING FRONT ELEVATION

COLORS:
SIDING CEDAR YELLOW
TRIM GREEN
ROOF WEATHERED WOOD



EXISTING SOUTH SIDE ELEVATION

REVISIONS	BY

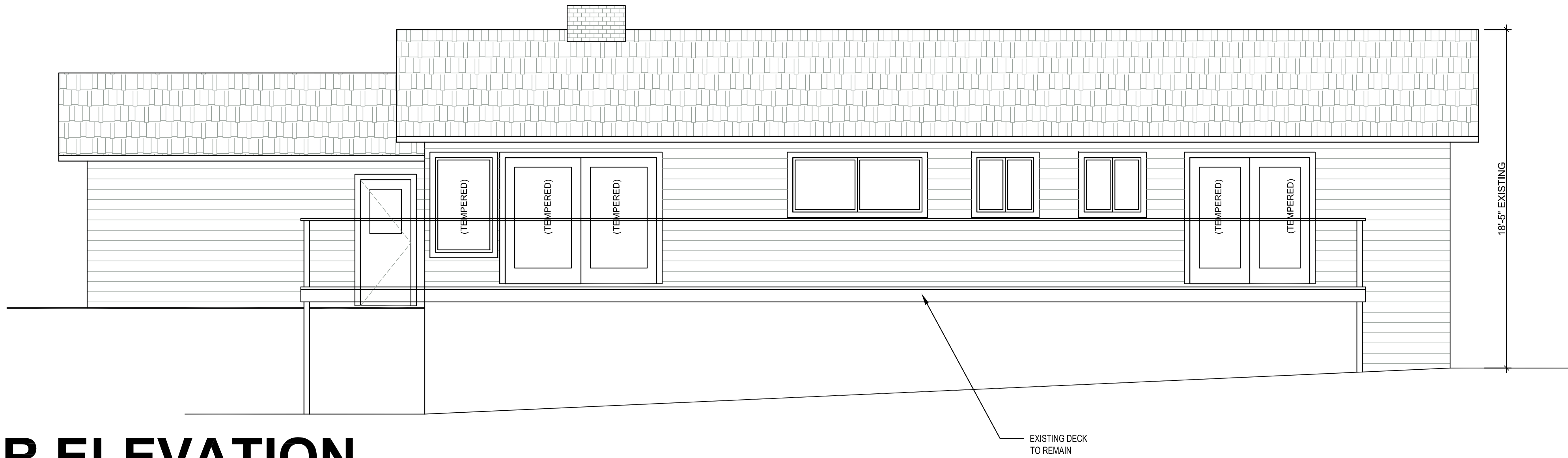
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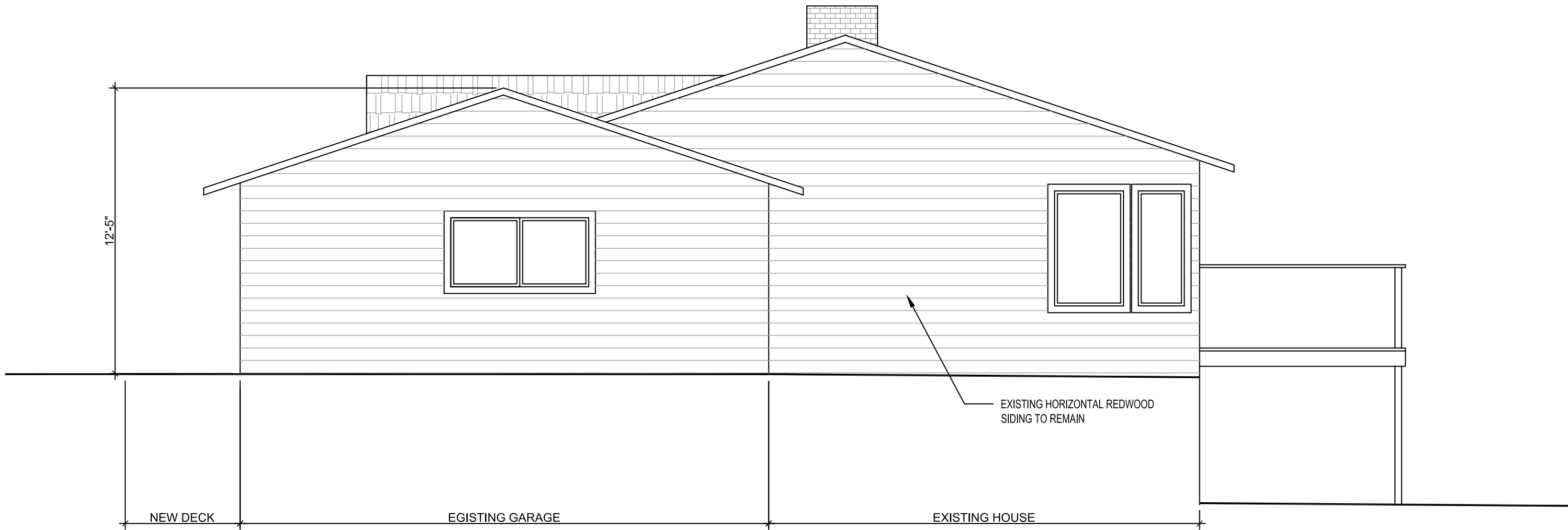
EXISTING EXTERIOR ELEVATIONS

DRAWN SCOTT
CHECKED
DATE 12/29/21
SCALE 1/4" = 1'-0"
JOB # 21/03
SHEET A3.3
NUMBER IN SET

EXISTING REAR ELEVATION



EXISTING NORTH SIDE ELEVATION



REVISIONS	BY	

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SECOND STORY ADDITION & REMODEL
KATZ RESIDENCE
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SANTA CRUZ, CA 95060
(650) 400-9825

EXISTING EXTERIOR ELEVATIONS

DRAWN SCOTT
CHECKED
DATE 12/29/21
SCALE 1/4" = 1'-0"
JOB # 21/03
SHEET A3.4
NUMBER IN SET

ALL FLOORS SHALL BE SHEATHED WITH 3/4" CDX T&G PLYWOOD AND NAIL W/ 10d @ 6"o.c., 12"o.c. IN FIELD.

AT LOCATIONS WHERE NEW SHEAR WALLS ARE NOTED AT EXISTING FOUNDATIONS:
VERIFY/PROVIDE #4 THREADED RODS IN EPOXY FILLED HOLES AND SPACED AS SPECIFIED IN THE SHEAR WALL SCHEDULE ON SHEET SD3.

SPECIAL INSPECTION OF RETROFIT EPOXIED ANCHOR BOLTS INTO EXISTING CONCRETE SHALL BE PERFORMED BY THE ENGINEER OF RECORD. A LETTER VERIFYING SUCH INSPECTIONS WERE PERFORMED SHALL BE ON THE SITE FOR THE CITY FIELD INSPECTOR AT TIME OF SHEAR WALL INSPECTION. NOTIFY ENGINEER 48 HOURS PRIOR TO INSTALLATION OF EPOXIED ANCHORS.

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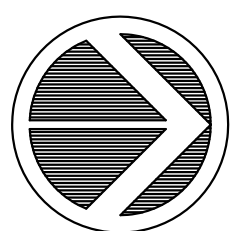
ROOFS SHALL BE SHEATHED WITH 15/32" CDX PLYWOOD AND NAIL W/ 8d @ 6"o.c., 12"o.c. IN FIELD. UNSUPPORTED EDGES NEED NOT BE BLOCKED.

CONTRACTOR TO VERIFY WITH TITLE 24 REPORT IF RADIANT BARRIER PLYWOOD IS REQUIRED.

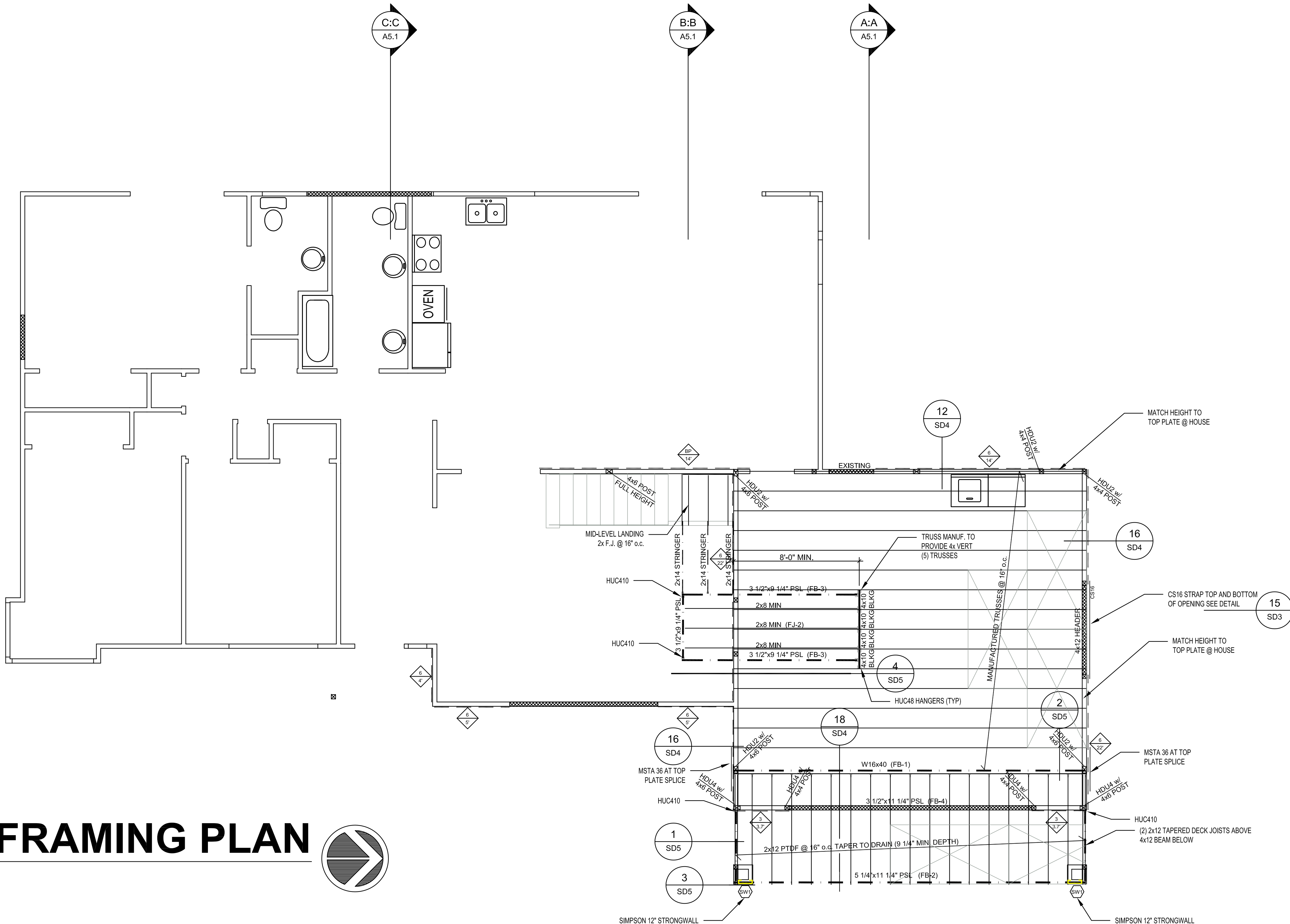
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SECOND FLOOR FRAMING PLAN



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The property owner hereby authorizes Scott Design Associates to proceed with Design Services on this project (Signature) _____ (Date) _____

REVISIONS	BY

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scott@scottdesign.com

SECOND STORY ADDITION & REMODEL
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113 LA CANADA WAY
SANTA CRUZ, CA 95060
(650) 400-9825

SECOND FLOOR FRAMING PLAN
SECOND FLOOR ROOF FRAMING PLAN

DRAWN
SCOTT
CHECKED
DATE
01/25/22
SCALE
1/4" = 1'-0"
JOB #
21/03
SHEET
A4.1
NUMBER IN SET ____

ALL FLOORS SHALL BE SHEATHED WITH 3/4" CDX T&G PLYWOOD AND NAIL W/ 10d @ 6"o.c., 12"o.c. IN FIELD.

AT LOCATIONS WHERE NEW SHEAR WALLS ARE NOTED AT EXISTING FOUNDATIONS: VERIFY/PROVIDE 3/4" THREADED RODS IN EPOXY FILLED HOLES AND SPACED AS SPECIFIED IN THE SHEAR WALL SCHEDULE ON SHEET SD3.

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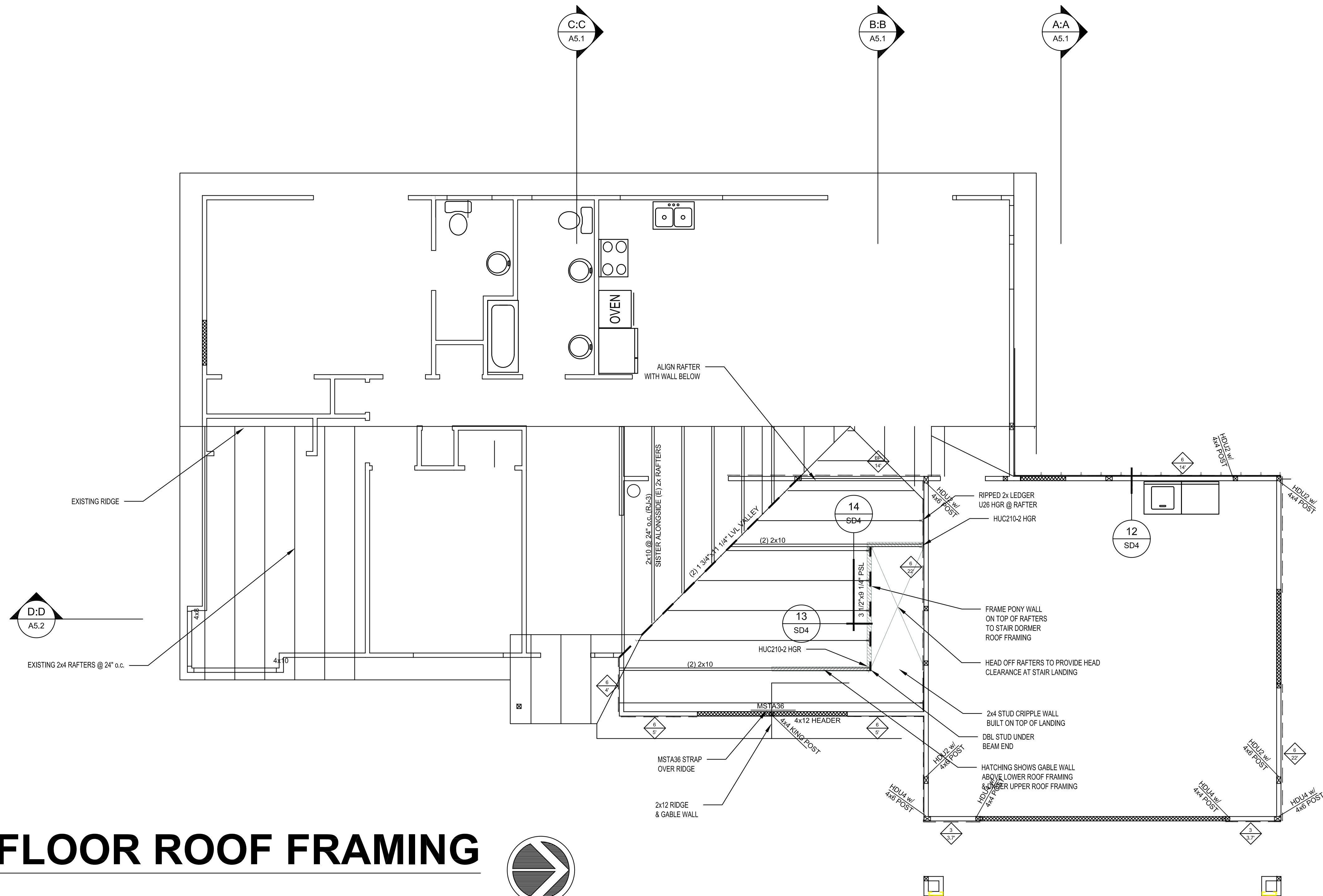
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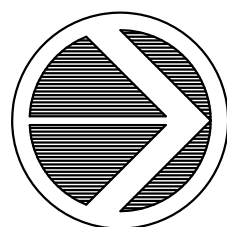
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LOWER FLOOR ROOF FRAMING



The property owner hereby authorizes Scott Design Associates to proceed with Design Services on this project (Signature)

(Date)

LOWER FLOOR ROOF FRAMING PLAN

SECOND STORY ADDITION & REMODEL

KATZ RESIDENCE
113 LA CANADA WAY
SANTA CRUZ, CA 95060
(650) 400-9825

SCOTT DESIGN

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(408) 761-1095
scott@scottdesign.com

REVISIONS	BY

DRAWN
SCOTT

CHECKED

DATE

01/25/22

SCALE

1/4" = 1'-0"

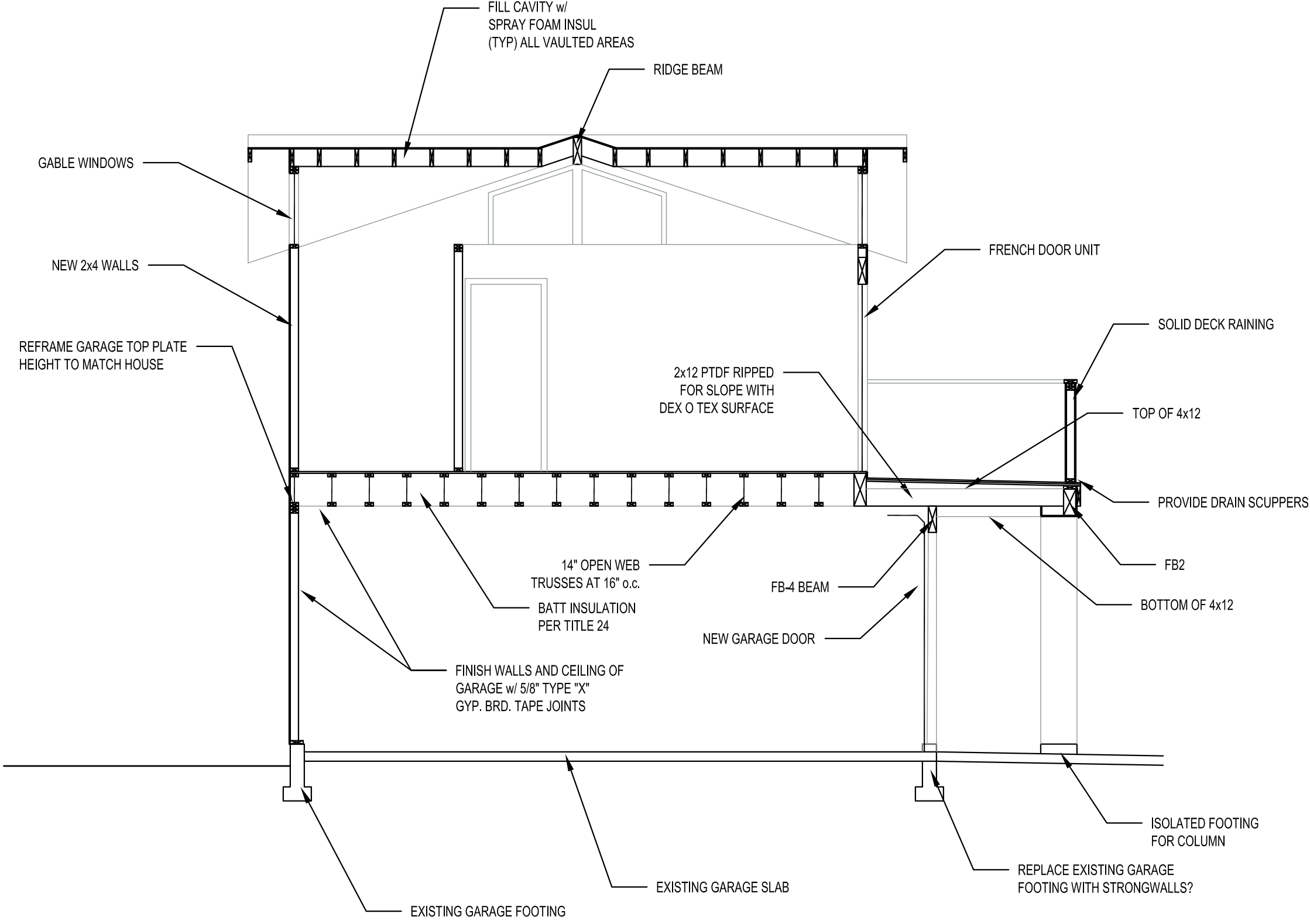
JOB #

21/03

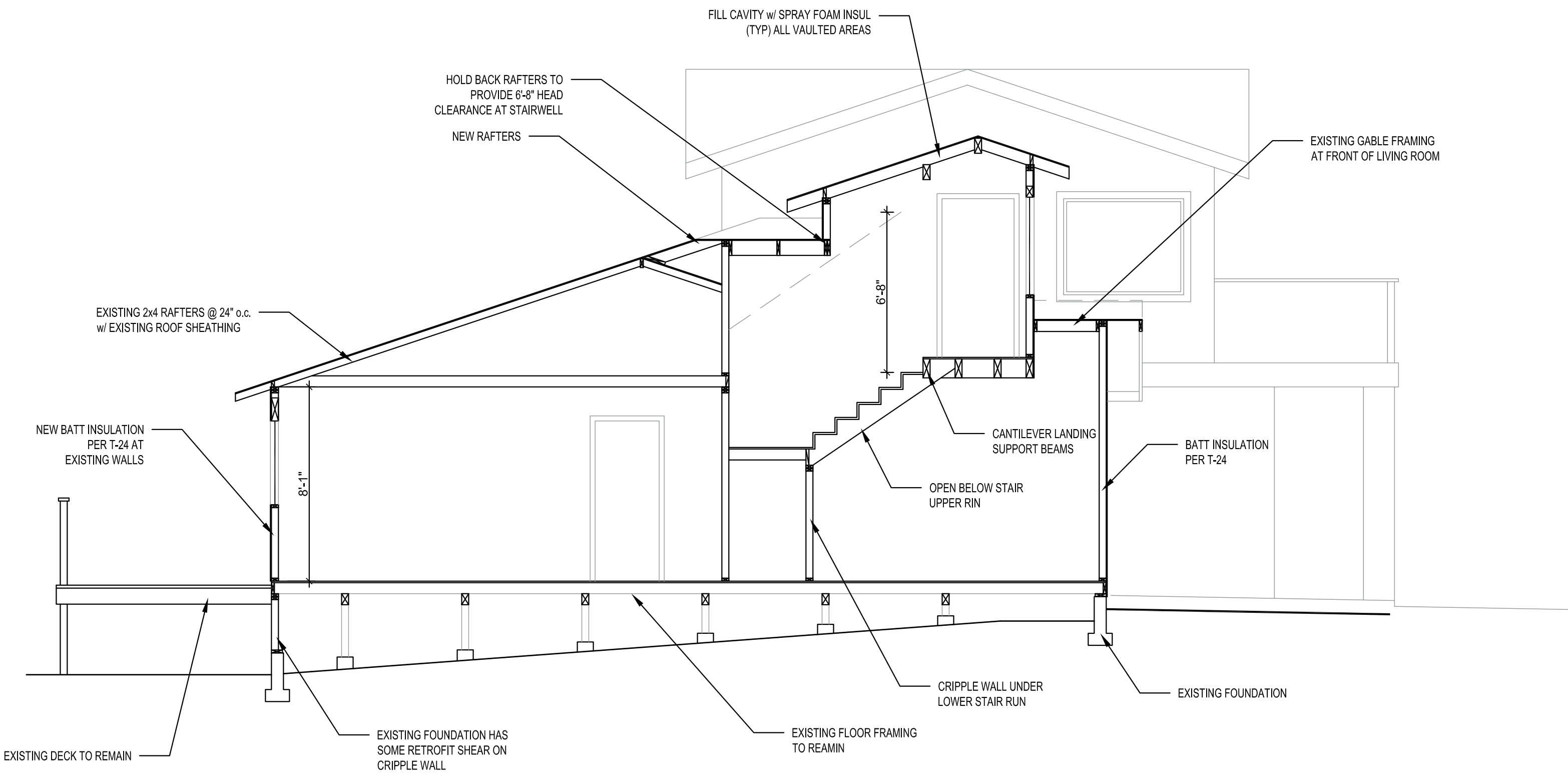
SHEET

A4.2

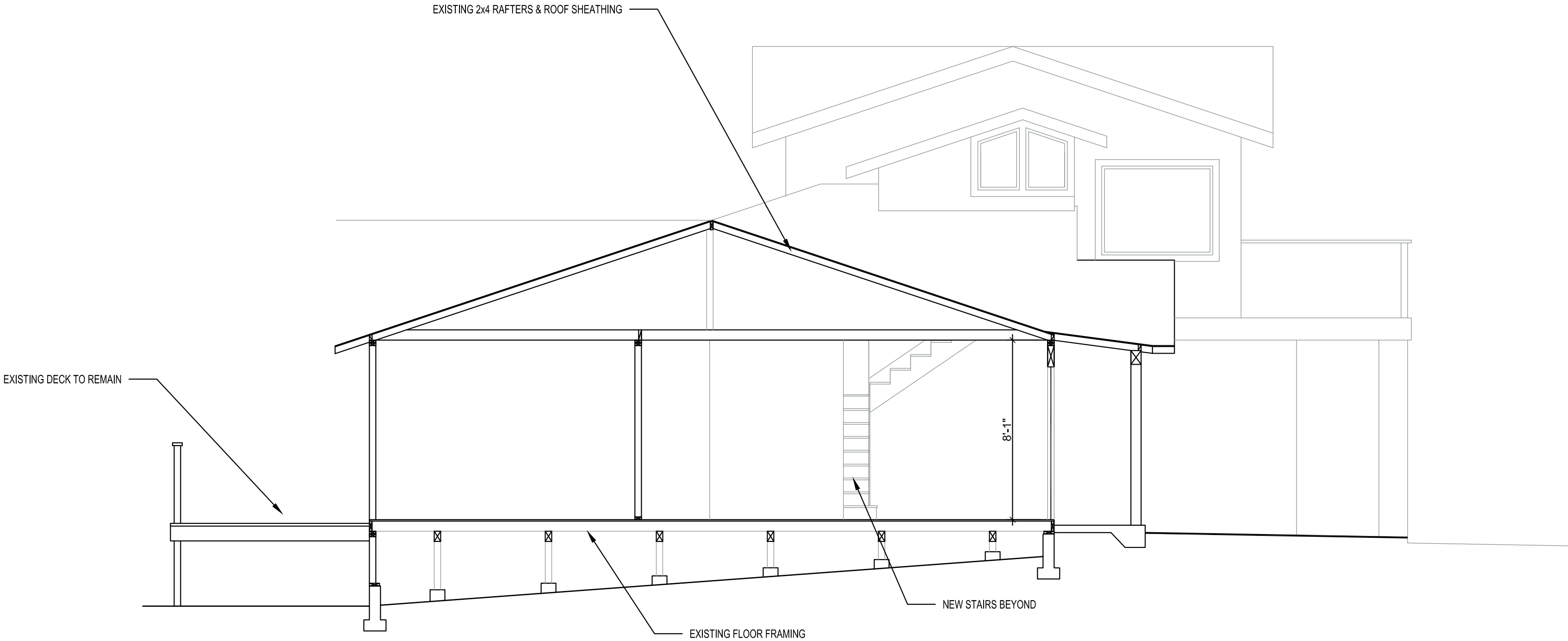
NUMBER IN SET



CROSS SECTION A:A



CROSS SECTION B:B



CROSS SECTION C:C

REVISIONS	BY

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SECOND STORY ADDITION & REMODEL

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SANTA CRUZ, CA 95060
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CROSS SECTIONS

DRAWN
SCOTT

CHECKED

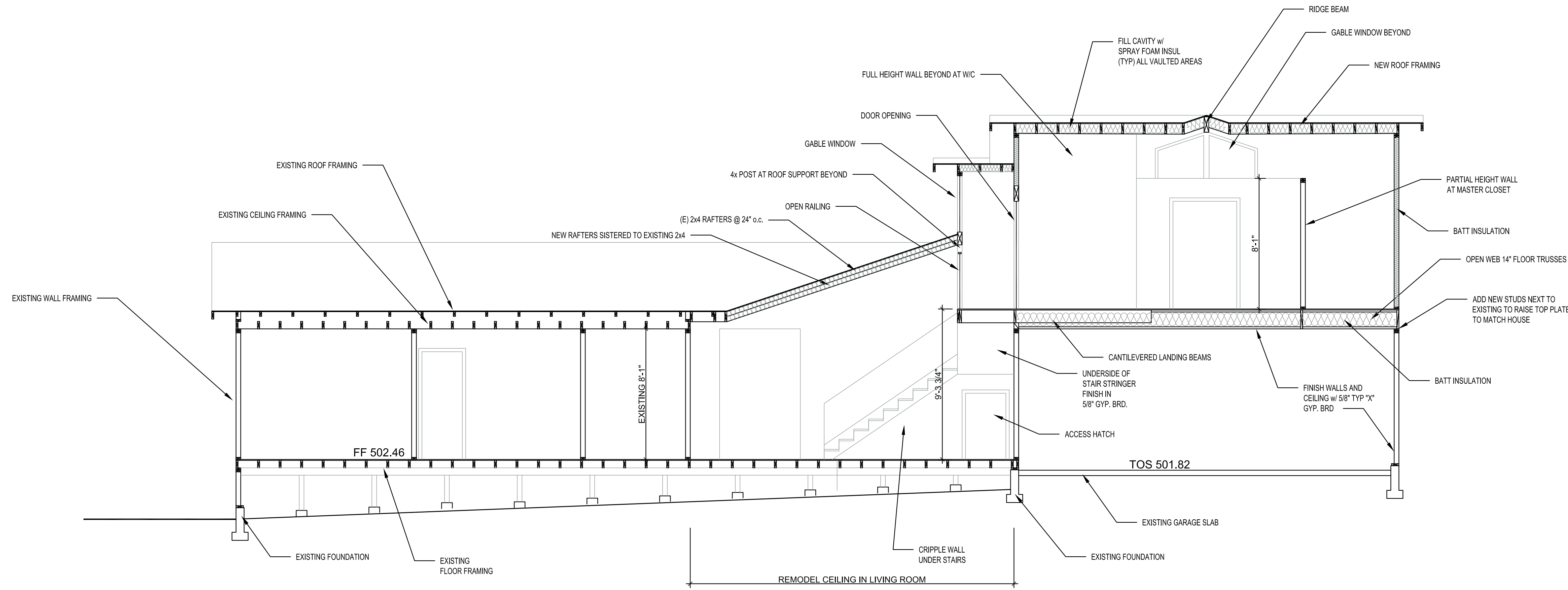
DATE
02/01/22

SCALE
1/4" = 1'-0"

JOB #
21/03

SHEET
A5.1

NUMBER IN SET



CROSS SECTION D:D

REVISIONS	BY

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SECOND STORY ADDITION & REMODEL
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CROSS SECTIONS

DRAWN
SCOTT
CHECKED

DATE
02/01/22
SCALE
1/4" = 1'-0"

JOB #
21/03
SHEET

A5.2

NUMBER IN SET