

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 221147

APN: 057-031-39

SITUS ADDRESS: 3903 Whitehouse Creek, Rd., Davenport 95017

Proposal to replace a CZU Fire destroyed 1,150 square foot single family dwelling with a 2,000 square foot dwelling. Requires a Coastal Development Permit and a determination that the proposal is exempt from further review under the California Environmental Quality Act (CEQA). Property is located on the north side of Whitehouse Creek Road, 1/3 of a mile southeast from Daffodil Lane, in Davenport (3903

Whitehouse Creek Rd.).

OWNER: Marcel Dodge

APPLICANT: Marcel Dodge

SUPERVISORIAL DISTRICT: 3

PLANNER: Sheila McDaniel, (831) 454-2255

EMAIL: Sheila.McDaniel@santacruzcounty.us

Public comments must be received by 5:00 p.m. August 09, 2022.

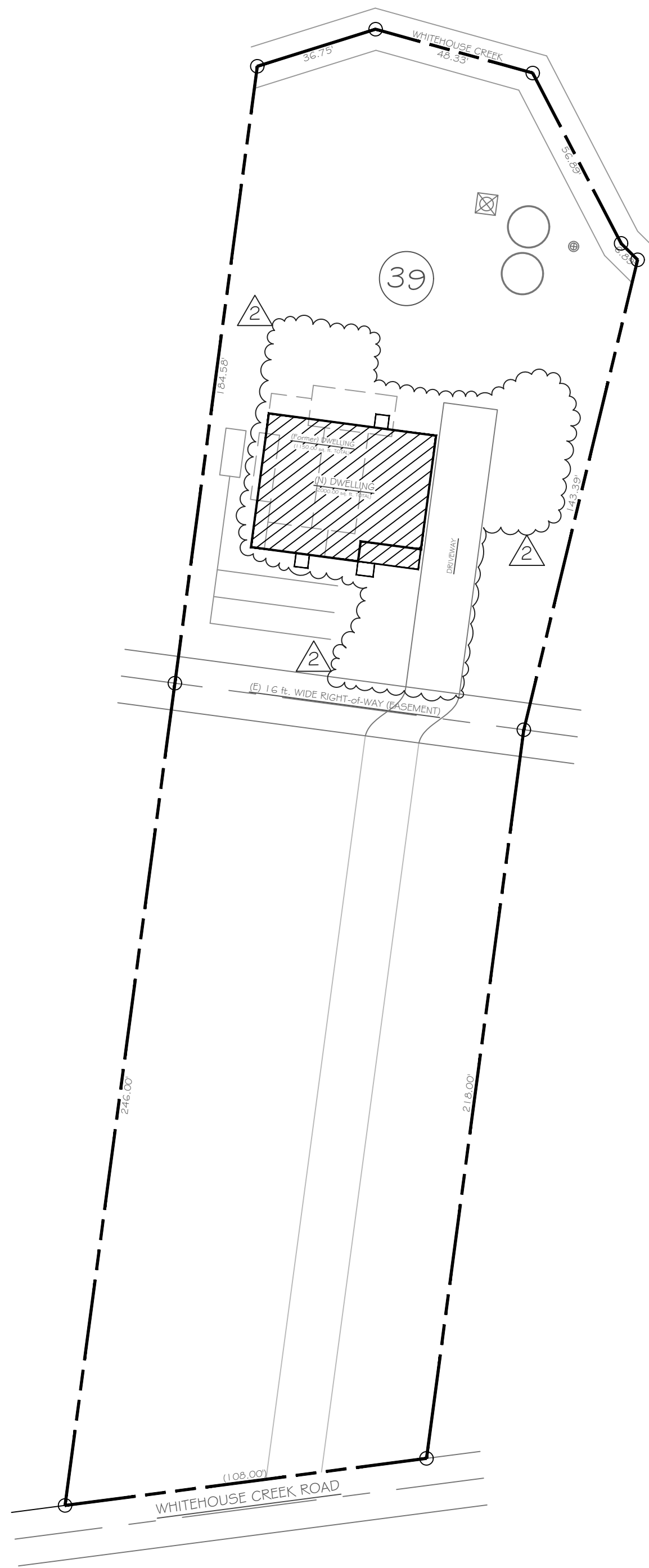
A decision will be made on or shortly after August 10, 2022.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.

If you would like to request a public hearing be held for this item, please contact the project planner listed on this notice.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

For more information, contact the project planner identified above.

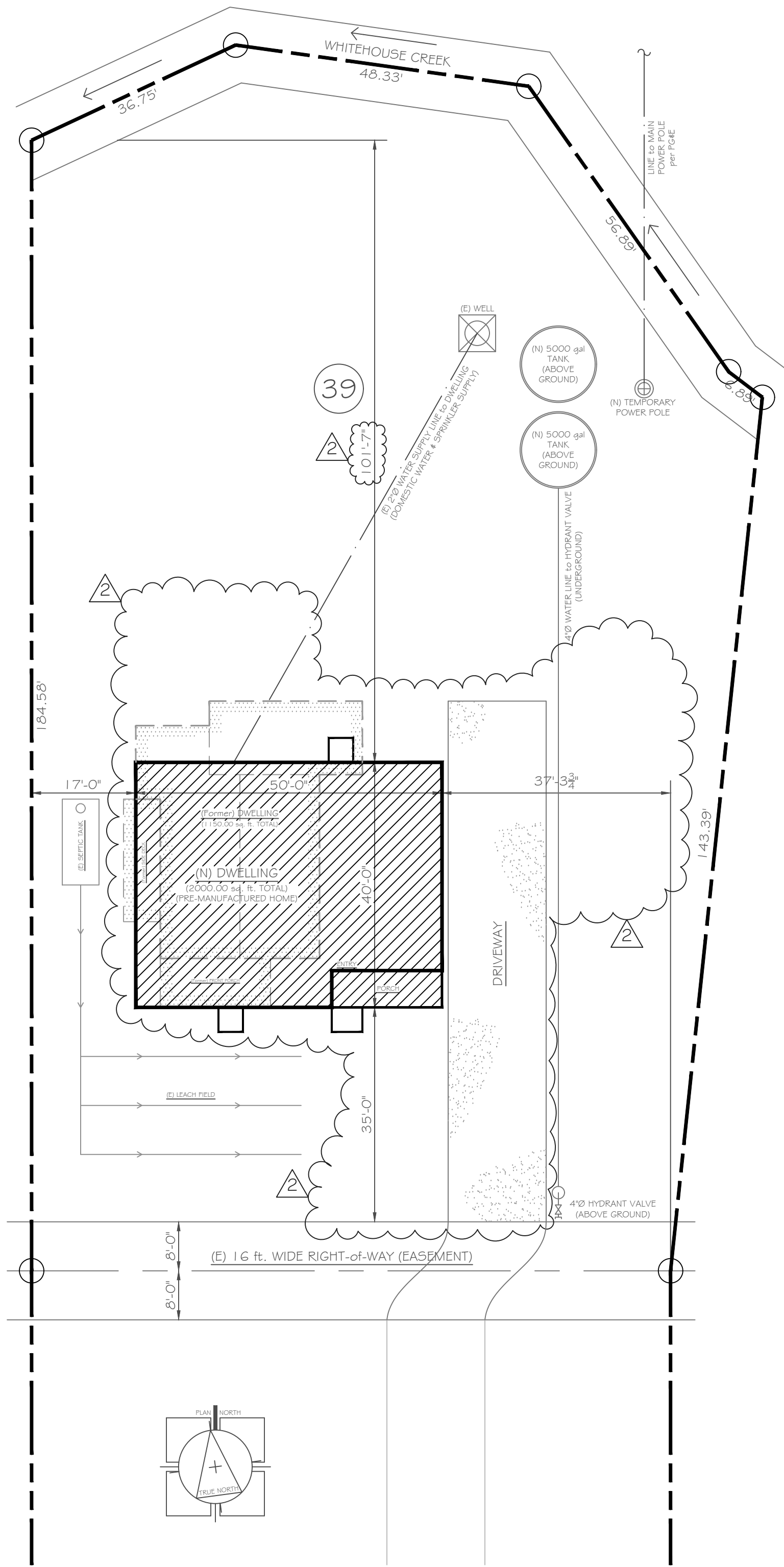


3903 WHITEHOUSE CREEK ROAD
DAVENPORT, CA. 95017



SITE PLAN

SCALE: $\frac{1}{32}'' = 1'-0''$



3903 WHITEHOUSE CREEK ROAD
DAVENPORT, CA. 95017

PLOT PLAN

SCALE: $\frac{1}{16}'' = 1'-0''$

PROJECT INFORMATION

BUILDING INFORMATION:

ASSESSOR'S PARCEL NUMBER: 057-03-1-39
LOT NUMBER: 39
ZONING: A (AGRICULTURE)
TYPE OF CONSTRUCTION: V-B
OCCUPANCY GROUP: R-3
USE: SINGLE FAMILY DWELLING
NUMBER OF STORIES: 1
BUILDING HEIGHT: $\pm 17'-0''$ (PROPOSED) (ROOF HIGH POINT)
FORMER DWELLING FLOOR AREA (FOOTPRINT): ± 1150 sq. ft.
PROPOSED DWELLING FLOOR AREA (FOOTPRINT): ± 2000 sq. ft. (Conditioned: ± 1906 sq. ft.)
LOT AREA: ± 45301.14 sq. ft.
SETBACKS:
FRONT (SOUTH SIDE): $35'-0''$ (To EXISTING Right-of-Way)
REAR (NORTH SIDE): $101'-7''$ (To PROPERTY LINE (CENTER of WHITEHOUSE CREEK))
RIGHT (EAST SIDE): $37'-3\frac{3}{4}''$
LEFT (WEST SIDE): $17'-0''$
FIRE EXTINGUISHING SYSTEM to be FURNISHED by PRE-MANUFACTURED HOME BUILDER.

SCOPE OF WORK:

PROPOSAL is for the REPLACEMENT of a FORMER DWELLING DESTROYED in the CZU COMPLEX FIRES BEGINNING in AUGUST of 2020. PREVIOUS DWELLING was ± 1150 sq. ft. in SIZE. PROPOSED DWELLING is to be a PRE-MANUFACTURED HOME ± 2000 sq. ft. in SIZE $50' \times 40'$ NEW HOME to HAVE FIRE SUPPRESSION SYSTEM and MECHANICAL (HVAC) PRE-INSTALLED at the MANUFACTURER. TWO (2) NEW 5000 GALLON WATER TANKS are to be INSTALLED at the REAR of the PROPERTY with a 4" PIPE TRAVELING UNDERGROUND to an ABOVE GROUND HYDRANT VALVE at a POINT NEXT to the RIGHT-OF-WAY for FIRE-FIGHTING EQUIPMENT ATTACHMENT. EXISTING LEACH FIELD and SEPTIC SYSTEM were NOT DAMAGED in the FIRE. ONSITE WELL was ALSO LEFT INTACT. POWER to SITE is PROVIDED by PG&E.

TITLE 24:

MECHANICAL EQUIPMENT to be FURNISHED by PRE-MANUFACTURED HOME BUILDER.

APPLICABLE BUILDING CODES:

2019 CALIFORNIA BUILDING CODE (CBC)
2019 CALIFORNIA FIRE CODE (CFC)
2019 CALIFORNIA ELECTRICAL CODE (CEC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA ENERGY CODE
[ENERGY EFFICIENCY STANDARDS (EES)]
2019 CALIFORNIA ACCESSIBILITY CODE

DRAWING INDEX:

A-1 PROJECT INFO / CITY / COUNTY APPROVAL / PLOT PLAN / SITE PLAN / AREA MAPS

PRIOR TO COMMENCEMENT OF EXCAVATION THE CONTRACTOR SHALL CONTACT U.S.A. FOR UNDERGROUND UTILITY LOCATION VERIFICATION.

AREA MAPS



CITY - COUNTY APPROVAL

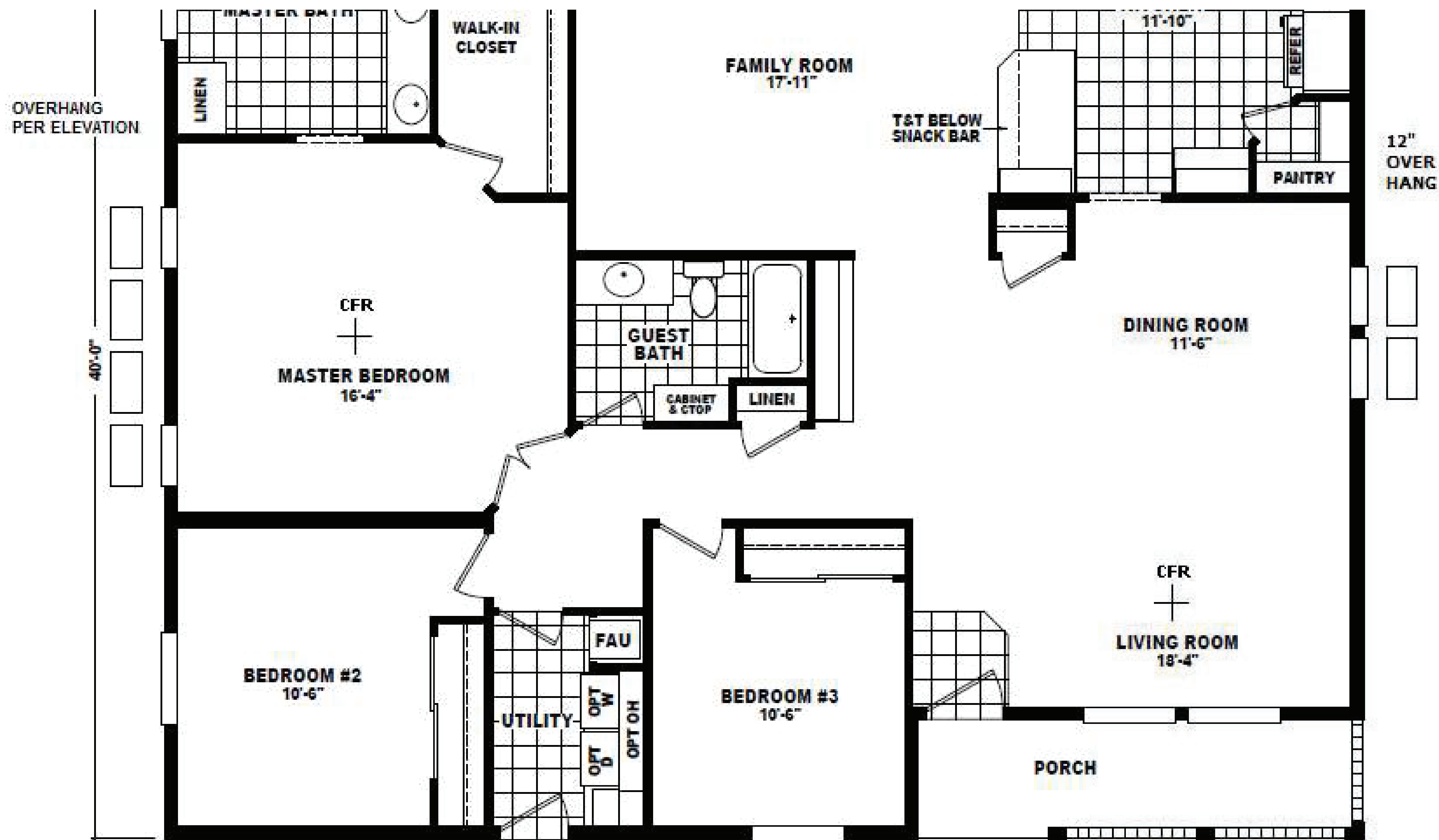
No.	Revisions / Issue	Date	By
1	Added Area Maps per Santa Cruz County Planning Department's Request	3-23-2021	A.M.S.
2	Per Pre-Manufactured Dwelling Size and Site Alterations	5-15-2022	A.M.S.

WHITEHOUSE CREEK ROAD SITE PLAN (SANTA CRUZ MOUNTAINS)
SITE PLAN for REPLACEMENT of a FORMER DWELLING with a NEW PRE-MANUFACTURED HOME for:
Mr. MARCEL DODGE
3903 WHITEHOUSE CREEK ROAD, DAVENPORT, CALIFORNIA, 95017
CONTACT PHONE: 650-533-7376

Firm Name and Address

Project No.	A-058
Drawn	A.M.S.
Checked	
Date	02-14-2021
Scale	AS NOTED
Sheet	

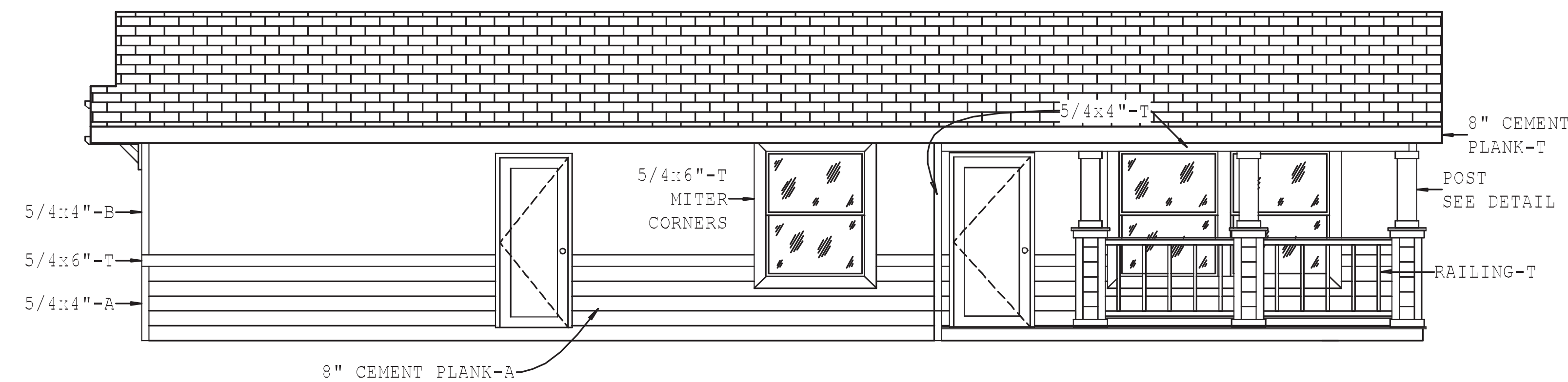
A-1
ARCHITECTURAL



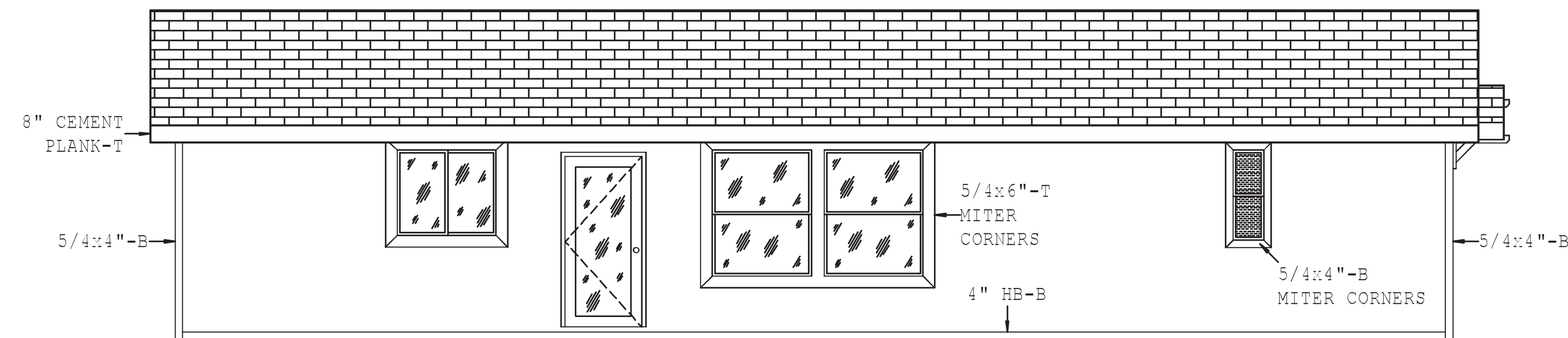
NO EAVE- AWNING READY

MODEL: MR-40503A

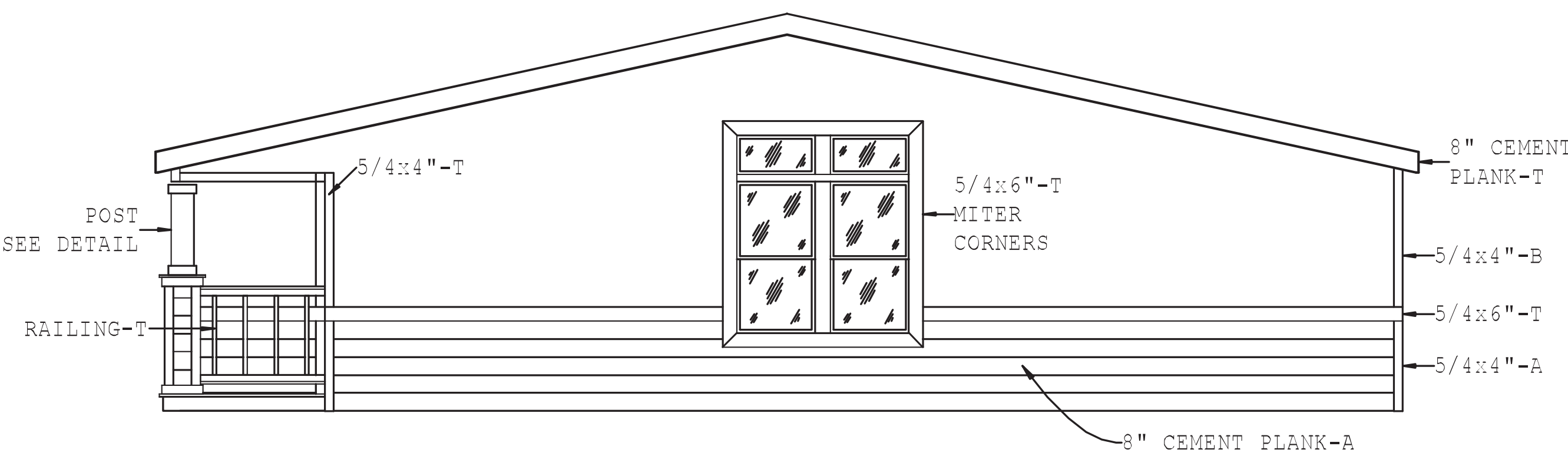
APPROXIMATELY 2000 SQ. FT. TOTAL
 APPROXIMATELY 1906 SQ. FT. LIVABLE
 3 BEDROOM, 2 BATH



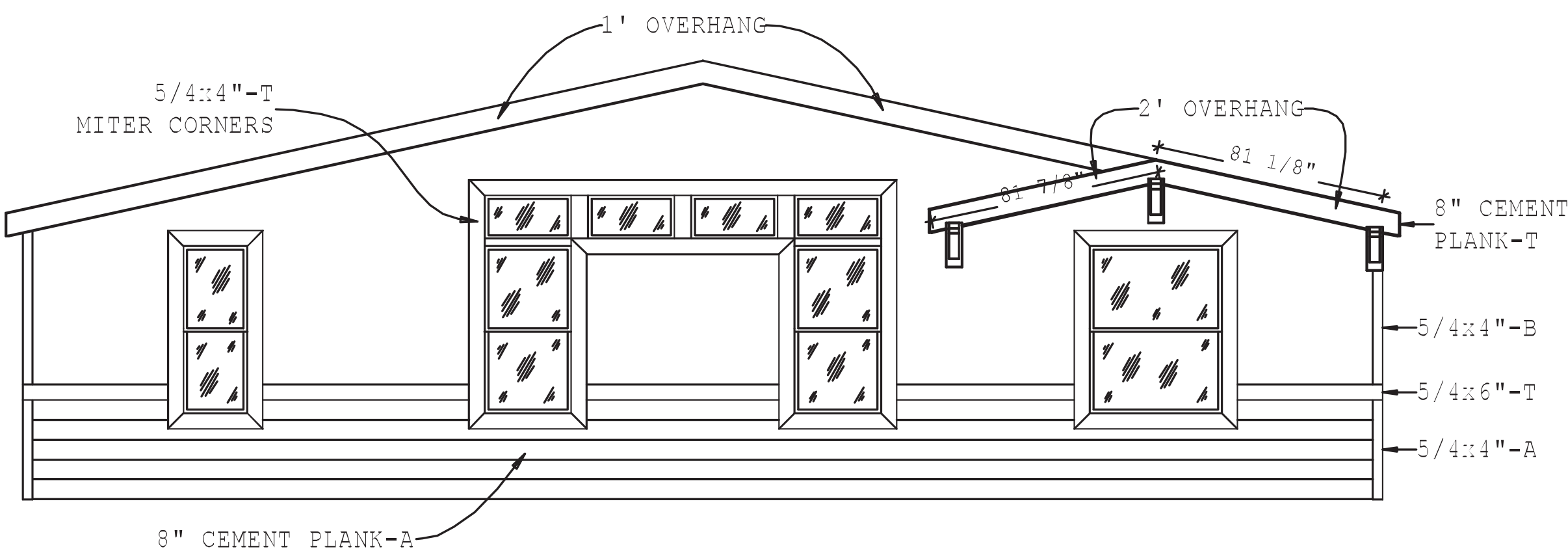
DOOR SIDE ELEVATION



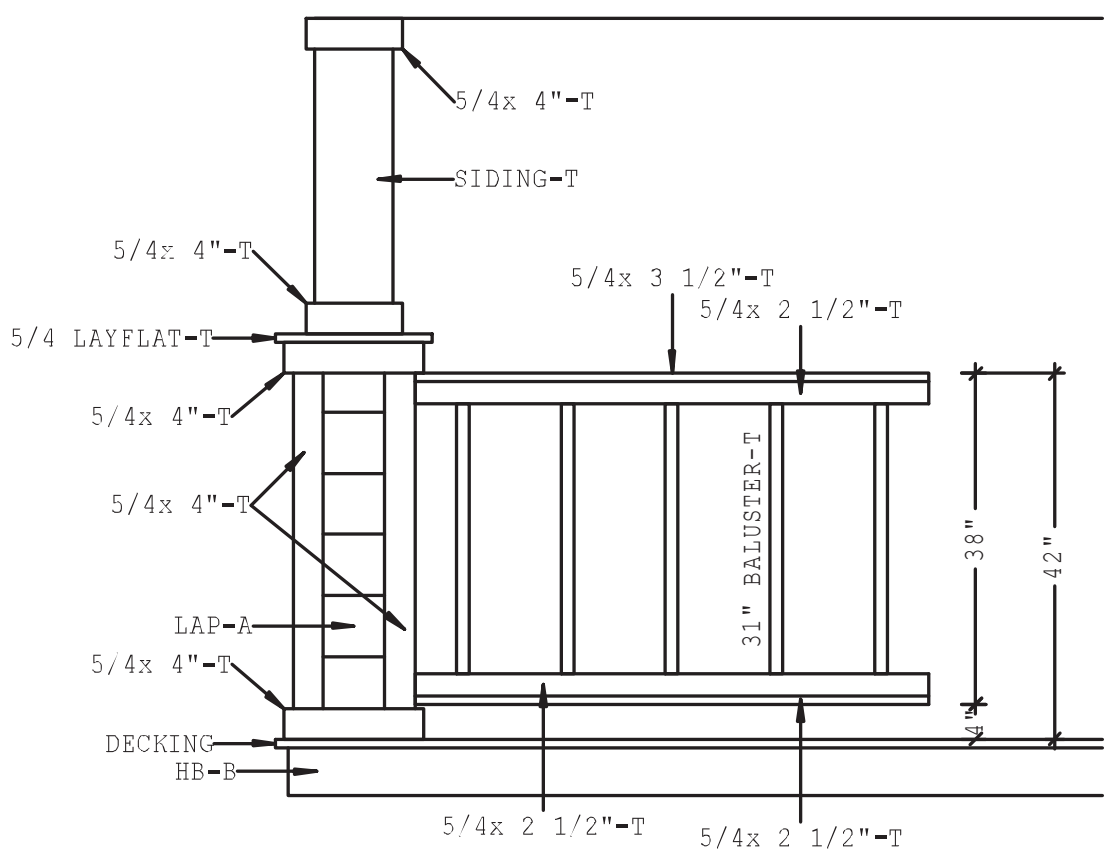
OFFDOOR SIDE ELEVATION



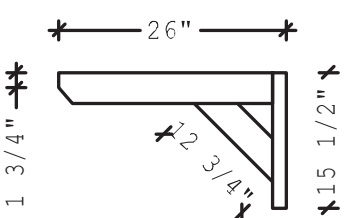
FRONT ELEVATION



REAR ELEVATION



42" BUILT-OUT COLUMN DETAIL



CORBEL
DETAIL