



## NOTICE OF PENDING ACTION

### NOTICE OF PENDING ACTION

An application for the project described on this notice has been filed and a decision about the project will soon be made by Planning Department staff. Any member of the public may submit comments on the proposal prior to the deadline listed on the reverse side of this notice. The project plans may be viewed on the Planning Department website (<http://www.sccoplanning.com> under Pending Public Notice Projects). The webpage may also be used to track the project decision date, which initiates an appeal period.

Any aggrieved person, or the applicant, may appeal the ultimate decision on this project by submitting a written request within 14 calendar days of the decision date and paying an appeal fee. Please be aware that, while an **anticipated** decision date has been identified for purposes of this notice, the **actual** decision date initiating the appeal period will be posted on the web address described above. Information regarding the appeal process or fees may be obtained by phoning (831) 454-2130.

file copy

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
701 Ocean Street, 4<sup>th</sup> Floor  
Santa Cruz, CA 95060  
(831) 454-2580

### NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATION NUMBER: 221280      APN: 060-251-03  
SITUS: 555 Highway 17, Santa Cruz, CA 95060

Proposal to 1) convert a temporary, 900 square foot outdoor dining area under an existing porte cochere to a permanent outdoor eating area and 2) extend approved permit 221319 from 3/11/2023 to 3/11/2026. Requires amendments to commercial development permits 79-642-PD and 191319 with Design Review, and a time extension to 191319. Property located on the west side of Highway 17 (555 Hwy. 17) approximately 200 feet north of the entry road to Pasatiempo Drive.

OWNER: Pasatiempo Investments  
APPLICANT: Maia Gendreau  
SUPERVISORIAL DISTRICT: 5  
PLANNER: Jerry Busch, 831-454-3234  
EMAIL: [Jerry.Busch@santacruzcounty.us](mailto:Jerry.Busch@santacruzcounty.us)

Public comments must be received by 5:00 p.m. May 29, 2023.  
A decision will be made on or shortly after May 30, 2023.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. Planner will provide notification of decision to any requesting party.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

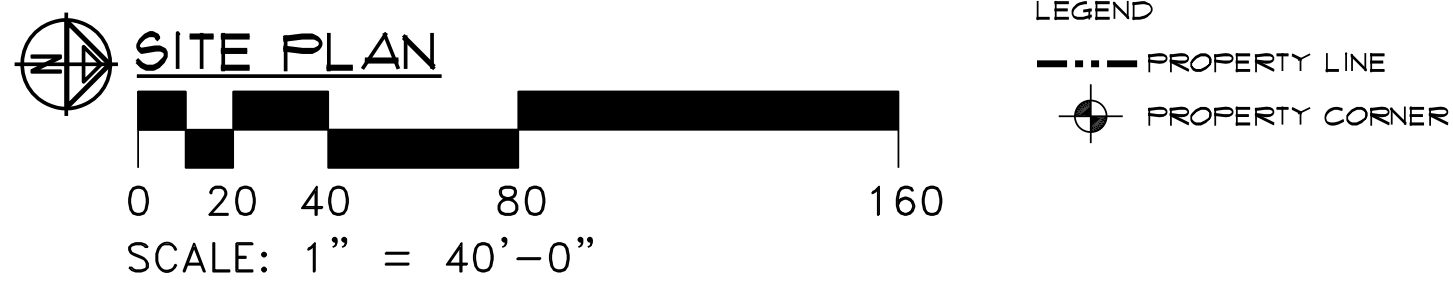
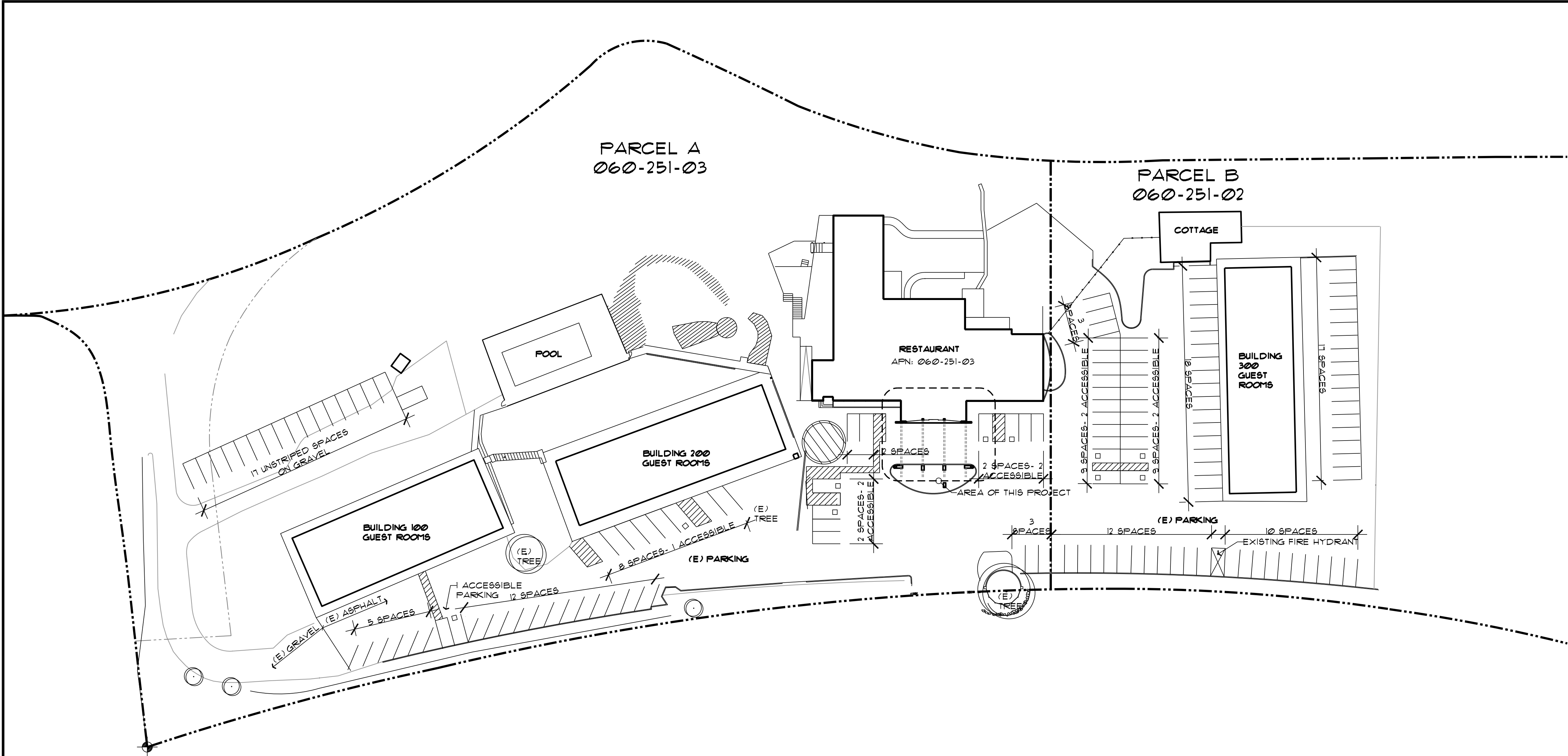
6	AT	ANCHOR BOLT	L.F.	LINEAL FOOT
AC	ASPHALT CONCRETE	LGR	LONG	
ACQUST	ACOUSTICAL	LKR	LOCK	
ADD	ADDENDUM	LT	LIGHT	
ADJ	ADJUSTABLE	LVT	LUXURY VINYL TILE	
AGGR	AGGREGATE	MAX	MAXIMUM	
AHJ	AUTHORITIES HAVING JURISDICTION	MB	MACHINE BOLT	
ALT	ALTER	MC	MEDICINE CABINET	
ALUM	ALUMINUM	MECH	MECHANICAL	
APPROX	APPROXIMATELY	MEMB	MEMBRANE	
ARCH	ARCHITECT	MT	METAL	
C	ANGLE	MRG	MANUFACTURE(R)	
BD	BOARD	MH	MANHOLE	
BLDG	BUILDING	M1	MALLEABLE IRON	
BLK/G	BLOCKING	MIN	MINIMUM	
BM	BEAM	MIR	MIRROR	
BOT	BOTTOM	MISC	MISCELLANEOUS	
BOU	BACK OF WALK	MO	MOUNTED OPENING	
B.S.L.	BUILDING SETBACK LINE	MTO	MOUNTED	
B.SPL	BACKSLASH	MUL	MULLION	
BTW	BETWEEN	N	NORTH	
B.W.R.	BUILT-UP ROOFING	N/C	NEW	
B.W.	BOTH WAYS	NEC	NATIONAL ELECTRIC CODE	
CAB	CABINET	NO.	NOT IN CONTRACT	
C.A.H.	CLEAR ALL HEART	NO.	NUMBER	
C.B.	CATCH BASIN, CORNER BEAD	NOM	NOMINAL	
C.B.C.	CALIFORNIA BUILDING CODE	N.T.S.	NOT TO SCALE	
C.C.	CENTER TO CENTER	NRC	NOISE REDUCTION CONTROL	
C.C.R.	CALIFORNIA CODE OF REGULATION	O	OVER	
CEH	CETHEM	O.A.	OVERALL	
CEH	CESB	OBSC	OBSOLETE	
C.J.	COLD JOINT, CONTROL JOINT	O.C.	ON CENTER	
CLG	CEILING	OD	OUTSIDE DIMENSION (DIA.)	
CLKG	CAULKING	OFF	OFF	
CLD	CLOSET	OH	OVERHEAD, OVERHANG	
CLR	CLEAR	OPG	OPENING	
C.M.C.	CALIFORNIA MECHANICAL CODE	OPR	OPERATE	
C.M.P.	CORRUGATED METAL PIPE	OUN	OUNCE	
C.M.U.	CONCRETE MASONRY UNIT	P.C.	PLUMBING CONTRACTOR	
COL	COLUMN	P.F.B.	PLASTIC FINISH BOARD	
CONC	CONCRETE	P.F.E	PLATE, PROPERTY LINE	
CONN	CONNECTION	PLAS	PLASTER	
CONSTR	CONSTRUCTION	PLYUD	PLYWOOD	
CONT	CONTINUOUS	POL	POLISHED	
C.O.N.C.	CALIFORNIA OFFICE OF NOISE CONTROL	FOR	PAIR	
C.O.T.G.	CLEANOUT TO GRADE	FRCST	PRECAST	
C.P.C.	CALIFORNIA PLUMBING CODE	ROI	ROOF	
CPT	CARPET	P.T.D.	PAPER TOWEL DISPENSER	
CT	CERAMIC TILE	P.T.D.F.	PRESSURE TREATED DOUGLAS FIR	
CTR	CENTER	P.T.D.N	COMBINATION P.T.D. & P.T.R.	
CTSK	COUNTERSINK	PTN	PARTITION	
CU	CONDENSING UNIT	P.T.R.	PAPER TOWEL RECEPTACLE	
¢	CENTERLINE	P.U.E	PUBLIC UTILITY EASEMENT	
D	DRYER	Q.T.	QUARRY TILE	
DBL	DOUBLE	R	RISER	
DET	DETAIL	R.A.	RETURN AIR	
D.F.	DOUGLAS FIR	RAD	RADIANT	
D.F.	DRINKING FOUNTAIN	R.A.G.	RETURN AIR GRILLE	
DIA	DIAMETER	R.C.P.	REINFORCED CONCRETE PIPE	
DIAG	DIAGONAL	ROO	ROOF DRAIN	
DM	DIMENSION	REF	REFERENCE	
DISP	DISPENSER, DISPOSER	REIN	REINFORCED (ING)	
DN	DOWN	RES	RESINOUS FLOORING	
DO	DITTO	RET	RETURNING	
DR	DOOR	REQ	REQUIRED	
D.S.	DOWN SPOUT	RESIL	RESILIENT	
DW	DISHWASHER	RFG	REFRIGERATOR	
DWG	DRAWING	RGR	REGISTER	
DWR	DRAWER	RM	ROOM	
E	EAST	RO	ROUGH	
E.A.	EACH	R.O.	ROUGH OPENING	
E.J.	EXPANSION JOINT	RESAUN	RESEALANT	
ELEC	ELECTRIC (ALL)	RUL	RAINWATER LEADER	
EL	ELEVATION	RUD	REDWOOD	
ELEV	ELEVATOR	R/W	RIGHT OF WAY	
EMER	EMERGENCY	S	SOUTH	
EN	EDGE NAILING	SAD	SEE ARCHITECTURAL DWGS.	
ENCL	ENCLOSURE	S.A.R	SUPPLY AIR REGISTER	
EQ	EQUAL	SASH	SELF-VENTILATED SHEET MEMBRANE	
E.Q.P.	EQUIPMENT	S.C.	SOLID CORE	
E.W.C.	ELECTRIC WATER COOLER	S.C.D.	SEAT COVER DISPENSER	
E.W.	EACH WAY	S.D.	SOAP DISPENSER	
E.X.I.S.T	EXISTING	SECT	SECTION	
EXP	EXPANSION	SF	SQUARE FEET	
EXPO	EXPOSED	SH	SHIELD	
EXT	EXTERIOR, EXTENSION	SHR	SHOWER	
		SHET	SHEET	
		SHTG	SHEATHING	
		SHT	SHEET	
		SHTG	SHEETMETAL SCREWS	
		S.M.S.	SANITARY NAPKIN DISPENSER	
		S.N.D.	SANITARY NAPKIN RECEPTACLE	
		S.N.R.	SHUT-OFF VALVE	
		S.O.V.	SHUT-OFF VALVE	
		S 4 P	SHEET 4 POLE	
		SQ	SQUARE	
		S.S.	SELECT STRUCTURAL	
		S.S.	STAINLESS STEEL	
		S.S.K	SERVICE SINK	
		ST	STREET	
		STA	STATION	
		STD	STANDARD	
		STL	STEEL	
		STO	STORAGE	
		STR	STRUCTURAL	
		STR	SUBSTRUCTURE	
		SV	SHEET VINYL FLOORING	
		SW	SHEAR WALL	
		SYM	SYMMETRICAL	
		T	TEMPERED	
		T.B.	TOILET BOWL	
		T B	TOP 4 BOTTOM	
		T.C.	TOP OF CURB	
		TEL	TELEPHONE	
		TER	TERRAZZO	
		T 4 G	TONGUE 4 GROOVE	
		TH	THRESHOLD	
		THK	THICK	
		T.O.P	TOP OF FLATE	
		T.O.P	TOP OF PAVEMENT	
		T.P.D.	TOILET PAPER DISPENSER	
		T.RD	TREAD	
		T.S.	TUBULAR STEEL	
		T.S.B	TOP-SET BASE	
		T.V.	TELEVISION	
</				

SHEET

GO

OF SHEETS





GENERAL NOTES

16 NOTE NUMBER  
16 SHEET NUMBER

NOTE AND DETAIL DRAWING NUMBERS ON THIS SHEET WILL INCLUDE SHEET NUMBERS ONLY WHEN REFERENCED TO DRAWINGS AND NOTES ON OTHER SHEETS.

THIS SITE IS EXISTING AND NO BUILDINGS WILL BE MODIFIED AS A PART OF THIS PROJECT.

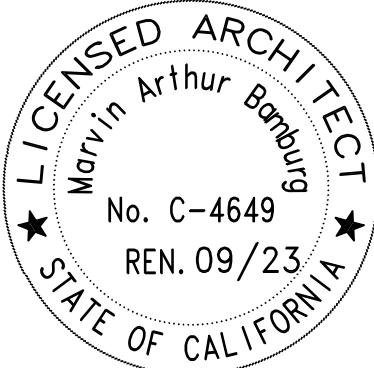
JOB No. 0850.2  
DATE 24 MAY 2022

DESCRIPTION	DATE	REV.
COMMENT CYC 1	12/19/22	

ADMINISTRATIVE AMENDMENT TO  
79-642PD AND 191319

THE INN AT  
PASATIEMPO  
555 HIGHWAY 17  
SANTA CRUZ CA  
95060

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SHEET TITLE  
**EXISTING SITE  
PLAN AND  
PARKING CALC.**

SCALE AS SHOWN  
CAD FILE 0850.2-CD-G1.DWG  
DRAWN BY AW

SHEET

G1

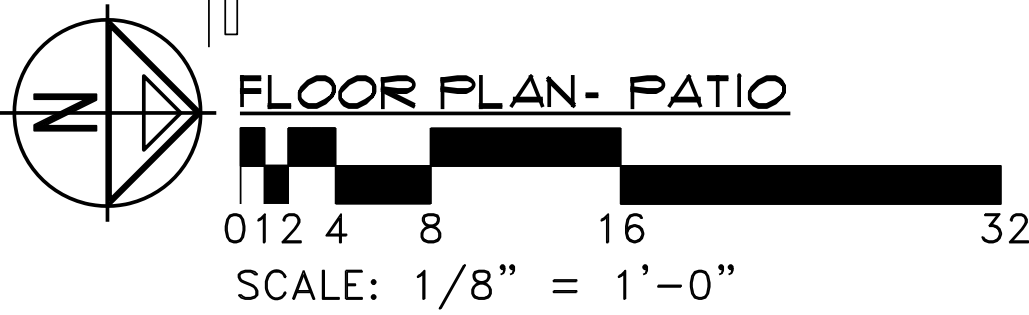
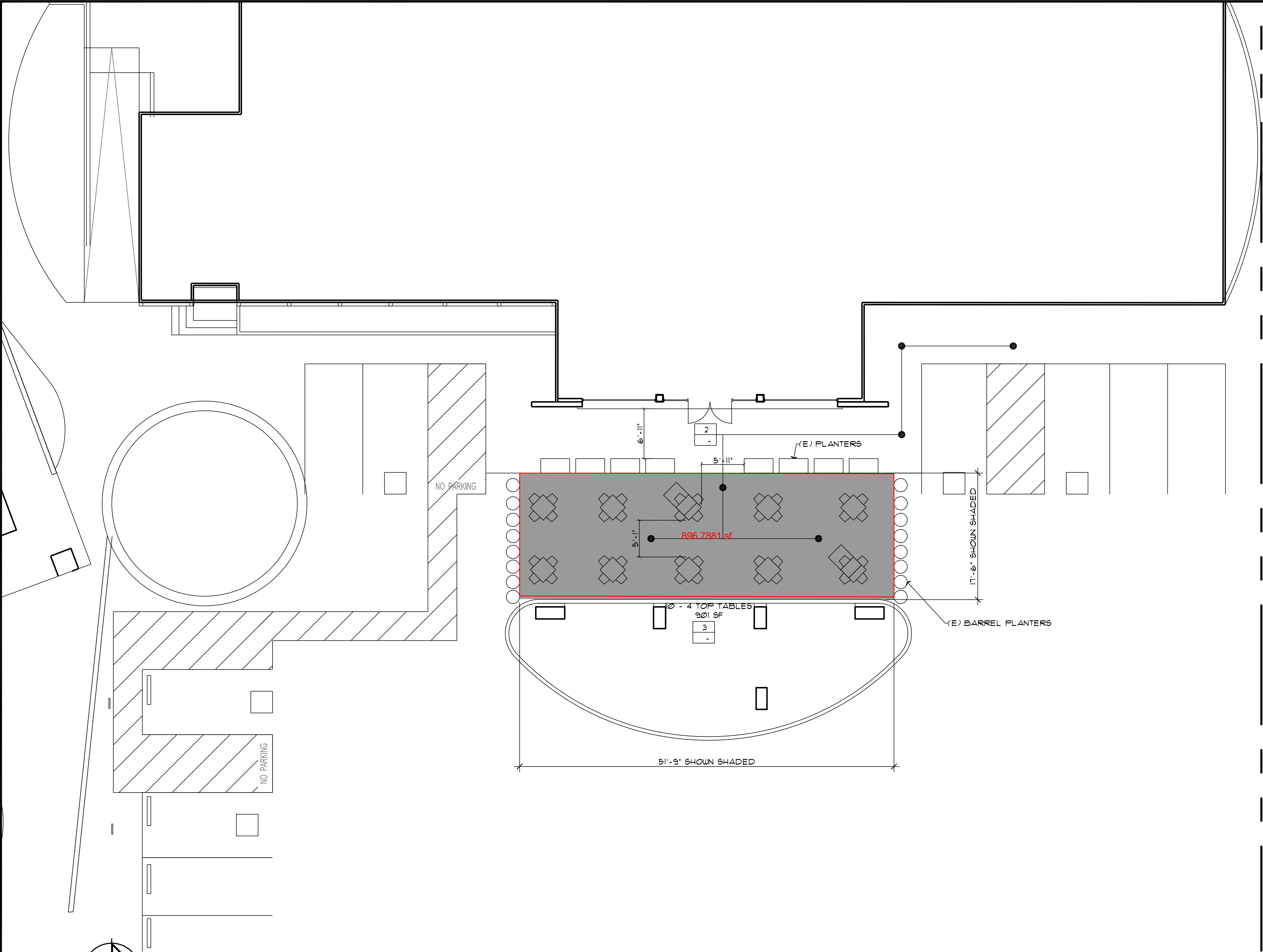
OF SHEETS

PARCEL A

USE AND PARKING RATIO	EXISTING AREA SF.	REQ. PARKING SPACES	EXISTING PARKING SPACES
BAR/ RESTAURANT 1:100 1ST FLOOR BANQUET 1:100 UPPER DECK 1:100 LOWER BANQUET 1:100 LOWER DECK (NOT IN USE) OFFICES/ REST + HOTEL 1:300 GUEST ROOMS 1:1 EMPLOYEE PARKING 0.3:1	1630 3044 1850 1650 530 609 34 UNITS 12	16.3 30.4 18.5 16.5 0 2 34 4	
PARCEL A ASPHALT PARKING:			39
PARCEL A GRAVEL PARKING:			17
PARCEL A SUBTOTAL:		122	56

PARCEL B

USE AND PARKING RATIO	EXISTING AREA SF.	REQ. PARKING SPACES	EXISTING PARKING SPACES
COTTAGE (OFFICES) 1:300 GUEST ROOM 1:1	1,050 20 UNITS	3.5 20	
PARCEL B SUBTOTAL (ASPHALT):		24	18
TOTAL PARKING REQUIRED/EXISTING		146	134
PARKING IN FRONT OF BUILDING 100 IS SHOWN RESTRIPTED ON SHEET L003, RESULTING IN AN INCREASE IN 12 SPACES.			12
TOTAL PARKING PROVIDED			146



GENERAL NOTES

1 1 NOTE NUMBER  
1 1 SHEET NUMBER

NOTE AND DETAIL DRAWING NUMBERS ON THIS SHEET WILL INCLUDE SHEET NUMBERS ONLY WHEN REFERENCED TO DRAWINGS AND NOTES ON OTHER SHEETS.

1 TOTAL RESTAURANT USES:

MAIN FLOOR = 7235 SF GROSS  
LOWER LEVEL = 2221 SF GROSS

TOTAL INTERIOR RESTAURANT AREA = 9456 SF GROSS INTERIOR  
TOTAL EXTERIOR DECKS = 2380 SF

TOTAL GROSS RESTAURANT AREA = 11836 SF.

AREA FF NEW OUT DOOR SEATING = 901 SF <10% OF 11836 SF

2 AS PART OF THIS PROJECT THE ACCESSIBLE PATH OF TRAVEL TO THE PORTE COCHERE DINING AREA SHALL BE VERIFIED FOR COMPLIANCE AT MAXIMUM 2% SLOPE. NO DROPOFF SHALL BE GREATER THAN 1/2", WITH 1/4" VERTICAL AND 1/4" BEVELLED. SLOPE SHALL BE VERIFIED WITH A SMART LEVEL.

3 TABLES SHALL PROVIDE 5% ACCESSIBLE SEATING, WITH TABLE HEIGHT 34", AND LEG SPACE MINIMUM 30" CLEAR AND 19" DEEP.

JOB No. 0850.2  
DATE 24 MAY 2022

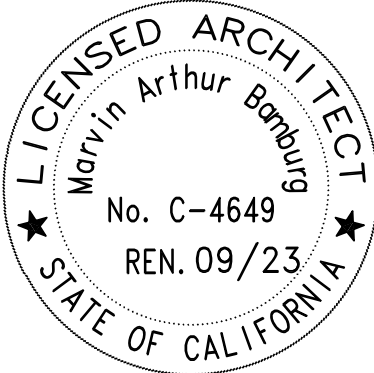
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SANTA CRUZ CA  
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SHEET TITLE  
DETAIL SITE  
PLAN OF PATIO  
AREA

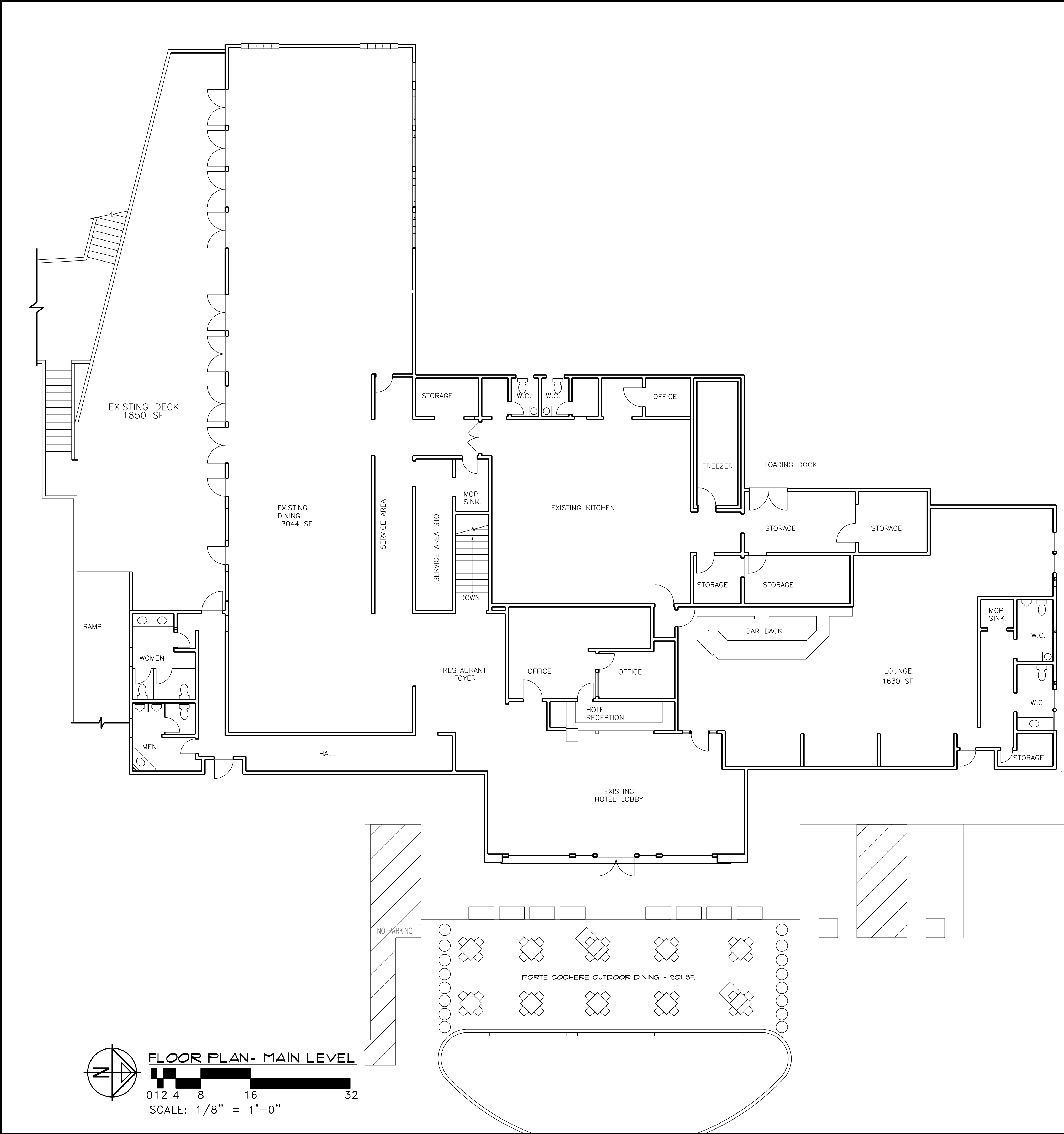
SCALE AS SHOWN  
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G2

OF SHEETS





CPC TABLE A/TABLE 4-1

ROOM	SIZE	OLF	QUANTITY OCCUPANTS	BUILDING TYPE OCCUPANCY
DINING FLR 1	3044	30	101	A2
LOUNGE	1630	30	54	A2
KITCHEN	939	50	19	B
LOBBY/DESK	460	200	2	B
BANQUET LOWER	1560	30	52	A2
NEW DINING- FORTE COCHERE	901	30	30	A2
298 OCCUPANTS - 129 MEN & 129 WOMEN				

CPC TABLE 422.1 298 OCCUPANTS - 129 MEN & 129 WOMEN

REQUIRED FIXTURES: OCCUPANT TOTAL CALCULATED AT MOST INTENSE USE A2

A-2	WC MEN	WC WOMEN	UR MEN	LAV MEN	LAV WOMEN	DF	SERVICE
	2	3	1	1	1	1	1

EXISTING FIXTURES:

	3	4	3	4	3	* WATER WATER IS PROVIDED IN LOUNGE AND LOBBY	1
--	---	---	---	---	---	-----------------------------------------------------------	---

MAIN BUILDING USE AREAS GROSS

RESTAURANT USES MAIN FLOOR-	EXISTING INTERIOR FLOOR AREA SF.	EXISTING EXTERIOR FLOOR AREA SF.
BANQUET ROOM	3,044	
BAR/ LOUNGE	1,630	
OFFICE RESTAURANT	100	
KITCHEN	939	
RESTAURANT STORAGE/WC	1,522	
EXTERIOR DECK		1,850
SUBTOTAL MAIN LEVEL	7,235	1,850
RESTAURANT USE - LOWER LEVEL		
LOWER LEVEL BANQUET	1,650	
GREETING AREA	342	
SERVICE AREA	229	
LOWER LEVEL DECK		530
SUBTOTAL LOWER LEVEL	2,221	530
TOTAL RESTAURANT AREA	9,456	2,380

TOTAL RESTAURANT AREA INTERIOR AND EXTERIOR = 11,836 SF

NEW OUTDOOR PATIO AREA = 901 SF  
(901< 10% OF TOTAL RESTAURANT)

MAIN FLOOR HOTEL USE AREAS		
LOBBY	1180	
OFFICE	509	
CIRCULATION/ PUBLIC TOILETS	1,035	

TOTAL HOTEL/COMMON AREA 2,724 SF GROSS

JOB No. 0850.2  
DATE 23 MAY 2022

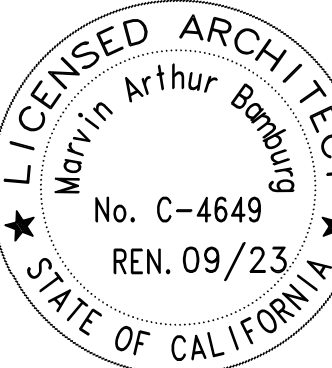
DESCRIPTION	DATE	REV.
COMMENT CYC 1	12/19/22	

ADMINISTRATIVE AMENDMENT TO  
79-642PD AND 191319

THE INN AT  
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555 HIGHWAY 17  
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95060

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MAINTAINING ASSOCIATES INC.  
MBA  
1176 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125  
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SHEET TITLE

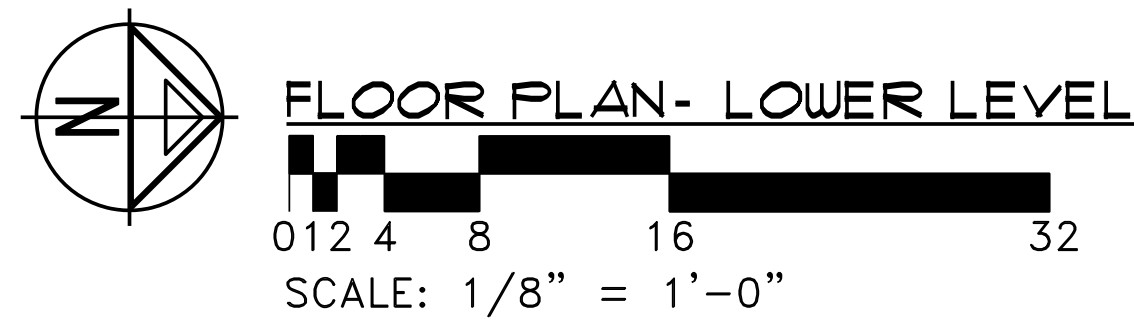
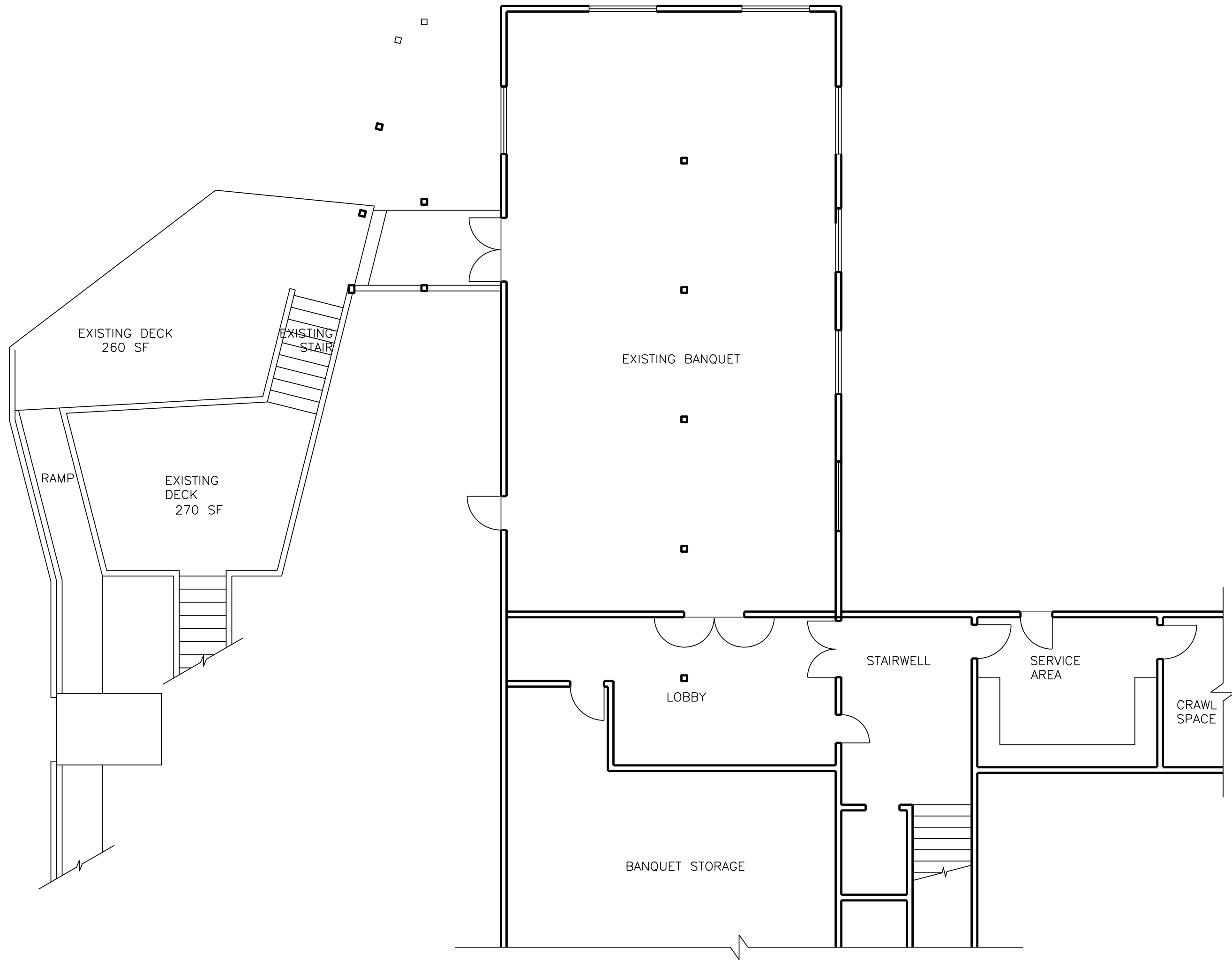
MAIN LEVEL  
FLOOR PLAN

SCALE AS SHOWN  
CAD FILE 08502-CD-AA1DWG  
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SHEET

AA1

OF SHEETS



JOB No.	0850.2
DATE	24 MAY 2022

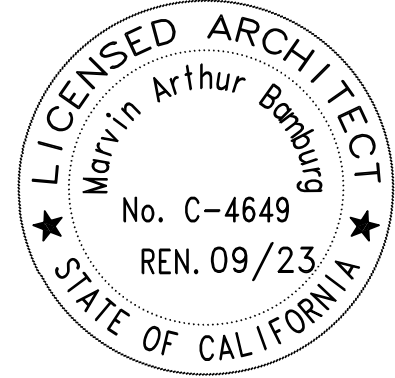
DESCRIPTION	DATE	REV.

ADMINISTRATIVE AMENDMENT TO  
79-042PD AND 191319

THE INN AT  
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SHEET TITLE

LOWER  
LEVEL

SCALE AS SHOWN

CAD FILE 08502-CD-A1.DWG

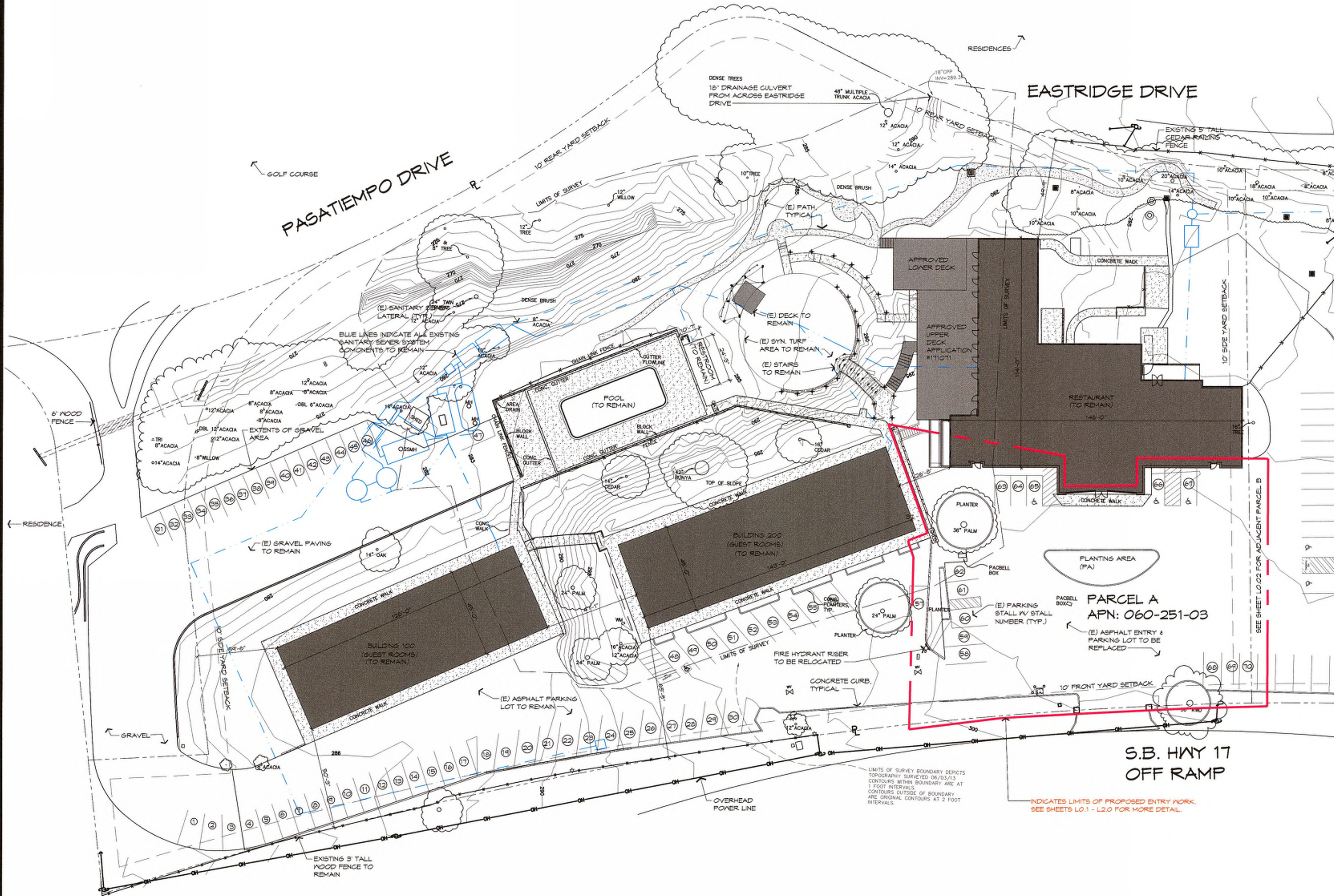
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SHEET

A42

OF SHEETS





### PERMEABLE PAVEMENT SYSTEM MAINTENANCE SCHEDULE

OWNER SHALL PERFORM VISUAL INSPECTION OF ALL NEW PERMEABLE PAVERS FOR SIGNS OF FAILURE SUCH AS PONDING OR SLOW STORMWATER INFILTRATION RATE ON AN ANNUAL BASIS PRIOR TO EACH WINTER SEASON PER PACIFIC INTERLOCK MANUFACTURER SUGGESTED MAINTENANCE RECOMMENDATIONS.

WHEN SIGNS OF FAILURE ARE PRESENT OWNER SHALL PERFORM CLEANING MAINTENANCE OF THE PAVERS PER PACIFIC INTERLOCK MANUFACTURER SUGGESTED MAINTENANCE RECOMMENDATIONS AS FOLLOWS:

Continued maintenance is required to maintain the permeability of the Hydro-Flo Pavers. In general, practices used for maintenance of regular pavements will apply, such as regular dusting or sweeping by either brush or vacuum systems. Cleaning intervals will depend on several factors including traffic type, traffic frequency, and environmental factors.

To maintain the long term permeability of the Hydro-Flo Paver, an annual light pressure wash is recommended. A 1,200 - 1,500 psi pressure washer is adequate. A steam or hot water option will provide better results. Use of a wet vacuum system in conjunction with pressure washing will provide superior results.

Using a fan tip spray nozzle, at 30 degree angle, 14 to 16 inches from the paver and working at a 45 degree angle from the dominant pattern. Start from the highest grade, working in a sweeping motion, downhill to the lowest point of the project. Care must be taken not to allow the nozzle of the pressure washer to come in close contact with the paver as damage may occur. Solvents or cleaners are not required or recommended.

### PERMEABLE PAVEMENT SYSTEM TESTING REQUIREMENTS

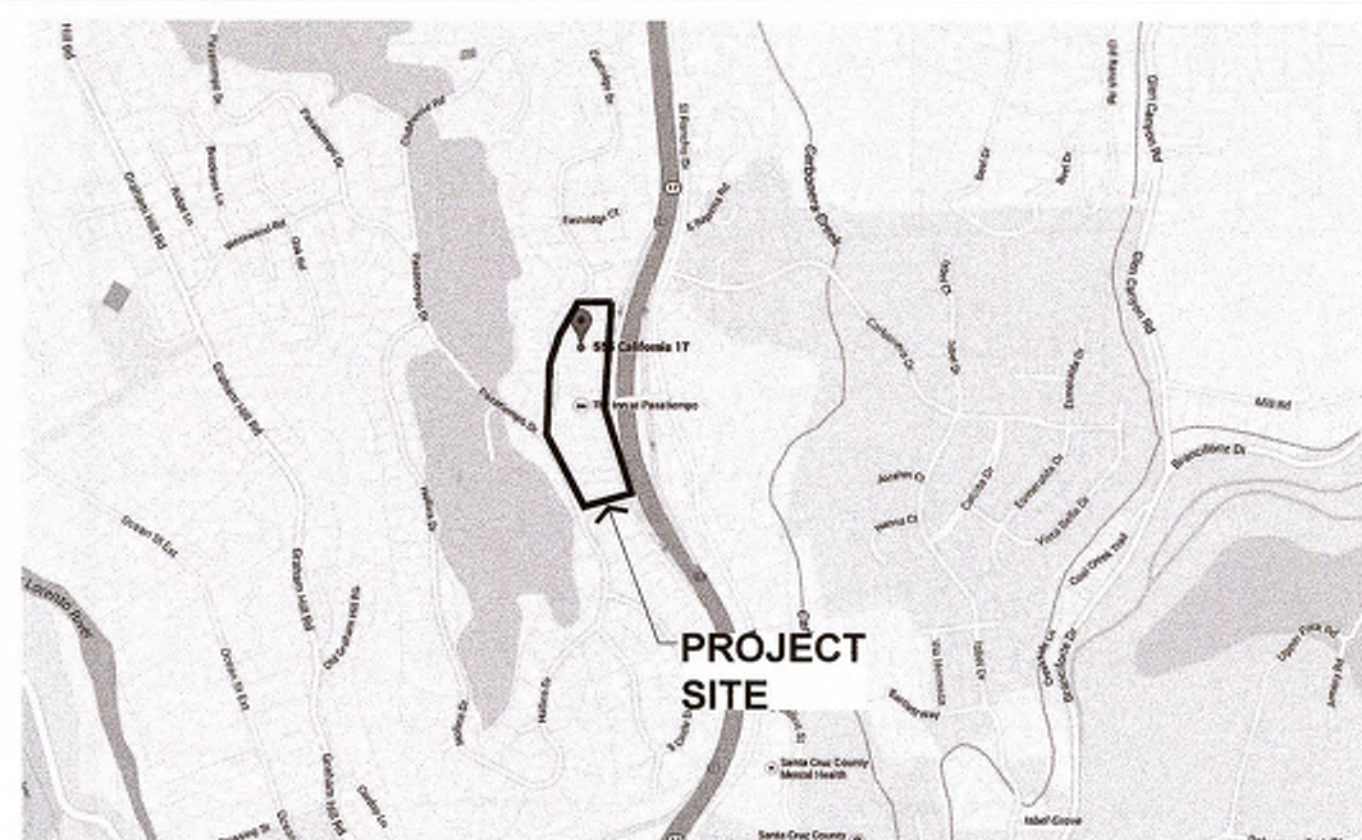
AFTER INSTALLATION THE PERMEABLE PAVER SYSTEM, THE PAVING SHALL BE TESTED IN CONFORMANCE TO ASTM C 1701 STANDARD TEST METHOD FOR SURFACE INFILTRATION RATE OF PERMEABLE UNIT PAVEMENT SYSTEMS BY QUALIFIED PROFESSIONAL. THE TESTING METHOD, TEST RESULTS AND TEST LOCATIONS SHALL BE DOCUMENTED IN A LETTER THAT IS SIGNED BY THE PROFESSIONAL WHO PERFORMED THE TESTS. LETTER SHALL BE SUBMITTED TO THE SANTA CRUZ COUNTY PUBLIC WORKS DEPARTMENT. MINIMUM INFILTRATION RATE SHALL ACHIEVE 10 INCHES PER HOUR. TEST METHOD SHALL BE SIMILAR TO DOCUMENTED LAB TEST SHOWN ON I/L3.1

### SHEET INDEX

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L0.03	PROPOSED SITE PLAN
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L1.0	LAYOUT PLAN
L2.0	GRADING PLAN
L3.1	CONSTRUCTION DETAILS
L3.2	CONSTRUCTION DETAILS
L4.1	LIGHTING / UTILITIES PLAN
L5.1	IRRIGATION PLAN
L5.2	IRRIGATION LEGEND & NOTES
L5.3	PLANTING PLAN
L5.4	PLANTING LEGEND & NOTES
L5.5	PLANTING & IRRIGATION DETAILS
RAV1	RETAINING WALL STRUCTURAL PLANS
L7.0	COUNTY PLAN CHECK CONDITIONS OF APPROVAL
L7.1	COUNTY PLAN CHECK CONDITIONS OF APPROVAL

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
REVIEWED FOR CODE COMPLIANCE  
REVIEWER: JEH  
REVIEW DATE: 12/01/2020  
ISSUED PERMIT: B-201979  
CHANGE DOCS: N/A

### LOCATION MAP



### PROJECT DIRECTORY

OWNERS: RICHARD GREGGSON  
PENINSULA WEST PROPERTIES  
200 S. SANTA CRUZ AVE, SUITE 103  
LOS GATOS, CA 95030  
(408) 345-8844 x44  
dickepnwest.com

LANDSCAPE ARCHITECT: CHRIS KANKEL  
KIKUCHI + KANKEL DESIGN GROUP  
61 E. MAIN STREET, SUITE C  
LOS GATOS, CA 95030  
(408) 356-5980  
CKANKEL@KIKUCHIKANKELDESIGNGROUP.COM

CIVIL & STRUCTURAL ENGINEER: MIKE KOONTZ  
QUILICI ENGINEERS, INC.  
30 UNION AVENUE, SUITE 200  
CAMPBELL, CA 95008  
(408) 583-0323  
MKOONTZ@QENGINEERS.COM

### SITE DATA

APN: 060-251-03  
ZONE: VA  
LOT SIZES: 3.12 ACRES / 162,074 SQ.FT.  
WATER SERVICE UTILITY AREA: SANTA CRUZ  
SANITATION DISTRICT: C&A12

#### STRUCTURAL COVERAGE TABULATIONS:

BUILDING 100 =	5,760 SQ.FT.	(NO CHANGE)
BUILDING 200 =	6,435 SQ.FT.	(NO CHANGE)
RESTAURANT =	14,150 SQ.FT.	(NO CHANGE)
POOL RESTROOM =	255 SQ.FT.	(NO CHANGE)
EXISTING DECK (UPPER) =	2,085 SQ.FT.	(NO CHANGE)
EXISTING DECK (LOWER) =	1,096 SQ.FT.	(NO CHANGE)

#### PARKING CALCULATIONS: PARCEL A

USE DESCRIPTION & PARKING RATIO	EX. FLOOR AREA SF	REQUIRED STALLS	EXISTING STALLS	PROPOSED STALLS
BAR / RESTAURANT 1:100	1,280	13	13	13
FIRST FLOOR BANQUET 1:100	2,425	30	10	10
UPPER LEVEL BANQUET 1:100	2,085	21	10	10
LOWER LEVEL BANQUET 1:100	1,740	17	13	5
LOWER LEVEL DECK N/A	1,096	0	0	0
RESTAURANT OFFICES 1:200	375	2	2	2
INN ROOMS 1:1	x34	34	18	18
EMPLOYEES 3:1	x12	4	4	4
SUB TOTAL - PARCEL A		121	70	62
MOTORCYCLE/GOLF CART STALLS* (NOT INCLUDED IN PARCEL A COUNT)		0	0	4

#### PARKING CALCULATIONS: PARCEL B

USE DESCRIPTION & PARKING RATIO	EX. FLOOR AREA SF	REQUIRED STALLS	EXISTING STALLS	PROPOSED STALLS
COTTAGE 1:200	1,050	5	25	25
INN ROOMS 1:1	x20	20	51	51
SUB TOTAL - PARCEL B		25	82	84
TOTAL PARKING STALLS - PARCEL A + B		146	152	146

#### ESTIMATED GRADING QUANTITIES:

TOTAL CUT	40 CY
TOTAL FILL	15 CY
NET	25 CY (EXPORT)

#### BICYCLE PARKING:

RESTAURANT 1:400 =	3
INN ROOMS 1:1 =	11
TOTAL REQUIRED =	14
TOTAL EXISTING =	14
TOTAL PROPOSED =	14

### PROJECT DESCRIPTION

SCOPE OF WORK INDICATED IN THESE DRAWINGS INCLUDES DRIVEWAY PAVING, GAS FIRE PIT, WALLS, CURBS, LIGHTING, PLANTING, IRRIGATION, RELOCATION OF EXISTING FIRE HYDRANT.

#### DIRECTIONS:

HIGHWAY 17, EXIT PASATIEMPO DRIVE. IF COMING FROM NORTH TURN RIGHT OFF OF EXIT INTO PROPERTY. IF COMING FROM SOUTH, TURN LEFT OVER OVERPASS AND PROCEED STRAIGHT INTO PROPERTY.

### GENERAL NOTES

- NO PRIVATE OR PUBLIC OPEN SPACE CURRENTLY EXIST ON THE PROJECT SITE, NOR ARE ANY PROPOSED.
- NO WELLS EXIST ON THE PROJECT SITE.
- NO PUBLIC SEWER EASEMENTS EXIST ON SITE.

NOTE: PER PART 3 SECTION C.2 OF THE COUNTY CDC CONTRACTOR SHALL IMPLEMENT PERMANENT AND/OR OPERATIONAL SOURCE CONTROL MEASURES AS APPLICABLE AND DEEMED NECESSARY BY THE COUNTY BUILDING DEPARTMENT. CONTROL MEASURES SHALL BE PER CASQA STORMWATER BMP HANDBOOK AND SHALL FOLLOW APPLICABLE REQUIREMENTS PERTAINING TO THIS SPECIFIC PROJECT DAILY OPERATIONS.

WELLS NOTE: THIS PARCEL IS SERVED BY THE CITY OF SANTA CRUZ WATER DEPARTMENT. THE OWNER WILL CONTACT THE SANTA CRUZ WATER DEPARTMENT FOR REVIEW AND APPROVAL OF THE ALL PROPOSED WATER EFFICIENT LANDSCAPE.



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### LANDSCAPE IMPROVEMENTS

## THE INN AT PASATIEMPO

555 HIGHWAY 17  
SANTA CRUZ, CA 95060

APN: 060-251-03

## Proposal to Extend Permit No. 221280

8/3/2020 PLAN CHECK COMMENTS

Revisions: 3/4/2020 PERMIT

Date: 11/1/14

Scale:

1" = 30'-0"

Drawn By:

JMB

### EXISTING SITE PLAN

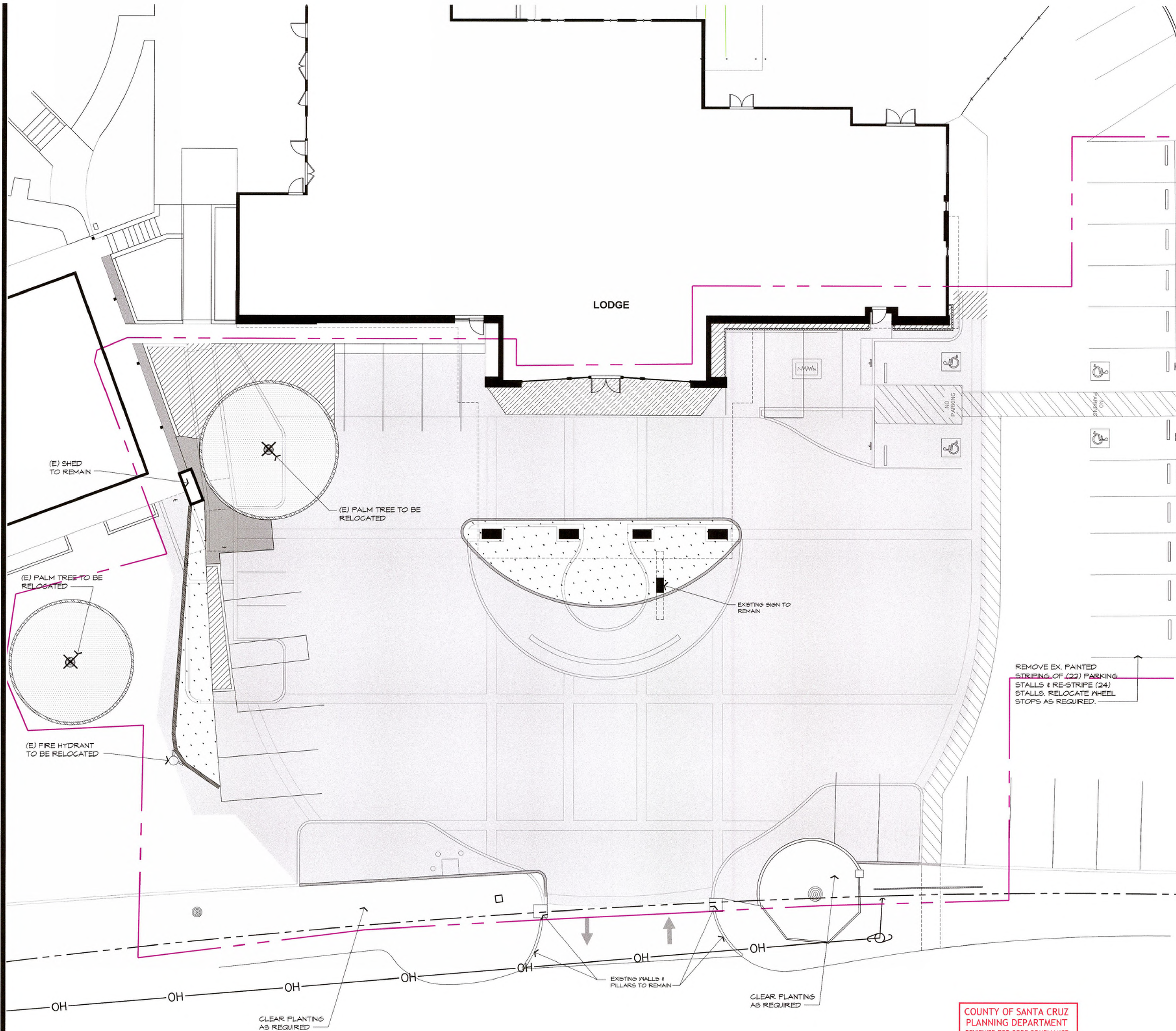
Sheet No.

## L0.01

Of



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## DEMOLITION LEGEND

- EXISTING ASPHALT PAVING TO BE REMOVED
- EXISTING CONCRETE PAVING TO BE REMOVED
- EXISTING TILE PAVING TO BE REMOVED
- EXISTING PLANTING TO BE REMOVED
- EXISTING 6" CURB TO BE REMOVED
- EXISTING 12"-18" WALL TO BE REMOVED
- EXISTING RAISED PLANTER TO BE REMOVED
- EXISTING 2'-4' RETAINING WALL TO BE REMOVED
- EXISTING SPLIT RAIL WOOD FENCE TO BE REMOVED
- EXISTING TURF AND SHRUB PLANTING TO BE REMOVED. REMOVE ALL EXISTING ASSOCIATED IRRIGATION PIPES & SPRAY HEADS.
- EXISTING TREE TO REMAIN; SEE NOTES REGARDING PROTECTION
- EXISTING TREE TO BE RELOCATED/TRANSPLANTED, SEE PLANTING PLAN FOR NEW LOCATION.

## DEMOLITION NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DISTANCES & LOCATIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- THIS PLAN IS FOR REFERENCE ONLY AND DOES NOT NECESSARILY INDICATE THE FULL EXTENT OR LIMITS OF DEMOLITION. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS & NEW WORK PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL ALLOW FOR REPAIR & REPLACEMENT OF ALL FEATURES "TO REMAIN" TO RETURN TO PRE-CONSTRUCTION CONDITION.
- EXISTING DOWNSPOUT LEADERS & DRAINAGE SHALL REMAIN. CONTRACTOR SHALL REPAIR ANY DAMAGE AS A RESULT OF CONSTRUCTION ACTIVITIES.
- ALL EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY LAND DISTURBING ACTIVITY. SEE GRADING PLAN, SHEET L2.0, FOR EROSION CONTROL NOTES.
- ALL DEBRIS SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL VERIFY WITH THE LANDSCAPE ARCHITECT THE LOCATION OF MATERIALS TO BE STORED OR RELOCATED. THE CONTRACTOR SHALL PROTECT ALL FEATURES TO REMAIN.
- NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.
- A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN THE CONTAINER.
- ALL PLANT MATERIAL NOT INDICATED TO BE REMOVED SHALL REMAIN.
- CONTRACTOR SHALL MAINTAIN THE AUTOMATIC IRRIGATION SYSTEM OPERATIONAL TO ALL LANDSCAPE AREAS TO REMAIN. IF SUCH IRRIGATION IS NOT MAINTAINABLE, CONTRACTOR SHALL HAND WATER TO INSURE PLANT HEALTH FOR DURATION OF THE PROJECT.
- TOPOGRAPHIC INFORMATION USED IN THE PREPARATION OF THIS PLAN IS BASED ON SURVEY INFORMATION PREPARED BY IF LAND SURVEY DATED 06/07/2013. ALL GRADES AND CONTOURS INDICATED AS EXISTING ARE BASED ON SURVEY INFORMATION. CONTRACTOR SHALL VERIFY AND ACCEPT EXISTING CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES & ROOT SYSTEMS
- CONTRACTOR SHALL OBTAIN AND ADHERE TO GUIDELINES SET FORTH IN THE GEOTECHNICAL REPORT AS PREPARED BY SILICON VALLEY SOIL ENGINEERING DATED 3/24/2014.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
REVIEWED FOR CODE COMPLIANCE  
REVIEWER: JEH  
REVIEW DATE: 12/01/2020  
ISSUED PERMIT: 8-201979  
CHANGE DOCS: N/A



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**LANDSCAPE**  
**IMPROVEMENTS**

## THE INN AT PASATIEMPO

555 HIGHWAY 17  
SANTA CRUZ, CA 95060

APN: 060-251-03

**Proposal to**  
**Extend Permit**  
**No. 221280**

8/3/2020 PLAN CHECK COMMENTS

Revisions: 3/4/2020 PERMIT

Date: 11/7/19

Scale: 1" = 10'-0"

Drawn By: WB



## DEMOLITION PLAN

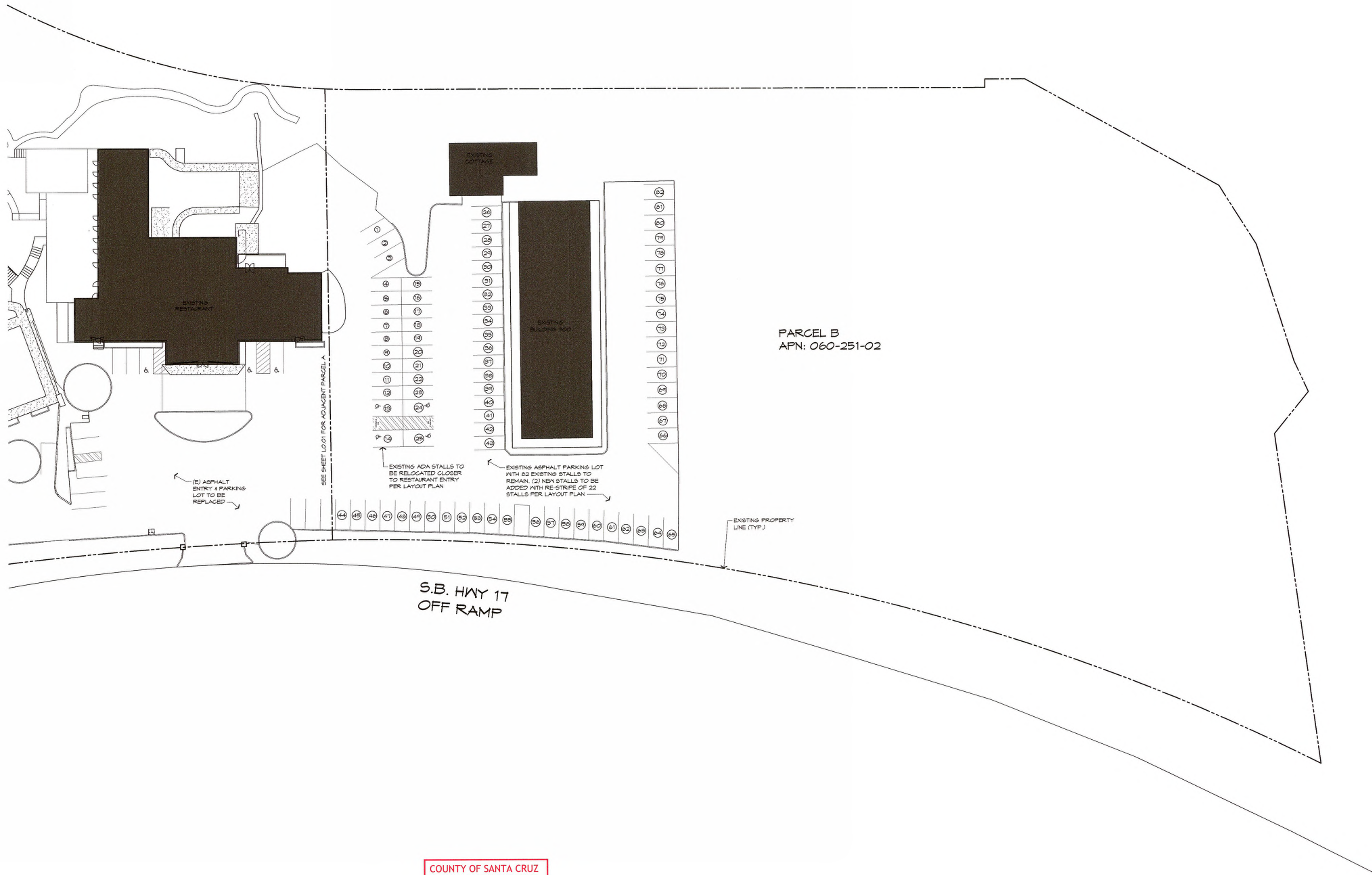
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IMPROVEMENTS

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COMMENTS

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Date: 11/7/19

Scale:

1" = 30'-0"

Drawn By:

NB



ADJACENT PARCEL  
EXISTING RESERVE  
PARKING PLAN

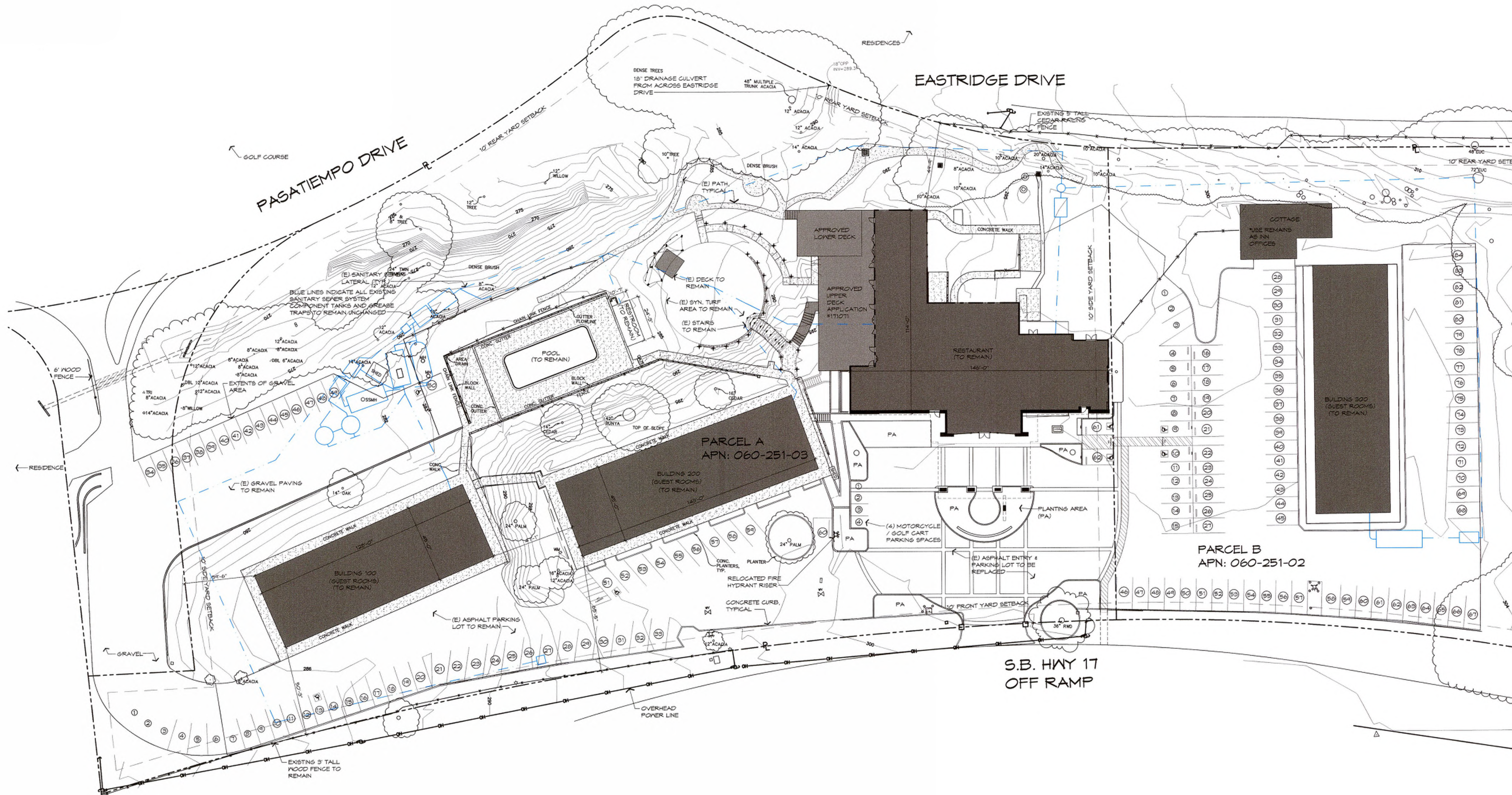
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Drawn By:

JEB



PROPOSED  
SITE PLAN

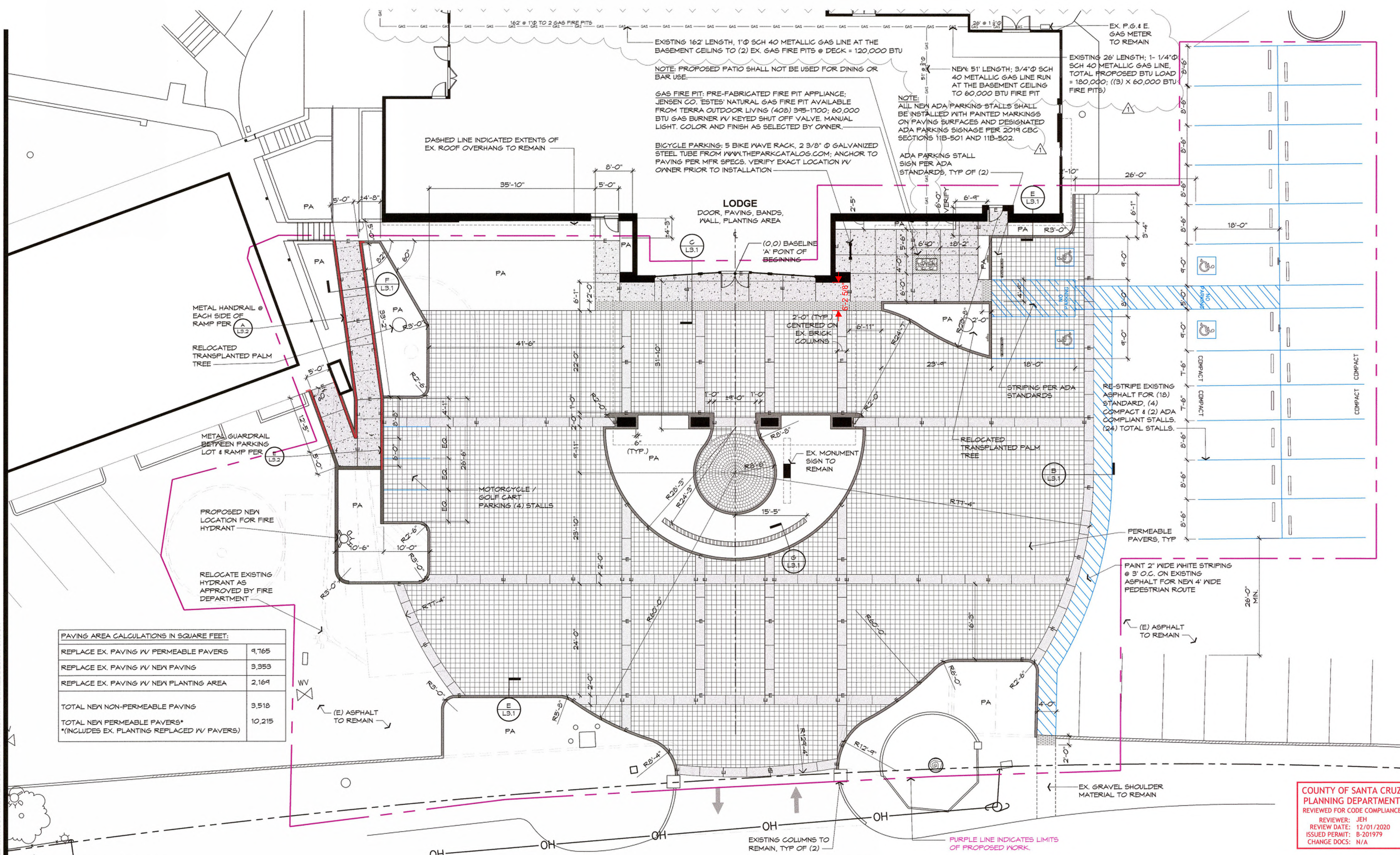
Sheet No.

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## LAYOUT LEGEND

	DRIVEAWAY PAVING: CONCRETE 6" THICK W/ INTEGRAL COLOR & SOLVENT ETCH FINISH. EXPANSION JOINT: 1/2" FOAM OR NON-ASPH. FIBER W/ SANDED ELASTOMERIC OVER SCORE LINE: TOOLED		LANDSCAPE WALL: 3'-6" TALL C.M.U. WALL WITH STONE VENEER		GAS
	PEDESTRIAN PAVING: CONCRETE 4" THICK W/ INTEGRAL COLOR & SOLVENT ETCH FINISH. EXPANSION JOINT: 1/2" FOAM OR NON-ASPH. FIBER W/ SANDED ELASTOMERIC OVER SCORE LINE: TOOLED		PARKING WHEEL STOP: PRE-CAST CONCRETE WHEEL STOP AS SELECTED BY OWNER		GUARDRAIL/HANDRAIL: METAL
	DRIVEAWAY PAVING: PERMEABLE CONCRETE UNIT PAVERS W/COLOR AND PATTERN AS SELECTED BY OWNER		RAISED PLANTING AREA		PLANTING AREA
	TRUNCATED DOMES PAVING: FEDERAL YELLOW COLOR CONCRETE UNIT PAVERS PER ADA STANDARDS		INDICATES ALIGNMENT BETWEEN ELEMENTS		EXISTING TREE TO REMAIN
	CURB: 6" CONCRETE CURB				
	CURB: EXISTING 6" CONCRETE CURB TO REMAIN				
	RETAINING WALL: CONCRETE RETAINING CURB WALL				

## LAYOUT NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DISTANCES & LOCATIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- ALL WORK SHALL CONFORM TO LOCAL BUILDING CODES & ORDINANCES. CONTRACTOR SHALL OBTAIN & PAY FOR ALL NECESSARY PERMITS.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES & ROOT SYSTEMS
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT 48 HOURS IN ADVANCE TO ARRANGE FOR FIELD REVIEW OF ALL WALL, PAVING, AND PATH LAYOUTS.
- PAVING SCORE LINES, WHEN NOT DIMENSIONED, SHALL BE LOCATED PER PLAN, ALIGNED AS INDICATED, AND SPACED EQUALLY. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO LAYING REBAR.
- ALL VISIBLE POURED-IN-PLACE CONCRETE & EXTERIOR TILE SHALL BE SEALED PER SPECS.
- NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.
- A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN THE CONTAINER.
- ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE FILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER.
- NO TRENCHES FOR ANY PURPOSE SHALL BE MACHINE DUG BELOW DRIPLINES OF EXISTING TREES. TRENCHES WITHIN DRIPLINES OF EXISTING VEGETATION AND TREES TO REMAIN SHALL BE HAND DUG ONLY. NO ROOTS GREATER THAN 1"Ø SHALL BE CUT. ALL CUT ROOTS SHALL BE CLEANLY CUT & DRESSED.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.



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	8/3/2020	PLAN CHECK
		COMMENTS
Revisions:	3/4/2020	PERMIT
Date:	11/7/19	
Scale:	1" = 10'-0"	
Drawn By:	MB	

## LAYOUT PLAN

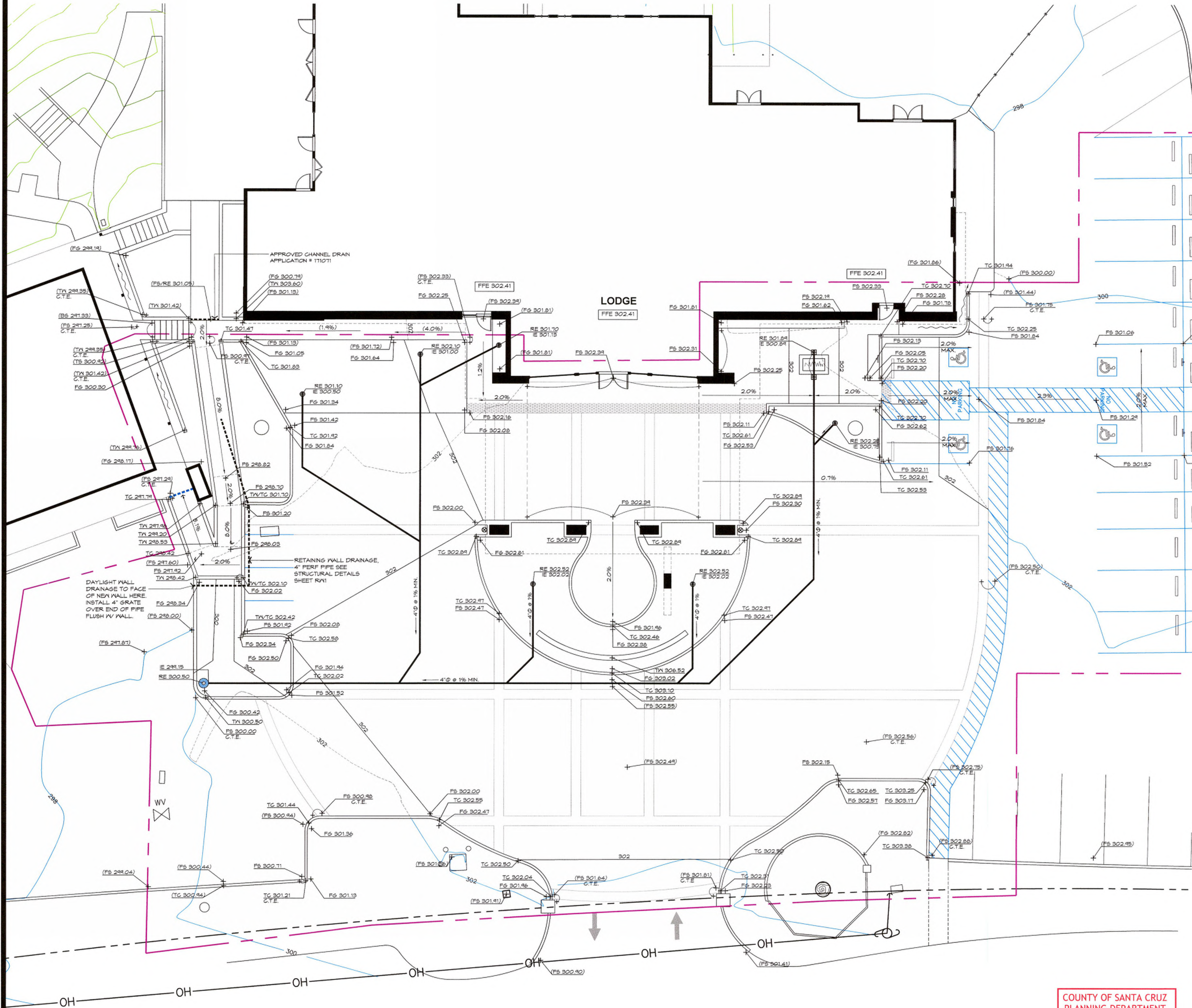
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HIGHWAY 17

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
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REVIEW DATE: 12/01/2020  
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CHANGE DOCS: N/A

## GRADING LEGEND

- FS 100.00  
+ PROPOSED SPOT ELEVATION (SEE ABBREVIATION KEY)  
(FS 100.00)  
+ EXISTING SPOT ELEVATION
- 302  
--- CONTOUR LINE:  
302 EXISTING TO REMAIN  
302 PROPOSED  
302 DASHED TO BE MODIFIED
- SOLID PIPE: PVC SDR 35 OR SCH 40, SIZE PER PLAN. MINIMUM 1% SLOPE.
- RIDGE LINE / GRADE BREAK
- + + INDICATES CONFORMING ELEVATIONS
- 2.0% INDICATES DEGREE AND DIRECTION OF SLOPE ACROSS PAVED SURFACES
- 4.4% INDICATES DEGREE AND DIRECTION OF SLOPE ACROSS PLANTED AREAS
- 1 AREA DRAIN: NDS #T4; 4" BLACK PLASTIC ATRIUM GRATE ON PVC RISER AS REQUIRED. FOR DRAINAGE IN PLANTING AREAS.
- 2 AREA DRAIN: NDS #T0B; 4" ROUND BRASS GRATE W/ PVC RISER. SATIN FINISH. FOR DRAINAGE IN PAVED AREAS.
- CHANNEL DRAIN: 4" WIDE CHANNEL DRAIN W/ ADA COMPLIANT METAL GRATE AS SELECTED BY L.A. OUTFALL T.B.D.
- DISSEMINATION DRY WELL: NDS #N4S24 50 GALLON FLO-WELL WITH 1/2" DIA SURFACE DRAIN INLET W/ GRATE. INSTALL PER NDS INSTALLATION SPECIFICATIONS.

## ABBREVIATION KEY

- FFE FINISHED FLOOR ELEVATION (PER SURVEY)  
FS FINISHED SURFACE ELEVATION  
FG FINISHED GRADE ELEVATION  
RE RIM ELEVATION  
TXN TOP OF WALL ELEVATION  
TC TOP OF CURB ELEVATION  
TS/BS TOP/BOTTOM OF STEP ELEVATION  
C.T.E. CONFORM TO EXISTING ELEVATION

## GRADING NOTES

- DRAINAGE INTENT: IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE POSITIVE DRAINAGE IN ALL PAVED AND LANDSCAPED AREAS. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE FOR ALL AREAS.
- ALL NEW PLANTING AREAS (EXCEPT UNDER EXISTING TREE CANOPIES) SHALL RECEIVE A 2" LAYER OF ORGANIC AMENDMENTS INCORPORATED INTO THE TOP 6" OF SOIL PER SPECS. ALL PLANTING AREAS SHALL RECEIVE A 2" LAYER OF BARK MULCH PER SPECS.
- THE SUBGRADE BELOW ALL PAVED AREAS (EXCEPT UNDER EXISTING TREE CANOPIES) SHALL BE BASE ROCK COMPACTED TO 95% DEPTH PER PLAN. SEE DETAILS FOR PAVING AND SUBGRADE COMPACTION BENEATH EXISTING TREES.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- NO TRENCHES FOR ANY PURPOSE SHALL BE MACHINE DUG WITHIN DRILINES OF EXISTING TREES. TRENCHES WITHIN DRILINES OF EXISTING VEGETATION AND TREES TO REMAIN SHALL BE HAND DUG ONLY. NO ROOTS GREATER THAN 1" DIAMETER SHALL BE CUT. ALL CUT ROOTS BETWEEN 1/2" AND 1" DIAMETER SHALL BE CLEANLY CUT AND DRESSED.
- ALL PERFORATED PIPES SHALL DRAIN TO SOLID PIPES. UNDER NO CIRCUMSTANCES SHALL A SOLID PIPE BE ALLOWED TO DRAIN INTO A PERFORATED PIPE. WHERE TIGHT LINES ARE INDICATED TO FLOW BENEATH A WALL, PERFORATED PIPE SHALL CONNECT WITH A VERTICAL SOLID PIPE STRAIGHT DOWN TO THE SOLID PIPE.
- ALL DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE PER SPECS, SLOPED AT 1% MINIMUM UNLESS OTHERWISE NOTED ON PLAN.
- TOPOGRAPHIC INFORMATION USED IN THE PREPARATION OF THIS PLAN IS BASED ON SURVEY INFORMATION PREPARED BY IFLAND SURVEY DATED 6/7/2013. ALL GRADES AND CONTOURS INDICATED AS EXISTING ARE BASED ON SURVEY INFORMATION PERFORMED PRIOR TO BUILDING CONSTRUCTION. CONTRACTOR SHALL VERIFY AND ACCEPT EXISTING CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION.
- ALL FINISH GRADES SHALL BE NO LESS THAN 6" BELOW TOP OF FOUNDATION. CONTRACTOR SHALL VERIFY.
- EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO COMMENCEMENT OF ANY LAND DISTURBING ACTIVITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL MEASURES AND SHALL BE RESPONSIBLE FOR ANY AND ALL FINES ASSOCIATED WITH THE DISCHARGE OF SEDIMENTS, EROSION, OR POLLUTANTS LEAVING THE SITE AS A RESULT OF CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL USE A SILT FENCE BARRIER, STRAW BALE BARRIER, SAND BAGS, BRUSH OR ROCK FILTER OR OTHER APPROPRIATE MEASURES, AS NECESSARY, TO MINIMIZE THE QUANTITY OF SEDIMENT-LADEN RUNOFF FROM THE SITE.
- CONTRACTOR SHALL STABILIZE ANY AREAS THAT HAVE BEEN STRIPPED OF VEGETATION AND MAINTAIN EROSION CONTROL MEASURES BETWEEN OCTOBER 15 AND APRIL 15.
- CONTRACTOR SHALL USE WATERING AND OTHER MEANS NECESSARY TO CONTROL DUST DURING PERFORMANCE OF WORK TO PREVENT A NUISANCE TO THE PUBLIC.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

## EROSION CONTROL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO PART 1, SECTION C, "EROSION CONTROL REQUIREMENTS" OF THE COUNTY DESIGN CRITERIA. NO CLEARING, GRADING, OR EXCAVATION SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS THERE IS AN APPROVED WINTER EROSION CONTROL PLAN. ALL DISTURBED SOIL SHALL BE SEED, MULCH, OR OTHERWISE PROTECTED BY OCTOBER 15.
- CONTRACTOR SHALL INCORPORATE BEST MANAGEMENT PRACTICES (BMPs) AS OUTLINED AND SPECIFIED WITHIN THE "MEDIUM PROJECTS" DESIGN STANDARDS AND MITIGATION SECTION OF THE "COUNTY OF SANTA CRUZ DESIGN CRITERIA".



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Scale: 1" = 30'-0"

Drawn By: KB



GRADING PLAN

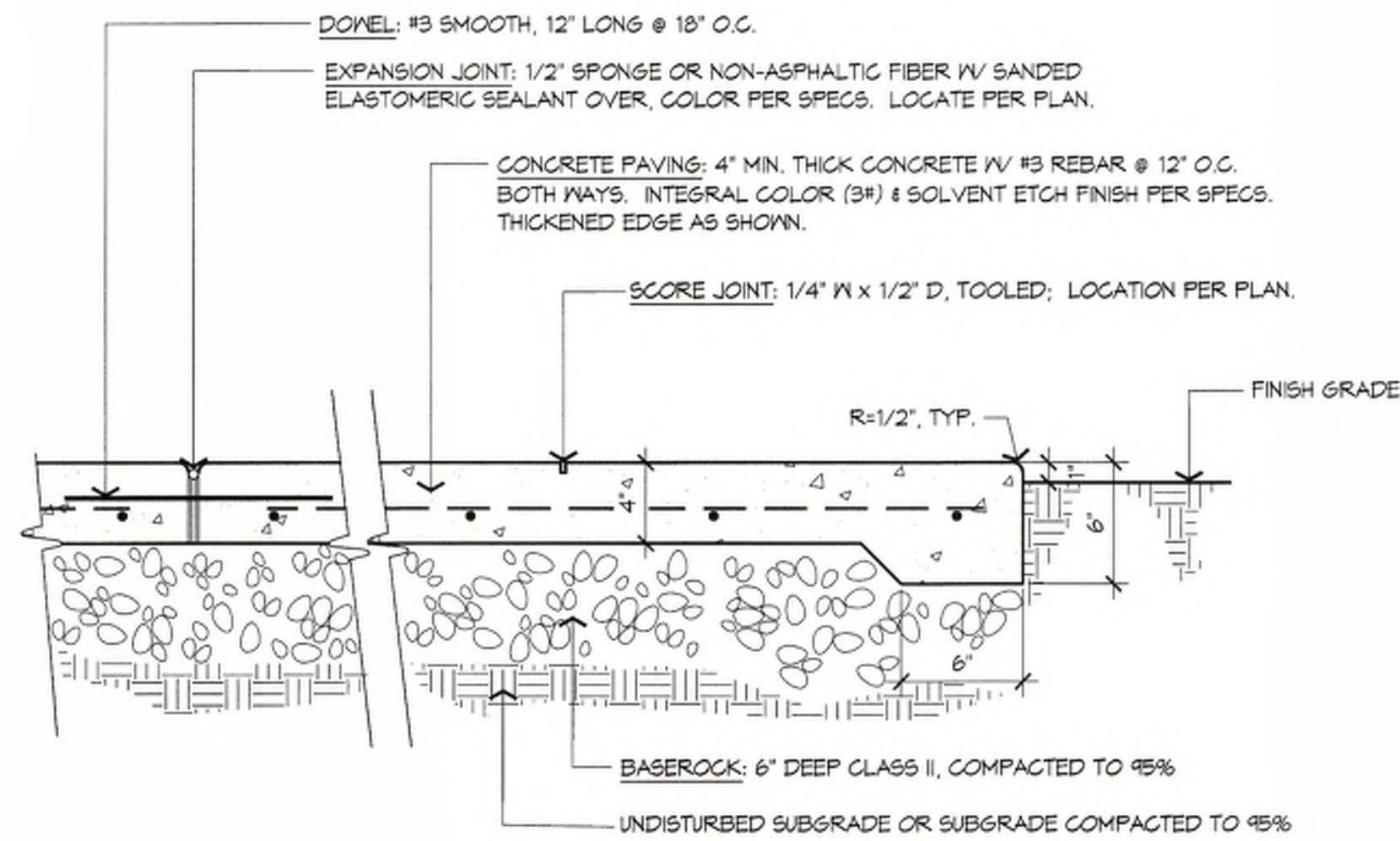
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L2.0

Of

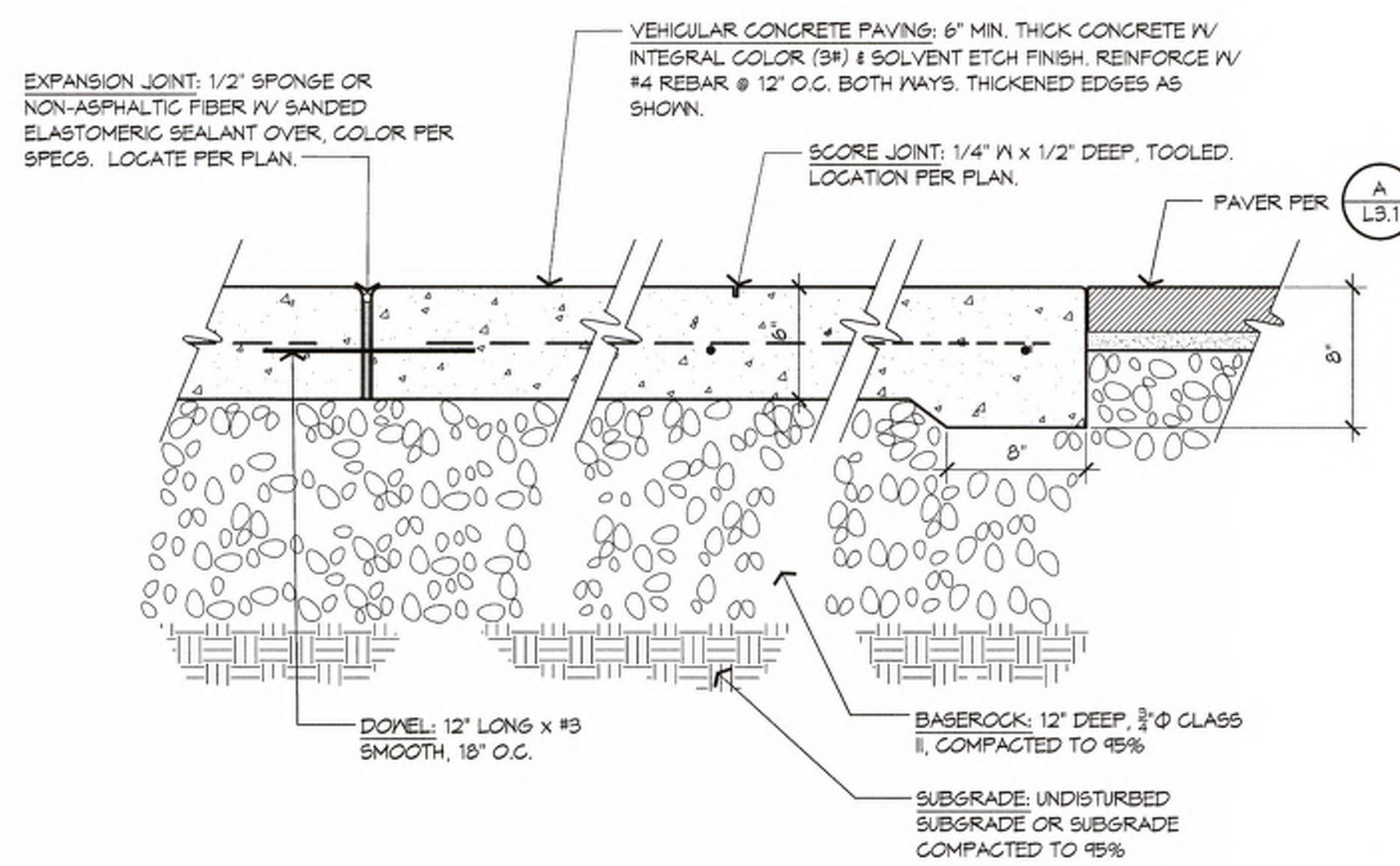


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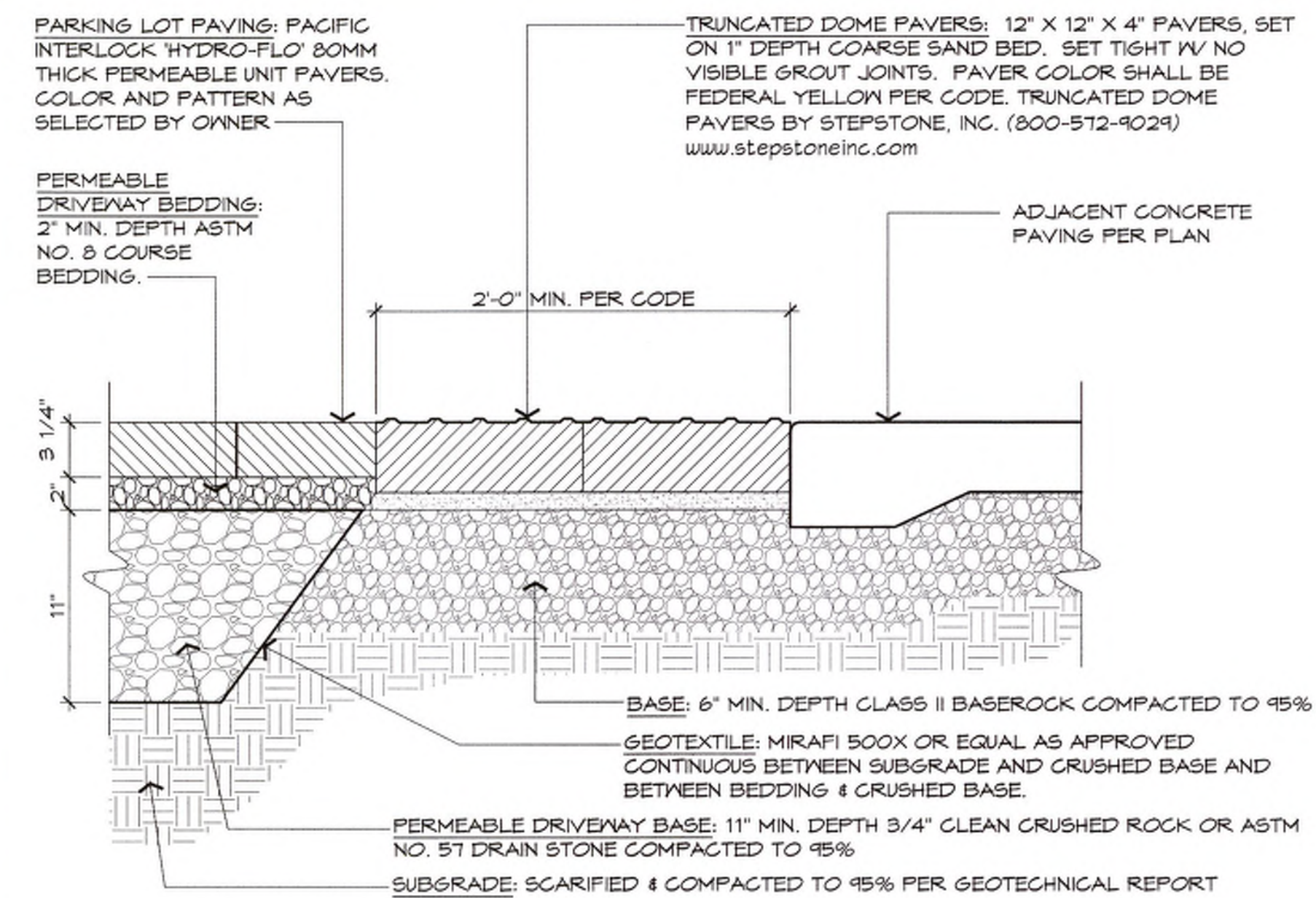
**(A) CONCRETE PAVING SECTION (PEDESTRIAN)**

SCALE: 1 1/2" = 1' - 0"



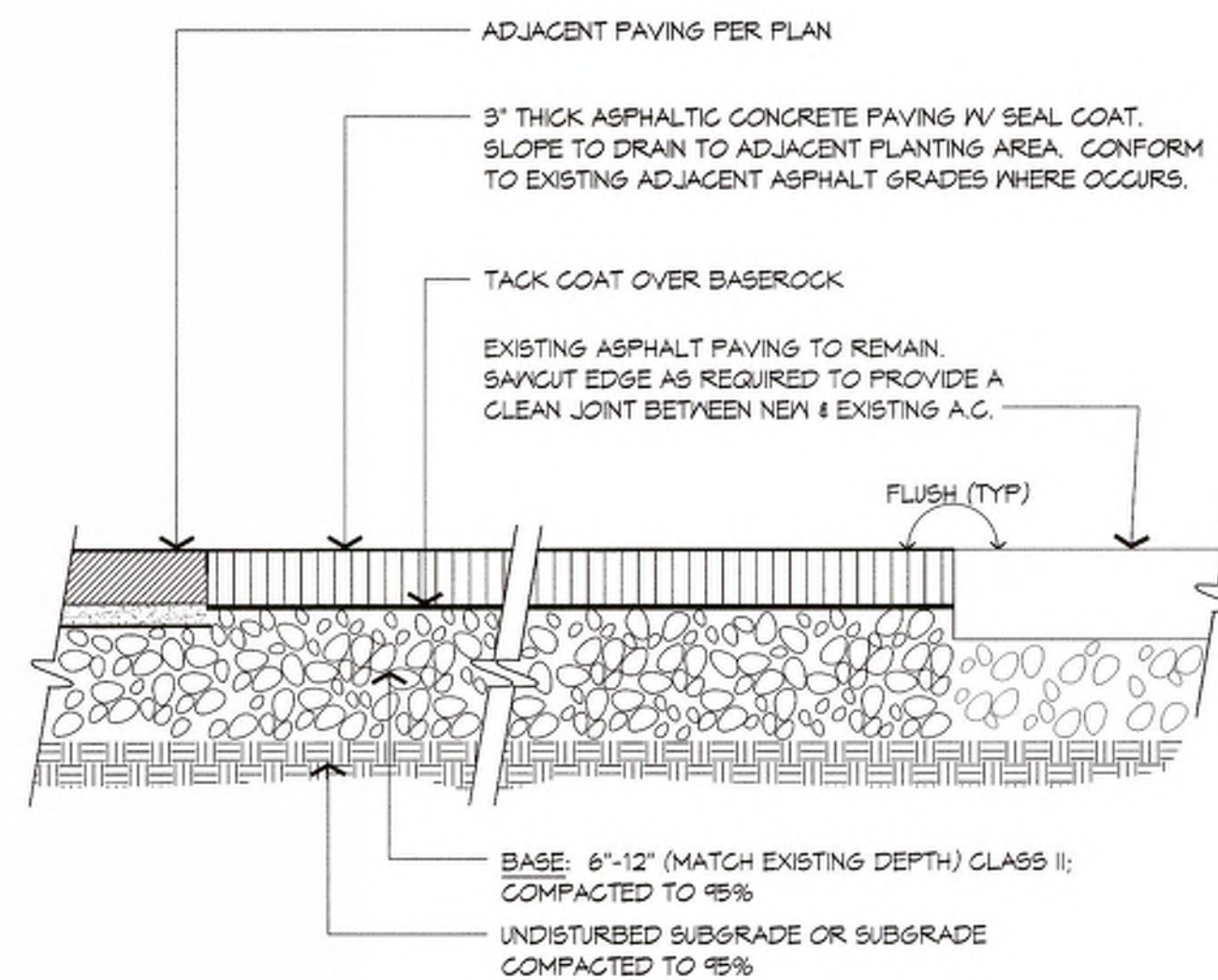
**(B) CONCRETE PAVING BAND SECTION (VEHICULAR)**

SCALE: 1 1/2" = 1' - 0"



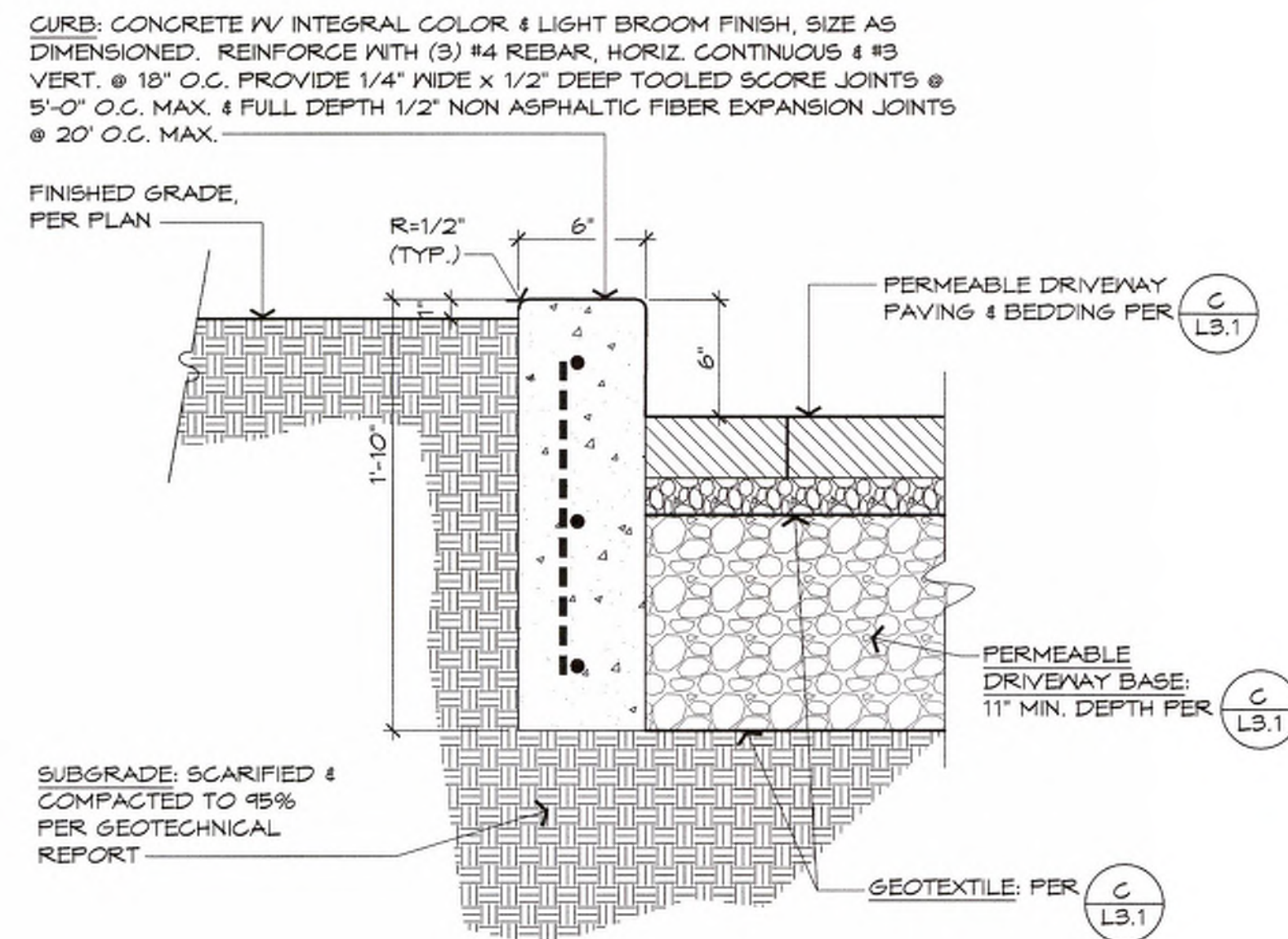
**(C) TRUNCATED DOME & PEROUS DRIVE PAVR SECTION**

SCALE: 1 1/2" = 1' - 0"



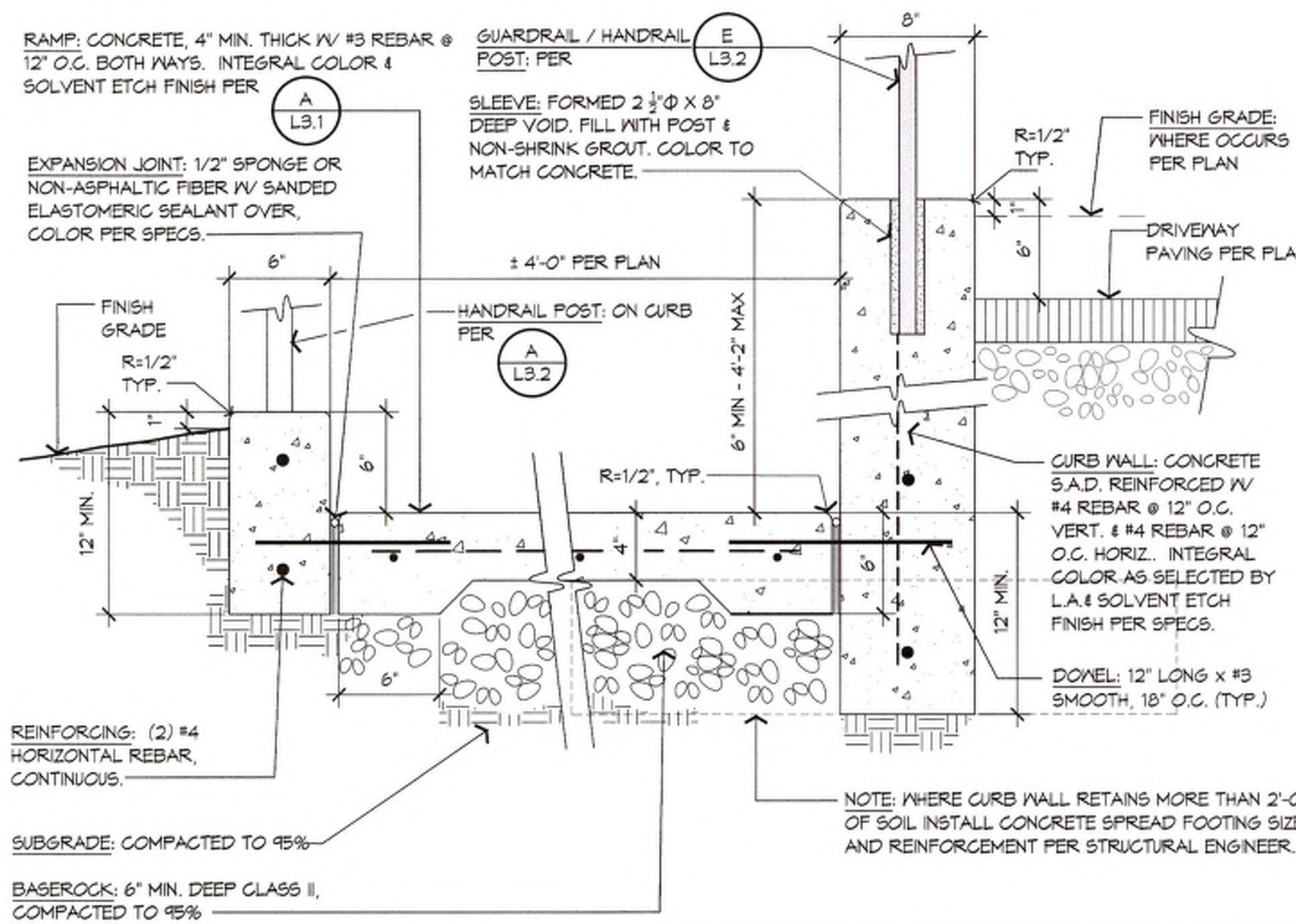
**(D) ASPHALTIC CONCRETE PAVING SECTION**

SCALE: 1 1/2" = 1' - 0"



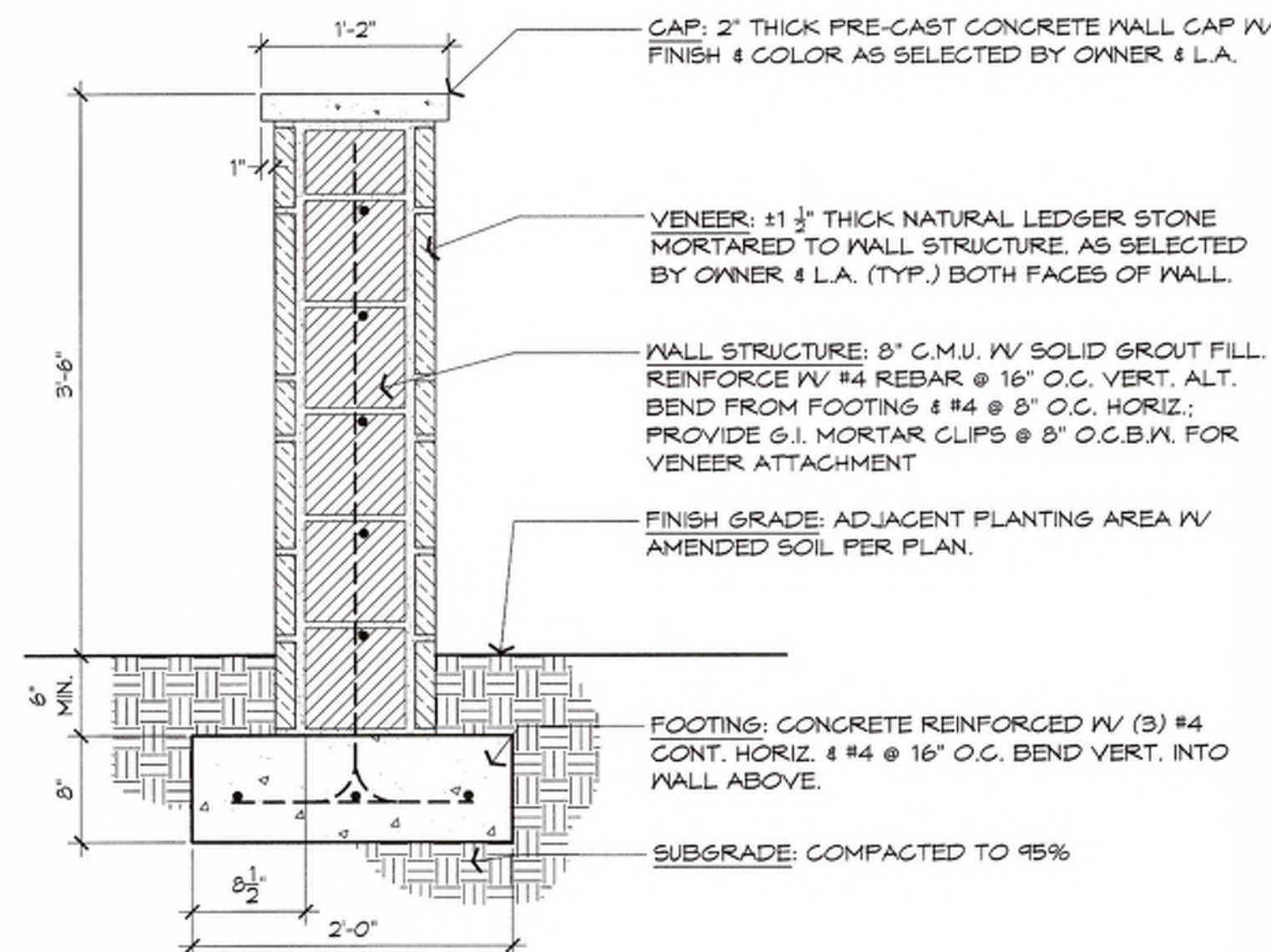
**(E) CONCRETE CURB SECTION**

SCALE: 1 1/2" = 1' - 0"



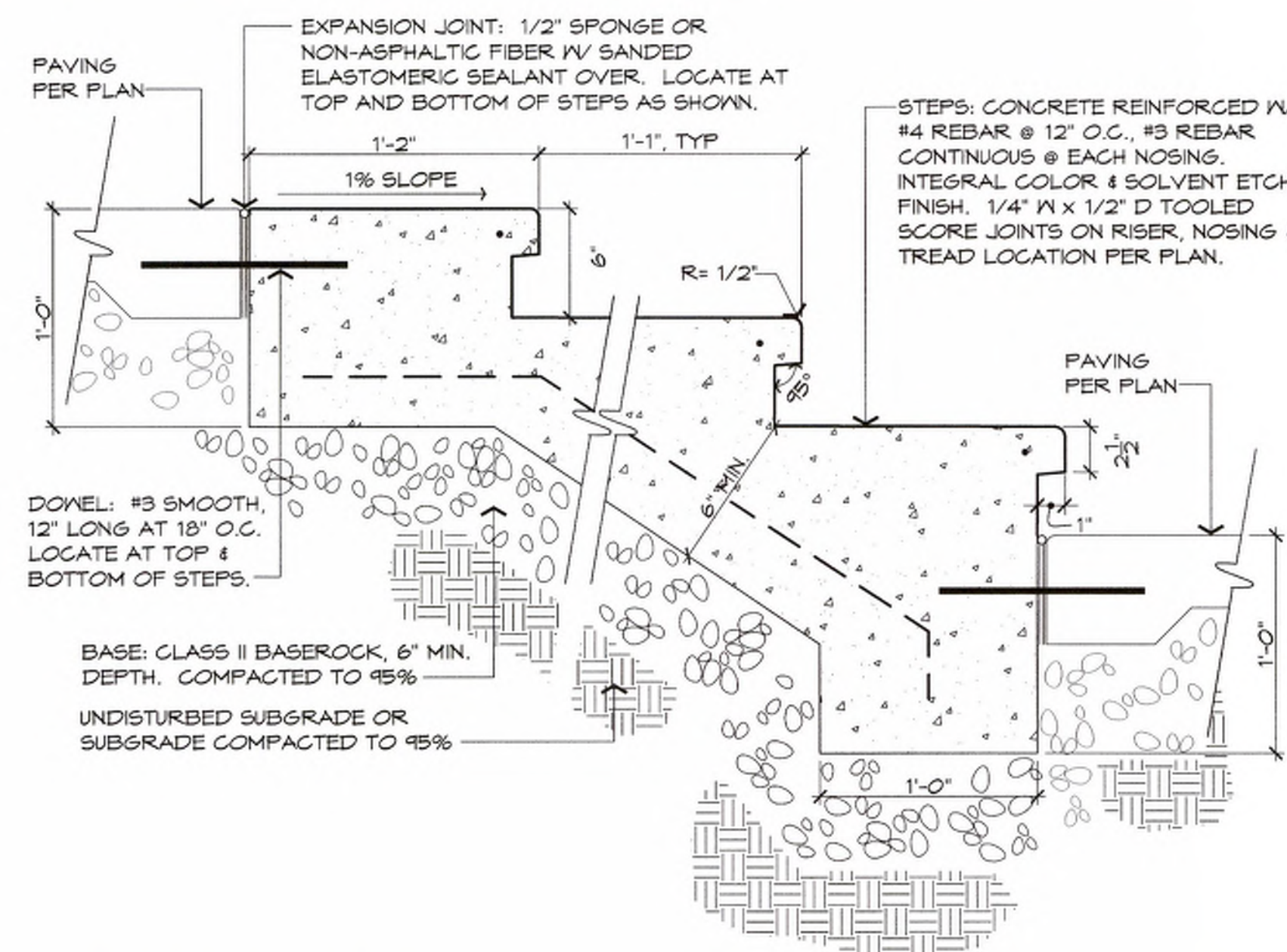
**(F) CONCRETE RAMP SECTION**

SCALE: 1 1/2" = 1' - 0"



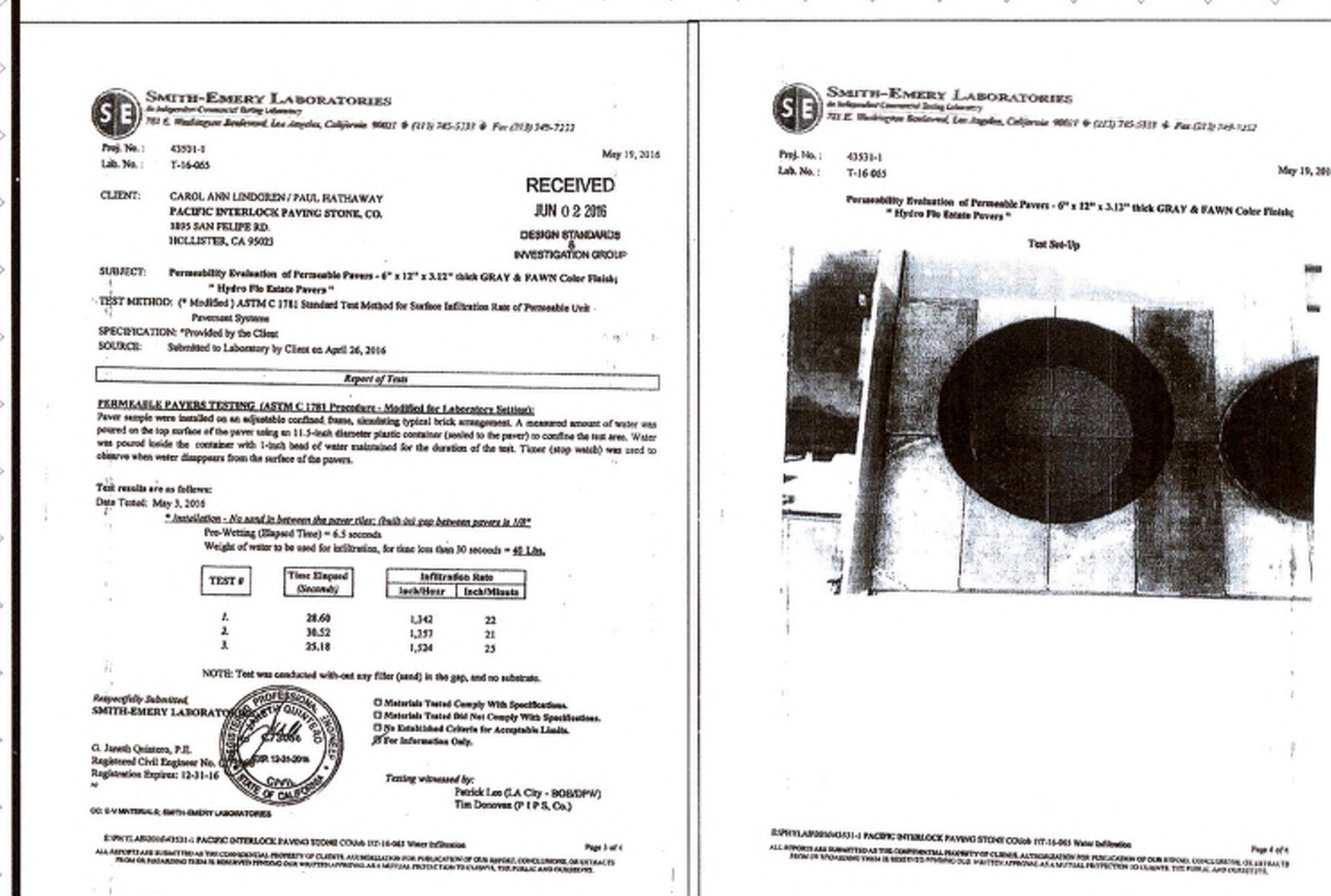
**(G) MASONRY LANDSCAPE WALL SECTION**

SCALE: 3/4" = 1' - 0"



**(H) CONCRETE STEP SECTION**

SCALE: 3/4" = 1' - 0"



**(I) PERMEABLE PAVR SYSTEM ASTM LAB TEST**

PROVIDED FOR REFERENCE ONLY



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REVIEWER: JEH  
REVIEW DATE: 12/01/2020  
ISSUED PERMIT: 9-201979  
CHANGE DCS: N/A

**Proposal to  
Extend Permit  
No. 221280**

8/3/2020 COMMENTS

Revisions: 3/4/2020 PERMIT

Date: 11/7/19

Scale: AS NOTED

Drawn By: MB

**CONSTRUCTION  
DETAILS**

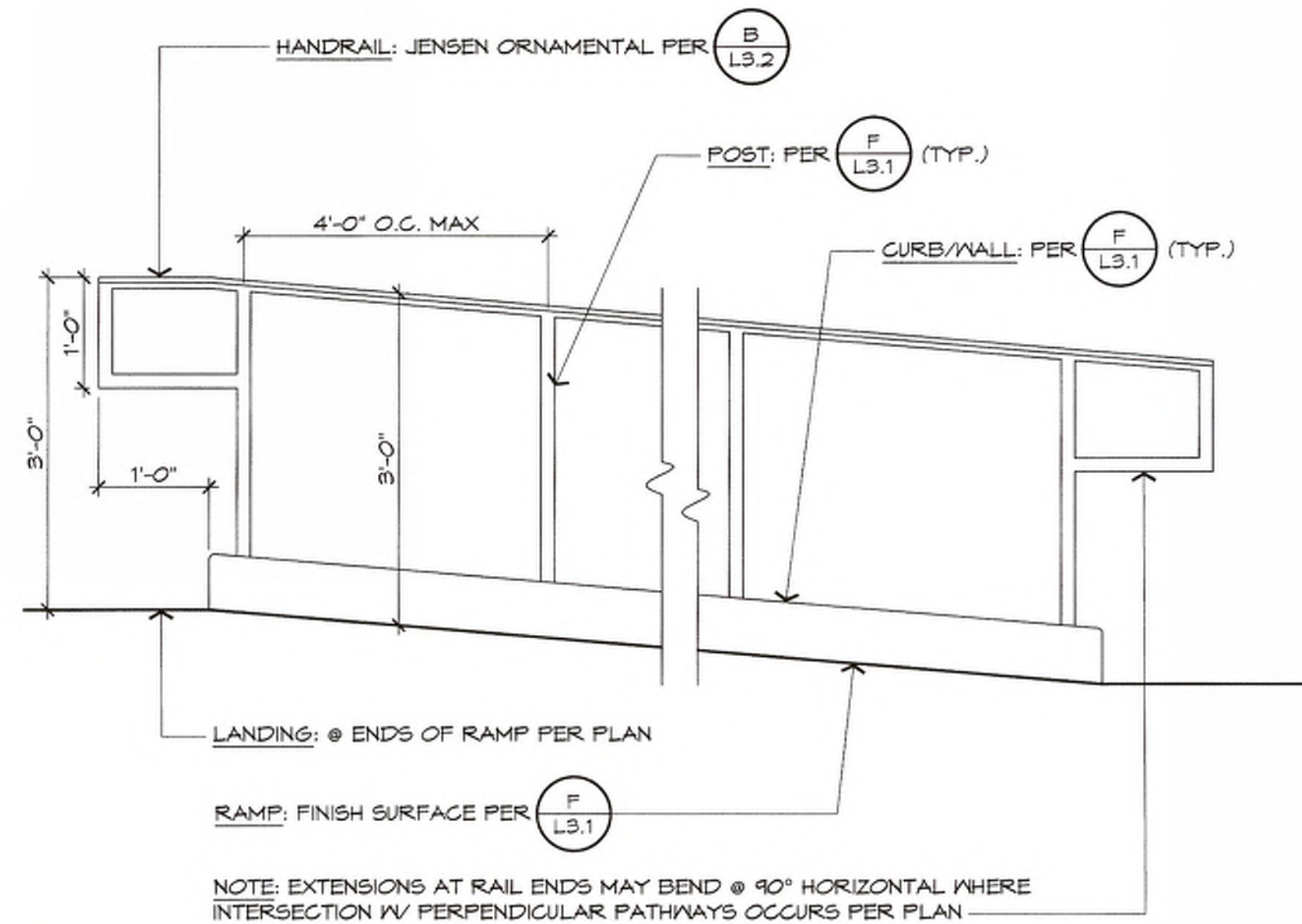
Sheet No.

**L3.1**

Of

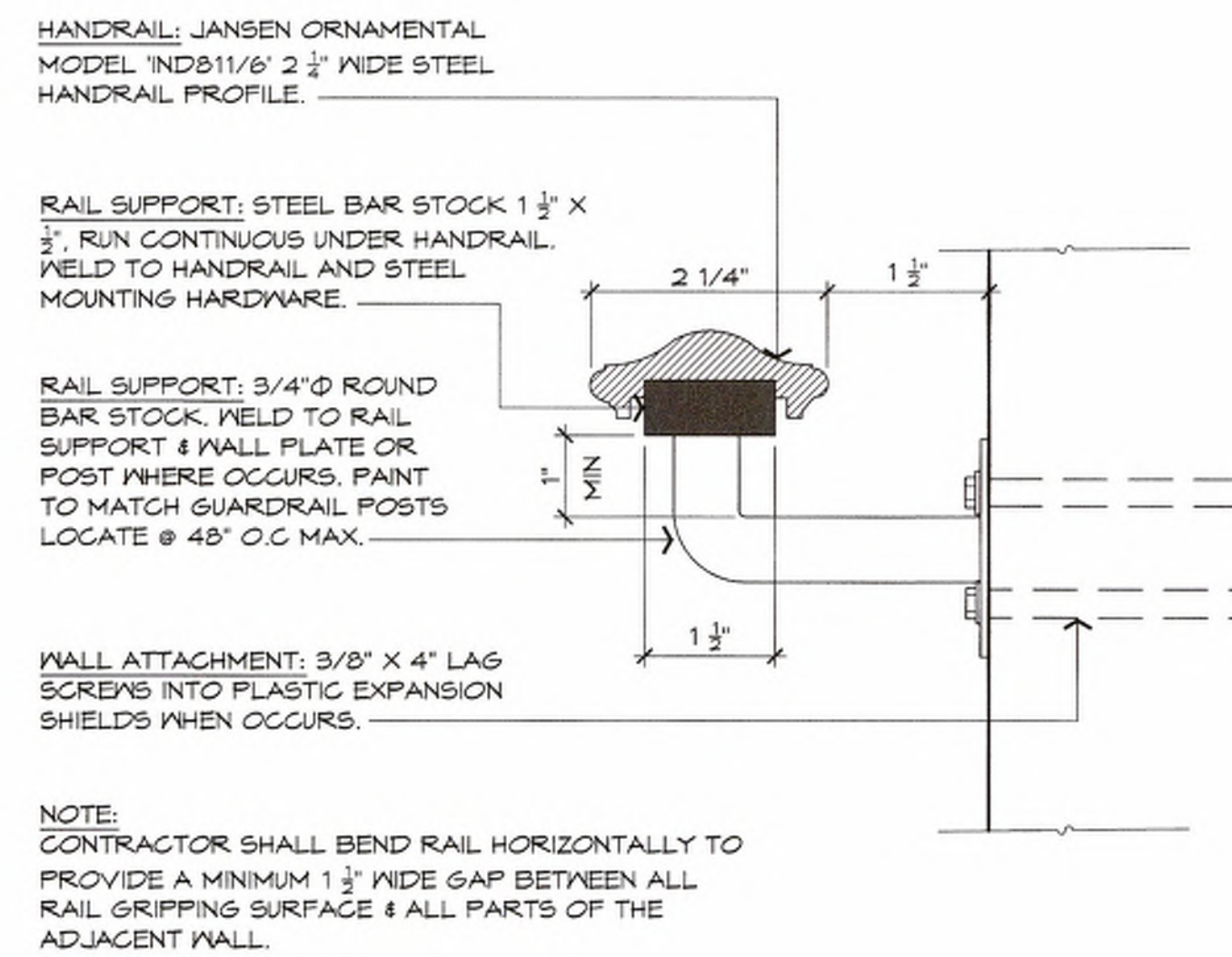


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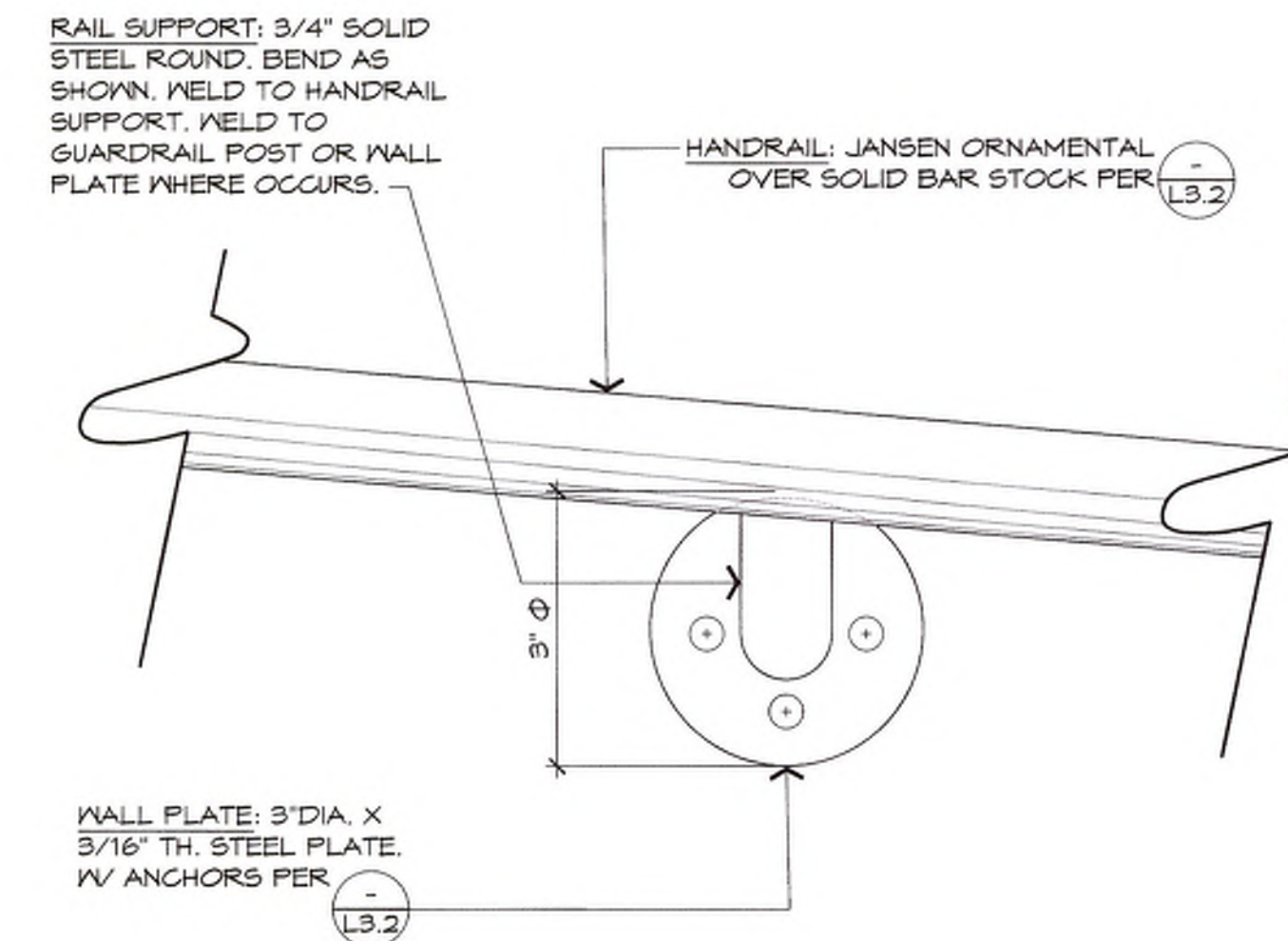
A METAL HANDRAIL @ RAMP ELEVATION

SCALE: 3/4" = 1' - 0"



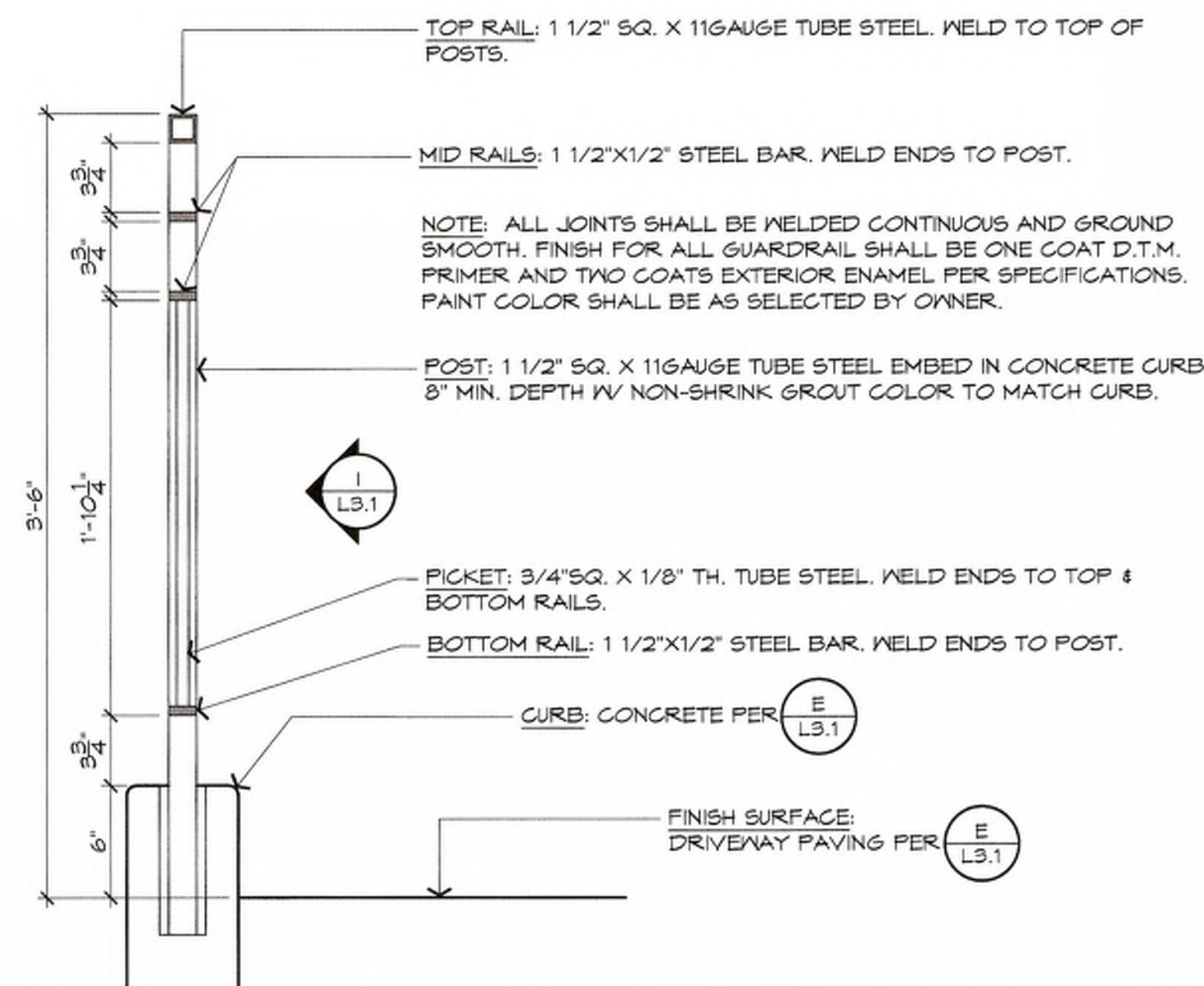
B METAL HANDRAIL @ WALL SECTION

SCALE: 6" = 1' - 0"



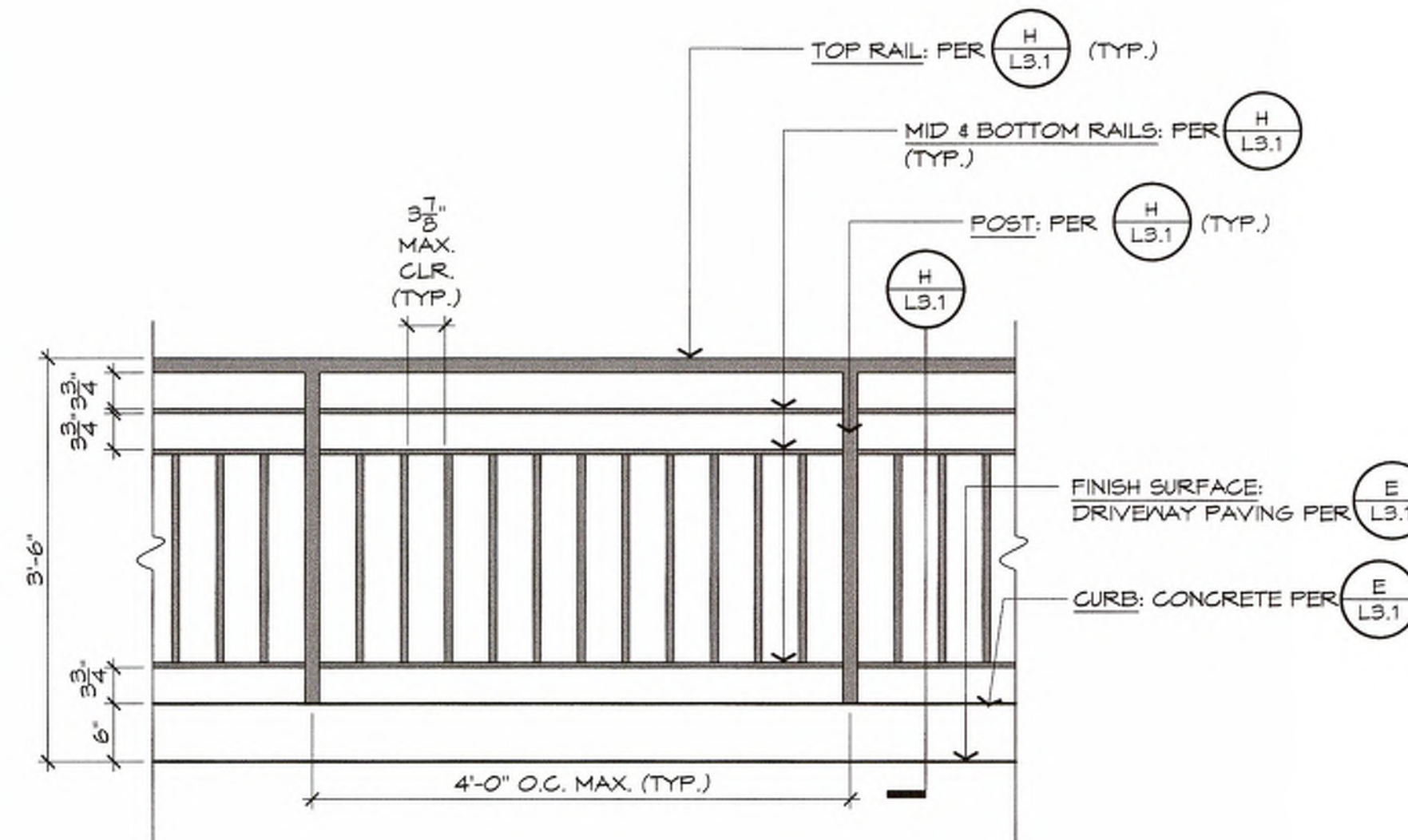
C METAL HANDRAIL @ WALL ELEVATION

SCALE: 6" = 1' - 0"



D METAL GUARDRAIL SECTION

SCALE: 1 1/2" = 1' - 0"



E METAL GUARDRAIL ELEVATION

SCALE: 3/4" = 1' - 0"

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
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LANDSCAPE  
IMPROVEMENTS

THE INN AT  
PASATIEMPO

555 HIGHWAY 17  
SANTA CRUZ, CA 95060

APN: 060-251-03

Proposal to  
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Drawn By:  
MEB

CONSTRUCTION  
DETAILS

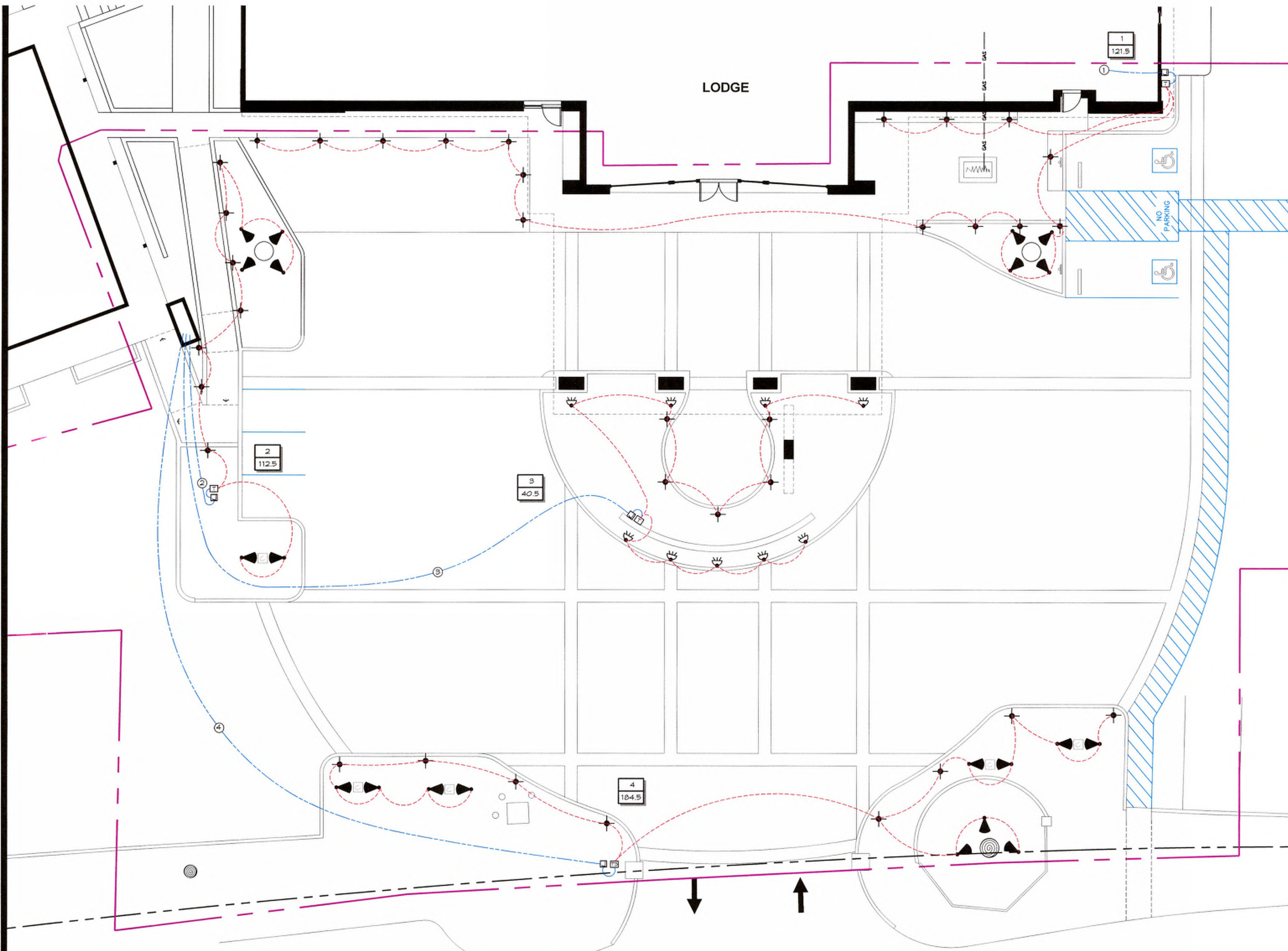
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## LIGHTING LEGEND

- LINE VOLTAGE WIRING: SCHEMATIC LOCATION. WIRE TO BE SOLID-CONDUCTOR COPPER, GAUGE AS REQUIRED. ROUTE WIRE IN CONDUIT, SIZE AS REQUIRED. BURIAL PER CODES.
- LOW VOLTAGE WIRING: SCHEMATIC LOCATION. WIRE TO BE DIRECT-BURIAL, #10/2 OR 12/2, AS REQUIRED. SIX-INCH (6") MINIMUM BURIAL. ROUTE TO MINIMIZE VISIBILITY AND IMPACT TO TREE ROOTS.
- GAS — GAS — GAS LINE: PE2108 YELLOW POLYETHYLENE PLASTIC GAS LINE; DIRECT BURIAL PER CODE. LENGTH AND SOURCE T.B.D.; TRANSITION AS REQUIRED TO SCH 40 G.I. METALLIC PIPE WHEN RUN ABOVE GRADE. TRANSITION FROM METALLIC PIPE TO FIRE PIT APPLIANCE AS REQ'D. PER MFR. SPECS.
- 1 150 WATT TRANSFORMER: VISTA 'ES-150' ENERGY SMART TRANSFORMER. MOUNT ON WALL, FENCE POST OR POST PER PLAN & CIRCUITRY LEGEND. CONCEAL LOCATION.
- 2 300 WATT TRANSFORMER: VISTA 'MT-300' MULTI-TAP TRANSFORMER. MOUNT ON WALL, FENCE POST OR POST PER PLAN & CIRCUITRY LEGEND. CONCEAL LOCATION.
- J JUNCTION BOX: WEATHERPROOF, RE-ENTRYABLE PER CODES. LOCATE AGAINST WALL OR STRUCTURE & SECURE.
- ① INDICATES CIRCUIT NUMBER. SEE CIRCUITRY KEY AT RIGHT.
- TRANSFORMER NUMBER
- ZONE WATTAGE

## LIGHTING NOTES

- NO LOW-VOLTAGE WIRE RUN SHALL EXCEED 120 FT. AND/OR 100 WATTS.
- WATERPROOF JUNCTION BOXES SHALL BE UTILIZED WHENEVER REQUIRED TO CONNECT TO EXISTING STUB BY OTHERS OR TO EXTEND CIRCUIT. CONTRACTOR SHALL USE BELL STYLE BOXES ON SIDE OF BUILDING WHERE OCCURS; ALL JUNCTION BOXES SHALL BE PAINTED TO MATCH ADJACENT SURFACE.
- PRECISE LOCATIONS FOR ALL FIXTURES SHALL BE FIELD STAKED, MARKED, AND VERIFIED WITH LANDSCAPE ARCHITECT PRIOR TO WIRING AND INSTALLATION. ADJUSTABLE FIXTURES SHALL BE DIRECTED IN THE FIELD BY LANDSCAPE ARCHITECT.
- ALL LOW VOLTAGE CIRCUITS SHALL BE WIRED TO UTILIZE THE APPROPRIATE TRANSFORMER LOADS AND SHALL NOT EXCEED 80% OF RATED MAXIMUM LOAD. ALL CIRCUITS SHALL BE WIRED TO MINIMIZE VOLTAGE DROP AT THE END OF THE LINE AND PROVIDE CORRECT RECOMMENDED VOLTAGE TO EACH FIXTURE PER LIGHT FIXTURE MANUFACTURER SPECIFICATIONS.
- ALL TRANSFORMERS SHALL BE HARD WIRED. TRANSFORMERS ADJACENT TO BUILDING OR SITE WALLS SHALL BE MOUNTED TO WALL 12" ABOVE GRADE. ALL TRANSFORMERS LOCATED IN PLANTING AREAS SHALL BE MOUNTED 9" ABOVE GRADE ON A CON HRT RND 4x4 POST PAINTED DARK BROWN AND SET IN A 9"Ø x 12" DEEP CONCRETE FOOTING.
- ALL WORK SHALL CONFORM TO LOCAL ELECTRICAL CODES.
- NO TRENCHES FOR ANY PURPOSE SHALL BE MACHINE DUG WITHIN DRIPLINES OF EXISTING TREES. TRENCHES WITHIN DRIPLINES OF EXISTING VEGETATION & TREES TO REMAIN SHALL BE HAND DUG ONLY. NO ROOTS GREATER THAN 1"Ø SHALL BE CUT. ALL ROOTS BETWEEN 1/2" & 1"Ø SHALL BE CLEANLY CUT AND DRESSED.
- LANDSCAPE CONTRACTOR SHALL COORDINATE INSTALLATION OF LOW VOLTAGE WIRES WITHIN BUILDING FEATURES.
- ALL CIRCUITS SHALL BE CONTROLLED BY MANUAL/ ASTRONOMICAL TIMER SWITCHES AND PHOTOCCELL AS APPROVED BY L.A. CONTRACTOR SHALL VERIFY SWITCHING LOCATION FOR EACH CIRCUIT WITH OWNER PRIOR TO STARTING WORK.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

## FIXTURE KEY

SYMBOL	MFR.	VOLTAGE	MODEL	FINISH	LAMP	USE / NOTES
	FX	12 VOLT	NP-6LED-LS-BZ-SJ	BRONZE METALLIC	13.5 WATT LED	TREE UPLIGHTS, STAKE IN GROUND & SHINE INTO CANOPY.
	FX	12 VOLT	LC-3LED-BZ-SJ	BRONZE METALLIC	4.5 WATT LED	WALL WASH/ UPLIGHTS
	FX	12 VOLT	CA-3LED-BZ-SJ	BRONZE METALLIC	4.5 WATT LED	PATH LIGHTS

## CIRCUITRY KEY

CIRCUIT	LAMP WATTAGE/ VOLTAGE	MAX. CIRCUIT DEMAND	DESCRIPTION
1	121.5W @ 12V	(1) 150W TRANSFORMER	FIRE PIT AREA PATH LIGHTS
2	112.5W @ 12V	(1) 150W TRANSFORMER	PATH LIGHTS & TREE UPLIGHTS
3	40.5W @ 12V	(1) 150W TRANSFORMER	PATH LIGHTS & WALL WASH LIGHTS
4	184.5W @ 12V	(1) 300W TRANSFORMER	PATH LIGHTS & TREE UPLIGHTS

COUNTY OF SANTA CRUZ  
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### FXLuminaire

#### LED Path Lights

PROJECT: \_\_\_\_\_  
CATALOG #: \_\_\_\_\_  
TYPE: \_\_\_\_\_  
NOTES: \_\_\_\_\_

#### CA Path Light DESIGNER PREMIUM

Steek hat area light in 1 or 3 LED. Copper and brass construction. RGBW capable with Luxor™ system.

7.7" (196mm)  
4.4" (112mm)

**Quick Facts**

- Copper/brass construction
- Natural, powder coated, or antiqued copper/brass
- Cree® integrated LEDs
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor technology
- Phase and PWM dimmable
- Input voltage: 10-15V

LANDSCAPE LIGHTING

### FXLuminaire

#### LED Up Lights

Our largest wall wash up light, the LC, projects a broad spectrum of light on large walls and spaces. It is available in 1, 3, 6 and 9 LED, and is available in an array of finishes to suit the needs of any design that calls for a large-scale wall washing up light.

#### LC: Up Light

NUMBER OF LEDS	1	3	6	9
WAGOON LUMEN OUTPUT EQUIVALENT	90 WATTS	270 WATTS	540 WATTS	810 WATTS
USEFUL LED LIFE (L70)	50,000 hrs avg	50,000 hrs avg	50,000 hrs avg	50,000 hrs avg
INPUT VOLTAGE	10 to 15V	10 to 15V	10 to 15V	10 to 15V
WATTS USED	2.4	4.5	10.5	15.5
WATTS USED PER WATT OUTPUT	2.0	4.2	10.1	11.2
MAX CURRENTS	30.9	36.5	36.1	36.8
CH DIM	82.8	80.2	82.2	79.2

Learn more about FX Luminaire up lights. Visit: fxl.com

360 764 5330

### FXLuminaire

#### LED Up Lights

Expertly engineered with 45° or 60° shroud options to illuminate a variety of spaces in 3, 6, or 9 LED. An RGBW version is also available for use with Luxor™ ZDC systems.

#### NP Up Light DESIGNER PLUS

Quick Facts

- Die-cast aluminum
- Two-layer marine-grade anodization and powder coat finish
- Cree® integrated LEDs
- Prokin™ adjustability
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor technology
- Phase and PWM dimmable
- Input voltage: 10-15V

2.7" (68mm)  
4.0" (102mm)  
6.0" (152mm)  
8.0" (203mm)

LANDSCAPE LIGHTING



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LANDSCAPE  
IMPROVEMENTS

THE INN AT  
PASATIEMPO

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SANTA CRUZ, CA 95060

APN: 060-251-03

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Revisions: 3/4/2020 PERMIT

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Drawn By: JEB



LIGHTING & UTILITIES  
PLAN

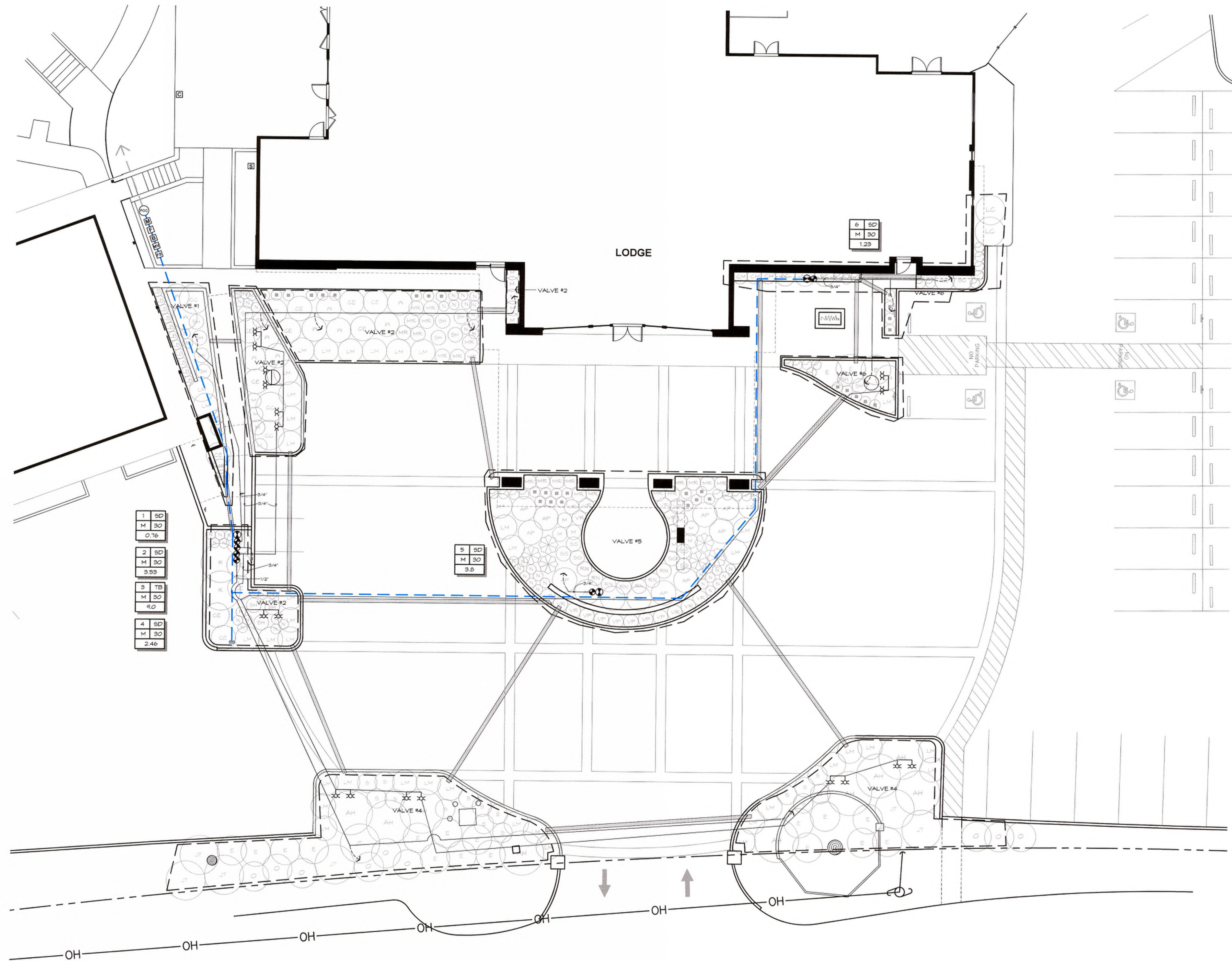
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Drawn By: MB



IRRIGATION PLAN

Sheet No.

L5.1

Of



MAINLINE: 1 1/2" PVC SCH 40, 18" MINIMUM BURIAL.

EXISTING MAINLINE: BACKFLOW PREVENTER PROTECTED EX. PVC MAINLINE APPROXIMATE LOCATION SHOWN.

LATERAL LINE: PVC CLASS 200, SIZE AS SHOWN PER PLAN. 12" MINIMUM BURIAL, UNLESS OTHERWISE NOTED.

SLEEPING: SCH. 40 PVC; 4"Ø. 12" MINIMUM BURIAL. INSTALL CHRSTY/OLDCASTLE NO#BX' CONCRETE PULL BOX @ ENDS OF PIPE FOR FUTURE USE.

POINT OF CONNECTION: NEW MAINLINE TO EXISTING MAINLINE. LOCATE IN VALVE BOX N/ SHUT OFF BALL VALVE.

IRRIGATION WATER METER: 1" NEPTUNE T-10 POTABLE BRASS WATER METER. OR EQUAL AS APPROVED BY L.A.

FILTER: AMIAD 1-1/2" COMPACT FILTER. INSTALL FLUSH TUBE & LOCATE IN VALVE BOX SIZED TO PROVIDE EASY ACCESS TO CARTRIDGE.

BACKFLOW PREVENTER: FEBCO 825Y 1-1/4"Ø REDUCED PRESSURE BACKFLOW ASSEMBLY. CONTRACTOR SHALL VERIFY IF EX. MAINLINE HAS EX. BACKFLOW DEVICE. IF EX. BACKFLOW IS IN PLACE, OMIT NEW BACKFLOW.

MASTER VALVE: BUCKNER SUPERIOR 3100150" 1 1/2" 24 VOLT BRASS NORMALLY OPEN MASTER VALVE.

FLOW SENSOR: TORO TFS-150" 1 1/2" FLOW SENSOR N/ PVC TEE.

CONTROLLER: IRRITROL TMC-424E-OD" WITH TSM-4H 4 STATION EXPANSION MODULE; 8 STATION TOTAL. MOUNT ON INTERIOR SHUT WALL 48" ABOVE FINISH SURFACE. INCLUDE IRRITROL 'GL-100" WIRELESS CLIMATE LOGIC KIT FOR RAIN SENSOR, LOCATION PER PLAN. PROVIDE 120 VOLT POWER SOURCE.

WEATHER SENSOR: IRRITROL 'GL-100" WIRELESS SENSOR. MOUNT ON EAVE OR GUTTER NEAR LOCATION INDICATED ON PLAN.

BALL VALVE: SCH. 80 PVC BALL VALVE AS MANUFACTURED BY KING BROTHERS INDUSTRIES (OR EQ.). SIZE PER LINE; LOCATE IN VALVE BOX.

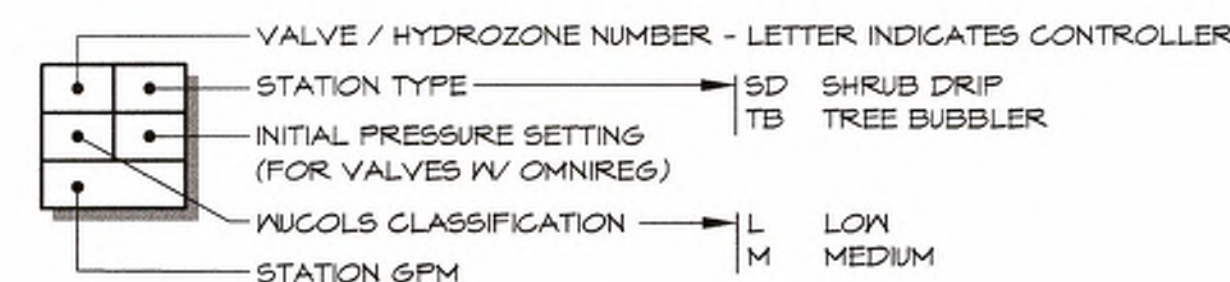
SOLENOID VALVE: IRRITROL SYSTEMS 700 SERIES VALVE, SIZE PER PLAN. INSTALL OMNIRIG 'QMR-100" PRESSURE REGULATION MODULE; INITIAL PRESSURE SETTING PER PLAN. LOCATE IN VALVE BOX.

TREE BUBBLERS: TORO 5102 XF 12" POP-UP BODIES N/ TORO FB-50-PC' FLOOD BUBBLER NOZZLES.

INDICATES LIMITS OF DRIP IRRIGATION AND RESPECTIVE VALVE

INDICATES POLYETHYLENE DRIP TUBE TRANSITION FROM PVC TO POLY AS REQ'D. POLY LINE SHALL BE 3/4"Ø TRUNK LINE N/ EMITTERS PLUGGED DIRECTLY INTO 3/4"Ø TUBING. USE NO 1/4"Ø TUBING. TUBING SHALL BE STAKED @ 4'-0" O.C. MAX. TO GRADE & COVERED WITH BARK MULCH. DRIP EMITTERS SHALL BE TORO NSE 1 GPH PRESSURE COMPENSATING EMITTERS OR EQUAL AS APPROVED BY L.A.; 2 EMITTERS PER PLANT.

MAINLINE STUB OUT FOR FUTURE EXPANSION. LOCATE IN VALVE BOX.



- THIS SYSTEM IS BASED ON AN ESTIMATED AVAILABLE 100 GPM @ 90 PSI. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- ALL WORK SHALL CONFORM TO LOCAL PLUMBING & ELECTRICAL CODES.
- CONTRACTOR SHALL LOCATE ALL LATERALS, MAINS & VALVES IN PLANTING AREAS WHENEVER POSSIBLE. WATER LINES SHOWN BENEATH WALKS AND DRIVES ARE FOR GRAPHIC CLARITY ONLY. PLACE NO ELLS OR TEES BENEATH PAVING. ALL PIPING BENEATH PAVING SHALL BE LOCATED WITHIN PVC SCH 40 SLEEVING.
- CONTRACTOR SHALL VERIFY THAT EXISTING MAINLINE IS HAS FILTER INSTALLED AND THOROUGHLY FLUSH ALL DRIP IRRIGATION LINES PRIOR TO INSTALLATION OF DRIP EMITTERS AND BUBBLERS.
- CONTRACTOR SHALL REPAIR ANY EXISTING IRRIGATION SYSTEMS DAMAGED DURING CONSTRUCTION, REGARDLESS OF LOCATION ON SITE. CONTRACTOR SHALL TEST & VERIFY OPERATION OF EXISTING SYSTEM & NOTIFY THE LANDSCAPE ARCHITECT OF ANY CURRENT DEFICIENCIES. NEW AND EXISTING IRRIGATION SYSTEMS SHALL BE FULLY OPERATIONAL UPON COMPLETION OF PROJECT.
- NO TRENCHES FOR ANY PURPOSE SHALL BE MACHINE DUG BELOW DRIPLINES OF EXISTING TREES. TRENCHES WITHIN DRIPLINES OF EXISTING VEGETATION AND TREES TO REMAIN SHALL BE HAND DUG ONLY. NO SLOTS GREATER THAN 1" Ø SHALL BE CUT. ALL CUT ROOTS BETWEEN 1/2" & 1" Ø SHALL BE CLEANLY CUT AND DRESSED.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

**PASATIEMPO INN - WATER EFFICIENT LANDSCAPE WORKSHEET**  
This worksheet shall be completed by a Certified WELO Professional and it is a required element of the Landscape Documentation Package

Hydrozone # /Planting Description <sup>9</sup>	Plant Factor (PF)	Irrigation Method <sup>8</sup>	Irrigation Efficiency (IE) <sup>7</sup>	ETAF (PF/IE)	Landscape Area (sq. ft)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>6</sup>
<b>Regular Landscape Areas</b>							
1. MW plantings	0.3	drip	0.81	0.37	155	57.41	1302.69
2. MW plantings	0.3	drip	0.81	0.37	1300	481.48	10925.78
3. MW trees	0.3	drip	0.81	0.37	90	33.33	756.40
4. MW plantings	0.3	drip	0.81	0.37	1855	687.04	15590.24
5. MW plantings	0.3	drip	0.81	0.37	1015	375.93	8530.51
6. MW plantings	0.3	drip	0.81	0.37	920	340.74	7732.09
				Totals	(A) 5335	(B) 1976	44837.71
<b>Special Landscape Areas</b>							
n/a				1			
				Totals	(C) 0	(D) 0	0
				ETWU Total			44837.71
				MAWA			54477.82

\*MAWA (Annual Gallons Allowed) = (Eto) ( 0.62) { (ETAF x LA) + ((1-ETAF) x SLA)}

where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

Regular Landscape Areas	
Total ETAF x Area	1976
Total Area	5335
Average ETAF	0.37

**Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.**

<b>All Landscape Areas</b>	
<b>Total ETAF x Area</b>	<b>1976</b>
<b>Total Area</b>	<b>5335</b>
<b>Sitewide ETAF</b>	<b>0.37</b>

<b>*Hydrozone #/Planting Description</b>	<b>*Irrigation Method</b>	<b>*Irrigation Efficiency</b>	<b>*ET<sub>WTU</sub> (Annual Gallons Required) =</b>
E.g.	overhead spray	0.75 for spray head	$36.6 \times 0.62 \times \text{ETAF} \times \text{Area}$
1.) front lawn	or drip	0.81 for drip	where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.
2.) low water use plantings			
3.) "MW" = medium water use planting			



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## LANDSCAPE IMPROVEMENTS

## THE INN AT PASATIEMPO

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WB

### IRRIGATION LEGEND & NOTES

Sheet No.

## L5.2

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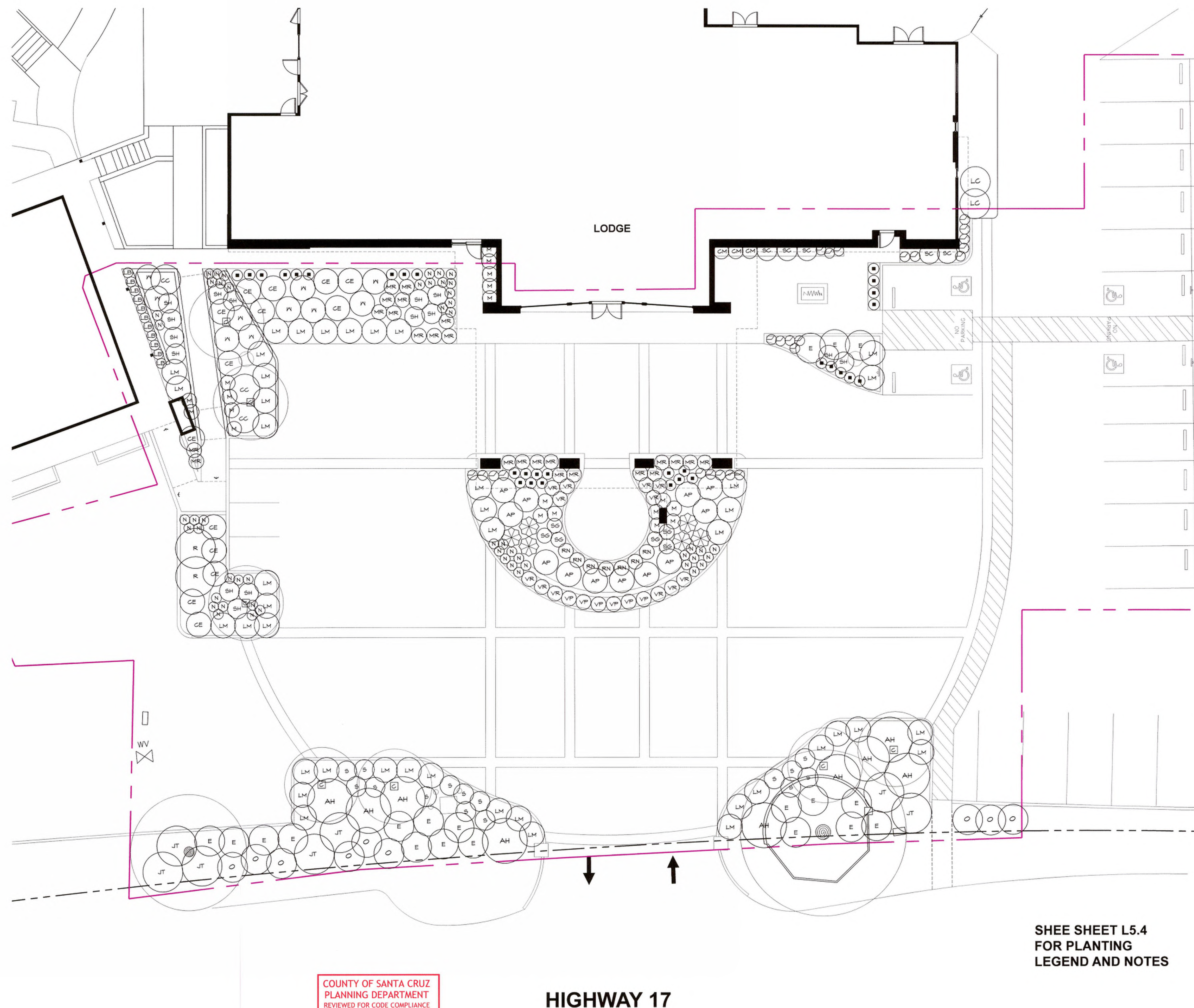
# Proposal to Extend Permit No. 221280

Revisions: 3/4/2020 PERMIT



### L5.3

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**SHEE SHEET L5.4  
FOR PLANTING  
LEGEND AND NOTES**






COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
REVIEWED FOR CODE COMPLIANCE

REVIEWER: JEH  
REVIEW DATE: 12/01/2020  
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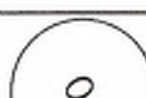
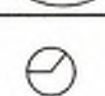

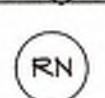

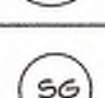
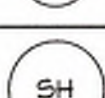
PLANTING LEGEND

	NEW BOX TREE PER TREE PLANTING PLAN & PLANT KEY, SHEET LX, TYP. ALL 15 GAL & 24" BOX TREES SHALL BE DOUBLE-STAKED; 36" BOX TREES AND LARGER SHALL BE TRIPLE-STAKED.	
	NEW SHRUBS PER PLAN & PLANT KEY, TYP.	
	EXISTING TREE TO REMAIN	

PLANTING NOTES






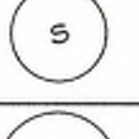



- WHEN PLANTING IN ESTABLISHED PLANTING AREAS, CONTRACTOR SHALL TAKE UTMOST CARE AS TO NOT DAMAGE ANY EXISTING PLANTS OR TREES.
- ALL NEW PLANTING AREAS SHALL RECEIVE A 2" LAYER OF ORGANIC AMENDMENTS INCORPORATED INTO THE TOP 6" OF SOIL. NO TILLING SHALL OCCUR BENEATH OAKS. AREAS BENEATH OAKS SHALL RECEIVE TOP DRESSING. AREAS BENEATH EXISTING TREES SHALL HAVE PLANT PITS INDIVIDUALLY AMENDED.
- ALL GROUND COVER AND SHRUB PLANTING AREAS SHALL RECEIVE A 2" DEEP LAYER OF MULCH PER SPECS.
- FINAL PLANT LOCATIONS SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANT PIT EXCAVATION.
- WHERE PLANT SPECIMENS ARE PAIRED TO FRAME SITE ELEMENTS (ie, ENTRY PLANTERS), PLANTS SHALL BE CHOSEN FOR MATCHED FORM AND SIZE.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

PLANT KEY

TREES					
SYMBOL	QTY.	CONTAINER SIZE	BOTANICAL NAME (Common Name)	MULCHS	MATURE SIZE
	7	24" BOX	CERCIS CANADENSIS 'FOREST PANSY' (Forest Pansy Redbud)	MEDIUM	20' H x 25' W
SHRUBS					
SYMBOL	QTY.	CONTAINER SIZE	BOTANICAL NAME (Common Name)	MULCHS	MATURE SIZE
	12	1 GAL.	ARTEMESIA x 'POWIS CASTLE' (Nornwood)	LOW	3' H x 6' W
	14	5 GAL.	CHONDROPETALUM ELEPHANTINUM (Cape Rush)	LOW	4' H x 5' W
	3	1 GAL.	CLIVIA MINIATA 'MONYA' Flame Bush Lily	MEDIUM	2' H x 3' W
	30	1 GAL.	BUDDLEIA x 'BLUE CHIP' (Lo & Behold Blue Chip Dwarf Butterfly Bush)	LOW	2' H x 2' W
	11	1 GAL.	LIRIOPE MUSCARI (Big Blue Lily Turf)	LOW	1'-6" H x 2' W
	2	1 GAL.	LOROPETALUM CHINENSE 'CHANG NIAN HONG' (Ever Red Fringe Flower)	LOW	6' H x 6' W
	19	1 GAL.	MISCANTHUS SINENSIS 'ADAGIO' (Adagio Maiden Grass)	MEDIUM	5' H x 3' W
	24	1 GAL.	MUHLENBERGIA RIGENS (Deer Grass)	LOW	3' H x 3' W
	52	1 GAL.	PENNISETUM MASSAICUM (Red Bunny Tails Fountain Grass)	MEDIUM	2' H x 2' W
	9	1 GAL.	OSMANTHUS FRAGRANS (Sweet Olive)	MEDIUM	6' H x 6' W
	24	1 GAL.	PENSTEMON EATONII (Firecracker Penstemon)	MEDIUM	2' H x 1.5' W
	6	1 GAL.	PHORMIUM 'BLACK ADDER' (New Zealand Flax)	LOW	3' H x 4' W
	7	1 GAL.	ROSA x 'NOASCHNEE' (White Groundcover Rose)	MEDIUM	2' H x 3' W
	5	1 GAL.	SALVIA CHIAPENSIS (Texas Violet Sage)	MEDIUM	3' H x 4' W
	6	1 GAL.	SALVIA GREGGII 'NAVAJO BRIGHT RED' (Navajo Bright Red Autumn Sage)	LOW	3' H x 3' W
	15	1 GAL.	SALVIA MICROPHYLLA 'HOT LIPS' (Hot Lips Sage)	LOW	3' H x 3' W

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
REVIEWED FOR CODE COMPLIANCE  
REVIEWER: JEH  
REVIEW DATE: 12/01/2020  
ISSUED PERMIT: B-201979  
CHANGE DOCS: N/A

GROUNDCOVERS

SYMBOL	QTY.	CONTAINER SIZE	BOTANICAL NAME (Common Name)	MULCHS	MATURE SIZE
	9	1 GAL.	ARCTOSTAPHYLOS HOOKERI 'MONTEREY CARPET' (Manzanita)	LOW	1' H x 12' W
	3	1 GAL.	CEANOTHUS 'CENTENNIAL' (Centennial Wild Lilac)	LOW	1' H x 8' W
	19	1 GAL.	EVONYMUS FORTUNEI 'COLORATA' (Purple-Leaf Winter Creeper)	MEDIUM	2' H x 6' W
	7	1 GAL.	JUNIPERUS SABINA VAR. TAMARISCIFOLIA (Tamaix Juniper)	LOW	1' H x 10' W
	43	1 GAL.	LANTANA SELLOWIANA 'MONSWEET' (Lavender Swirl Trailing Lantana)	LOW	1' H x 6' W
	2	1 GAL.	ROSMARINUS O. 'HUNTINGTON CARPET' (Rosemary)	LOW	1.5' H x 8' W
	15	1 GAL.	SALVIA SONOMENSIS (Creeping Sage)	LOW	1' H x 4' W
	10	1 GAL.	WESTRINGIA FRUTICOSA 'MUNDI' (Low Coast Rosemary)	LOW	1.5' H x 5' W
	6	1 GAL.	VERBENA CANADENSIS 'HOMESTEAD PURPLE' (Purple Homestead Verbena)	LOW	6" H x 3' W
	12	1 GAL.	VERBENA CANADENSIS 'HOMESTEAD RED' (Red Homestead Verbena)	LOW	6" H x 3' W

HYDROZONE

#	PLANTING AREA (SF)
1	155
2	1300
3	90
4	1855
5	1015
6	920
TOTAL PA = 5,335	



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LANDSCAPE  
IMPROVEMENTS

THE INN AT  
PASATIEMPO

555 HIGHWAY 17  
SANTA CRUZ, CA 95060

APN: 060-251-03

Proposal to  
Extend Permit  
No. 221280

	8/3/2020	PLAN CHECK COMMENTS
Revisions:	3/4/2020	PERMIT
Date:	11/7/19	
Scale:		
Drawn By:	MEB	

PLANTING LEGEND  
& NOTES

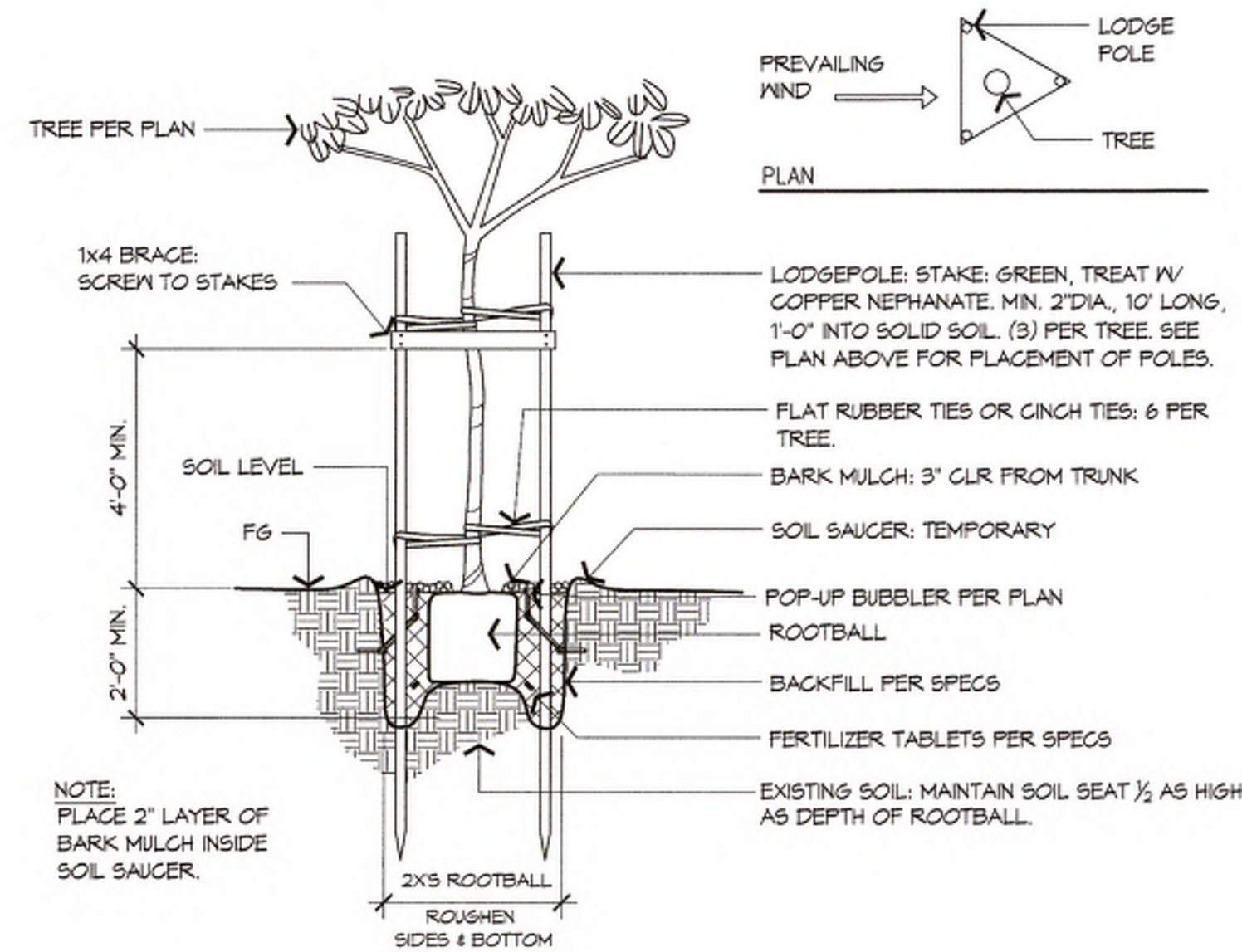
Sheet No.

L5.4

Of

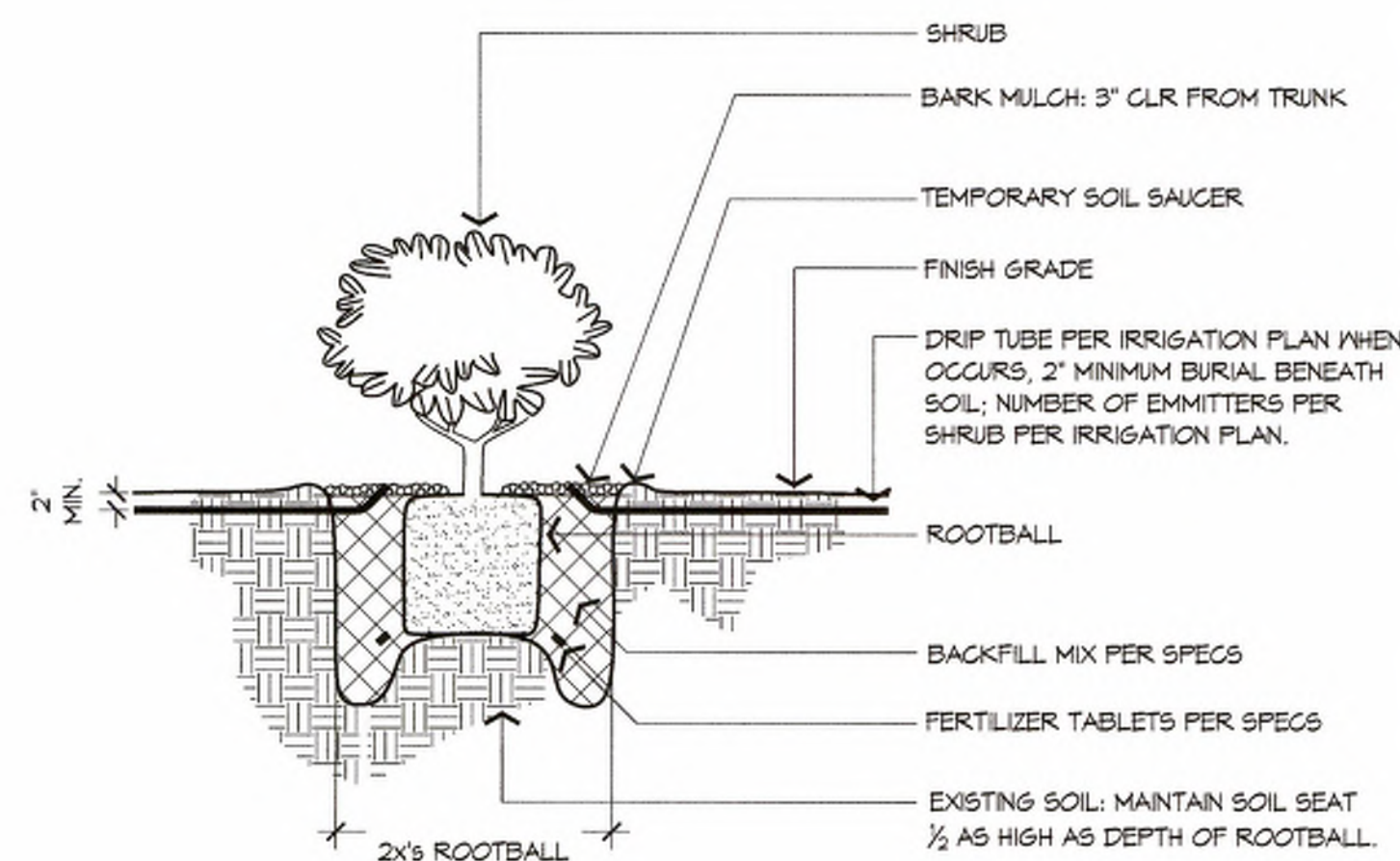


RE-USE, REPRODUCTION OR PUBLICATION OF THESE PLANS IS PROHIBITED WITHOUT WRITTEN CONSENT OF KIKUCHI + KANKEL DESIGN GROUP.



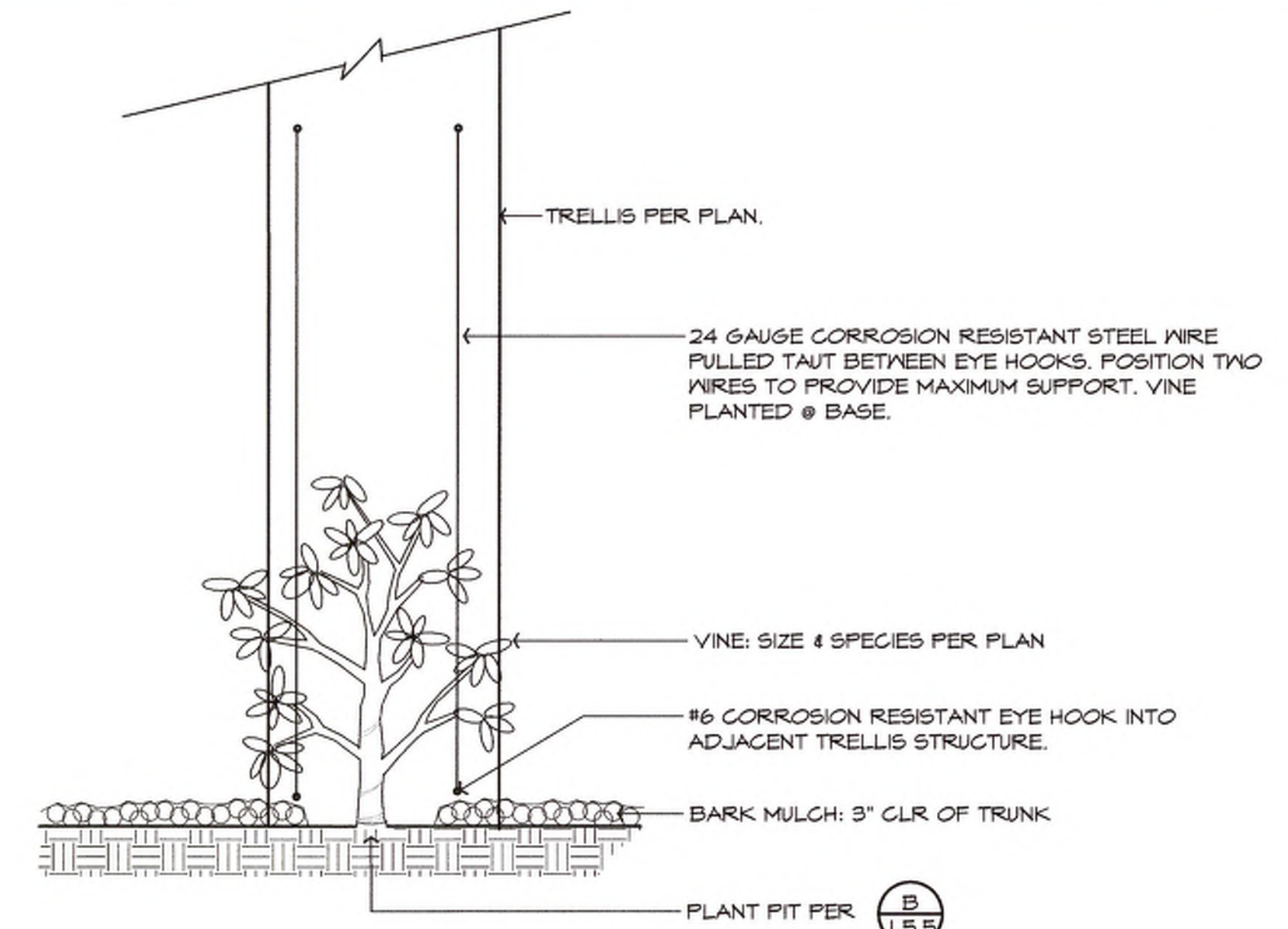
**(A) BOX TREE PLANTING DETAIL**

3/8" = 1'-0"



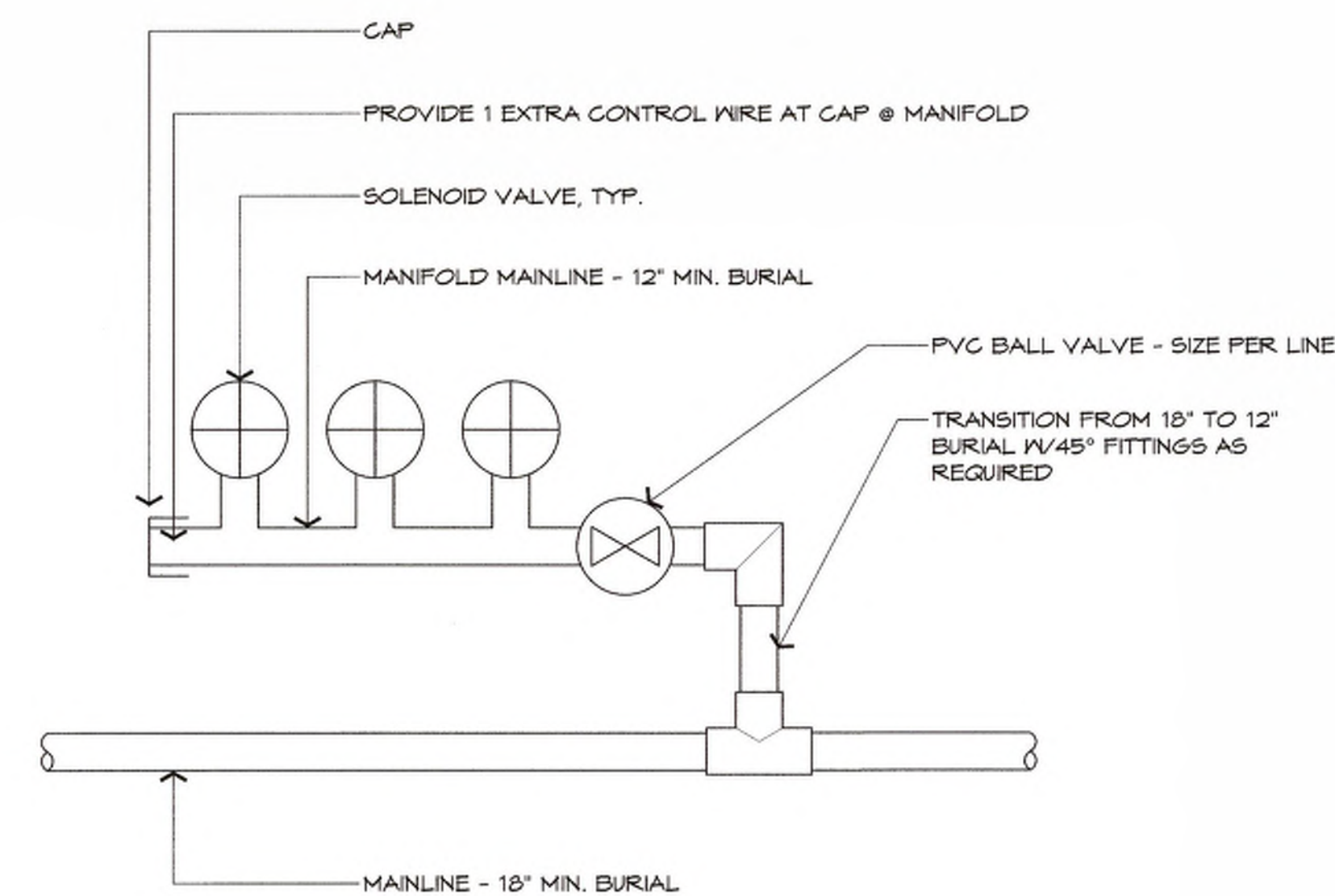
**(B) SHRUB PLANTING DETAIL**

3/8" = 1'-0"



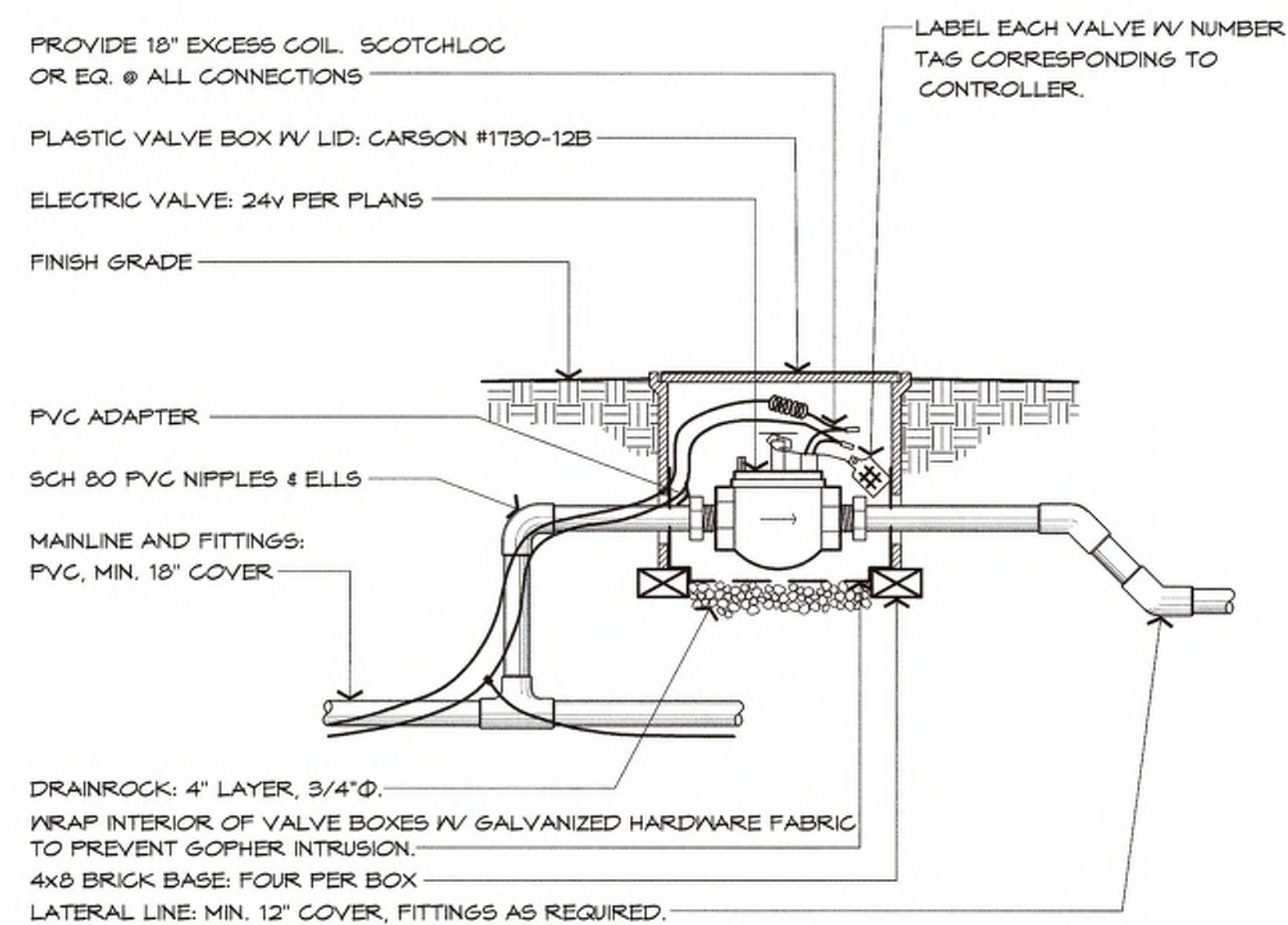
**(C) VINE PLANTING DETAIL**

1" = 1'-0"



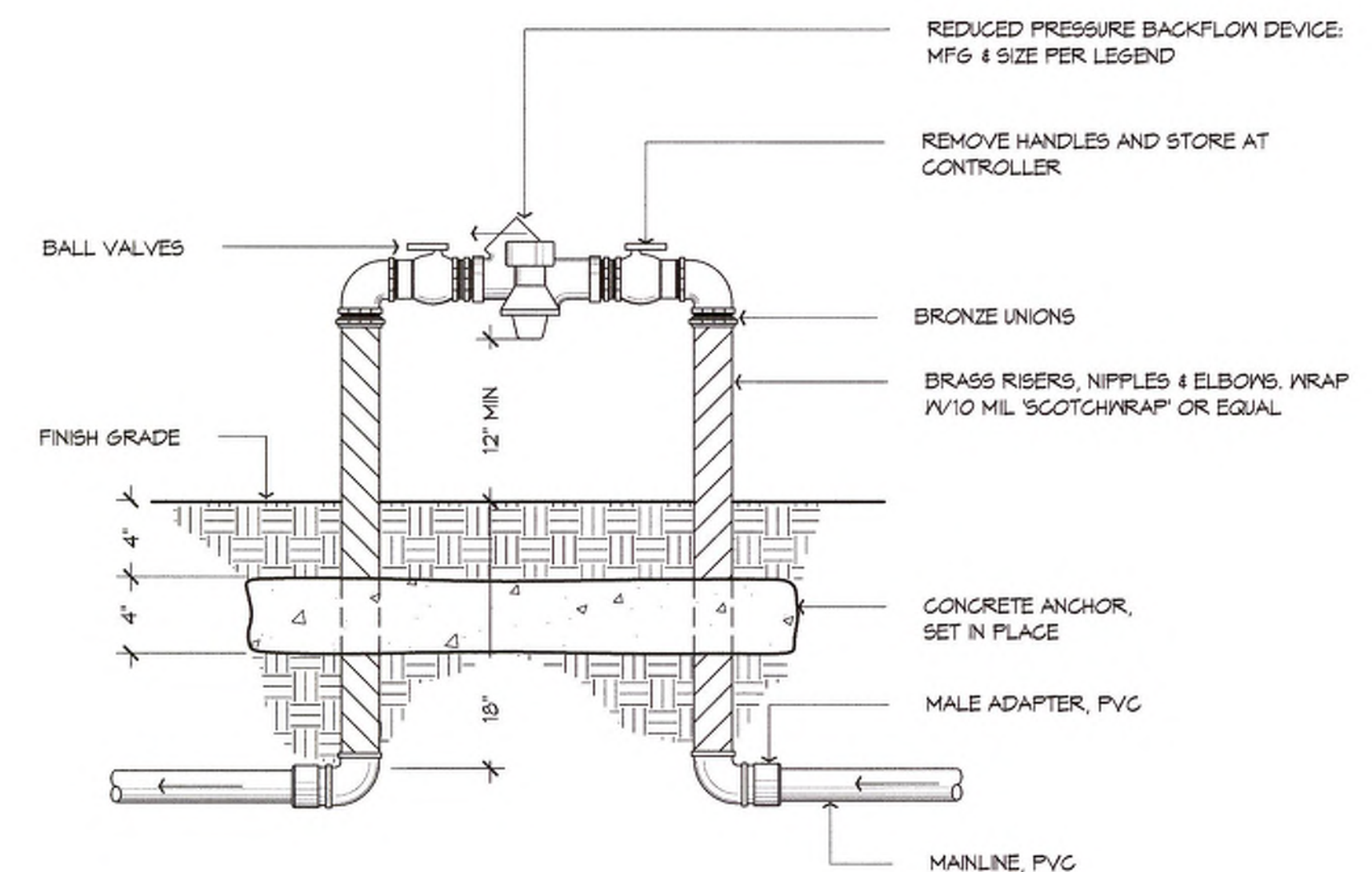
**(D) VALVE MANIFOLD DETAIL**

1 1/2" = 1'-0"



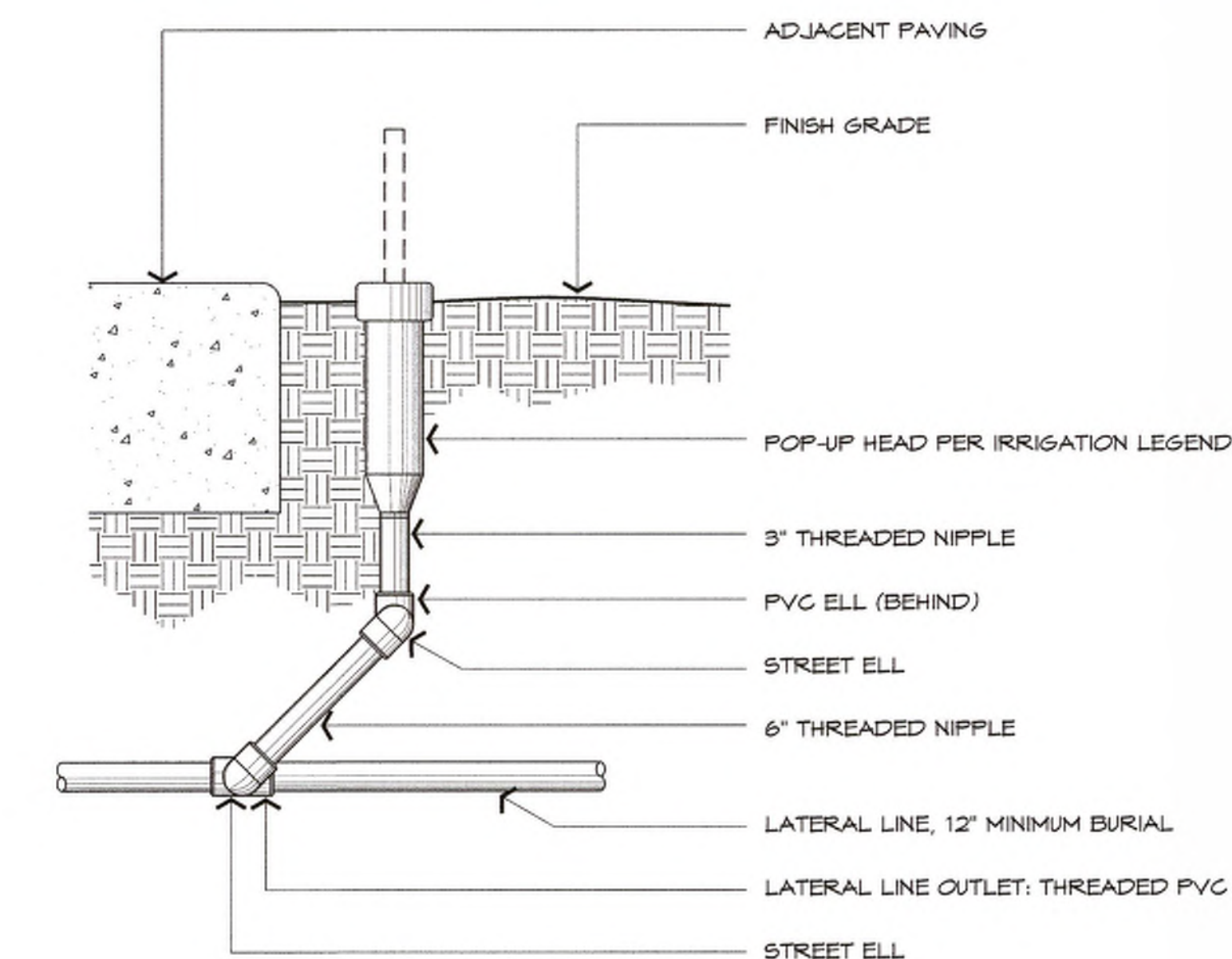
**(E) SOLENOID VALVE DETAIL**

1" = 1'-0"



**(F) BACKFLOW PREVENTER DETAIL**

1 1/2" = 1'-0"



**(G) POP-UP SPRAY HEAD DETAIL**

3" = 1'-0"

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
REVIEWED FOR CODE COMPLIANCE  
REVIEWER: JEH  
REVIEW DATE: 12/01/2020  
ISSUED PERMIT: B-201979  
CHANGE DOCS: N/A



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**LANDSCAPE  
IMPROVEMENTS**

**THE INN AT  
PASATIEMPO**

555 HIGHWAY 17  
SANTA CRUZ, CA 95060

APN: 060-251-03

**Proposal to  
Extend Permit  
No. 221280**

8/3/2020	PLAN CHECK COMMENTS
Revisions:	3/4/2020 PERMIT
Date:	11/7/19
Scale:	AS NOTED
Drawn By:	RL,CK

**PLANTING &  
IRRIGATION DETAILS**

Sheet No.

**L5.5**

Of





Staff Report & Development Permit  
Level 3 – Minor Variation

Application Number: 191319      APN: 060-251-03 and 060-251-02  
Applicant: Warren Barnes      Owner: Pasatiempo Investments  
Site Address: 555 Hwy 17, Santa Cruz, CA 95060

Proposal & Location

Proposal to refurbish landscaping, repave and restripe parking areas, revise parking layout, and reduce the number of parking spaces (from 152 to 146) at the Inn at Pasatiempo. Proposal requires a Minor Variation to 2677-U.

Property is located on the east side of the Highway 17 and Pasatiempo Drive overpass (555 Highway 17).

Project Description

The project is a proposal to change the scope of approved Planned Development 2977-U (to conduct a motel, restaurant, and cocktail lounge) to revise landscaping and to reconfigure the parking lot. This change requires a Minor Variation to Planned Development 2977-U.

The subject property and its present use as a motel, restaurant, and cocktail lounge were authorized in 1966 under 2677-U. Subsequent permits authorized the construction of a wedding chapel in 1968 (3099-U), freestanding signs in 1979 (79-1719-PD), and dining decks in 1979 and 2017 (79-642-U and 171071). The facility consists of 54 guest rooms, 1,304 square feet of bar/restaurant, and 2,881 square feet of banquet area. A cottage on-site is used as offices for employees.

The proposed project consists of a reconfiguration of the entrance to the facility, including landscaping, exterior changes to the face of the building, and the removal/relocation of parking spaces. Most of the construction will occur on the parking lot entrance to 060-251-03 however, parking restriping will also occur on the adjacent parcel, 060-251-02, which is also owned by Pasatiempo Investments. Three parking spaces immediately adjacent to the main entrance of the facility will be removed to create landscaped areas and a patio. Eight more spaces will be converted to landscaping and golf cart parking. Parking is proposed to be added via restriping additional spaces across both parcels.

Parking

Parking for the site is currently provided by 152 shared parking spaces over the two parcels. Based on parking requirements calculated under application 171071, 146 spaces are required for the existing uses on-site. As a result of the reconfiguration, four golf cart spaces will be created, and the minimum 146 auto spaces will be provided (a loss of 6 parking spaces from current conditions).

County of Santa Cruz Planning Department  
701 Ocean Street, 4<sup>th</sup> Floor, Santa Cruz CA 95060

Application #: 191319  
APN: 060-251-03  
Owner: Pasatiempo Investments

Page 2

17 spaces are unstriped and located in an unpaved lot on the northwest corner of 060-251-03. This parking area is occasionally used to provide parking for oversized vehicles and equipment. Existing, required, and proposed parking spaces are shown in the table below (provided by applicant):

Parcel A: 060-251-03				
Use and Parking Ratio	Existing Area (sqft)	Required Parking Spaces	Existing Parking Spaces	Proposed Parking Spaces
Bar/Restaurant 1:100	1,280	13	13	13
1 <sup>st</sup> Floor Banquet 1:100	2,985	30	10	10
Upper Deck 1:100	1,740	21	10	10
Lower Banquet 1:100	2,085	17	13	5
Lower Deck (not in use)	1096	0	0	0
Offices 1:200*	375	2	2	2
Guest Rooms 1:1	34 units	34	18	18
Employee Parking 0.3:1	12	4	4	4

Parcel B: 060-251-02				
Use and Parking Ratio	Existing Area (sqft)	Required Parking Spaces	Existing Parking Spaces	Proposed Parking Spaces
Cottage (Offices *) 1:200	1,050	5	25	25
Guest Rooms 1:1	20 units	20	57	59

Total Required Parking Spaces	Total Existing Parking Spaces	Total Proposed Parking Spaces
146	152	146

\*Note that the parking calculation for offices has changed since previous permits/calculations. Parking requirement for offices is now 1:300

Analysis

The proposed project amounts to a cosmetic change to the entrance to the facility. No additional parking is required as a result of the project since the project is not an intensification of use, as defined in Santa Cruz County Code 13.10.700-I. Although parking will be removed from the site, the required parking is still provided.

All findings remain valid as approved for Planned Development 2977-U. Based on the findings for permit number 2977-U, which are hereby incorporated by reference, Planning Department staff recommends approval of the requested Minor Variation including the conditions contained in this permit.

If you have any questions about this project, please contact Evan Ditmars at: (831) 454-3227 or [evan.ditmars@santacruzcounty.us](mailto:evan.ditmars@santacruzcounty.us)

Application #: 191319  
APN: 060-251-03  
Owner: Pasatiempo Investments

Page 3

Report Prepared By:   
Evan Ditmars  
Santa Cruz County Planning Department  
701 Ocean Street, 4th Floor  
Santa Cruz CA 95060

Report Reviewed By:   
Annette Olson  
Principal Planner  
Santa Cruz County Planning Department

Mail to: Warren Barnes  
61 E Main St, Suite C  
Los Gatos, CA 95030

Note: This decision is final unless it is appealed.

See permit conditions for information regarding appeals. You may exercise your permit after signing below and meeting any conditions which are required to be met prior to exercising the permit. If you file an appeal of this decision, permit issuance will be stayed and the permit cannot be exercised until the appeal is decided.

Please note: This permit will expire unless exercised prior to the expiration date.  
(See the Conditions of Approval below for the expiration date of this permit.)

Appeals

In accordance with Section 18.10 et seq of the Santa Cruz County Code, the applicant may appeal an action or decision taken on a Level III project such as this one. All appeals shall be made in writing and shall state the nature of the application, your interest in the matter and the basis upon which the decision is considered to be in error. Appeals must be made no later than fourteen (14) calendar days following the date of action from which the appeal is being taken and must be accompanied by the appropriate appeal filing fee.

Application #: 191319  
APN: 060-251-03  
Owner: Pasatiempo Investments

Page 4

Conditions of Approval

Exhibit A. Project plans, prepared by Kikuchi and Kankel Design Group, dated 1/14/20.

- I. This permit authorizes the reconfiguration of parking and landscape areas in the front of an existing motel, restaurant and cocktail lounge, as indicated on the approved Exhibit "A" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/ owner shall:
  - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof. All conditions of permit number 2977-U are incorporated herein by reference and are also conditions of this approval.
  - B. Obtain Building Permit(s) from the Santa Cruz County Building Official.
    1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
  - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. Any changes from the approved Exhibit "A" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
    1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
    2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Planning Department review and approval
    3. Grading, drainage, and erosion control plans.
    4. The building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on

Application #: 191319  
APN: 060-251-03  
Owner: Pasatiempo Investments

Page 5

- the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site, which clearly depict the total height of the proposed structure. Maximum height is 28 feet.
5. Details showing compliance with fire department requirements. If the proposed structure(s) are located within the State Responsibility Area (SRA) the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.
  6. Note on plans that the proposed patio is not for dining or bar use.
  7. All outdoor areas, parking and circulation areas shall be lighted with low-rise lighting fixtures that do not exceed 15 feet in height. The construction plans must indicate the location, intensity, and variety of all exterior lighting fixtures. All lighting must be consistent with Title 24, Part 6, California Code of Regulations, Energy Efficiency Standards for Residential and Non-Residential Buildings. All lighting shall be directed onto the site and away from adjacent properties.
- B. Meet all requirements of and pay drainage fees to the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
  - C. Meet all requirements of the Environmental Planning section of the Planning Department.
  - D. Meet all requirements and pay any applicable plan check fee of the Scotts Valley Fire Protection District.
  - E. Provide required off-street parking for 146 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Compact spaces (16'x7.5') shall not exceed 40% of the total number of required parking spaces. Parking must be clearly designated on the plot plan.
- III. All construction shall be performed according to the approved plans for the building permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
  - A. All site improvements shown on the final approved Building Permit plans shall be installed.
  - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
  - C. All work within a County road right-of-way shall require an encroachment permit.

Application #: 191319  
APN: 060-251-03  
Owner: Pasatiempo Investments

Page 6

- D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- IV. Operational Conditions
  - A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
  - B. Dining on the proposed patio, adjacent to the main entrance, is prohibited.
- V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

  - A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
  - B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
    1. COUNTY bears its own attorney's fees and costs; and
    2. COUNTY defends the action in good faith.



Kikuchi + Kankel  
Design Group

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Site Planning

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LANDSCAPE  
IMPROVEMENTS

THE INN AT  
PASATIEMPO

555 HIGHWAY 17  
SANTA CRUZ, CA 95060

APN: 060-251-03

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
REVIEWED FOR CODE COMPLIANCE  
REVIEWER: JEH  
REVIEW DATE: 12/01/2020  
ISSUED PERMIT: B-201979  
CHANGE DOCS: N/A

Proposal to  
Extend Permit  
No. 221280

Revisions: 3/4/2020 PERMIT

Date: 11/7/19

Scale:

Drawn By:

WKB

SCC PLANNING  
DEPARTMENT  
CONDITIONS OF  
APPROVAL

Sheet No.

L7.0

Of



Application #: 191319  
APN: 060-251-03  
Owner: Pasatiempo Investments

Page 7

C. **Settlement.** The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.

D. **Successors Bound.** The "applicant/owner" shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

In accordance with Chapter 18.10 of the County Code, minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff.

note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: 2/26/20

Effective Date: 3/11/20

Expiration date: 3/11/23

### CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 191319  
Assessor Parcel Number: 060-251-03  
Project Location: 555 Hwy 17, Santa Cruz, CA 95060

**Project Description: Minor modifications to an existing approved commercial development**

**Person or Agency Proposing Project: Warren Barnes**

**Contact Phone Number: 408-356-5980**

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.  
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).  
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.  
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).

E. ☒ **Categorical Exemption**

Specify type: Class 5 - Minor Alterations in Land Use Limitations (Section 15305)

F. **Reasons why the project is exempt:**

Minor modifications to an existing approved commercial development in an area designated for commercial and industrial uses

In addition, none of the conditions described in Section 15300.2 apply to this project.

  
Evan Ditmars, Project Planner

Date: 2/26/20



### County of Santa Cruz Planning Department

Approval of application 191319 (Pasatiempo Investments)

Your Minor Variation has been administratively approved by the Planning Department.

In order to validate this approval, you must sign the permit, affirming that you have reviewed the permit and agree to the conditions imposed by it. Until this occurs, the permit is not active. **This means that no building permit will be issued, nor can the use begin unless and until the permit is signed and returned.** Within this mailing is a separate page which requires your signature to validate this permit. Please sign, detach, and return the separately labeled "Signature Page" for our files. **This approval is for the discretionary review of this project only and any additional permits required as Conditions of Approval of this permit (i.e. Building Permits, Grading Permits, Encroachment Permits, etc.) must be obtained prior to beginning construction.** You should carefully review the attached conditions, as these are the terms under which your project can proceed. If you are the agent for the property owner, you may sign the permit only if you provide proof of service by mail that the signed conditions have been provided to the owner.

Please contact the project planner at (831) 454-3227 or [evan.ditmars@santacruzcounty.us](mailto:evan.ditmars@santacruzcounty.us) should you have further questions about the processing of your application.

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
REVIEWED FOR CODE COMPLIANCE  
REVIEWER: JEH  
REVIEW DATE: 12/01/2020  
ISSUED PERMIT: B-201979  
CHANGE DOCS: N/A



### County of Santa Cruz Planning Department

#### Signature Page

(To be signed and returned to the Santa Cruz County Planning Department to demonstrate acknowledgement of the issuance of this permit and the acceptance of all permit conditions)

By signing this permit below, the owner(s) agree(s) to accept the terms and conditions of permit number 191319 (APN 060-251-03) and to accept responsibility for payment of the County's cost for inspection and all other action related to noncompliance with the permit conditions. This permit is null and void in the absence of the property owner(s) signature(s) below. All owners of the subject property (APN 060-251-03) must sign this form.

Signature of Owner	Print Name	Date
Signature of Owner	Print Name	Date
Signature of Owner	Print Name	Date
Signature of Owner	Print Name	Date

Please return to:

Evan Ditmars  
Santa Cruz County Planning Department  
701 Ocean Street, 4th Floor  
Santa Cruz CA 95060

\*(Records room staff: Please file this page with the discretionary application listed above.)



### Kikuchi + Kankel Design Group

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### LANDSCAPE IMPROVEMENTS

### THE INN AT PASATIEMPO

555 HIGHWAY 17  
SANTA CRUZ, CA 95060

APN: 060-251-03

### Proposal to Extend Permit No. 221280

8/3/2020 PLAN CHECK  
COMMENTS

Revisions: 3/4/2020 PERMIT

Date: 11/7/19

Scale:

Drawn By: JEB

### SCC PLANNING DEPARTMENT CONDITIONS OF APPROVAL

Sheet No.

L7.1

Of



These plans are intended for use by only knowledgeable licensed contractors familiar with all applicable building codes and other governmental requirements, and able and willing to provide workmanship and materials of high quality. They shall be interpreted so as to incorporate all applicable building codes and other governmental requirements. All ambiguities and doubts shall be resolved, unless the Engineer of Record specifies otherwise in writing, in favor of the construction or material of the highest quality.

All dimensions are to take precedence over scale shown on plans, elevations, sections and details.

The Builder shall take full and final responsibility for constructing a final product of appropriate quality and serviceability consistent with the information and requirements contained in the construction documents or reasonably inferable therefrom, and/or contained in the requirements of any governmental entity with jurisdiction over the project; and in this regard the Builder shall take full responsibility for all construction means, methods, techniques, sequences or procedures employed without regard to whether such means, methods, techniques, sequences or procedures are safety precautions and programs in connection with the project; and for the timeliness or quality of all the work performed pursuant to this agreement. In this regard, the Builder shall indemnify to the fullest extent allowed by law the project's design team, and their respective officers, directors, principals and employees, of and from any and all claims, liability and/or losses which are caused or contributed to by the failure of the builder to comply with the project's "independent" design elements, and losses involving any indemnities' actual or alleged active negligence or design defects, and excluding only any indemnity's sole negligence or willful misconduct.

See Architectural Drawings for kinds of floor finish, depressions in slab; openings in walls and roof required by doors, windows, ducts, vents, hatches, plumbing, etc...; all types of flashing, inserts, anchors, hangers, etc...embedded in or attached to concrete structure; paving, walks, stairs, ramps, curbs, parapets, terraces, etc...; exterior grades; roof slabs, crickets and drains.

The Contractor shall compare the structural drawings with the architectural drawings as to layout dimensions and elevations. All discrepancies shall be reported to the Engineer Of Record and the Owner for proper adjustment before proceeding with the work.

In the event that certain features of the construction are not fully shown on the drawings or called for in the general notes, then their construction shall be of the same character as for similar conditions that are shown or called for.

All materials and workmanship shall conform to the California Building Code (2019) Edition and all applicable local codes and ordinances.

All grading and foundation work shall be accomplished in accordance with the subject project reports prepared by Silicon Valley Soil Engineering, Inc., dated March 24, 2014.

All concrete shall be regular weight (145 PCF) and shall develop a minimum 28 day compressive strength of 2500 psi for non-piers construction. Concrete mix shall be such that all strength and exposure requirements are met. All construction joints shall be cleaned and roughened by sandblasting the entire surface exposing the clean aggregate solidly embedded in the mortar matrix. Reinforcing steel, anchors, sleeves, etc. shall be securely anchored into concrete before concrete is placed. All reinforcing, fabrication and installation shall conform to ACI Standard 315, latest edition, except as noted. Stagger all splices where practicable and not otherwise detailed. Notify the Testing Agency 48 hours in advance of concrete pours so that reinforcement, hardware, and concrete will be inspected.

- 3" where concrete is placed against earth.
- 2" where concrete is exposed to earth but placed in forms.
- 1-1/2" from exterior face of walls.
- 3/4" from interior face of walls and face of structural slabs.

All steel reinforcement shall be deformed bars conforming to A.S.T.M. designation A615 Grade 60 except #3 and #4 bars may be grade 40. Wire mesh shall conform to ASTM-A-185. Lap all #4 bars and smaller 24" minimum. Lap #5 & #6 bars 48" minimum. Lap mesh 6" minimum. All reinforcing shall be inspected and approved by the City Inspector prior to placement of concrete.

Apply curing compound and cure concrete per current industry standards to minimize surface and shrinkage cracking.

BONDING AGENT - Larson Weldcrete or Equal.

The mineral aggregate shall consist of broken stone, crushed or uncrushed gravel or a combination thereof. The mineral aggregate shall conform to the following gradation:

<u>Sieve Size</u>	<u>Percentage Passing</u>
3/4"	90-100
No. 4	25-60
No. 8	18-45
No. 200	0-3

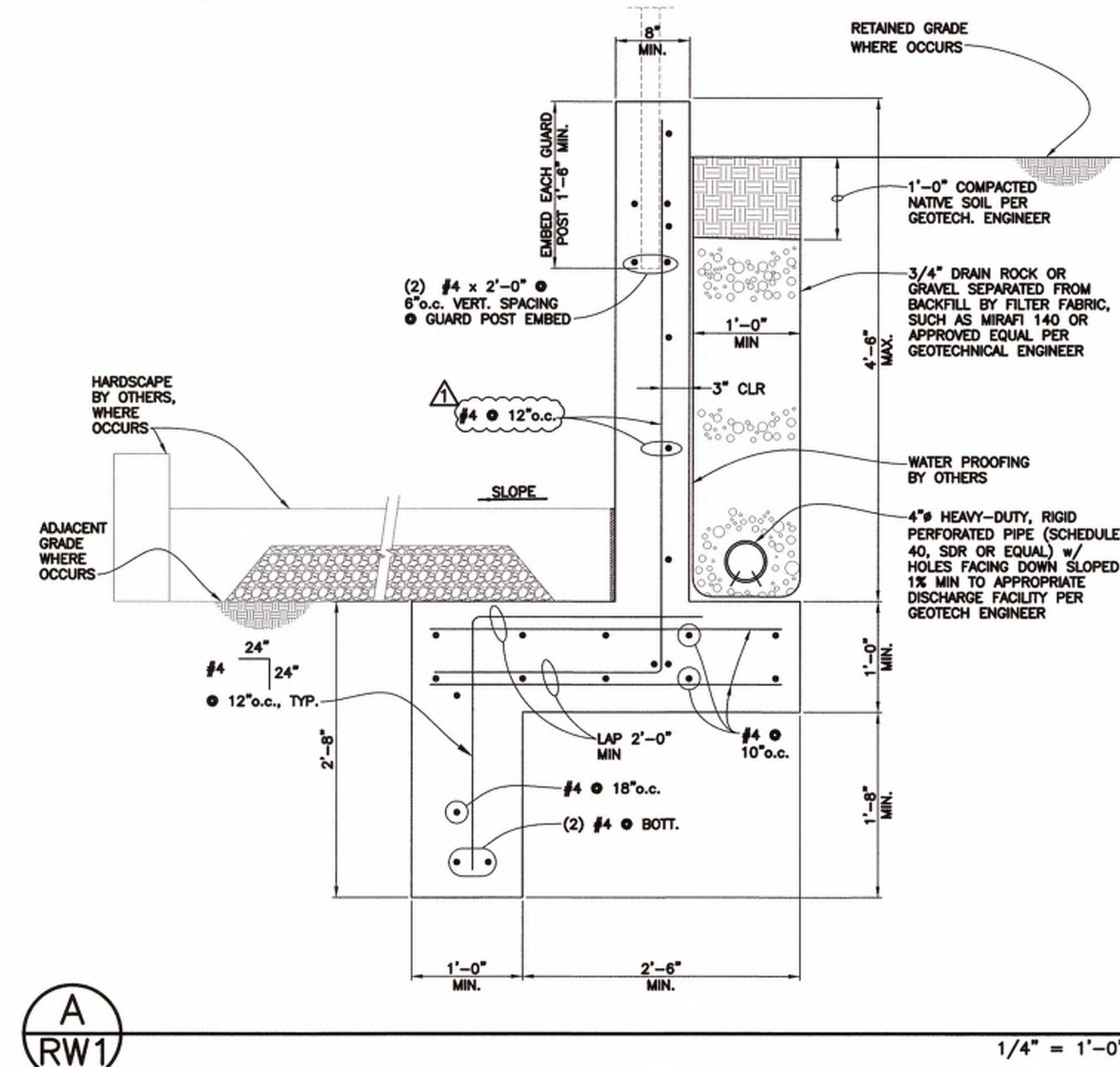
Expansion joints shall be Burke Asphalt impregnated felt or approved equal.

The spacing and heights of guardrails and handrails should be constructed per the 2016 California Building Code. See architectural drawings for non-structural information. Open guardrails to have a 4" maximum spacing and a 42" minimum height. Top of handrails and handrail extensions shall not be placed less than 34 inches nor more than 38 inches above the landings and the nosing of treads. Contractor to verify the current step, guardrail, and handrail codes with the building department prior to construction.

Non-shrink grout shall be flowable, with a minimum compressive strength of 5000 psi.  
Non-shrink grout shall be Embeco as manufactured by Master Builders or approved equal.

Construction contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professional.

All questions, comments, alternate details, and requests for information, etc. are most expeditiously processed by submittal to the Engineer of Record in writing or via facsimile. Meeting, verbal, or telephone requests will be given lowest priority, as they require the most administration and time to properly document. Upon receipt of written requests for information, the Engineer of Record shall process the requests in writing and copy the response to the design team. Alternate details requiring the Engineer of Record's review and acceptance, supplemental calculations, drawing revisions, construction bulletins, or other approvals may result in time delay as the owner's authorization for additional engineering services will be required.


$$1/8'' = 1'-0''$$

**NOTE:** THIS PLAN SHOWS THE APPROXIMATE EXTENT OF THE NEW RAMP AREA RETAINING WALL(S) AT LOCATIONS WHERE THE RETAINED SOIL HEIGHT IS EQUAL TO, OR GREATER THAN, 2'-0". THE EXTENT OF THE NEW RETAINING WALL IS AT THE DISCRETION OF, AND MAY BE EXTENDED OR REDUCED BY, ONLY THE GOVERNING JURISDICTION.

# Proposal to Extend Permit No. 221280

FRONT ENTRY AREA  
SOUTH SIDE RAMP  
RETAINING WALLS  
STRUCTURAL PLANS  
THE INN AT PASATIEMPO  
555 HIGHWAY 17  
SANTA CRUZ, CA 95060

RICHARD GF

SCALE	1/4" = 1'-0"
DATE	03/13/20
PROJECT	160310.RAMP_R'WALL
SHEET NO.	RW1
1 OF 1 SHEETS	