

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATION NUMBER: 221219

APN: 046-231-29

SITUS ADDRESS: 155 Palm View Lane, Watsonville 95076

Proposal to add 1,379 square feet to an existing two bedroom, two bath, single family dwelling. Requires a Coastal Development Permit.

Property located at 155 Palm View Lane in Watsonville.

OWNER: Rick McCoid

APPLICANT: LeiLani Vevang

SUPERVISORIAL DISTRICT: 2

PLANNER: Nathan MacBeth, (831) 454-3118

EMAIL: Nathan.Macbeth@santacruzcounty.us

Public comments must be received by 5:00 p.m. October 25, 2022.

A decision will be made on or shortly after October 26, 2022.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date.

If you would like to request a public hearing be held for this item, please contact the project planner listed on this notice.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

For more information, contact the project planner identified above.

TITLE PAGE & NOTES

PROJECT DATA

APN. 046-231-29

LOCATION:

155 Palm View
La Selva Beach , Ca. 95076

OWNERS:

Rick McCold
155 Palm View
La Selva Beach , Ca. 95076

PROPOSAL:

Remodel an existing 2 bedroom, 2 bath, one car garage house by adding a new 2 car garage and reconfiguring the Master Bedroom and Master Bath. Total sq.ft. of new addition 497 sq.ft. of heated space.

SIGHT STATISTICS

ASSESSORS PARCEL NUMBER:

046-231-29

ZONING:

R-1-10 to R-1-15.9

LOT AREA:

13,677.8400 (.3140 acres)

PORTION OF FLAG LOT FOR ROAD:

-2,858.29 sq.ft.

NET SITE AREA:

=10,819.55 sq.ft.

LOT COVERAGE: (Existing with decks)

2,349.149 sq.ft. = .22%

LOT COVERAGE: (Proposed with decks)

2,834.66 sq.ft. = .26%

HOUSE FOOT PRINT WITH DECKS:

2,834.66 sq.ft.

TOTAL FOOTPRINTS:

2,834.66 sq.ft.

FLOOR AREA RATIO:

3,488 sq.ft. = .319%

MAXIMUM F.A.R. ALLOWED

50% =5,409.77sq.ft.

AREA CALCULATIONS:

HEATED SPACE:

(E) EXISTING

(P) PROPOSED

HEATED SPACE

HEATED LOWER FLOOR LEVEL

787 sq.ft.

787 sq.ft.

787 sq.ft.

HEATED UPPER FLOOR LEVEL

1,033 sq.ft.

1,530 sq.ft.

1,530 sq.ft.

HEATED =

1,820 sq.ft.

2,377 sq.ft.

2,377 sq.ft.

TOTAL HEATED =

2,377 sq.ft.

INCREASE IN HEATED SPACE=

497 sq.ft.

UN-HEATED COVERED AREAS:

(E) EXISTING

(P) PROPOSED

(T) TOTAL

GARAGE

188 sq.ft.

660 sq.ft.

848 sq.ft.

COVERED ENTRY DECK & STAIRS

134 sq.ft.

134 sq.ft.

134 sq.ft.

(N) COVERED DECK /PATIO

0 sq.ft.

202 sq.ft.

202 sq.ft.

STORAGE SHED (TBR)

120 sq.ft.

0 sq.ft.

0 sq.ft.

STORAGE ROOM

109 sq.ft.

0 sq.ft.

109 sq.ft.

GARAGE STORAGE ROOM

183 sq.ft.

0 sq.ft.

183 sq.ft.

UN-HEATED SUB TOTAL

734 sq.ft.

996 sq.ft.

1,476 sq.ft.

COVERED DECK CREDIT 140 sq.ft.

-140 sq.ft.

GARAGE CREDIT 225 sq.ft.

-225 sq.ft.

TOTAL UN-HEATED SPACE AFTER CREDIT=

=1,111 sq.ft.

TOTAL UN-HEATED SPACE=

1,111 sq.ft.

TOTAL HEATED =

+2,377 sq.ft.

TOTAL FOR F.A.R. =

= 3,488 sq.ft.

MAXIMUM F.A.R. ALLOWED

50% =5,409.77sq.ft.

OFF STREET PARKING :

COVERED PARKING:

3 SPACES

UNCOVERED PARKING :

6+ SPACES

EXTERIOR HOUSE "SPEC"

NOTE: ALL COLORS ARE TO MATCH EXISTING

ROOFING :

NEW CLASS A ASPHALT ROOFING TO MATCH EXISTING

SIDING :

EXISTING: T-1-11 WOOD SIDING
PROPOSED: TO MATCH EXISTING T-1-11 WOOD SIDING

COLOR:

CHARCOAL GRAY MATCH EXISTING

TRIM:

FASCIA AND GABLE END TRIM

COLOR:

WHITE

GUTTERS:

GALV. METAL

COLOR:

WHITE

WINDOWS:

VINYL WINDOWS (By Milgard)

COLOR:

WHITE

WINDOW TRIM:

COLOR:

WHITE

CALIFORNIA ENERGY CODE REQUIREMENTS-TITLE 24

2019 ENERGY FORMS SHALL BE INCORPORATED INTO THE DRAWINGS. INDICATE SPECIFIC ITEMS ON APPROPRIATE PLAN PAGES. ALL SIGNATURE BLOCKS AND FORMS MUST BE SIGNED. THE CF1R-NCB-01-E FORM SHALL HAVE A REGISTRATION NUMBER.

ENERGY COMPLIANCE SOFTWARE USED SHALL BE AN APPROVED VERSION OF 2019 STANDARDS

CONSULTANTS

BUILDING DESIGNER:

Kevin & LeiLani Vevang RESIDENTIAL DESIGN (831)331-5037
P.O. Box 1315 Penn Valley,Ca. 95946

STRUCTURAL ENGINEER:

Lincoln & Long Civil Engineering &Environmental Services
568 East Main St., Suite D. Grass Valley. Ca. 95945
(530) 275-0503

SURVEYOR:

Alpa Land Surveyors, Inc.
4444 Scotts Valley Dr. #7 Scotts Valley, Ca. 95066
(831)438-4453

SPECIAL INSPECTIONS:

Pacific Crest Engineering, Inc.
444 Airport Blvd. Suite # 106 Watsonville, Ca. 95076
(831)722-9446

T-24 (Energy Calc's):

Energlo24 Chris A Kaye
4826 Allen Court Eureka, CA 95503
(888) 655-4156

IMPERVIOUS SURFACE CALCULATIONS

(E) EXISTING

(P) PROPOSED

(T) TOTAL

HOUSE FOOTPRINT w/ COVERED DECK & ENTRY

1,804.0sq.ft.

2,103 sq.ft.

2,103 sq.ft.

ASPHALT DRIVEWAY & PARKING

4,616 sq.ft.

4,370 sq.ft.

4,370 sq.ft.

CONC. BACK PATIO SLAB & WALKWAYS

985 sq.ft.

985 sq.ft.

985 sq.ft.

STORAGE SHED #1

96 sq.ft.

96 sq.ft.

96 sq.ft.

STORAGE SHED #2

64 sq.ft.

64 sq.ft.

64 sq.ft.

TOTALS

7,565.0 sq.ft.

7,618 sq.ft.

7,618 sq.ft.

PROPOSED TOTAL =

7,618 sq.ft.

PROPOSED IMPERVIOUS:

7,618 sq.ft.

EXISTING IMPERVIOUS:

7,565.0 sq.ft.

TOTAL NEW IMPERVIOUS=

53 sq.ft.

WALL RATIO NOTE:

(Existing) EXTERIOR WALLS = 280'-10 1/2" LIN. FT.
(New) EXTERIOR WALLS = 150.25 LIN.FT.

LESS THAN 75% OF EXTERIOR WALLS ARE NEW, THEREFORE NO FIRE SPRINKLERS ARE REQUIRED

FIRE NOTES:

"NON SPRINKLERED"

OCCUPANCY R-3
TYPE: VB

FIRE HYDRANT LOCATION IS 165 FT. FROM STRUCTURE ON PALM VIEW DR.
PRESSURE IS AROUND 8 LBS

WATER PROVIDED BY SAN ANDREAS MUTUAL WATER COMPANY.

ALL CONSTRUCTION TO COMPLY WITH CALIFORNIA (2019) BUILDING & FIRE CODES AND DISTRICT AMENDMENTS.

ROOF COVERINGS MIN. CLASS "B" OR BETTER

THE CHIMNEY OF ALL WOOD BURNING APPLIANCES SHALL HAVE APPROVED SPARK ARESTERS MADE OF WIRE MESH OF MIN. 16 GA. WITH 1/2" MAX. OPENINGS.

MAINTAIN 30' OF NON-COMBUSTABLE VEGETATION AROUND ALL STRUCTURES.

PROVIDE 4" MIN. ADDRESS NUMBERS WITH CONTRASTING COLORS VISIBLE FROM STREET

CONSTRUCTION WASTE:

A minimum of 65% of the Construction Waste and Demolition waste will be recycled, reused on the project, or salvaged for later use or sale. CGBC 4.408.1, SCC Requirement.

INSULATION NOTE:

Insulation: For all remodels, insulation meeting the mandatory feature requirements in the California Energy Code shall be installed at ceilings, walls, floors and water pipes, when these areas are exposed during remodeling. SCC Code 12.10.250

APPLIANCES:

New appliances installed as part of any remodel, addition or new construction shall be Energy Star appliances. SCC Code 12.10.250

HERS Trigger:

when >40 feet of new or replacement space-conditioning duct system ducts are installed, the ducts shall be insulated, sealed and field tested. Ducts shall be insulated with a minimum of R6 in unconditioned space and a minimum of R4.2 in conditioned space. CEnC 150.2(b)1D, 150.2(b)1E, 150.0(m)1

Duct Sizing, Alterations:

Duct system sizing is required on an altered duct system when 75% or more of the duct system is replaced. Duct systems are sized according to ANSI/ACCA 1 Manual D-2014, ASHRAE handbooks or other equivalent design software or methods. CGBC 4.507.2

SPECIAL INSPECTIONS:

1. EPOXY SET HOLDOWNS & ANCHOR BOLTS.

DEFERRED SUBMITTALS

FINAL DESIGN DRAWINGS FOR THE MECHANICAL PLAN (DUCT SIZING AND OVERALL SYSTEM CHECK) ARE TO BE SUBMITTED AS A "CHANGE ORDER" TO THE COUNTY OF SANTA CRUZ BUILDING COUNTER TECHNICIANS .
DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. CBC 107.3.4, CRC 106.4

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A2.1

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A2.2

EXISTING SOUTH & NORTH ELEVATIONS

A2.3

EXISTING FLOOR PLANS

A3.1

PROPOSED EAST & WEST ELEVATIONS

A3.2

PROPOSED NORTH & SOUTH ELEVATIONS

A3.3

PROPOSED LOWER FLOOR PLANS

A3.4

PROPOSED UPPER FLOOR PLAN, WINDOW & DOOR SCHEDULES

A4.1

CROSS SECTION

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CROSS SECTION

EROSION CONTROL NOTES:

1. Measures shall be employed during construction phases to protect exposed soils from erosion.

2. Site development shall be fitted to the topography and soil so as to create the least potential for erosion.

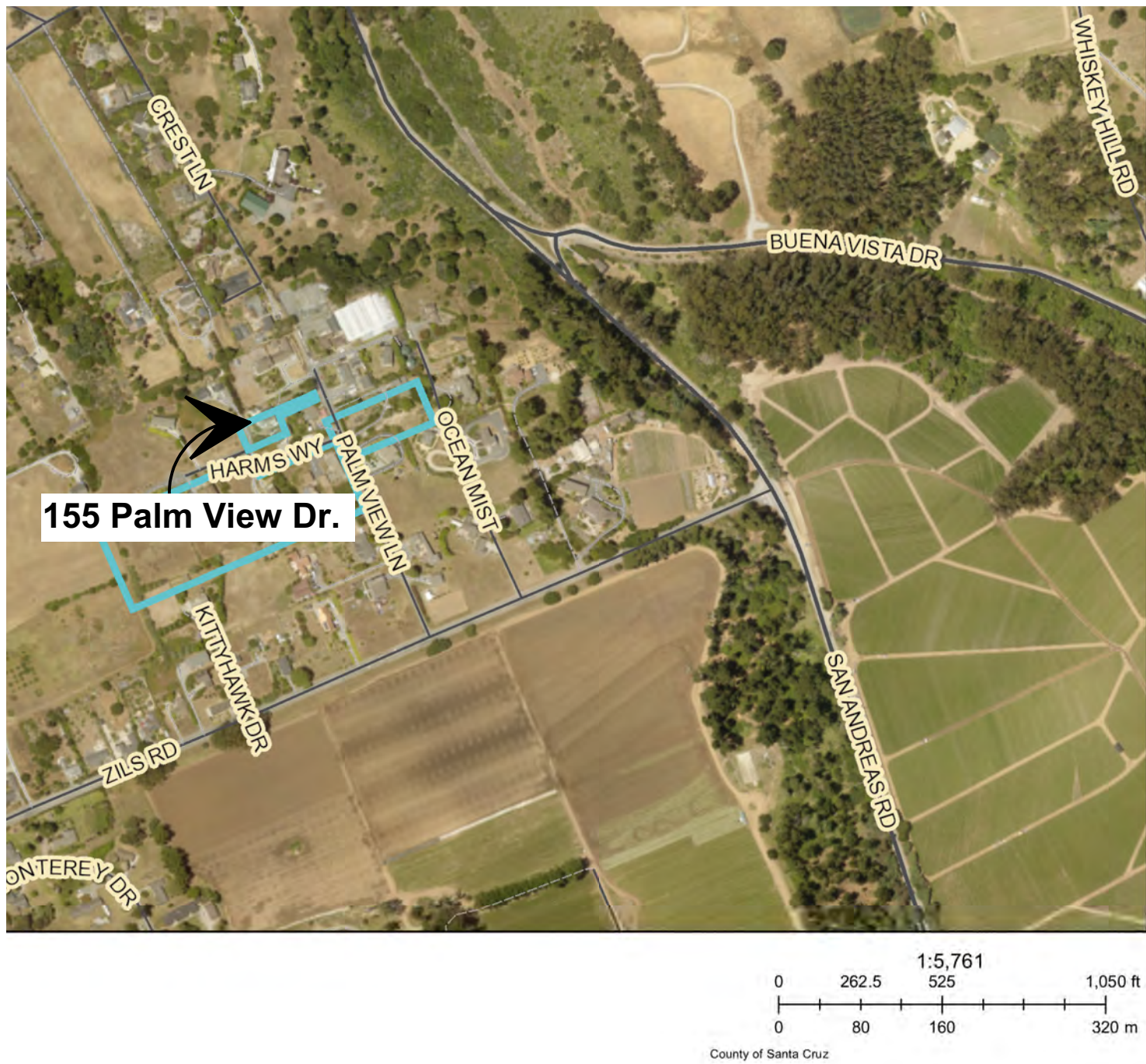
3. Vegetation removal shall be limited to that amount necessary and as indicated on approved erosion control plans.

4. As the permanent vegetation cover is maturing, temporary vegetation, sufficient to stabilize the soil, shall be established on all disturbed areas as needed and as each stage of grading is completed. New planting shall be protected by using jute netting, mulching, fertilizing, and irrigation.

5. Protection of tree crowns and root zones shall be required for all trees planned for retention.

6. Land shall be developed in increments of workable size which can be completed in single construction season. Erosion and sediment control measures shall be coordinated with a sequence of grading, development, and construction operations. Erosion control measures shall be put into effect prior to the commencement of the next inclement period.

7. All on-site erosion-control facilities, both temporary and permanent, shall be properly maintained by the owners so that they do not become nuisances with stagnant water, odors, insect breeding heavy algae growth, debris, and/or safety hazards.



GENERAL NOTES

1. ALL WORK ON THIS PROJECT SHALL COMPLY WITH THE 2019 CRC,CMC,CEC,CPC,CGBSC AND 2019 CALIFORNIA ENERGY CODE. . IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND THE REQUIREMENTS OF THE REFERENCED STANDARDS OF THESE NOTES, THE PROVISIONS OF THE MORE STRINGENT SHALL GOVERN.

2. THE CONTRACTOR SHALL VERIFY ALL THE INFORMATION IN THE DRAWINGS AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCY PRIOR TO ORDERING MATERIALS OR COMMENCING WITH WORK. THE CONTRACTOR SHALL VISIT THE SITE AND SHALL NOTIFY THE DESIGNER IF THERE ARE ANY OBSERVED DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS.

3. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK EXCEPT THOSE ITEMS NOTED AS N.I.C. (NOT IN CONTRACT). IF HIDDEN OR UNUSUAL SITUATIONS ARE ENCOUNTERED DURING CONSTRUCTION, WHICH COULD NOT HAVE BEEN FORESEEN PRIOR TO CONSTRUCTION, NOTIFY THE DESIGNER BEFORE PROCEEDING WITH WORK.

4. THE CONTRACTOR SHALL NOT ENCUMBER ANY PUBLIC OR PRIVATE PROPERTY OTHER THAN THE SITE WITHOUT ENCROACHMENT PERMITS OR WRITTEN PERMISSION FROM THE OWNERS OF THE PROPERTY TO BE ENCUMBERED.

5.THE CONTRACTOR SHALL PROVIDE FENCING, BARRICADES, WARNING SIGNS/SIGNAL OR OTHER PROTECTIVE MEASURES AS NEEDED TO PROVIDE FOR THE PUBLIC SAFETY

6. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL INSPECTIONS AND AT THE END OF THE WORK PROVIDE THE OWNER WITH ALL THE ORIGINAL SIGNED DOCUMENTS FROM THE INSPECTING ENTITY.

7. TYPICAL DETAILS AND NOTES SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHER WISE. DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS FOR SIMILAR CONDITIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWINGS. SCALE DRAWINGS TO DETERMINE DIMENSIONS IS NOT VALID.

8. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DESIGN AND PROVIDE SHORING, BRACING, FORMWORK, ETC. AS REQUIRED TO PROTECT LIFE AND PROPERTY.

9. JOB COPIES OF BUILDING, FIRE SYSTEM PLANS, AND PERMITS SHALL BE ON-SITE DURING INSPECTIONS

10. IN AS MUCH AS THE REMODELING AND/ OR REHABILATION OF EXISTING BUILDINGS REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS AND BECAUSE SOME OF THESE ASSUMPTIONS CANNOT BE VERIFIED WITHOUT EXPENDING GREAT SUMS OF ADDITIONAL MONEY, OR DESTROYING OTHERWISE ADEQUATE OR SERVICEABLE PORTIONS OF BUILDING, THE OWNER AGREES, EXCEPT FOR NEGLIGENCE ON THE PART OF THE DESIGN PROFESSIONAL, TO HOLD HARMLESS AND INDEMNIFY THE DESIGN PROFESSIONAL AGAINST ANY AND ALL DAMAGES, AWARDS, AND COSTS OF DEFENSE ARISING OUT OF PROFESSIONAL SERVICES PROVIDED HEREIN.

REVISION TABLE	
NUMBER	DATE
DESCRIPTION	

OWNER:

APN. 046-231-29

Rick McCold

155 Palm View

La Selva Beach , Ca. 95076

TITLE PAGE & NOTES

DRAWINGS PROVIDED BY:

Kevin & LeiLani Vevang
Residential Design
P.O. Box 1315 Penn Valley, Ca. 95946
(831) 331-5037

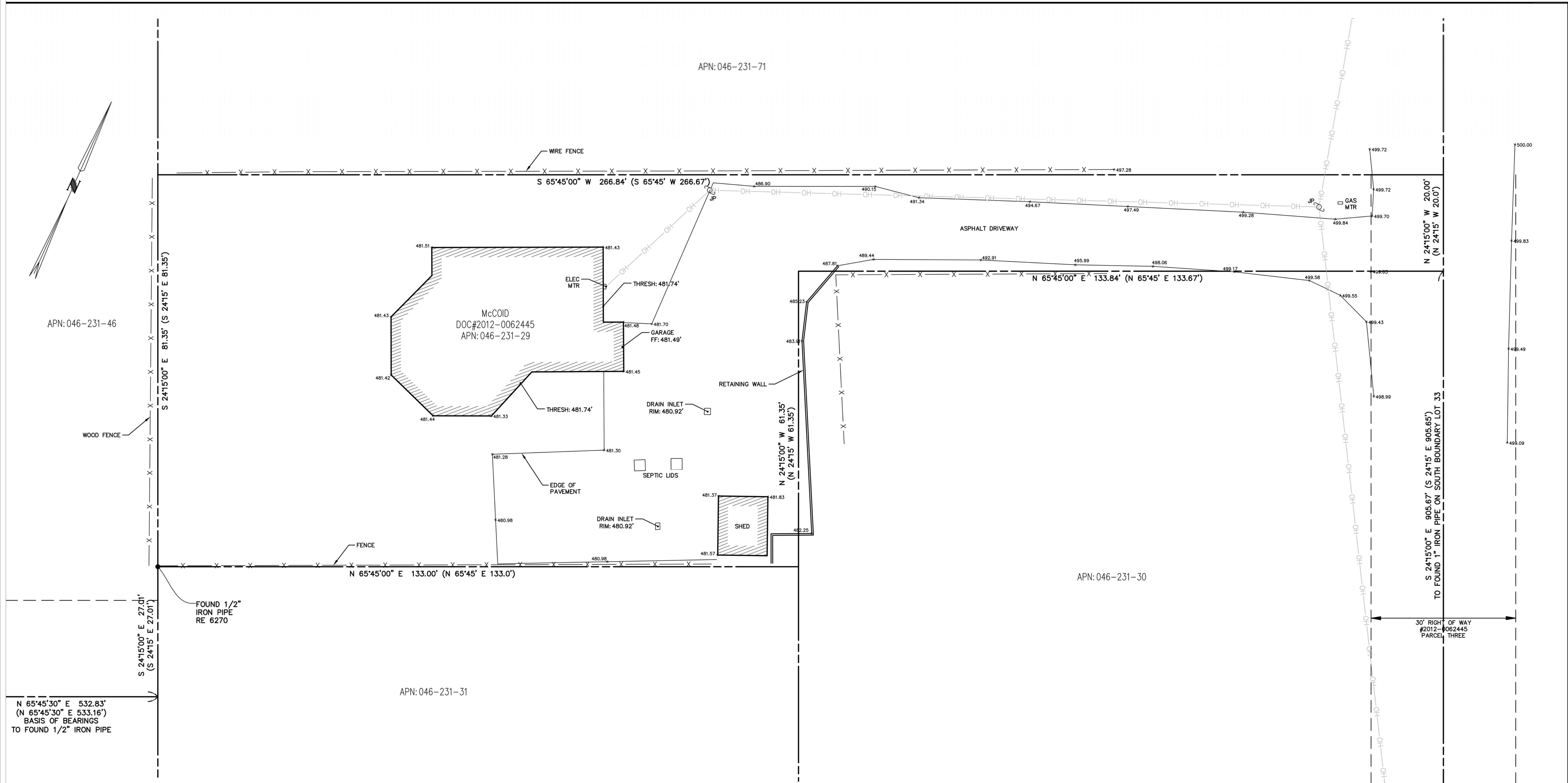
DATE:

6/14/2022

SCALE:

SHEET:

A0.1



BASIS OF BEARINGS

THE BEARINGS FOR THIS MAP ARE BASED ON THE NORTHWESTERN BOUNDARY OF PARCELS A, B, & C AS SHOWN ON THAT MAP FILED IN VOLUME 23 OF PARCEL MAPS, PAGE 68, SANTA CRUZ COUNTY RECORDS AND WAS ESTABLISHED BY FOUND MONUMENTS AS SHOWN HEREON

NORTH 65°45'30" EAST

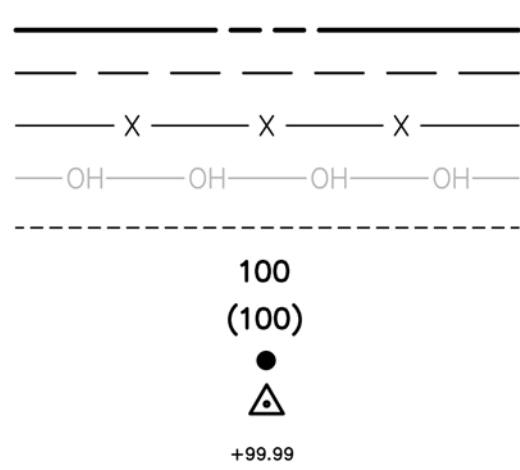
BASIS OF ELEVATIONS

ELEVATIONS FOR THIS MAP ARE BASED ON AN ASSUMED DATUM.

RECORD BOUNDARY NOTE

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LEGEND



DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF

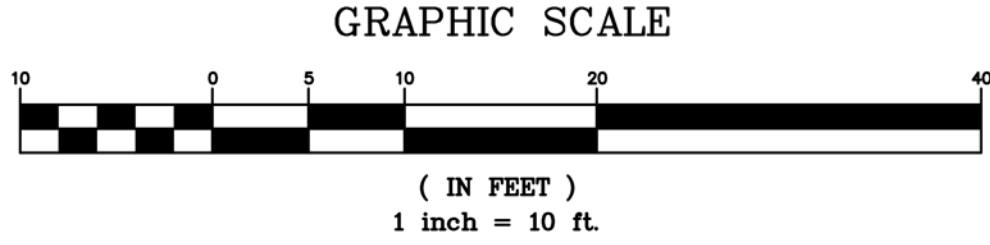
PROPERTY LINE
EASEMENT LINE
FENCE LINE
OVERHEAD UTILITY LINE
TIE LINE
DISTANCE MEASURED
RECORD DATA
FOUND MONUMENT, AS NOTED
RANDOM CONTROL POINT
SPOT ELEVATION

ABBREVIATIONS

APN
CONC
DOC
ELEC
FF
FH
INV
MTR
SD
SS
THRESH
WM
WV
ASSESSORS PARCEL NUMBER
CONCRETE
DOCUMENT
ELECTRIC
FINISHED FLOOR
FIRE HYDRANT
INVERT
METER
STORM DRAIN
SANITARY SEWER
THRESHOLD
WATER METER
WATER VALVE

UTILITY NOTE

UTILITY LOCATIONS ARE APPROXIMATE. UTILITIES SHOWN ON THIS MAP WERE DETERMINED FROM SURFACE EVIDENCE OF UNDERGROUND LOCATIONS, DURING A SURVEY BY ALPHA LAND SURVEYS IN OCTOBER 2020.



Kevin Vevang

SANTA CRUZ COUNTY APN: 046-231-29

ALPHA LAND SURVEYS, INC.				SHEET 1 OF ONE	
4444 SCOTTS VALLEY DR. #7 SCOTTS VALLEY, CA 95066 (831) 438-4453		P.O. BOX 1146 MORGAN HILL, CA 95038 (831) 438-4453			SITE MAP 155 PALM VIEW LANE WATSONVILLE, CALIFORNIA
1" = 10'	DATE: 10/15/20	JOB#: 2020-152			

REVISION TABLE	
NUMBER	DATE
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

OWNER: **APN. 046-231-29**
Rick McCoid
155 Palm View
La Selva Beach, Ca. 95076

**PROPERTY SURVEY
OF EXISTING**

DRAWINGS PROVIDED BY:
Kevin & LeLani Vevang
Residential Design
P.O. Box 1315 Penn Valley, Ca. 95946
(831) 331-5037

DATE:

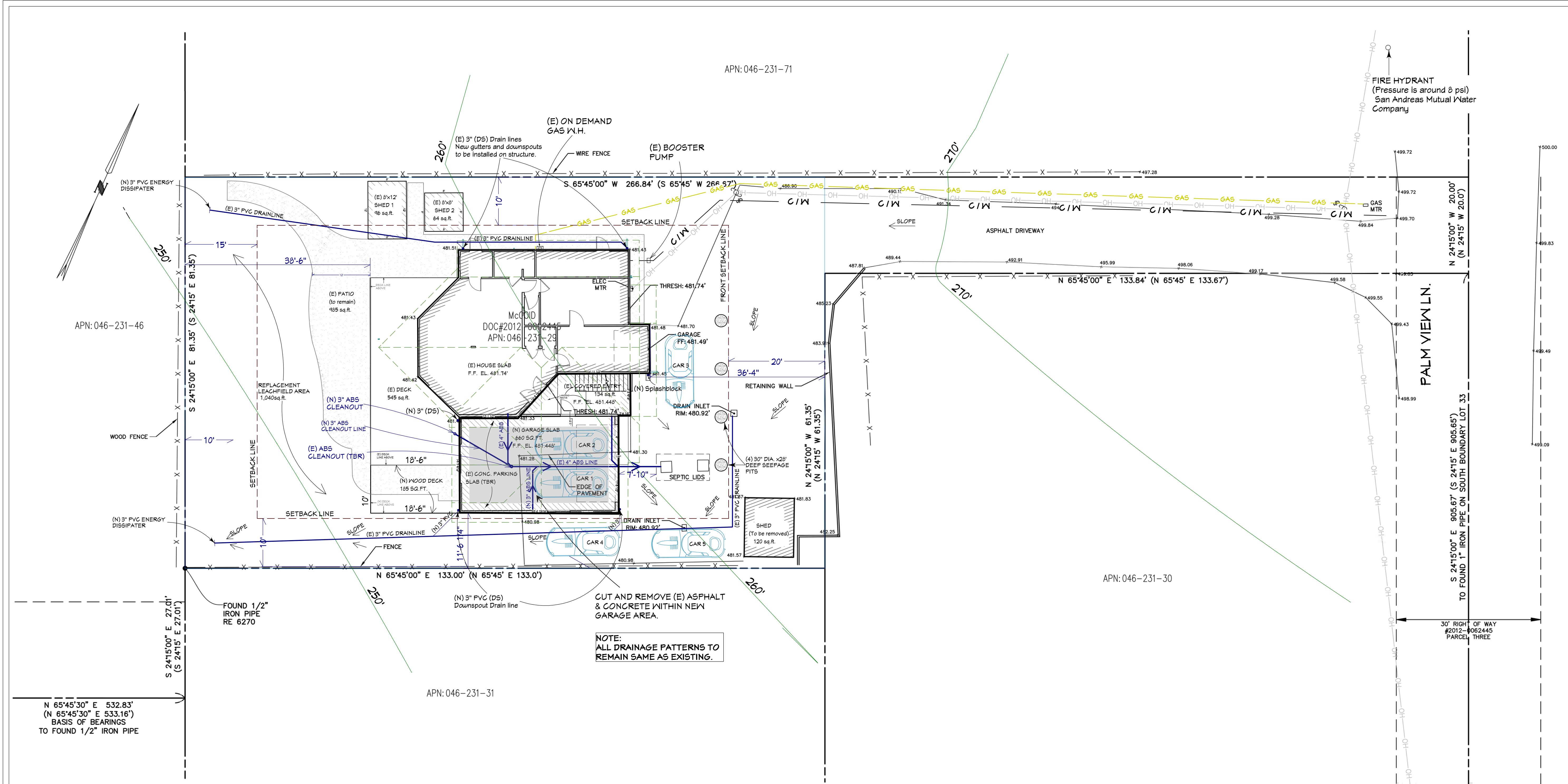
6/14/2022

SCALE:

1"=10'-0"

SHEET:

A1.1



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LEGEND

--- PROPERTY LINE
--- EASEMENT LINE
--- FENCE LINE
--- OVERHEAD UTILITY LINE
--- TIE LINE
--- DISTANCE MEASURED
--- RECORD DATA
--- FOUND MONUMENT, AS NOTED
--- RANDOM CONTROL POINT
--- SPOT ELEVATION

DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF

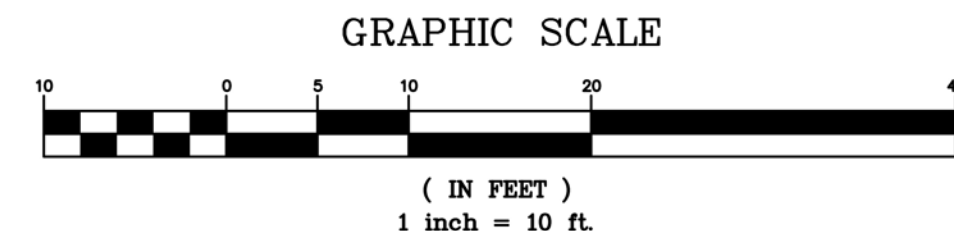
ABBREVIATIONS

APN
CONC
DOC
ELEC
FF
FH
INV
MTR
SD
SS
THRESH
WM
WV

ASSESSORS PARCEL NUMBER
CONCRETE
DOCUMENT
ELECTRIC
FINISHED FLOOR
FIRE HYDRANT
INVERT
METER
STORM DRAIN
SANITARY SEWER
THRESHOLD
WATER METER
WATER VALVE

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Kevin Vevang

SANTA CRUZ COUNTY APN: 046-231-29

ALPHA LAND SURVEYS, INC.

4444 SCOTTS VALLEY DR. #7
SCOTTS VALLEY, CA 95066
(831) 438-4453

P.O. BOX 1146
MORGAN HILL, CA 95038
(831) 438-4453

SITE MAP
155 PALM VIEW LANE
WATSONVILLE, CALIFORNIA

1" = 10' DATE: 10/15/20 JOB#: 2020-152

REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION
1			

OWNER: **APN. 046-231-29**
Rick McCord
155 Palm View
La Selva Beach, Ca. 95076

PROPOSED SITE PLAN

DRAWINGS PROVIDED BY:
Kevin Vevang
Kevin & LeiLani Vevang
Residential Design
P.O. Box 1315 Penn Valley, Ca. 95956
(831) 331-5037

DATE:

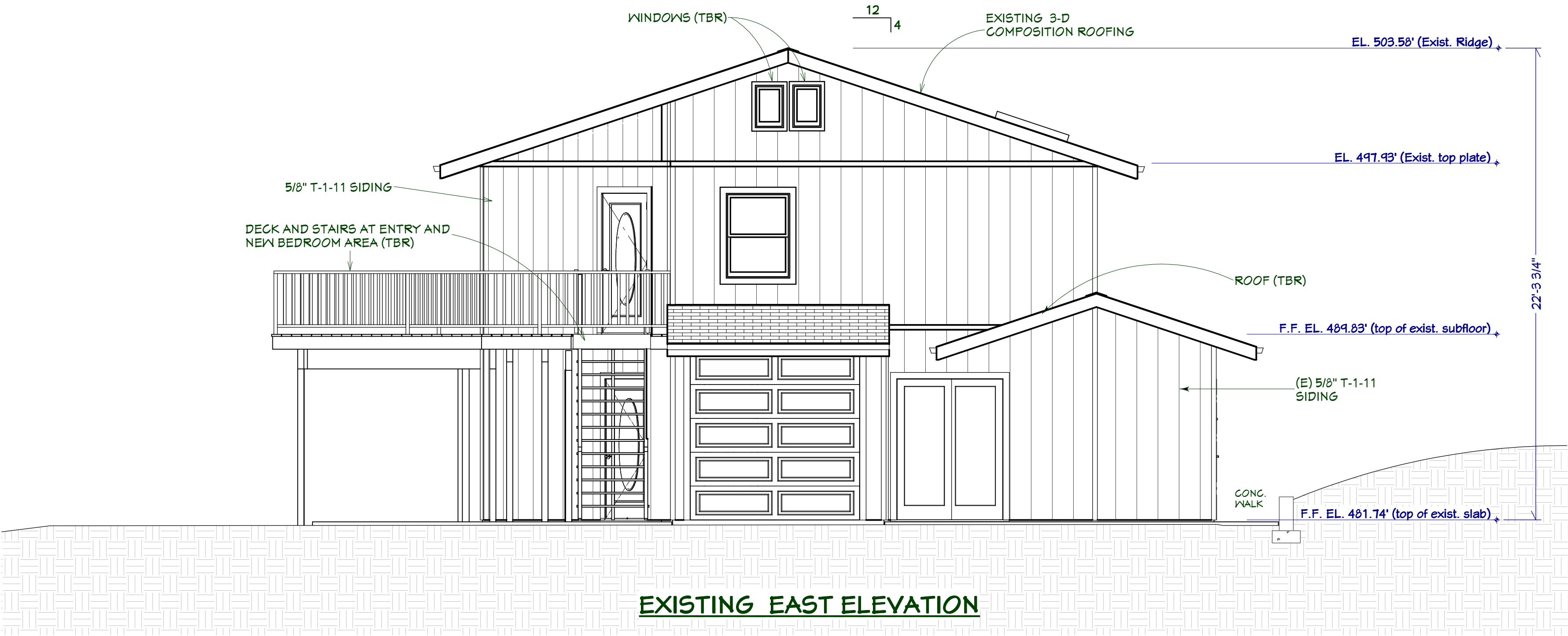
6-14-2022

SCALE:

AS NOTED

SHEET:

A1.2



EXISTING EAST ELEVATION



EXISTING WEST ELEVATION

REVISION TABLE		REVISION BY	DESCRIPTION
NUMBER	DATE		
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

OWNER: **APN. 046-231-29**
Rick McCoid
155 Palm View
La Selva Beach, Ca. 95076

**EXISTING EAST &
WEST ELEVATIONS**

DRAWINGS PROVIDED BY:
Kevin & LeLani Vevang
Residential Design
P.O. Box 1315 Penn Valley, Ca. 95946
(831) 331-5037

DATE:

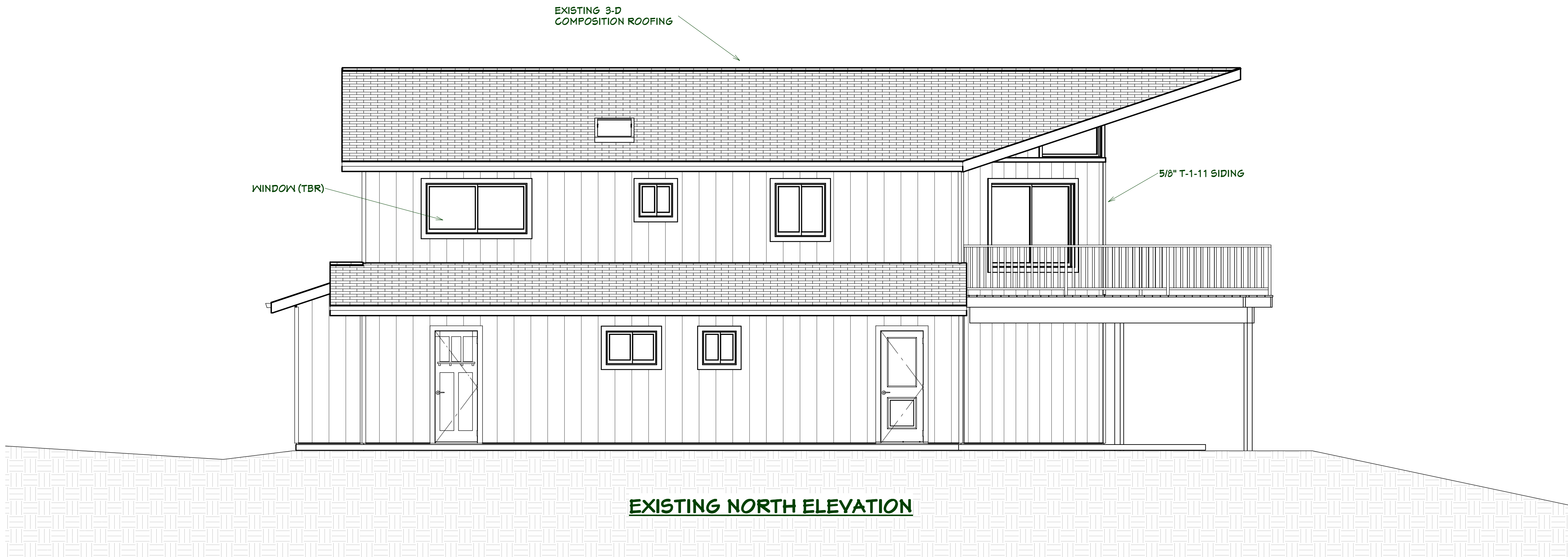
6/14/2022

SCALE:

1/4"=1'-0"

SHEET:

A2.1



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NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				

OWNER: **APN. 046-231-29**
Rick McCoid
155 Palm View
La Selva Beach, Ca. 95076

EXISTING SOUTH & NORTH ELEVATIONS

DRAWINGS PROVIDED BY:
Kevin & Leilani Vevang
Residential Design
P.O. Box 1315 Penn Valley, Ca. 95944
(831) 331-5037

DATE:

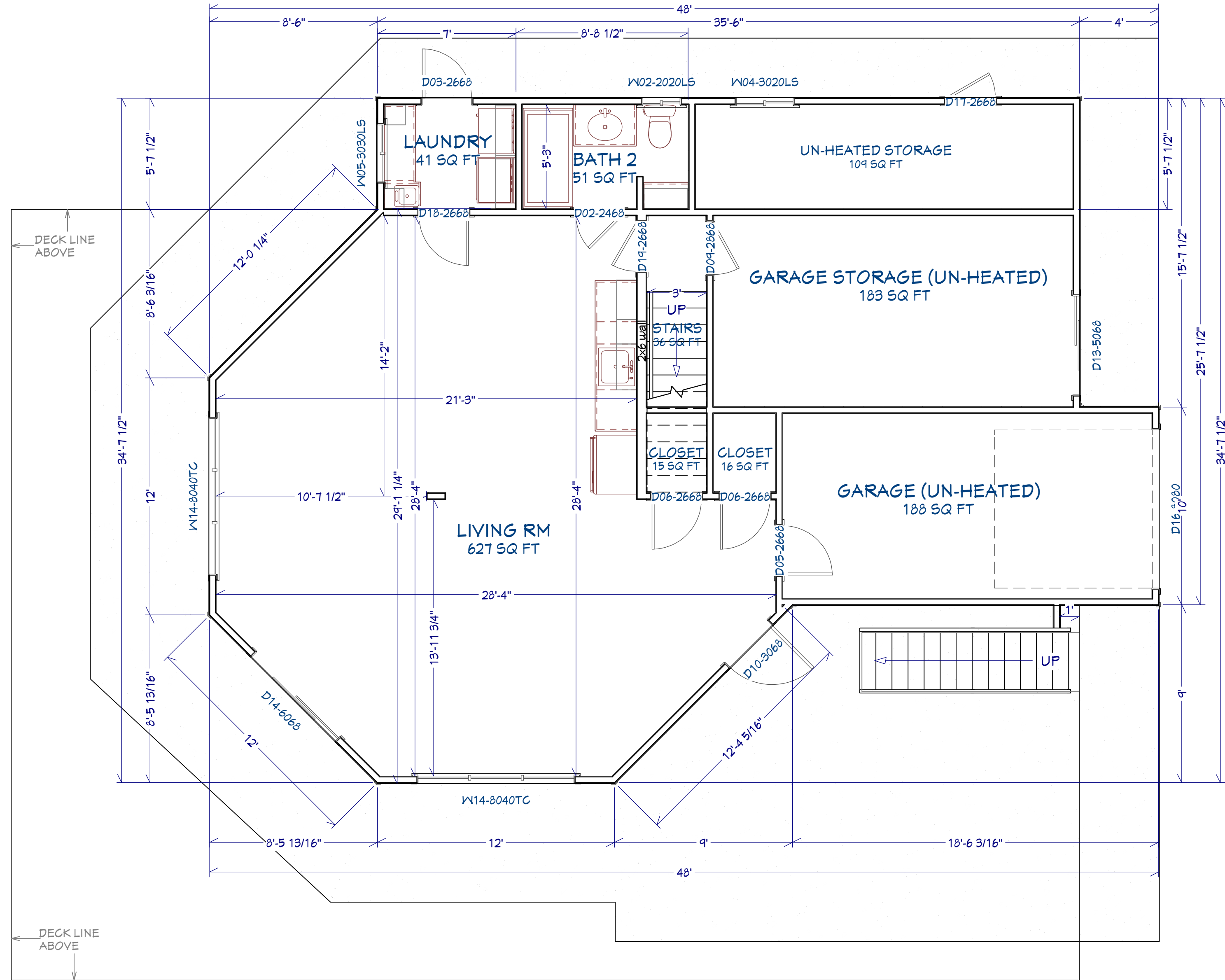
6/14/2022

SCALE:

1/4"=1'-0"

SHEET:

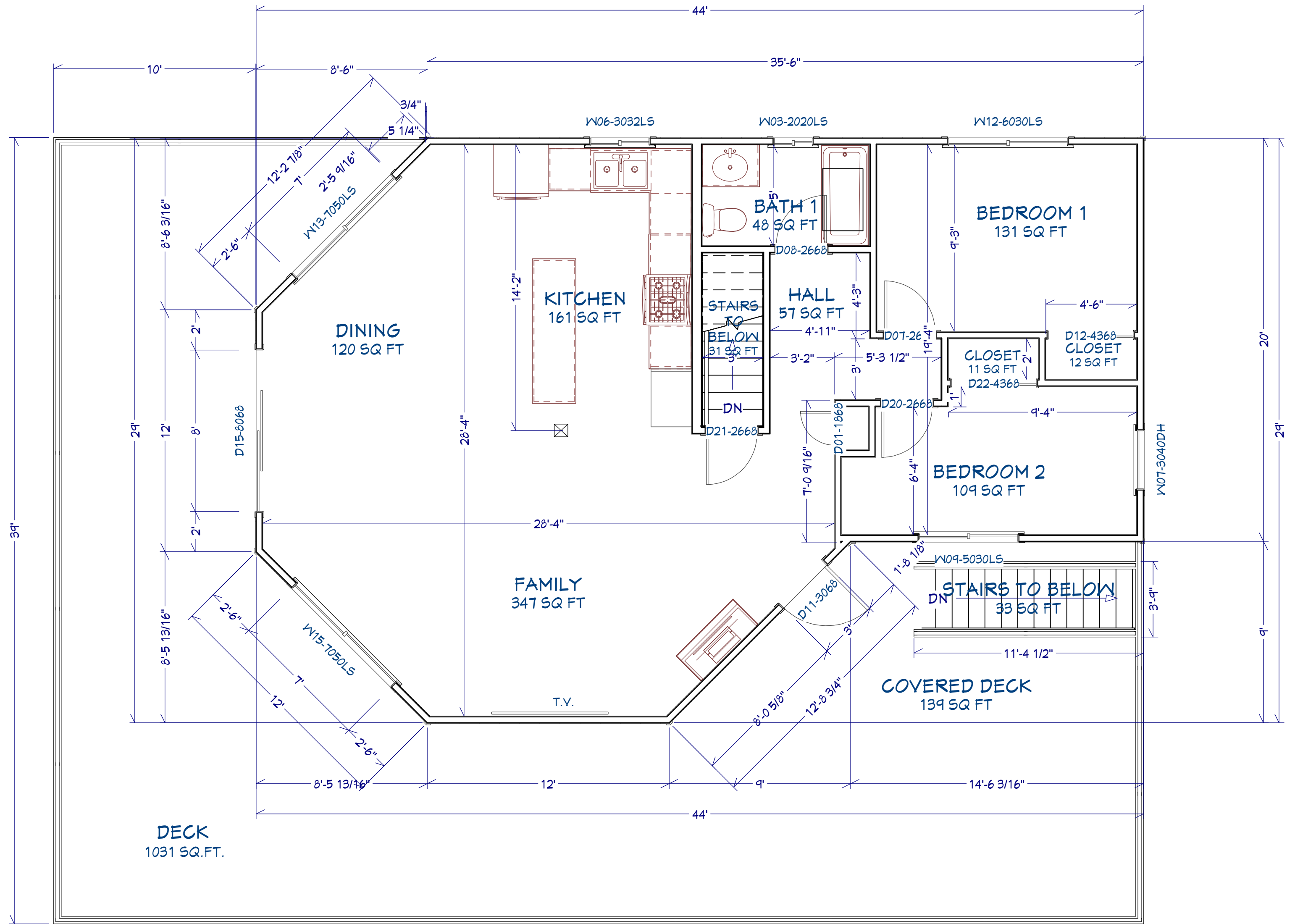
A2.2



EXISTING LOWER FLOOR PLAN

LIVING AREA
181 SQ FT

WINDOW SCHEDULE														
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	DESCRIPTION	ROOM NAME	AREA, STANDARD (SQ FT)	MANUFACTURER	EGRESS	COMMENTS		
W01	W01-1420FX	2	3	1420FX	16"	24"	FIXED GLASS		2.67					
W02	W02-2020LS	1	1	2020LS	24"	24"	LEFT SLIDING	BATH 2	4.0					
W03	W03-2020LS	1	2	2020LS	24"	24"	LEFT SLIDING	BATH 1	4.0					
W04	W04-3020LS	1	1	3020LS	36"	24"	LEFT SLIDING	UN-HEATED STORAGE	6.0					
W05	W05-3030LS	1	1	3030LS	36"	36"	LEFT SLIDING	LAUNDRY	4.0					
W06	W06-3032LS	1	2	3032LS	36"	30"	LEFT SLIDING	KITCHEN	4.5					
W07	W07-3040DH	1	2	3040DH	36"	48"	DOUBLE HUNG	BEDROOM 2	12.0					
W08	W08-5025FX	2	3	5025FX	60"	28 3/4"	FIXED GLASS		11.97					
W09	W09-5030LS	1	2	5030LS	60"	36"	LEFT SLIDING	BEDROOM 2/COVERED DECK	15.0					
W10	W10-5646FX	1	3	5646FX	66"	54 1/2"	FIXED GLASS		24.93					
W11	W11-5647FX	1	3	5647FX	66"	54 1/2"	FIXED GLASS		24.93					
W12	W12-6030LS	1	2	6030LS	72"	36"	LEFT SLIDING	BEDROOM 1	18.0					
W13	W13-7050LS	1	2	7050LS	84"	60"	LEFT SLIDING	DINING/DECK	35.0					
W14	W14-8040TC	2	1	8040TC	46"	48"	TRIPLE CASEMNT-LHL/RHR	LIVING RM	32.0					
W15	W15-7050LS	1	2	7050LS	84"	60"	LEFT SLIDING	FAMILY/DECK	35.0					
TOTALS:									240.14					



EXISTING UPPER FLOOR PLAN

LIVING AREA
1033 SQ FT

DOOR SCHEDULE														
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	DESCRIPTION	THICKNESS	ROOM NAME	AREA, STANDARD (SQ FT)	MANUFACTURER	COMMENTS		
D01	D01-1868	1	2	1868 R IN	20"	80"	HINGED-DOOR F04	1 3/8"	UNSPECIFIED/HALL	11.11				
D02	D02-2468	1	1	2468 L IN	28"	80"	HINGED-DOOR F04	1 3/8"	LIVING RM/BATH 2	15.56				
D03	D03-2668	1	1	2668 L EX	30"	80"	EXT. HINGED-DOOR E01	1 3/4"	LAUNDRY	16.67				
D05	D05-2668	1	1	2668 R EX	30"	80"	EXT. HINGED-DOOR E21	1 3/8"	LIVING RM/GARAGE (UN-HEATED)	16.67				
D06	D06-2668	2	1	2668 R IN	30"	80"	HINGED-DOOR F04	1 3/8"	LIVING RM/CLOSET	16.67				
D07	D07-2668	1	2	2668 L IN	30"	80"	HINGED-DOOR F04	1 3/8"	BEDROOM 1/HALL	16.67				
D08	D08-2668	1	2	2668 R IN	30"	80"	HINGED-DOOR F04	1 3/8"	BATH 1/HALL	16.67				
D09	D09-2868	1	1	2868 L EX	32"	80"	EXT. HINGED-DOOR E21	1 3/8"	STAIRS/ GARAGE STORAGE (UN-HEATED)	17.78				
D10	D10-3068	1	1	3068 L EX	36"	80"	EXT. HINGED-DOOR E13	1 3/4"	LIVING RM	20.0				
D11	D11-3068	1	2	3068 L EX	36"	80"	EXT. HINGED-DOOR E13	1 3/4"	FAMILY/COVERED DECK	20.0				
D12	D12-4368	1	2	4368 R IN	50 1/2"	80"	SLIDER-DOOR F04	1 3/8"	BEDROOM 1/CLOSET	28.06				
D13	D13-5068	1	1	5068 L EX	60"	80"	EXT. SLIDER-GLASS	1 3/4"	GARAGE STORAGE (UN-HEATED)	33.33				
D14	D14-6068	1	1	6068 L EX	72"	80"	EXT. SLIDER-GLASS	1 3/4"	LIVING RM	40.0				
D15	D15-8068	1	2	8068 R EX	46"	80"	EXT. SLIDER-GLASS	1 3/4"	FAMILY/DECK	53.33				
D16	D16-8080	1	1	8080	46"	46"	GARAGE-GARAGE DOOR F01	1 3/4"	GARAGE (UN-HEATED)	64.0				
D17	D17-2668	1	1	2668 L EX	30"	80"	EXT. HINGED-DOOR E21	1 3/8"	UN-HEATED STORAGE	16.67				
D18	D18-2668	1	1	2668 L IN	30"	80"	HINGED-DOOR F04	1 3/8"	LIVING RM/LAUNDRY	16.67				
D19	D19-2668	1	1	2668 R IN	30"	80"	HINGED-DOOR F04	1 3/8"	STAIRS/LIVING RM	16.67				
D20	D20-2668	1	2	2668 R IN	30"	80"	HINGED-DOOR F04	1 3/8"	BEDROOM 2/HALL	16.67				
D21	D21-2668	1	2	2668 R IN	30"	80"	HINGED-DOOR F04	1 3/8"	FAMILY/STAIRS TO BELOW	16.67				
D22	D22-4368	1	2	4368 R IN	50 1/2"	80"	SLIDER-DOOR F04	1 3/8"	CLOSET/BEDROOM 2	28.06				
TOTALS:										514.6				

REVISION TABLE		NUMBER	DATE	REVISED BY	DESCRIPTION

OWNER: **APN. 046-231-29**
Rick McCold
155 Palm View
La Selva Beach, Ca. 95076

EXISTING FLOOR PLANS,
WINDOW & DOOR
SCHEDULES

Kevin Vevang

DRAWINGS PROVIDED BY:
Kevin & LeLani Vevang
Residential Design
P.O. Box 1315 Penn Valley, Ca. 95946
(831) 331-5037

DATE:

6/14/2022

SCALE:

1/4"=1'-0"

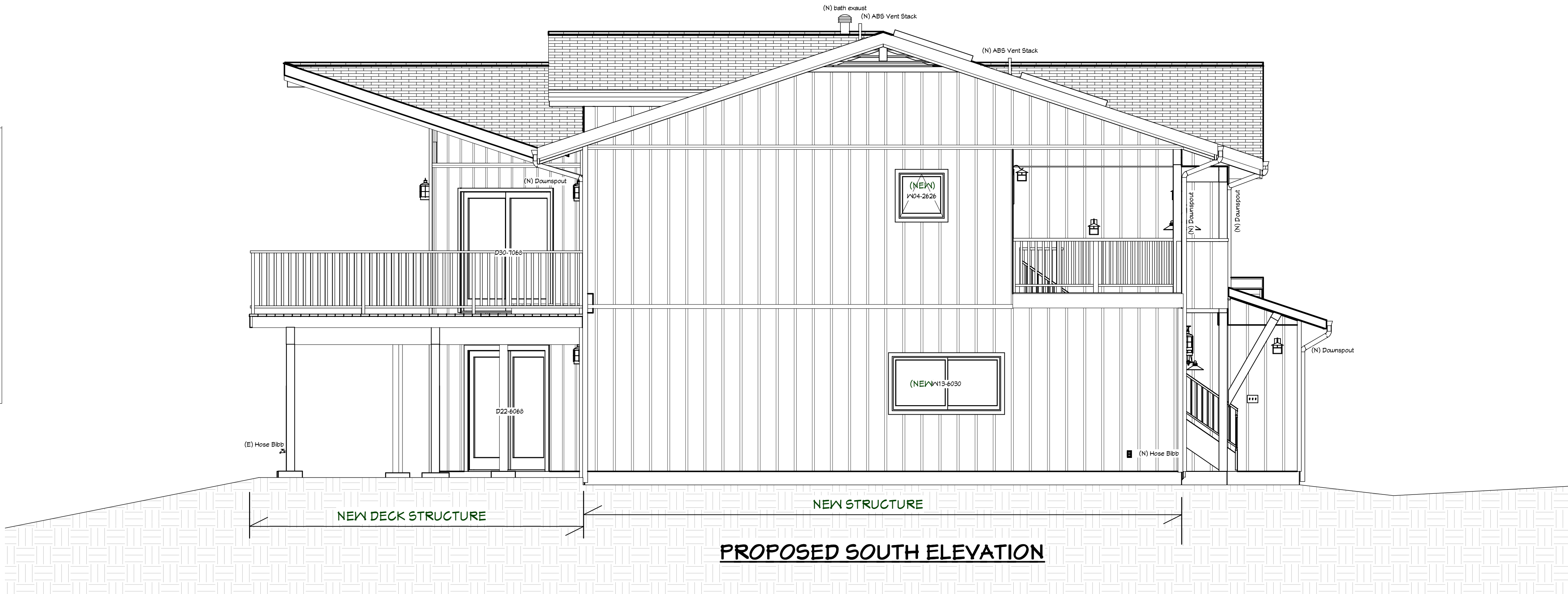
SHEET:

A2.3

EXTERIOR HOUSE "SPEC"

NOTE: ALL COLORS ARE TO MATCH EXISTING

ROOFING :	NEW CLASS A ASPHALT ROOFING TO MATCH EXISTING
SIDING :	EXISTING: T-1-11 WOOD SIDING PROPOSED: TO MATCH EXISTING T-1-11 WOOD SIDING
COLOR:	CHARCOAL GRAY MATCH EXISTING
TRIM:	FASCIA AND GABLE END TRIM
COLOR:	WHITE
GUTTERS:	GALV. METAL
COLOR:	WHITE
WINDOWS:	VINYL WINDOWS (By Milgard)
COLOR:	WHITE
WINDOW TRIM:	
COLOR:	WHITE



REVISION TABLE	
NUMBER	DATE

OWNER: **APN. 046-231-29**
Rick McCold
155 Palm View
La Selva Beach, Ca. 95076

**PROPOSED NORTH
AND SOUTH
ELEVATIONS**

DRAWINGS PROVIDED BY:
Kevin & LeiLani Vevang
Residential Design
P.O. Box 1315 Penn Valley, Ca. 95959
(831) 331-5037

DATE:

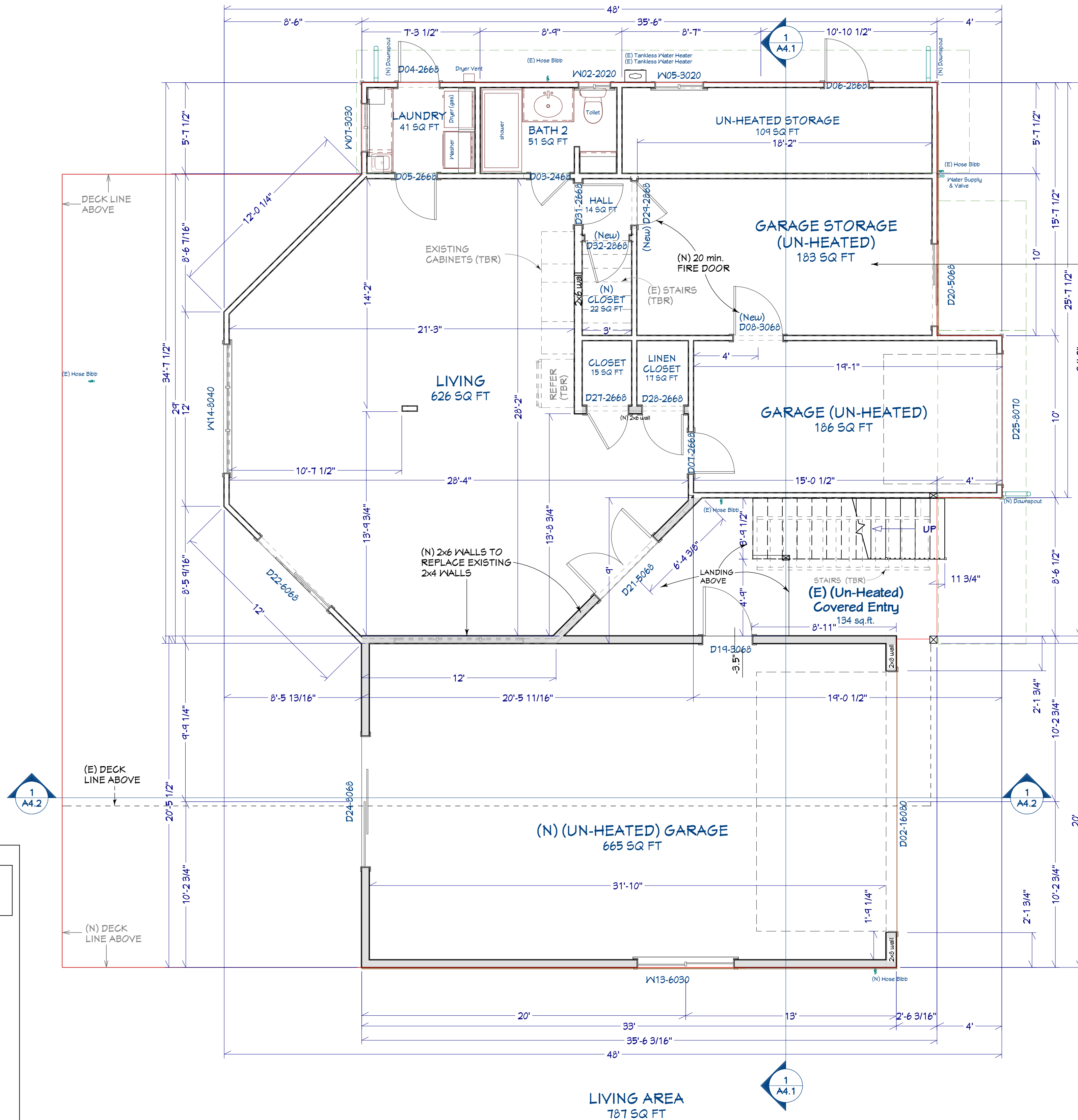
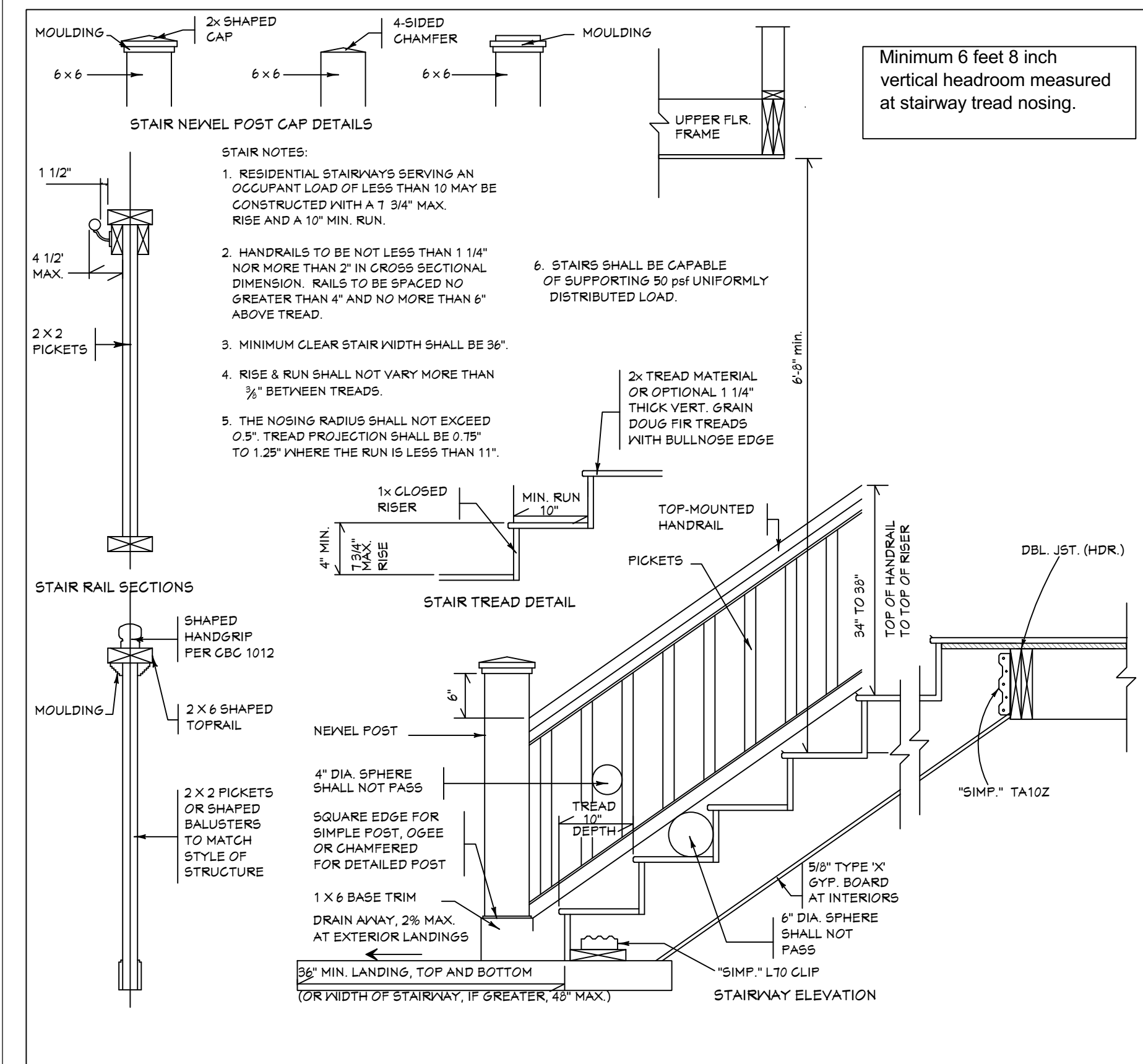
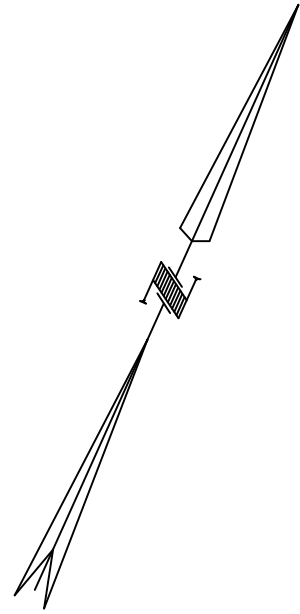
6/14/2022

SCALE:

1/4"=1'-0"

SHEET:

A3.2



NOTE:
THIS ROOM (GARAGE STORAGE) IN ITS
PRESENT STATE HAS NO HEAT SOURCE .
A NEW 20 MIN. FIRE RATED DOOR IS TO BE
INSTALLED SEPARATING THE ROOMS.

PROPOSED LOWER FLOOR PLAN

INSULATION SCHEDULE

All New 2 x 4 Ext Walls: R13
All New 2 x 6 Ext Walls: R19
All New Attic Ceiling joist areas: R30
New Vaulted Roof Areas at Living Room & Master Bedroom use
Spray Foam Insul. Use QUICK-SHIELD 118
Closed-Cell Spray Foam @ R-6.5 per in. x5" Thickness =R-32.5

GARAGE NOTE:
R302.6 Dwelling/garage and/or carport fire separation. The garage and/or carport shall be separated as required by Table R302.6. Openings in garage walls shall comply with Section R302.5. Attachment of gypsum board shall comply with Table R702.3.5. The wall separation provisions of Table R302.6 shall not apply to garage walls that are perpendicular to the adjacent dwelling unit wall. A separation is not required between the dwelling unit and a carport, provided the carport is entirely open on two or more sides and there are not enclosed areas above.

Structure(s) supporting floor/ceiling assemblies used for separation required by this section.
Not less than 1/2-inch gypsum board or equivalent.
From habitable rooms above the garage or carport Not less than 5/8-inch Type X gypsum board or equivalent. Table R302.6

Landings at floor at exterior doors of the residence:
1. A minimum 36-inch deep landing outside all exterior doors.
2. The slope of the exterior landing shall not exceed 2% slope.
3. Landings shall be not more than 7-3/4 inches lower than the threshold for in-swinging/sliding doors. CRC R311.3.1.
4. Landings shall be not more than 1-1/2 inches lower than the threshold for out-swinging doors. CRC R311.3.1. 5.

WALL LEGEND

	EXISTING 2"x4" D.F.#2 16" O.C. WALLS TO REMAIN
	(N) 2"x4" D.F.#2 16" O.C. WALLS TO BE REMOVED
	(N) 2"x6" D.F.#2 16" O.C. WALLS
	(N) CONC. FND. WALLS
	(E) CONC. FND. WALLS TO REMAIN

APN. 046-231-29

OWNER:
Rick McCold
155 Palm View
La Selva Beach , Ca. 95076

PROPOSED LOWER FLOOR PLAN

Kevin Vevang

DRAWINGS PROVIDED BY:
Kevin & Leilani Vevang
Residential Design
P.O. Box 1315 Penn Valley, Ca. 95558
(831) 331-5037

DATE:

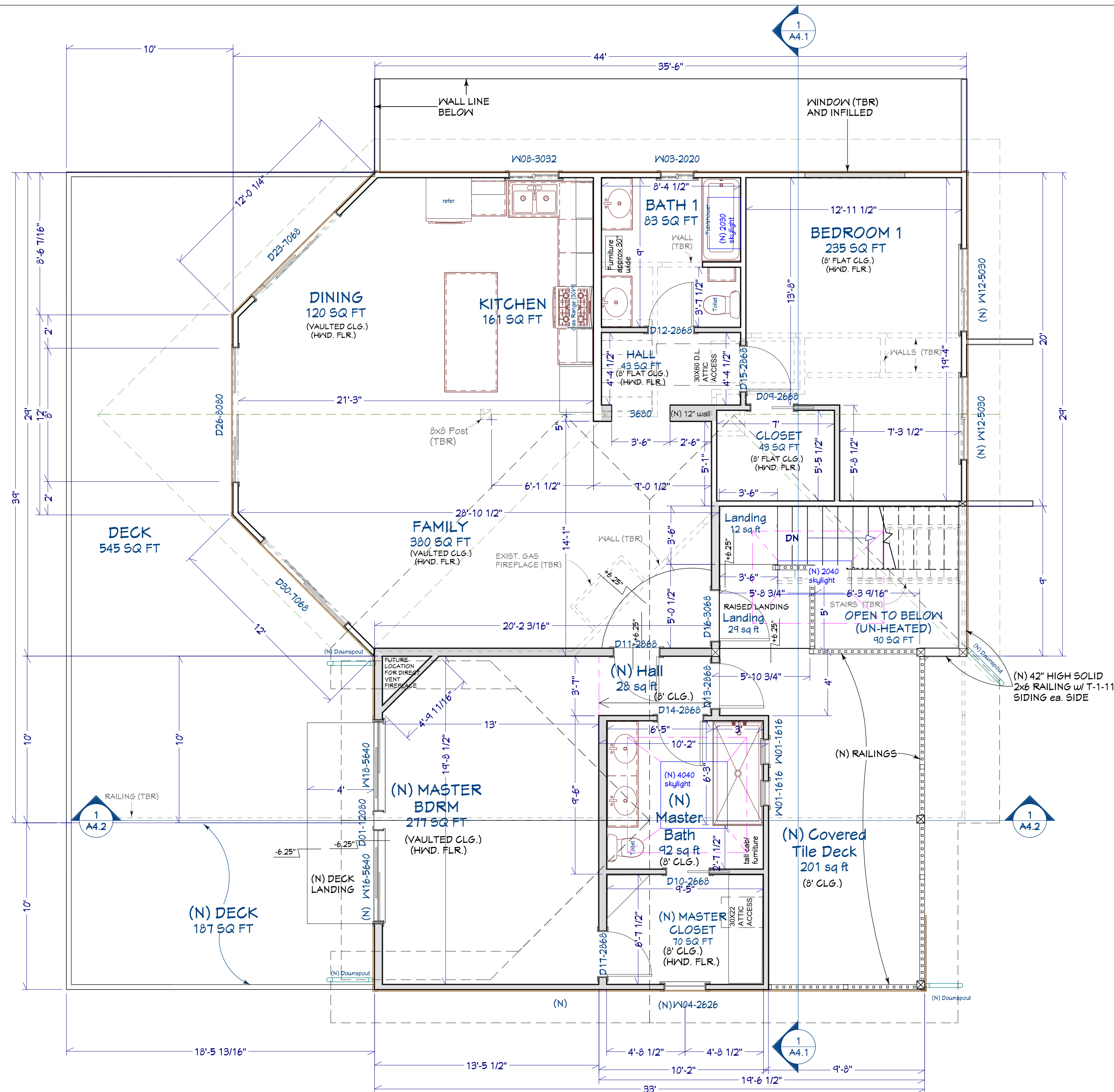
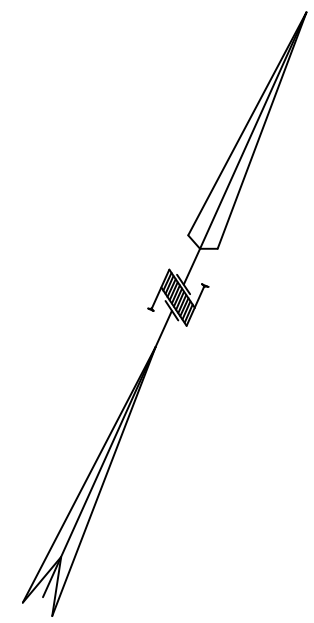
6/14/2022

SCALE:

1/4"=1'-0"

SHEET:

A3.3



NOTE: ENVIRONMENTAL AIR DUCTS. Exhaust shall not terminate not less than 3 feet from a property line, 10 feet from a forced air inlet, and 3 feet from openings into the building. Environmental air ducts shall not discharge onto a public walkway CMC 502.2.1 DRYER VENT. Exhaust ducts shall not be assembled with screws or other fastening means that extend into the duct and that are capable of catching lint, and reduce the efficiency of the metallic material. Exhaust Ducts shall be constructed of rigid metallic material. Transition ducts used to connect the dryer to the exhaust duct shall be listed for that application or installed in accordance with the clothes dryer manufacturer's installation instructions.

Dryer vents shall terminate a minimum of 3 feet from building openings CMC 502.2.1 maximum length is 14 feet with two 90-degree elbows and be installed with a backdraft damper. Screens shall not be installed at the duct termination per CMC 504.4.2.1 CMC 504.4.2.1

Provisions for Makeup air. When a closet is designed for the installation of a clothes dryer, a minimum opening of 100 square inches for makeup air shall be provided in the door or by other approved means. CMC 504.4.1

FLOOR FINISH NOTE: USE FSC-CERTIFIED WOOD FLOORING:

WALL NOTE: ALL EXTERIOR WALLS ARE TO HAVE A WEATHER RESISTIVE BARRIER.

CONSTRUCTION WASTE: A minimum of 65% of the Construction Waste and Demolition waste will be recycled, reused on the project, or salvaged for later use or sale. CGBC 4.408.1, SCC Requirement.

INSULATION NOTE: Insulation: For all remodels, insulation meeting the mandatory feature requirements in the California Energy Code shall be installed at ceilings, walls, floors and water pipes, when these areas are exposed during remodeling. SCC Code 12.10.250

APPLIANCES: New appliances installed as part of any remodel, addition or new construction shall be Energy Star appliances. SCC Code 12.10.250

HERS Trigger: when >40 feet of new or replacement space-conditioning duct system ducts are installed, the ducts shall be insulated, sealed and field tested. Ducts shall be insulated with a minimum of R6 in unconditioned space and a minimum of R4.2 in conditioned space. CEnC 150.2(b)1D, 150.2(b)1E, 150.0(m)1

Duct Sizing, Alterations: Duct system sizing is required on an altered duct system when 75% or more of the duct system is replaced. Duct systems are sized according to ANSI/ACCA 1 Manual D-2014, ASHRAE handbooks or other equivalent design software or methods. CGBC 4.507.2

SHOWER / TUB GLASS: TYPE 2 TEMPERED GLASS

SKYLITE GLASS USE DUAL PANE NFRC U-FACTOR IN SHGC VALUES TO MEET THE REQUIRED MIN. U-FACTOR NOT TO EXCEED 0.37

NOTE: ALL SKYLITES ARE NON-OPERABLE (1) 4040 SKYLITE AT MASTER BATH SHOWER (1) 2040 SKYLITES AT STAIRWELL (1) 2030 SKYLITE AT BATH 1

VELLUX SKYLIGHT CODE APPROVALS:

AAMA/WDMA 16001S7 National Evaluation Service Report - NER-216 NFRC Certified/Labeled

DOOR SCHEDULE												
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	DESCRIPTION	THICKNESS	MANUFACTURER	COMMENTS	ROOM NAME	TEMPERED
D01	D01-12090	1	2	12090 L/R EX	144"	46"		1 3/4"		NEW	(N) MASTER BDRM(N) DECK	YES
D02	D02-16090	1	2	16090	142"	46"		2 1/2"		NEW	(N) (UN-HEATED) GARAGE	
D03	D03-2460	1	1	2460 L IN	28"	80"	HINGED-DOOR P04	1 3/8"			LIVING/BATH 2	
D04	D04-2660	1	1	2660 L EX	30"	80"	EXT. HINGED-DOOR E01	1 3/4"			LAUNDRY	
D05	D05-2660	1	1	2660 L IN	30"	80"	HINGED-DOOR P04	1 3/8"			LIVING/LAUNDRY	
D06	D06-2660	1	1	2660 L EX	32"	80"	EXT. HINGED-PANEL	1 3/8"		INSULATED	UN-HEATED STORAGE	
D07	D07-2660	1	1	2660 R EX	30"	80"	EXT. HINGED-DOOR P04	1 3/8"			LIVING/GARAGE (UN-HEATED)	
D08	D08-3060	1	1	3060 L IN	36"	80"	HINGED-PANEL	1 3/8"		NEW	GARAGE (UN-HEATED)/GARAGE STORAGE (UN-HEATED)	
D09	D09-2660	1	2	2660 L	30"	80"	POCKET-DOOR P04	1 3/8"		NEW	CLOSET/BEDROOM 1	
D10	D10-2660	1	2	2660 R	30"	80"	POCKET-GLASS	1 3/8"		NEW	(N) MASTER CLOSET(N) MASTER BATH	
D11	D11-2660	1	2	2660 L IN	32"	80"		1 3/4"		NEW	FAMILY/(N) HALL	
D12	D12-2660	1	2	2660 R IN	32"	80"	HINGED-DOOR P04	1 3/8"		NEW	BATH 1/HALL	
D13	D13-2660	1	2	2660 R EX	32"	80"		1 3/4"		NEW	(N) HALL(N) COVERED TILE DECK	
D14	D14-2660	1	2	2660 L IN	32"	80"		1 3/4"		NEW	(N) HALL(N) MASTER BATH	
D15	D15-2660	1	2	2660 R IN	32"	80"	HINGED-DOOR P04	1 3/8"		NEW	FAMILY/LIVING	
D16	D16-3060	1	2	3060 R EX	36"	80"		1 3/4"		NEW	FAMILY/LIVING	
D17	D17-2660	1	2	2660 R IN	32"	80"	HINGED-PANEL	1 3/8"		NEW	(N) MASTER BDRM(N) MASTER CLOSET	
D19	D19-3060	1	1	3060 L IN	36"	80"	HINGED-PANEL	1 3/4"		NEW	(N) (UN-HEATED) GARAGE(E) (UN-HEATED) COVERED ENTRY	
D20	D20-5060	1	1	5060 L EX	60"	80"	EXT. SLIDER-GLASS	1 3/4"			GARAGE STORAGE (UN-HEATED)	
D21	D21-5060	1	1	5060 L/R EX	60"	80"	EXT. DOUBLE HINGED-PANEL	1 3/4"			LIVING/E (UN-HEATED) COVERED ENTRY	
D22	D22-6060	1	1	6060 L EX	72"	80"	EXT. SLIDER-GLASS	1 3/4"			LIVING	
D23	D23-7060	1	2	7060 R EX	84"	80"	EXT. SLIDER-GLASS	1 3/4"			DINING/DECK	
D24	D24-8060	1	1	8060 R EX	46"	80"	EXT. SLIDER-GLASS	1 3/4"		NEW	(N) (UN-HEATED) GARAGE	
D25	D25-8070	1	1	8070	46"	84"	GARAGE-GARAGE DOOR P01	1 3/4"			GARAGE (UN-HEATED)	
D26	D26-8080	1	2	8080 R EX	46"	80"		1 3/4"		NEW	FAMILY/DECK	
D27	D27-2660	1	1	2660 R IN	30"	80"	HINGED-DOOR P04	1 3/8"		NEW	LIVING/CLOSET	
D28	D28-2660	1	1	2660 L IN	30"	80"		1 3/8"		NEW	LIVING/LINEN CLOSET	
D29	D29-2660	1	1	2660 L EX	32"	80"	EXT. HINGED-PANEL	1 3/8"			HALL/GARAGE STORAGE (UN-HEATED)	
D30	D30-7060	1	2	7060 R EX	84"	80"	EXT. SLIDER-GLASS	1 3/4"			FAMILY/DECK	
D31	D31-2660	1	1	2660 L IN	30"	80"	HINGED-DOOR P04	1 3/8"			HALL/LIVING	

PROPOSED UPPER FLOOR PLAN

NOTE: SEE A0.2 & A0.3 FOR MORE CODE NOTES

INSULATION SCHEDULE

All New 2 x 4 Ext Walls: R13

All New 2 x 6 Ext Walls: R19

All New Attic Ceiling joist areas: R30

New Vaulted Roof Areas at Living Room & Master Bedroom use Spray Foam Insul. Use QUICK-SHIELD 118 Closed-Cell Spray Foam @ R-6.5 per in. x5" Thickness =R-32.5

WINDOW SCHEDULE												
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	DESCRIPTION	MANUFACTURER	COMMENTS	ROOM NAME	AREA, STANDARD (SQ FT)	TEMPERED
W01	W01-1616	2	2	1616	18"	18"	AWNING		NEW	(N) MASTER BATH(N) COVERED TILE DECK	2.25	YES
W02	W02-2020	1	1	2020	24"	24"	LEFT SLIDING			BATH 2	4.0	
W03	W03-2020	1	2	2020	24"	24"	LEFT SLIDING			BATH 1	4.0	YES
W04	W04-2626	1	2	2626	30"	30"	AWNING		NEW	(N) MASTER CLOSET	6.25	
W05	W05-3020	1	1	3020	36"	24"	LEFT SLIDING			UN-HEATED STORAGE	6.0	
W07	W07-3030	1	1	3030	36"	36"	LEFT SLIDING			LAUNDRY	4.0	
W08	W08-3032	1	2	3032	36"	36"	LEFT SLIDING			KITCHEN	4.5	
W09	W09-36210	1	3	36210	42"	33 3/4"	FIXED/ RAKED		NEW		4.85	
W10	W10-36210	1	3	36210	42"	33 3/8"	FIXED/ RAKED		NEW		4.81	
W12	W12-5030	2	2	5030	60"	36"	LEFT SLIDING		NEW	BEDROOM 1	18.0	
W13	W13-6030	1	1	6030	72"	36"	LEFT SLIDING NEW		NEW	(N) (UN-HEATED) GARAGE	18.0	
W14	W14-8040	1	1	8040	46"	48"	TRIPLE CASEMENT-LHL/RHR		NEW	LIVING	32.0	
W16	W16-5640	1	2	5640	66"	48"	FIXED/ RAKED		NEW	(N) MASTER BDRM(N) DECK	22.0	
W18	W18-5640	1	2	5640	66"	48"	FIXED/ RAKED		NEW	(N) MASTER BDRM/DECK	22.0	
TOTALS:											186.91	

APN. 046-231-29

OWNER: Rick McCoil
155 Palm View
La Selva Beach, Ca. 95076

PROPOSED
UPPER FLOOR
PLAN

Kevin Vevang

Kevin & LeLani Vevang
Residential Design
P.O. Box 1315 Penn Valley, Ca. 95949
(831) 331-5037

DATE:

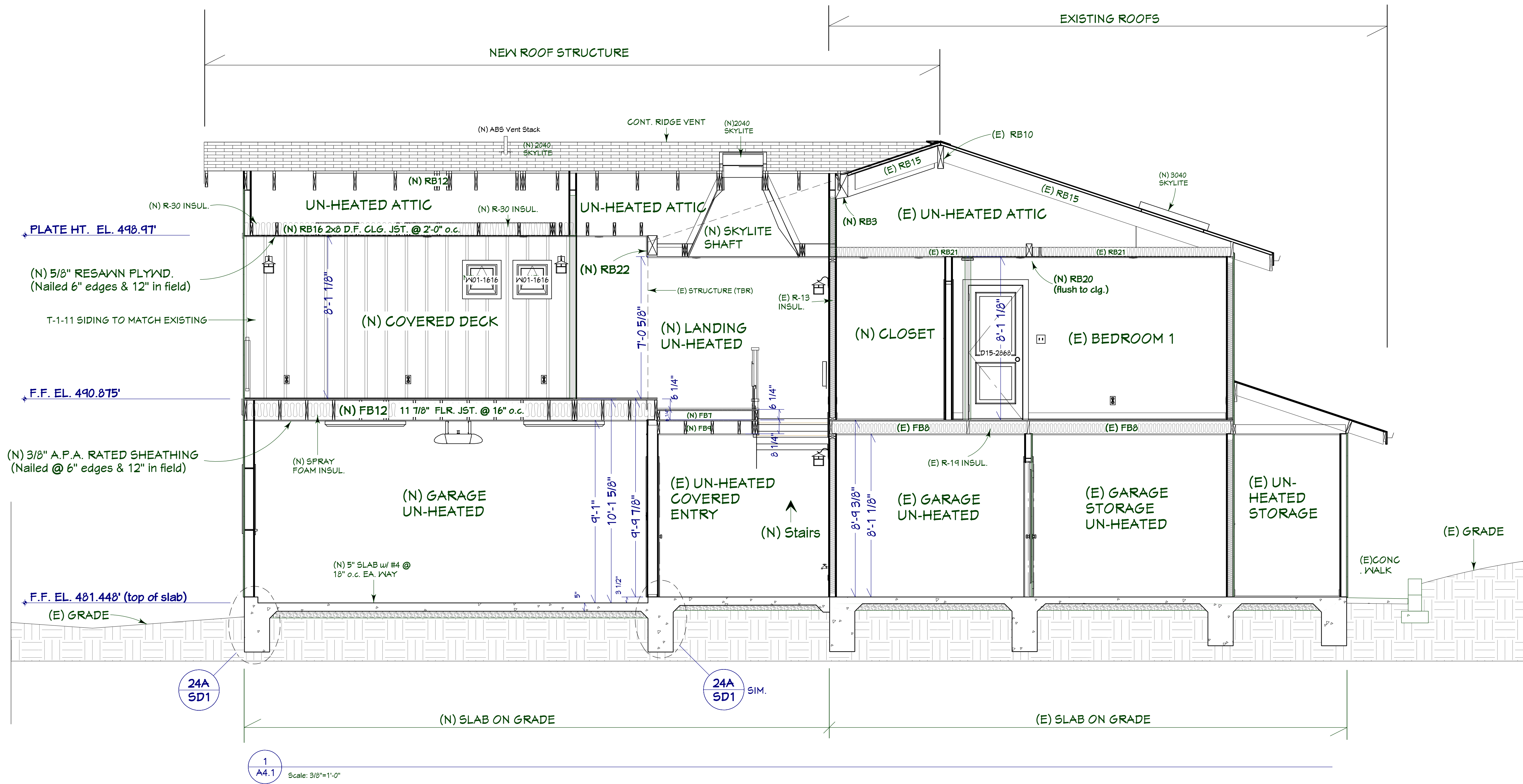
6/14/2022

SCALE:

1/4"=1'-0"

SHEET:

A3.4



1
A4.1
Scale: 3/8"=1'-0"

INSULATION SCHEDULE	
All New 2 x 4 Ext Walls:	R13
All New 2 x 6 Ext Walls:	R19
All New Attic Ceiling joist areas:	R30
New Vaulted Roof Areas at Living Room & Master Bedroom use Spray Foam Insul. Use QUICK-SHIELD 118 Closed-Cell Spray Foam @ R-6.5 per in. x5" Thickness =R-32.5	

REVISION TABLE	
NUMBER	DATE

OWNER: **APN. 046-231-29**
Rick McCold
155 Palm View
La Selva Beach, Ca. 95076

CROSS SECTION

DRAWINGS PROVIDED BY:
Kevin & LeLani Vevang
Residential Design
P.O. Box 1315 Penn Valley, Ca. 95946
(831) 331-5037

DATE:

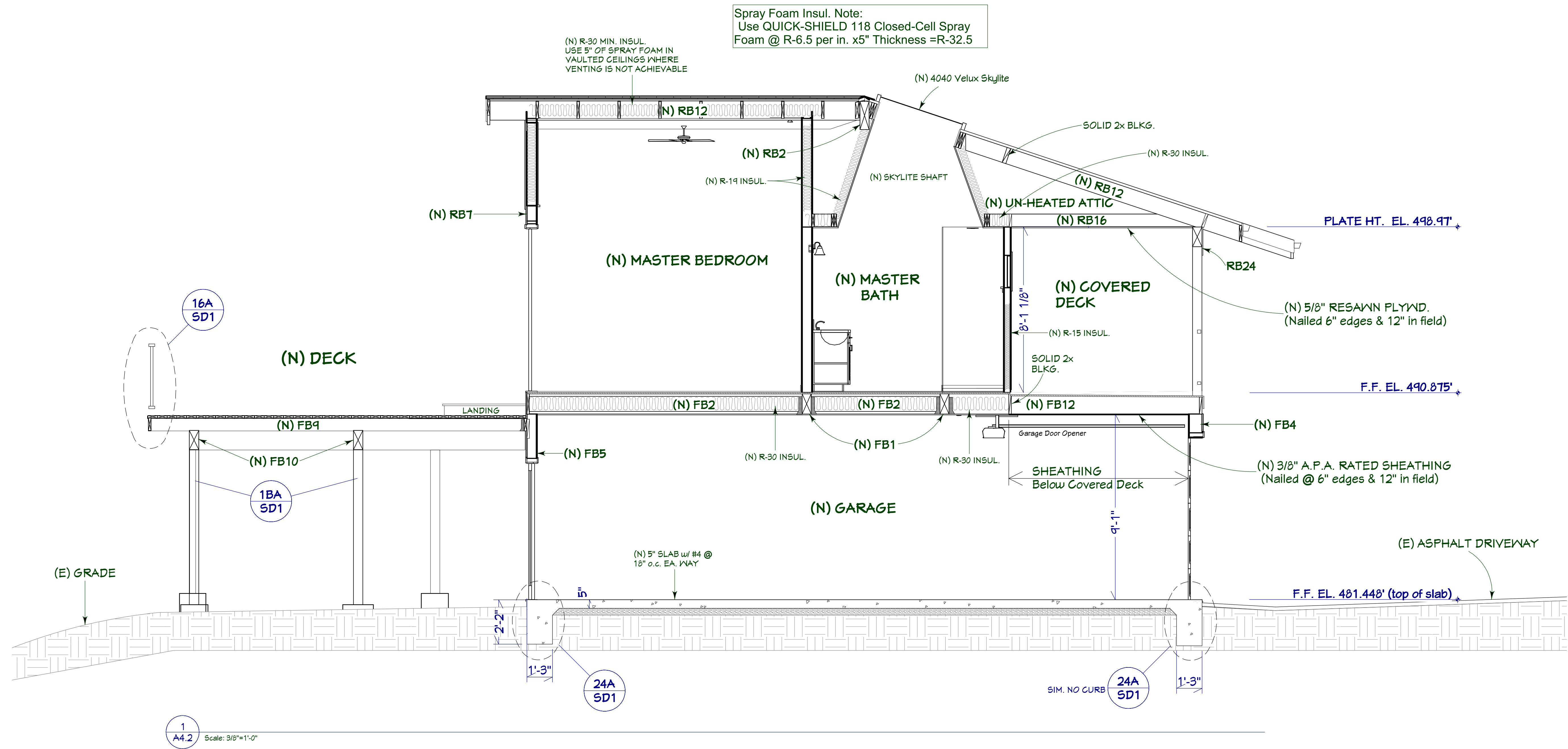
6/14/2022

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SHEET:

A4.1



INSULATION SCHEDULE	
All New 2 x 4 Ext Walls:	R13
All New 2 x 6 Ext Walls:	R19
All New Attic Ceiling joist areas:	R30
New Vaulted Roof Areas at Living Room & Master Bedroom use Spray Foam Insul. Use QUICK-SHIELD 118 Closed-Cell Spray Foam @ R-6.5 per in. x5" Thickness =R-32.5	

REVISION TABLE	
NUMBER	DATE

OWNER: **APN. 046-231-29**
Rick McCoid
155 Palm View
La Selva Beach, Ca. 95076

CROSS SECTION

DRAWINGS PROVIDED BY:
Kevin & LeLani Vevang
Residential Design
P.O. Box 1315 Penn Valley, Ca. 95946
(831) 331-5037

DATE:

6/14/2022

SCALE:

3/8"=1'-0"

SHEET:

A4.2